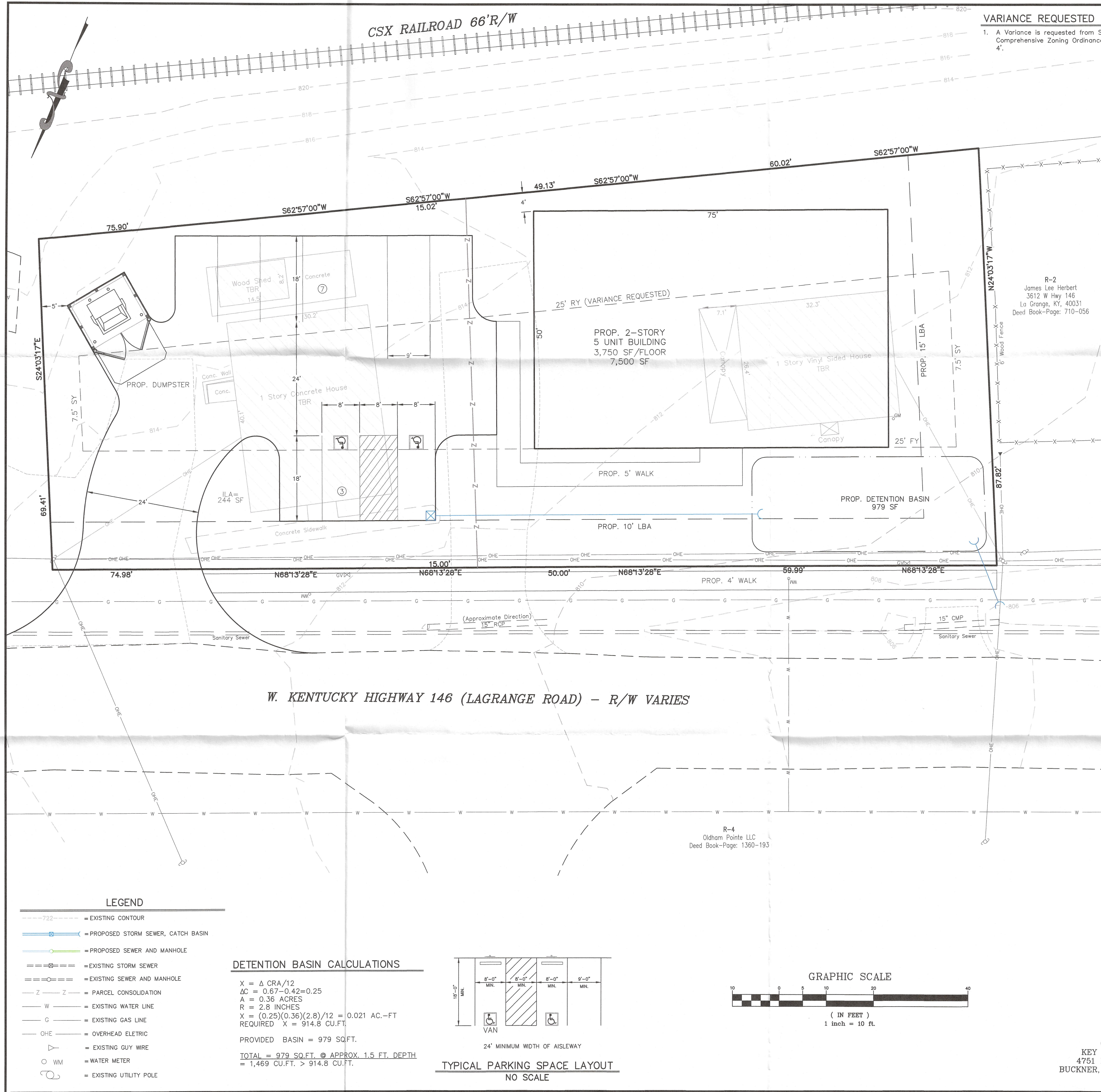
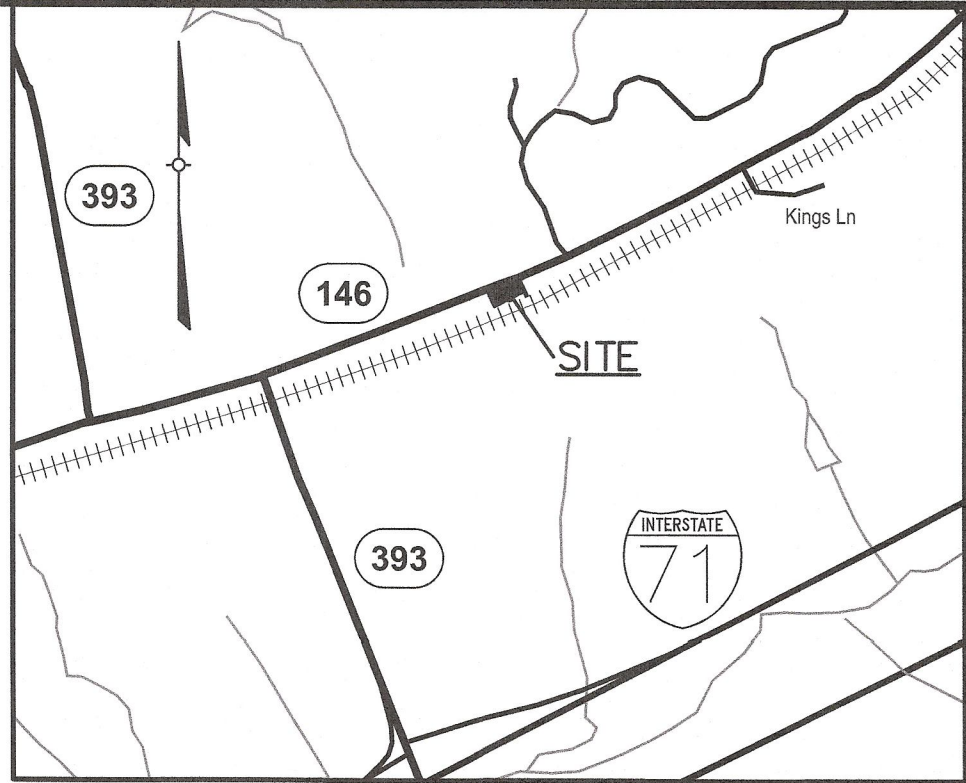




VARIANCE REQUESTED

1. A Variance is requested from Section 090-010 of the Oldham County Comprehensive Zoning Ordinance to vary the 25' rear yard setback to 4'.



LOCATION MAP
NOT TO SCALE

PROJECT DATA

TOTAL SITE AREA	= 0.36± Ac.
EXISTING ZONING	= R-2/C-1
PROPOSED ZONING	= R-4
EXISTING USE	= SINGLE FAMILY RESIDENTIAL
PROPOSED USE	= MULTI-FAMILY RESIDENTIAL
TOTAL # OF UNITS	= 5 UNITS
BUILDING HEIGHT	= 2-STORY (45' MAX. ALLOWED)
BUILDING FOOTPRINT	= 3,750 SF
BUILDING AREA	= 7,500 SF
GROSS DENSITY	= 13.8 DU/Ac. (16 DU/Ac. MAX. ALLOWED)
LOT COVERAGE OF STRUCTURES	= 24% (50% MAX)

PARKING REQUIRED	MIN.	MAX.
1-BEDROOM UNIT		
1.25 SP / 1 UNIT MIN.	= 2.5 SP	
2.0 SP / 1 UNIT MAX.		4 SP
2-BEDROOM UNIT		
1.5 SP / 1 UNIT MIN.	= 4.5 SP	
2.0 SP / 1 UNIT		6 SP

TOTAL PARKING REQUIRED = 7 SP 10 SP

PARKING PROVIDED = 10 SPACES (INCLUDES 1 ADA SP)

TOTAL VEHICULAR USE AREA = 4,361 SF
INTERIOR LANDSCAPE AREA REQUIRED = 218 SF (ILA=5 SF/100 SF V.U.A.)
INTERIOR LANDSCAPE AREA PROVIDED = 244 SF

EXISTING IMPERVIOUS = 2,948 SF
PROPOSED IMPERVIOUS = 8,904 SF

R-4 REQUIREMENTS

MINIMUM LOT AREA	= 6,000 SF
MINIMUM LOT WIDTH	= 50'
MAX. LOT COVERAGE	= 50%
MAX. BUILDING HEIGHT	= 45'
MIN. FRONT YARD & STREET SIDE YARD	= 25'
MINIMUM SIDE YARD	= 7.5'
MINIMUM REAR YARD	= 15'
	= 25'

GENERAL NOTES:

- Parking areas and drive lanes to be a hard and durable surface.
- An encroachment permit and bond will be required for all work done in the right-of-way.
- No portion of the site is within the 100 year flood plain per FIRM Map No. 21185 C 0120 D dated March 23, 2021.
- Drainage pattern depicted by arrows (⇒) is for conceptual purposes.
- Sanitary sewer service will be provided by connection and subject to applicable fees.
- Per USDA Web Soil Survey, soils present on-site are Nicholson silt loam.
- There are no slopes greater than 30% on this site.
- The sewer connection for the existing building shall be capped upon demolition and existing water connection to be terminated.

LEGEND

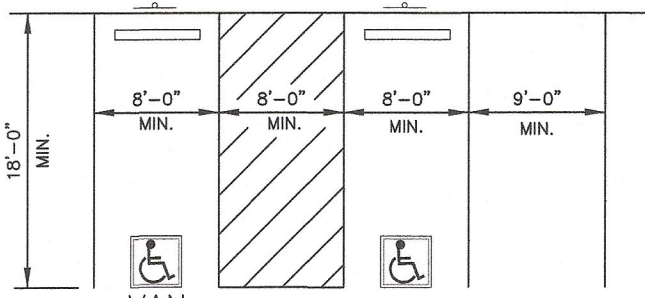
- 722--- = EXISTING CONTOUR
- S--- = PROPOSED STORM SEWER, CATCH BASIN
- S--- = PROPOSED SEWER AND MANHOLE
- S--- = EXISTING STORM SEWER
- S--- = EXISTING SEWER AND MANHOLE
- Z---Z--- = PARCEL CONSOLIDATION
- W--- = EXISTING WATER LINE
- G--- = EXISTING GAS LINE
- OHE--- = OVERHEAD ELETRIC
- WM--- = EXISTING GUY WIRE
- WM--- = WATER METER
- UP--- = EXISTING UTILITY POLE

DETENTION BASIN CALCULATIONS

$X = \Delta CRA/12$
 $\Delta C = 0.67 - 0.42 = 0.25$
 $A = 0.36 \text{ ACRES}$
 $R = 2.8 \text{ INCHES}$
 $X = (0.25)(0.36)(2.8)/12 = 0.021 \text{ AC.-FT}$
REQUIRED $X = 914.8 \text{ CU.FT.}$

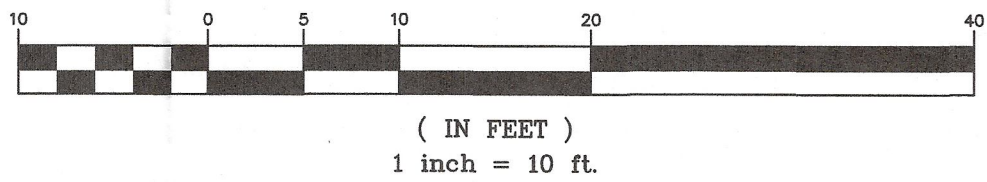
PROVIDED BASIN = 979 SQ.FT.

TOTAL = 979 SQ.FT. @ APPROX. 1.5 FT. DEPTH
= 1,469 CU.FT. > 914.8 CU.FT.



TYPICAL PARKING SPACE LAYOUT
NO SCALE

GRAPHIC SCALE



OWNER:
KEY HOMES LLC
4751 FOX RUN RD
BUCKNER, KENTUCKY 40010

SITE ADDRESS:
3608 W HWY 146
LA GRANGE, KY 40031
TAX BLOCK: 11 LAGRANGE FD
LOT: 10A & 10B
D.B. 141, PG. 0131

SITE ADDRESS:
3604 W HWY 146
LA GRANGE, KY 40031
TAX BLOCK: 11 LAGRANGE FD
LOT:
D.B. 141, PG. 4165

CASE #

WATER/SUB#

DEVELOPMENT PLAN
JOB NO. 25045
DOELKER
3608 W HWY 146
OWNER/DEVELOPER
KEY HOMES LLC
4751 FOX RUN RD
BUCKNER, KY 40010

SHEET 1 OF 1

PROJECT DATA
FILE NAME: 25045 - DEV PLAN
DATE: 10/8
SCALE AS SHOWN
CHECKED BY: DT
DRAWN BY: NK

REVISIONS
BY
DATE
NO.

DESCRIPTION

ENGINEER'S SEAL
SUBVEYOR'S SEAL

LD&D
LAND DESIGN & DEVELOPMENT, INC.
ENGINEERING - LAND SERVICES - LANDSCAPE ARCHITECTURE
505 WARDEN AVENUE SUITE 100
LOUISVILLE, KENTUCKY 40202
PHONE: 502-423-7714
WEB SITE: WWW.LD&D-INC.COM