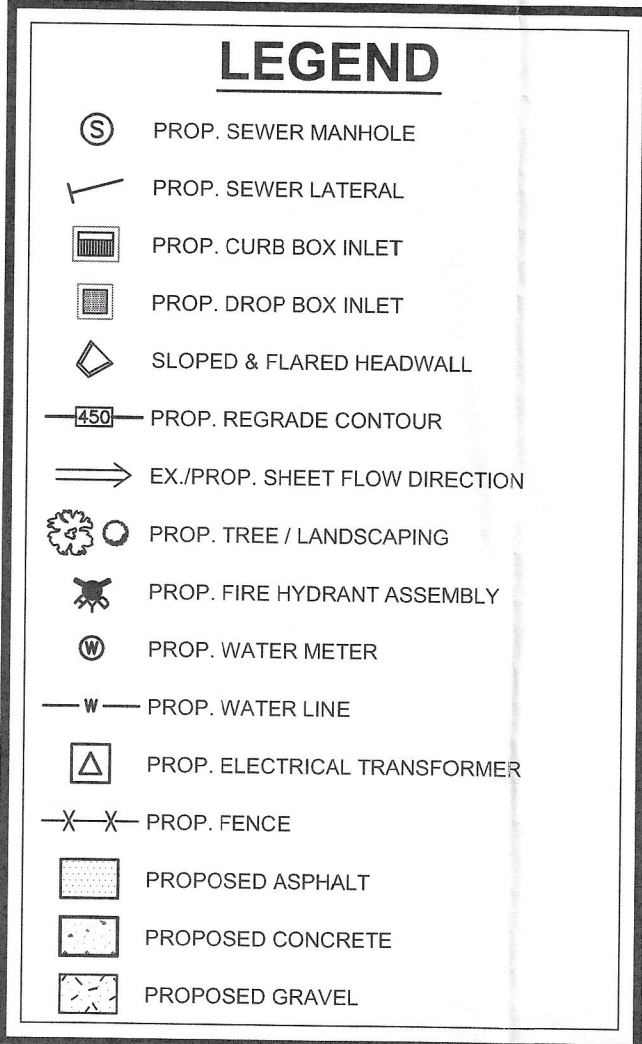




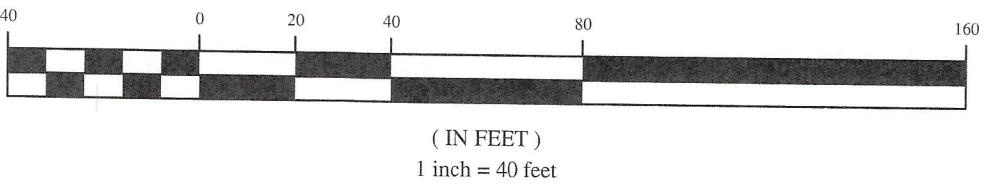
SITE STATISTICS:

PVA PARCEL NO.	47-00-00-29A
ACREAGE:	9.03 ACRES
ACREAGE IN STREET ROW:	0.06 ACRES
GROSS BUILDING FOOTPRINT AREA:	118,200 S.F.
NUMBER OF SINGLE FAMILY LOTS:	10 LOTS
EXISTING ZONE:	R-2
PROPOSED ZONE:	C-3
OPEN SPACE:	N/A (ZONED C-3)
LOT COVERAGE (STRUCTURES):	30.0% COVERED
IMPERVIOUS SURFACE:	43.7%
REQUIRED PARKING:	71 SPACES*
PROVIDED PARKING:	106 SPACES
REQUIRED ADA PARKING:	5 SPACES
PROVIDED ADA PARKING:	5 SPACES
REQUIRED ADA VAN PARKING:	1 SPACES
PROVIDED ADA VAN PARKING:	1 SPACES

*REQUIRED PARKING BASED ON REQUIREMENT
1 SPACE FOR EACH 1.5 EMPLOYEES BASED ON COMBINED
EMPLOYMENT COUNT OF THE MAIN SHIFT PLUS THE
SECOND SHIFT

MINIMUM REQUIRED - 106 EMPLOYEES / 1.5 = 71 SPACES
MAXIMUM ALLOWED - 106 EMPLOYEES / 1 = 106 SPACES

GRAPHIC SCALE



GENERAL NOTES:

1. THE ENTIRE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA OR FLOODWAY PER F.I.R.M. NO. 21185C0120D, EFFECTIVE MARCH 23, 2021.

INTERSTATE I-71

R/W VARIES (DB 118, PG. 36; D.B. 640, PG. 158)

