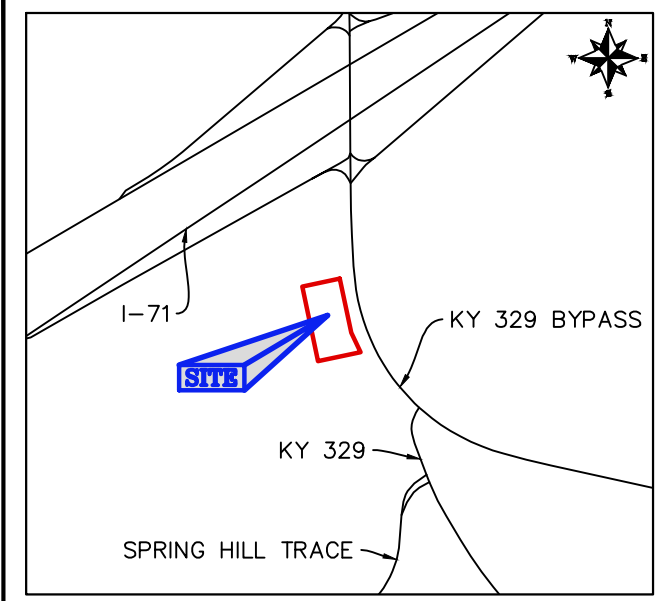




VICINITY MAP N.T.S.

SITE INFORMATION
PARCEL ID: 23-00-00-15C & 15Q
ZONING: C-4

7200 HWY 329
CRESTWOOD, KY 40014

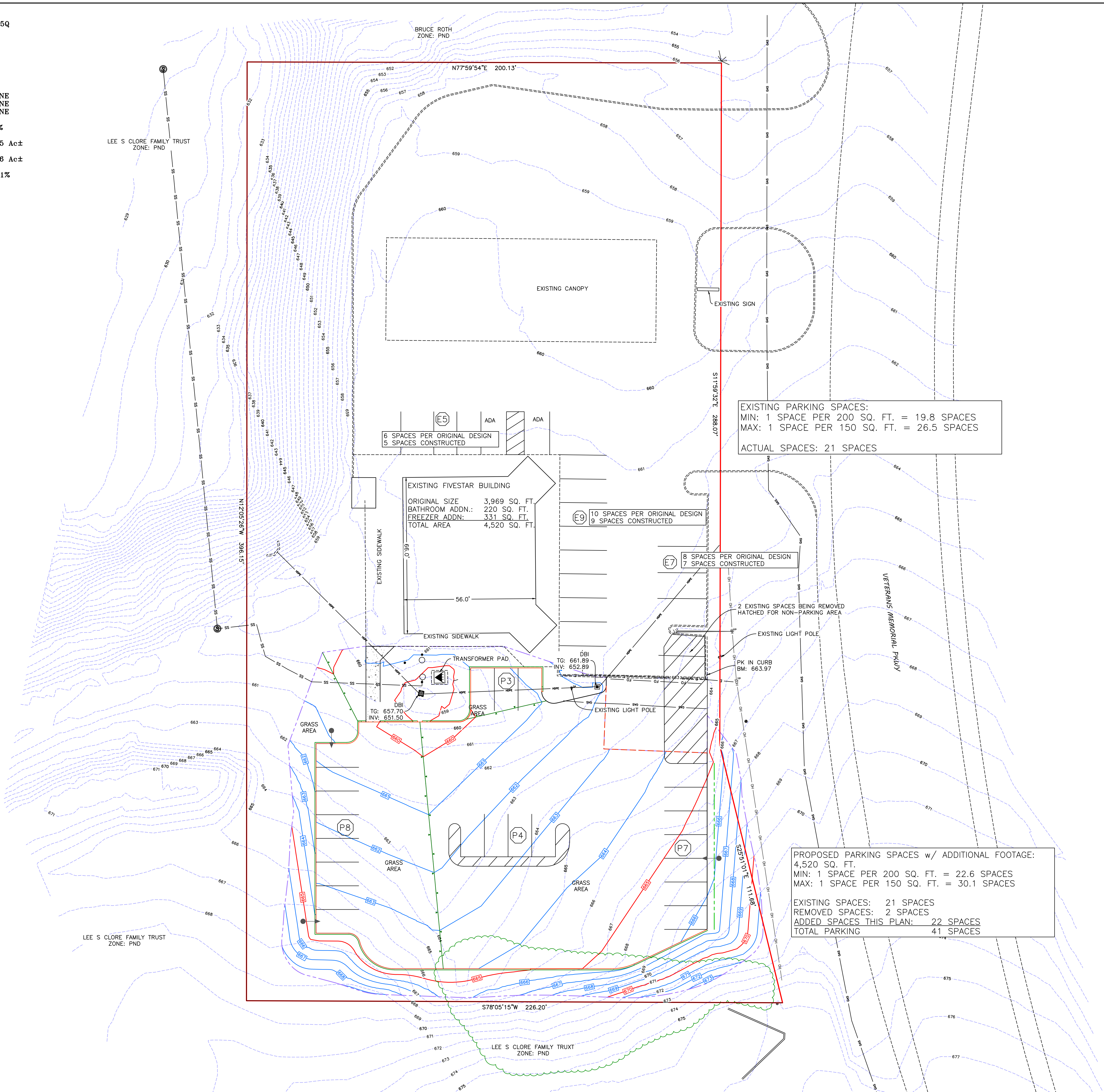
**EXISTING/PROPOSED USE;
CONVENIENCE STORE**

FRONT YARD SETBACK: NONE
SIDE YARD SETBACK: NONE
REAR YARD SEBACK: NONE

MAXIMUM IMP. AREA: 65%

TOTAL ACREAGE: 1.85 Ac±
IMP AREA: 1.26 Ac±
INCLUDES THIS PROJECT:
IMP AREA: 68.1%

FIVESTAR
#2275CRESTWOOD, KY



EXISTING PARKING SPACES:
MIN: 1 SPACE PER 200 SQ. FT. = 19.8 SPACES
MAX: 1 SPACE PER 150 SQ. FT. = 26.5 SPACES
ACTUAL SPACES: 21 SPACES

EXISTING FIVESTAR BUILDING
ORIGINAL SIZE 3,969 SQ. FT.
BATHROOM ADDN.: 220 SQ. FT.
FREEZER ADDN.: 331 SQ. FT.
TOTAL AREA 4,520 SQ. FT.

8 SPACES PER ORIGINAL DESIGN
7 SPACES CONSTRUCTED

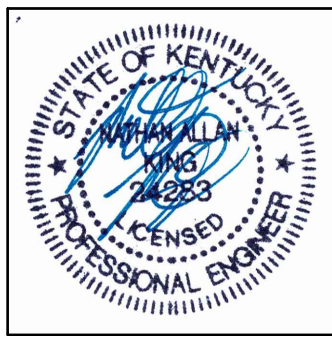
10 SPACES PER ORIGINAL DESIGN
9 SPACES CONSTRUCTED

2 EXISTING SPACES BEING REMOVED
HATCHED FOR NON-PARKING AREA

PROPOSED PARKING SPACES w/ ADDITIONAL FOOTAGE:
4,520 SQ. FT.
MIN: 1 SPACE PER 200 SQ. FT. = 22.6 SPACES
MAX: 1 SPACE PER 150 SQ. FT. = 30.1 SPACES

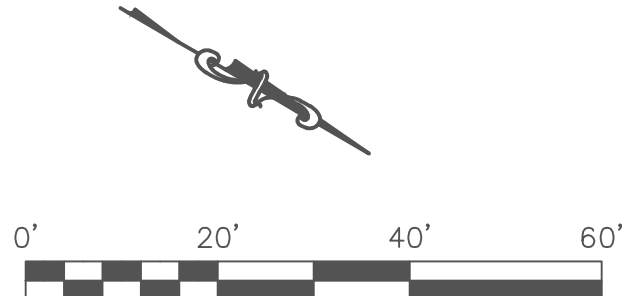
EXISTING SPACES: 21 SPACES
REMOVED SPACES: 2 SPACES
ADDED SPACES THIS PLAN: 22 SPACES
TOTAL PARKING 41 SPACES

- GENERAL NOTES:**
1. THIS SURVEY IS SUBJECT TO ANY AND ALL LEGAL EASEMENTS & RIGHT OF WAYS, RECORDED OR UNRECORDED, AND ANY AND ALL FACTS THAT MAY BE DISCLOSED BY A FULL & ACCURATE TITLE SEARCH.
 2. THE PROPERTY LINES SHOWN HEREON ARE BASED ON A SURVEY BY MEYER LAND SURVEYING AND MONUMENTS FOUND IN THE FIELD. THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE RECORDED OR USED TO TRANSFER LAND. THE BEARINGS SHOWN HEREON ARE GRID NORTH, KY SINGLE ZONE (KY 1600).
 3. THE UTILITY LINES SHOWN HEREON ARE BASED ON FOUND VISIBLE EVIDENCE IN THE FIELD OR AS MARKED BY THEIR RESPECTIVE OWNERS. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE LOCATION OR EXISTENCE OF THE UTILITIES SHOWN. OTHER UTILITIES MAY EXIST ON OR NEAR THE AREA HEREON THAT ARE NOT SHOWN.
 4. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL NOTIFY THE UNDERGROUND LOCATE SERVICE AT 811 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
 5. SITE DEMOLITION SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
 6. THE SITE WAS FORMERLY THE GREEN COUNTY HOSPITAL. ALL EXISTING STRUCTURES FOUND SHALL BE REMOVED INCLUDING FOUNDATIONS, BASEMENTS, ETC. IF APPLICABLE.
 7. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE FEATURES AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 8. CONTRACTOR SHALL USE EXTREME CARE IN WORKING AROUND EXISTING OVERHEAD OR UNDERGROUND UTILITIES. PROTECT UNDERGROUND UTILITIES FROM DAMAGE DURING CONSTRUCTION.



SITE LEGEND

- = LIGHT POLES/SECURITY LIGHT
- ⊕ = BENCHMARK - IRON PIN W/ BLUE CAP
- ▬ = PROPOSED STORM PIPE
- ▬ = CONCRETE AREA
- = PROPERTY LINES



CRESTWOOD FIVESTAR
STORE #2275

NEWCOMB OIL CO., LLC
951 WITHROW CT.
BARDSTOWN, KY 40004



LEBANON OFFICE:
335 N. WOODLAWN AVE.
LEBANON, KY 40033

NATHAN ALLAN KING
P.E. #24283 P.L.S. #3831
BUSINESS: (270) 692-0089
MOBILE: (270) 590-4603
Nathan@kwm.net

REVISIONS:	DATE:
PLAN CREATION	10-9-2025
SCALE: 1" = 20'	DATE: 10-9-2025

EXISTING
CONDITIONS

C0.01a

1 - TAPER CURB AT 4:1 TO FLUSH GRADE; TYPICALLY 2' IN LENGTH FOR 6" CURB HEIGHT
2 - N/A
3 - N/A
4 - N/A
5 - N/A
6 - N/A

EXISTING FIVESTAR BUILDING

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REMOVED SPACES: 2 SPACES
ADDED SPACES THIS PLAN: 22 SPACES
TOTAL PARKING 41 SPACES

A VARIANCE IS BEING REQUESTED FOR THE
ADDITIONAL 11 SPACES ABOVE THE MAXIMUM
ALLOWED

SITE INFORMATION
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7200 HWY 329
CRESTWOOD, KY 40014
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IMP AREA: 1.26 Ac±
INCLUDES THIS PROJECT: 68.1%
IMP AREA: 68.1%

EXISTING SIDEWALK

TRANSFORMER PAD

EXISTING LIGHT POLE

DBI
TG: 661.89
INV: 652.89

REMOVE 22'± RAISED CURB

EXISTING LIGHT POLE

PK IN CURB
BM: 663.97

LOADING AREA

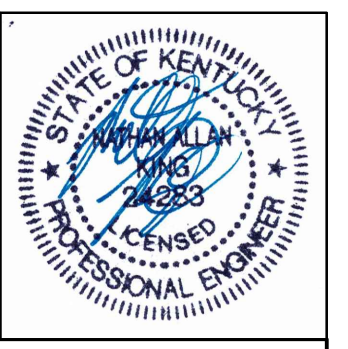
REBAR W/ BLUE CAP
BM: 666.92

REMOVE EXISTING STRIPING

VETERANS MEMORIAL PKWY

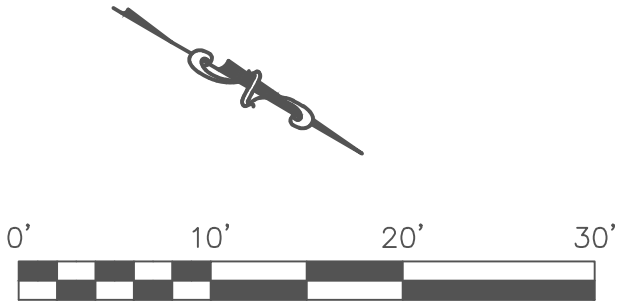
LAYOUT NOTES:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN PRIOR TO THE CONTRACTOR RECEIVING AND REVIEWING THE REQUIRED PERMITS AND APPROVALS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DRAINAGE AND UTILITY CONNECTIONS TO ENSURE THEY CAN BE PROPERLY CONNECTED.
3. IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
4. UNLESS NOTED OTHERWISE, THE DIMENSIONS AND COORDINATES SHOWN HEREON ARE TO THE EDGE OF THE RIGID CONCRETE, EDGE OF ASPHALT, FACE OF CURB, OR OUTSIDE FACE OF BUILDINGS/STRUCTURES.
5. ALL RIGID AND/OR FLEXIBLE PAVEMENT AND STONE SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, & TESTING REQUIREMENTS OF THESE DRAWINGS AND/OR THE KENTUCKY TRANSPORTATION CABINET STANDARD SPECIFICATIONS.
6. ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE LOCAL ZONING ORDINANCE.
7. ALL PAVEMENT MARKINGS WITHIN THE DEVELOPMENT SHALL BE PAINTED. ALL PAVEMENT MARKINGS ON CITY OR STATE R/W SHALL CONFORM TO THE REGULATIONS OF THEIR RESPECTIVE OWNER.
8. ANY WORK WITHIN THE KYTC R/W WILL REQUIRE AN ENCROACHMENT PERMIT. ALL DISTURBED PORTIONS OF THE RIGHT OF WAY SHALL BE RESTORED TO GRASS AS PER KENTUCKY DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
9. THE LOCATIONS OF THE EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BY COORDINATING WITH THE RESPECTIVE UTILITY COMPANIES INVOLVED. PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD THE EXISTING UTILITIES FROM DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT.
10. ALL CURB STOPS AND CURB CUTS ABUTTING TRAVELED WAYS SHALL TAPER TO ASPHALT GRADE AT A MIN. 4:1 SLOPE.



SITE LEGEND

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- ▬ = PROPOSED STORM PIPE
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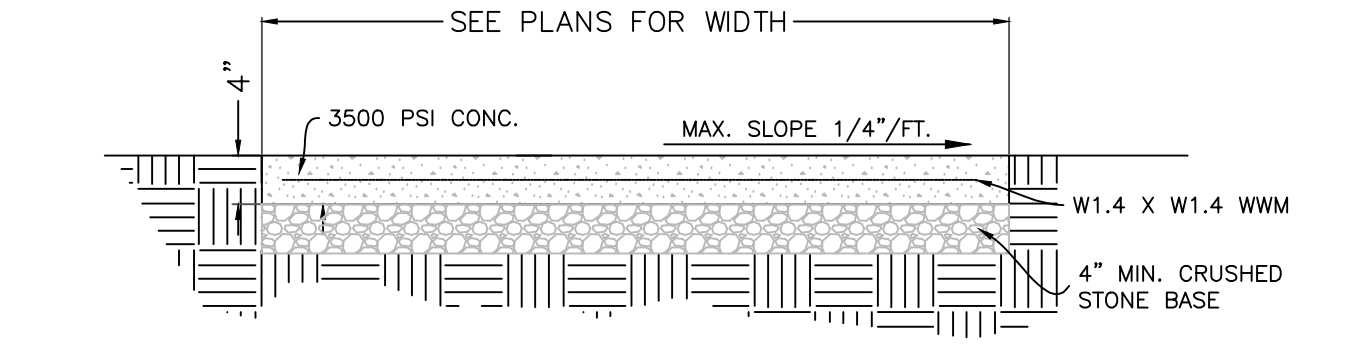
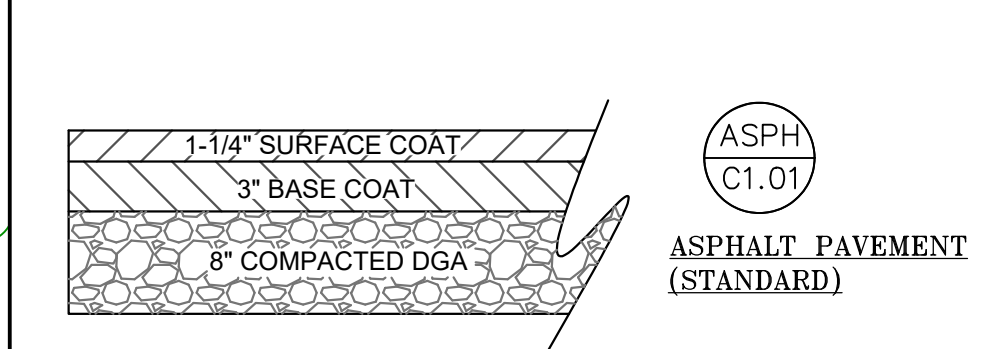
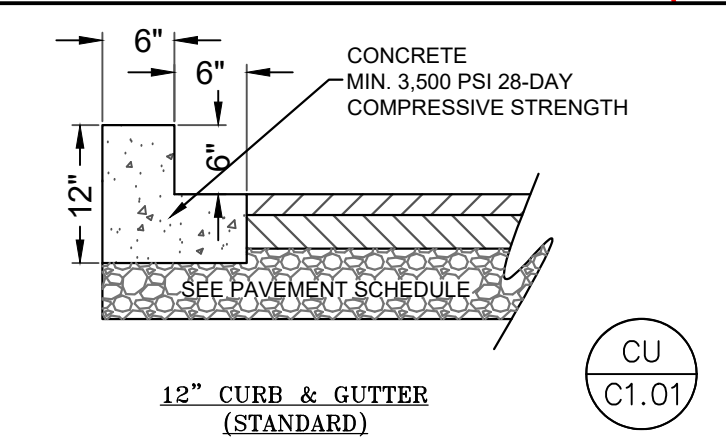
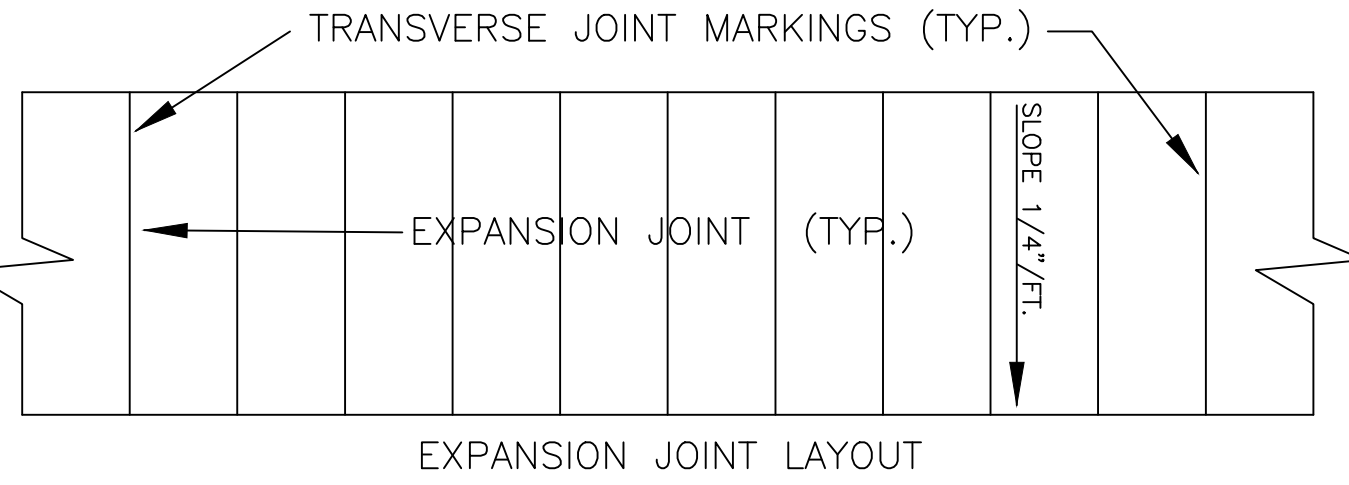
REVISIONS: DATE:
PLAN CREATION 10-9-2025

SCALE: 1" = 10' DATE: 10-9-2025

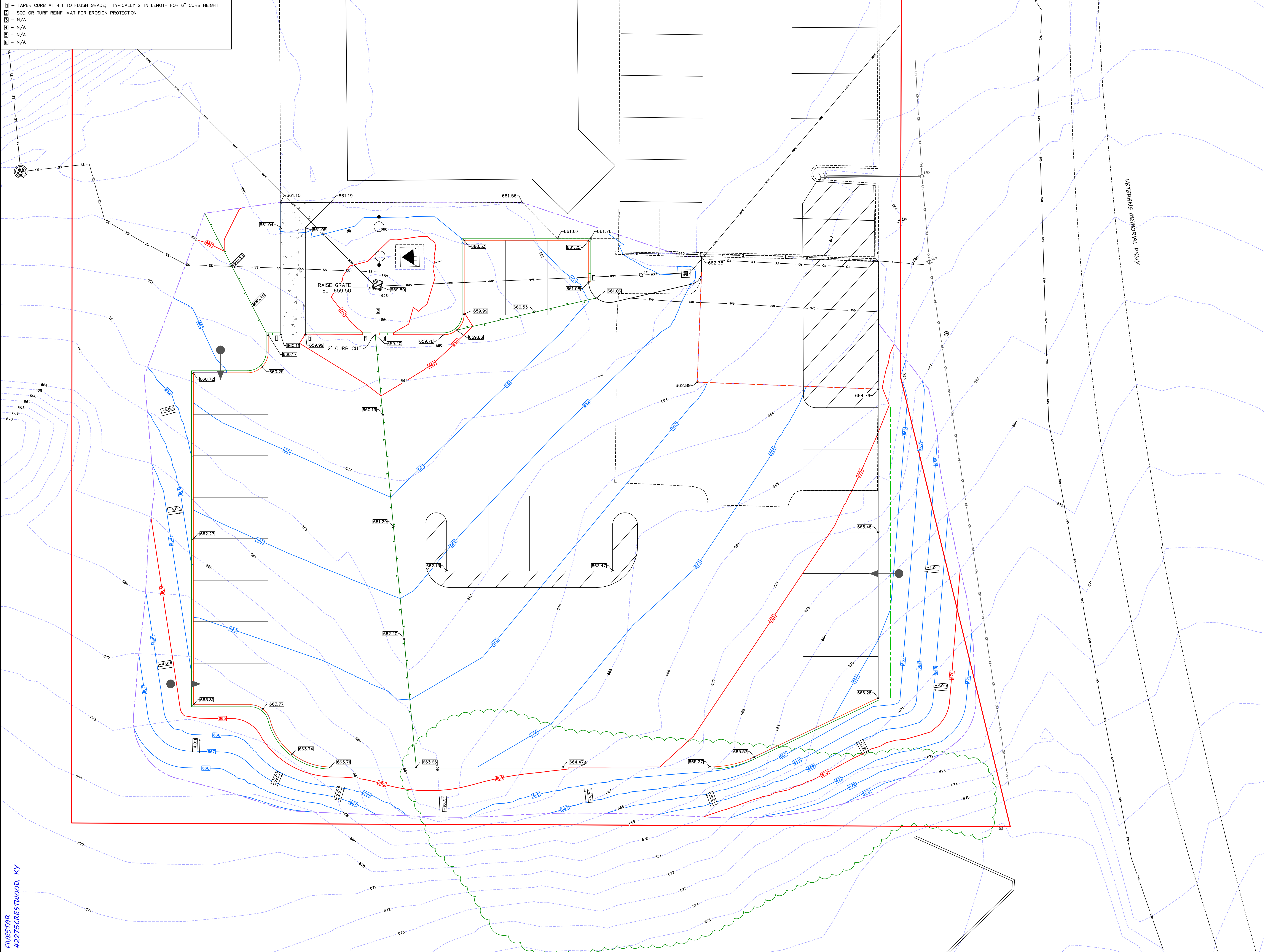
SHEET: LAYOUT C1.01

NOTES:

1. PROVIDE 1/2" EXP. JOINT BETWEEN ALL FIXED OBJECTS AND WALK.
2. PROVIDE TRANSVERSE CONTRACTION JOINTS EVERY 6'.
3. PROVIDE EXP. JOINTS (1/2") AT INTERSECTIONS OF DIFFERENT WALKS AND EVERY 30' O.C. ON STRAIGHT RUNS.
4. PROVIDE EXP. JOINTS A MINIMUM OF 5 FT. FROM INLET STRUCTURES.



1 - TAPER CURB AT 4:1 TO FLUSH GRADE; TYPICALLY 2' IN LENGTH FOR 6" CURB HEIGHT
2 - SOD OR TURF REINF. MAT FOR EROSION PROTECTION
3 - N/A
4 - N/A
5 - N/A
6 - N/A



- LAYOUT NOTES:**
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SITE LEGEND

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- ▬ = PROPOSED STORM PIPE
- ▬ = CONCRETE AREA
- ▬ = PROPERTY LINES

Kentucky 811

FIVESTAR

Newcomb OIL CO.

CRESTWOOD FIVESTAR STORE #2275

NEWCOMB OIL CO., LLC
951 WITHROW CT.
BARDSTOWN, KY 40004

KWM & LAND SURVEYING

LEBANON OFFICE:
335 N. WOODLAWN AVE.
LEBANON, KY 40033

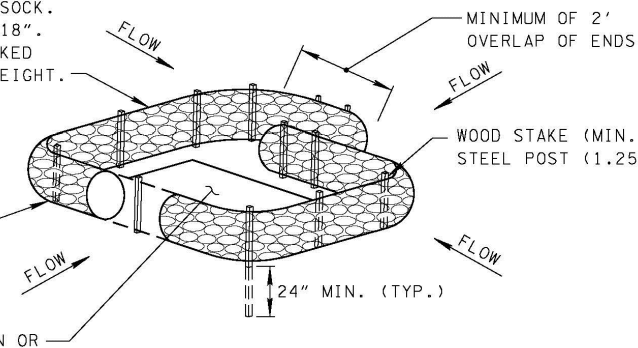
NATHAN ALLAN KING
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REVISIONS:	DATE:
PLAN CREATION	10-9-2025
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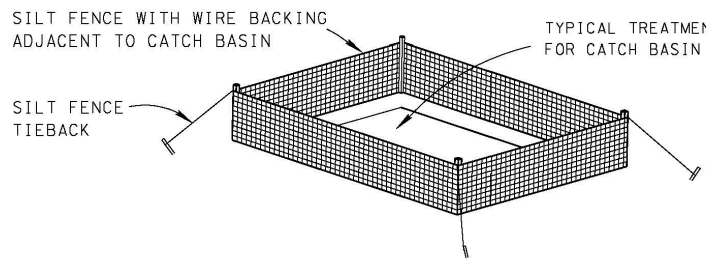
GRADE & DRAIN

C2.01

MENT TUBE OR FILTER SOCK.
MINIMUM HEIGHT (ACTUAL) 18".
FILTER SOCKS MAY BE STACKED
TO ACHIEVE THE MINIMUM HEIGHT.



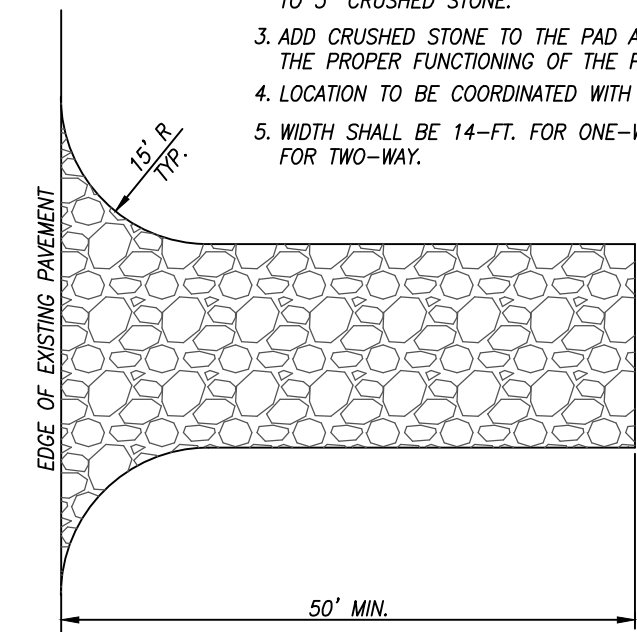
AIN



N.T.S

NOTES

1. THE PURPOSE OF THE STABILIZED CONSTRUCTION ENTRANCE IS TO AID THE CONTRACTOR IN ELIMINATING TRACKING OF SILT ONTO PUBLIC STREETS. THIS DETAIL DOES NOT LIMIT THIS RESPONSIBILITY. OTHER METHODS OF SEDIMENT REMOVAL SHALL BE IMPLEMENTED IF THIS DOES NOT ADEQUATELY REMOVE THE SILT.
2. CONSTRUCT THE PAD WITH A 6" (MIN.) THICKNESS OF 2" TO 3" CRUSHED STONE.
3. ADD CRUSHED STONE TO THE PAD AS NECESSARY TO MAINTAIN THE PROPER FUNCTIONING OF THE PAD.
4. LOCATION TO BE COORDINATED WITH THE OWNER.
5. WIDTH SHALL BE 14-FT. FOR ONE-WAY TRAFFIC AND 20-FT. FOR TWO-WAY.

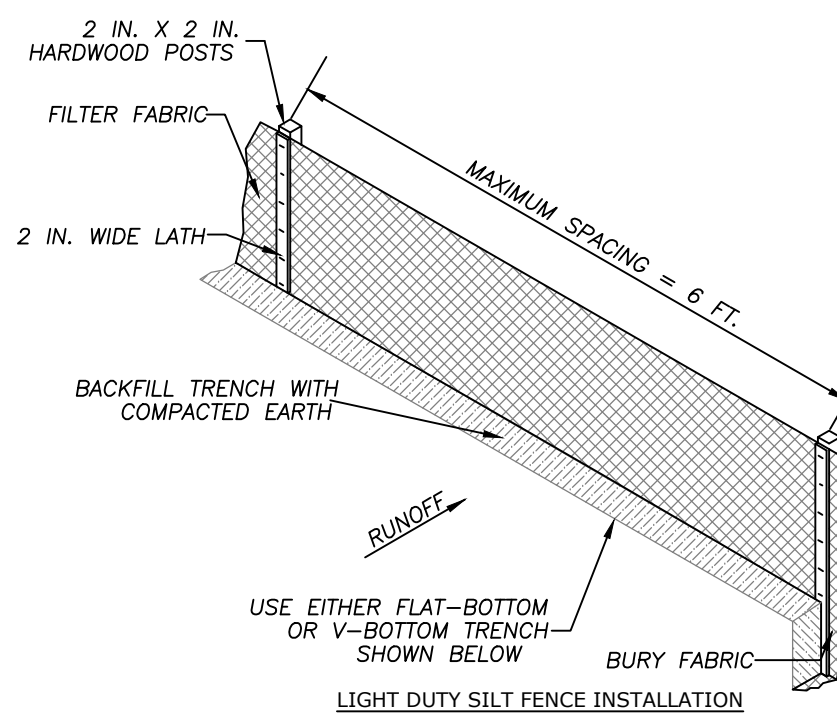


TEMPORARY CONSTRUCTION ENTRANCE
N.T.S.

N.T.S.

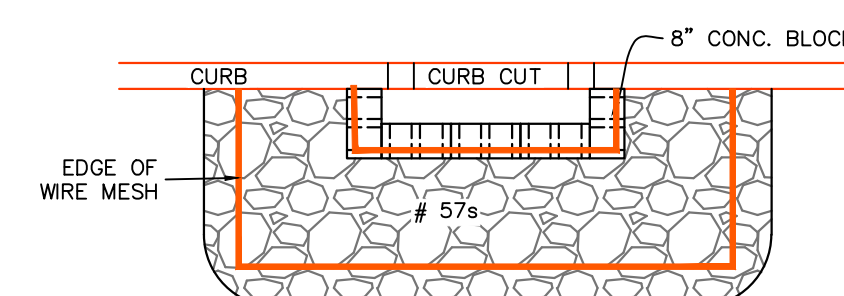
MATERIAL SPECIFICATION

SPECIFICATION	LIGHT DUTY SLT FENCE (SF-1D)
MIN. TENSILE STRENGTH (LBS) ASTM D-4632	WARP - 120 FILL - 100
MAX. ELONGATION (%) ASTM D-4632	40
APPEARANT OPENING SIZE MAX. SPEE SIZE (ASTM D-4751)	#30
MAX. FLOW RATE (GAL/MIN/SF) DOT - 87	25
ULTRAVIOLET STABILITY ASTM D-4632 AFTER 300 HOURS PER ASTM D-4355	80
MIN. BURSTING STRESS (PSI) ASTM D-3786	WARP - 120 FILL - 100
MIN. FABRIC WIDTH (IN)	36 IN.

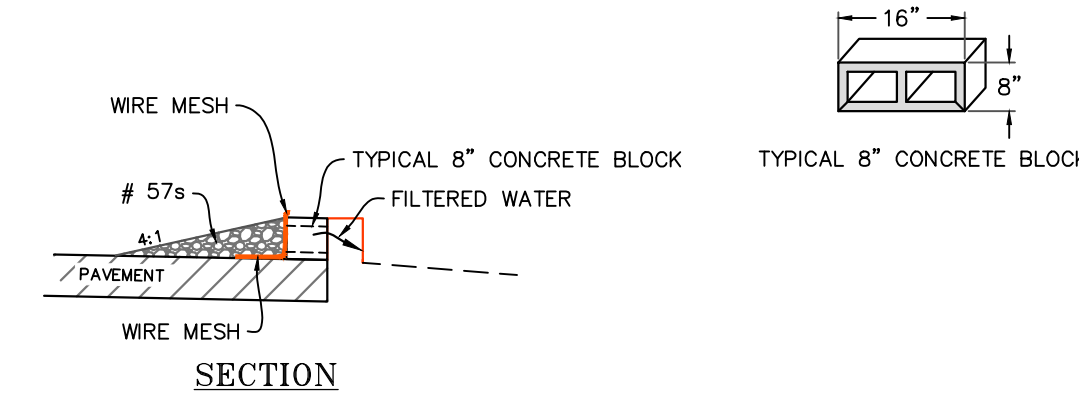


TEMPORARY SILT FENCE

N.T.S.



PLAN



SECTION

CURB CUT PROTECTION

N.T.S

NOTE: FOR USE AFTER CURB IS INSTALLED.
OR FILTER SOCK MAY BE USED.

1. AS A MINIMUM, ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE LOCAL STORMWATER ORDINANCES, AND AS REQUIRED BY STATE AND FEDERAL LAWS.
2. A CONSTRUCTION APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES. THIS COPY SHALL BE PRESENTED TO THE LOCAL AND STATE REGULATORY AGENCIES UPON REQUEST.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING AND GRUBBING AS NEEDED TO CONTROL SEDIMENT LEAVING THE SITE. THE CONTRACTOR HAS THE OBLIGATION TO ALTER ANY EXISTING EROSION AND SEDIMENT CONTROL CONSTRUCTION PRACTICES. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENT FROM LEAVING THE SITE.
4. TEMPORARY SEDIMENT TRAPS WITH ROCK OR EARTHEN DIKES OR OTHER APPROVED CONTROLS SHALL BE INSTALLED DOWNSTREAM OF HEAVILY ERODED AREAS AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
5. ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD, SOIL, AND ROCK FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL AND ROCK TRACKING ONTO ROADWAYS SHALL BE PROHIBITED.
6. SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADDED TO THE EROSION AND SEDIMENT CONTROL PLAN.
7. GOOD HOUSEKEEPING PRACTICES SHALL BE APPLIED TO PREVENT CONTAMINATED RUNOFF OR OTHER IMPACTS FROM PAINT OR CONCRETE WASTES, FUELS AND OILS, TRASH AND LITTER, OR OTHER MATERIALS.
8. BARE SOIL AREAS SHALL BE PROTECTED BY EROSION CONTROL, GRADING, OR FILL ACTIVITIES SHALL BE STABILIZED WITH WOODS PRESIDENT SEEDING AND/OR MULCHING WITHIN 14 DAYS IF NO WORK IS PLANNED FOR THAT AREA.
9. SILT FENCES, DITCH CHECKS, NON-PERMANENT SEDIMENT TRAPS, AND OTHER TEMPORARY CONTROLS SHALL BE REMOVED AFTER VEGETATION IN UNPROTECTED AREAS IS ESTABLISHED.
10. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES AT LEAST ONCE A WEEK AND AT LEAST ONCE A DAY DURING RAINFALL EVENTS. THE CONTRACTOR SHALL PERFORM ANY REPAIRS OR MAINTENANCE IMMEDIATELY IN ORDER TO ENSURE EFFECTIVE EROSION AND SEDIMENT CONTROL.
11. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES. THE RECORD SHALL BE AVAILABLE TO THE LOCAL CITY OFFICIALS UPON REQUEST.
12. OFFSITE WASTE AREAS SHALL BE PROTECTED WITH SILT FENCE AND/OR SEEDING AND MULCHED TO PREVENT EROSION.
13. DUSTY CONDITIONS SHALL BE PREVENTED. CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY—
a. SLOPES STEEPER THAN 4:1 AND AREAS WITH CONCENTRATED FLOWS SHALL BE SEEDED UPON REQUEST AND MULCHED WITHIN 14 DAYS OF THE TEST. AT FLAT TO SLOW TILT FELTUSE AND PERMANENT RYGRASS. PRIOR TO SEEDING, FLOW RATE FERTILIZER, GRANULAR OR PELLETED TYPE, SHALL BE APPLIED TO THE SOIL UPON REQUEST AND MULCHED WITHIN 14 DAYS OF THE TEST. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 500 POUNDS PER AC OF STRAW. THE STRAW MULCH IS TO BE SPREAD UNIFORMY.
14. ALL SLOPES STEEPER THAN 4:1 AND AREAS WITH CONCENTRATED FLOWS SHALL BE PROTECTED WITH EROSION CONTROL, BLANKET INSTALLING TO THE MANUFACTURER'S SPECIFICATIONS.

1. IT IS THE INTENTION OF THIS PLAN TO EFFECTIVELY CONTROL EROSION OF DISTURBED SOILS. HOWEVER NO PLAN CAN BE MADE THAT DETAILS ALL POSSIBLE CONTROL MEASURES THROUGHOUT CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MINIMIZE ALL EROSION USING THESE MEASURES AS WELL AS ANY ADDITIONAL MEASURES REQUIRED TO CONTROL RUNOFF.
2. THE CONTRACTOR IS TO TAKE THE FOLLOWING ACTION TO CLEAN UP SPILLS OF LULC MATERIAL AND MUST MAINTAIN OIL AND GREASE ASSEMBLED MATERIALS ON-SITE. RUBBISH, TRASH, GARBAGE, UTTER, ETC. ARE TO BE DEPOSITED IN SEALED CONTAINERS. THE CONTRACTOR IS TO CONTROL ALL OIL AND GREASE. ALL OIL AND GREASE TRUCKS WASH OUT ON SITE, THE WASH WATER SHALL BE PLACED IN AN AREA WHERE IT CAN NOT MAKE ITS WAY OFF SITE. THE CONTRACTOR SHALL SECURE THE K.P.D.'S NOTIFICATION OF VIOLATION PRIOR TO LEAVING THE SITE. ALL OIL AND GREASE MUST BE SUBMITTED AS REQUIRED BY THE REGIONAL DIVISION OF WATER (KODW)
3. THE CONTRACTOR IS TO KEEP A SIGNED AND SEALED EROSION CONTROL PLAN ON SITE AND MAKE IT AVAILABLE TO INSPECTORS AS REQUIRED.
4. ANY DEVIATIONS FROM THIS PLAN SHALL BE MARKED ON SAME WITH AN EXPLANATION OF WHY IT WAS NEEDED.
5. IN THE EVENT OF AN ILLICIT MATERIAL OR OIL OR STORM SEWER, CONTACT THE KODW 502-564-2380.

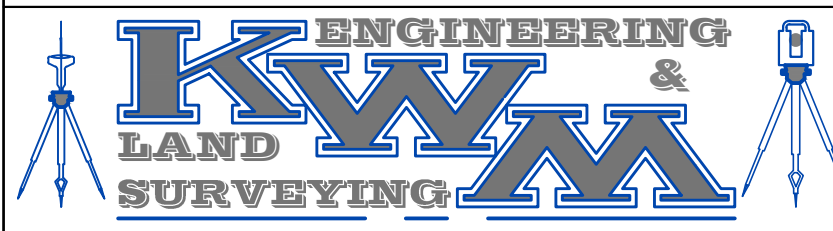


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SCALE: 1" = 10'	DATE:

SHEET: PROPOSED EROSION 0201

C3.01

FIVESTAR
#2275CRESTWOOD, KY