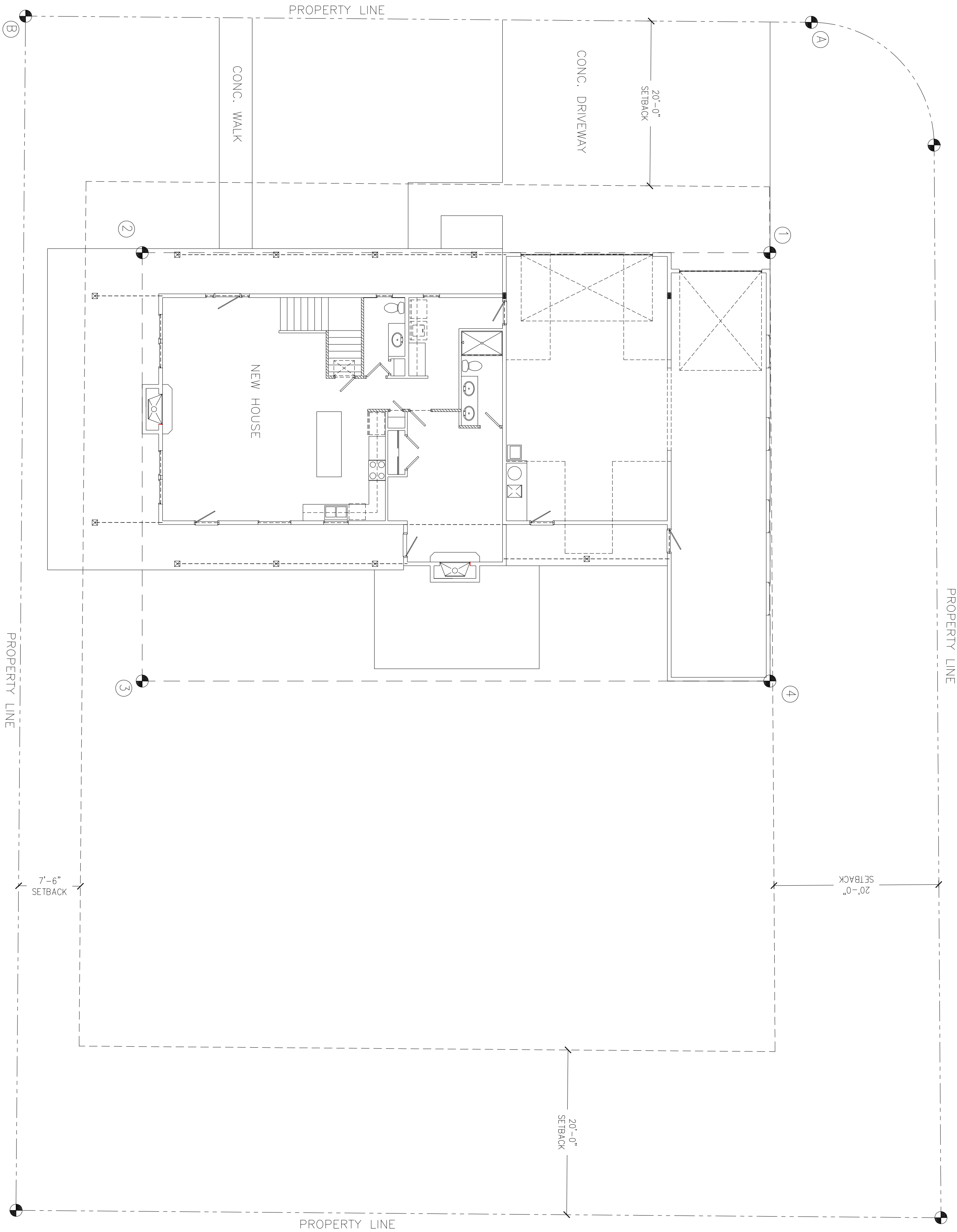


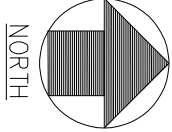
GENERAL NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES. PUBLIC ROADS AND STREETS TO BE IMPROVED OR UNIMPROVED. SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
3. CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIALLY NOTED.
4. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN SAFE AND CLEARLY MARKED VEHICULAR CIRCULATION ALONG ALL STREETS, AND PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED.

LAYOUT KEY		
	A	B
1	28'-5"	94'-9"
2	85'-10"	32'-0"
3	113'-1"	81'-11"
4	80'-1"	121'-1"



1 SITE PLAN
SCALE: 1/8" = 1'-0"



NORTH

LEGAL DESCRIPTION:

16,007.76 SQ. FT.
137 LOOMIS LN.
DONNELLY, VALLEY COUNTY, IDAHO

GENERAL CONDITIONS

IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO BE A COMPLETE SET OF DOCUMENTS FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER IN WRITING OF ANY ERRORS, OMISSIONS, OR UNUSABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS, WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS. CONSULTANT'S LIABILITY IS THE SAME.

PROJECT	DATE
HES-117	11-14-20

SPACE	SQ. FT.
1st FLOOR	1,255
2nd FLOOR	993
TOTAL	2,248
GARAGE	1,271
PORCH	907

REVISIONS	
01-22-21	
02-22-21	

SHIPPY RESIDENCE
137 LOOMIS LN.
VALLEY COUNTY DONNELLY, IDAHO

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SRHD
Snake River Home Designs
14202 Fern Platte Dr.
Caldwell, Idaho 83607
Tel: 208.870.3767

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REVISIONS	
01-22-21	
02-21-22	

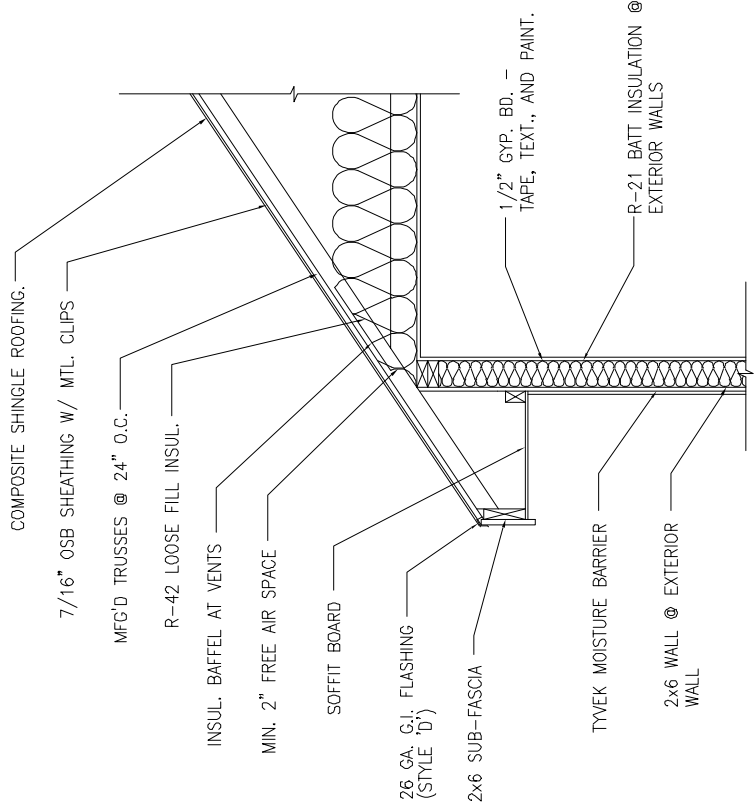
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2nd FLOOR	993
TOTAL	2,248
GARAGE	1271
PORCH	907

PROJECT	DATE
FES-17	11-14-20

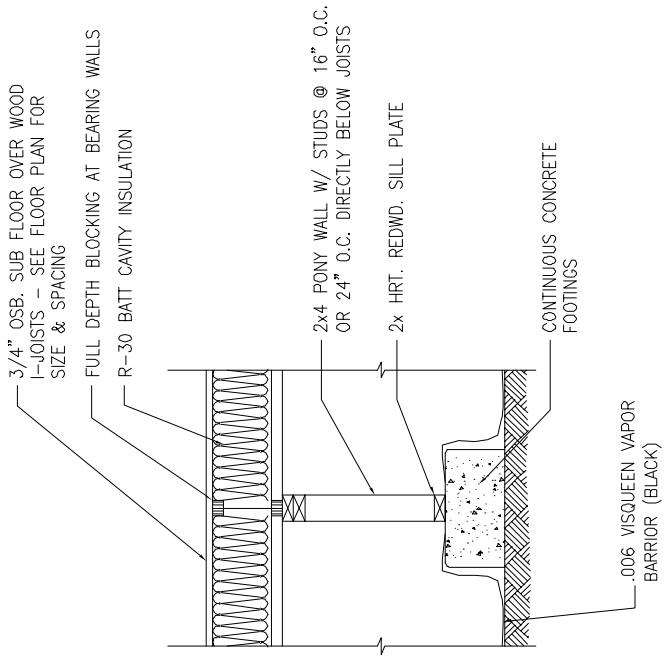
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GENERAL CONDITIONS

DRAWINGS & SPECIFICATIONS
THESE DRAWINGS AND SPECIFICATIONS TO BE USED IN CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY QUESTIONS AND MEANINGS IN THE WORKING DRAWINGS AND SPECIFICATIONS AND THE CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY BY WRITTEN MEANS. ANY OMISSIONS, UNSUITABLE DETAILS WHICH MAY CAUSE CONSTRUCTION PROBLEMS, THE DESIGNER'S LIABILITY REGARDING ERRORS AND/OR OMISSIONS WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS. CONSULTANT'S LIABILITY IS THE SAME.



2 TYP. WALL SECTION
SCALE: 1/2"=1'-0"

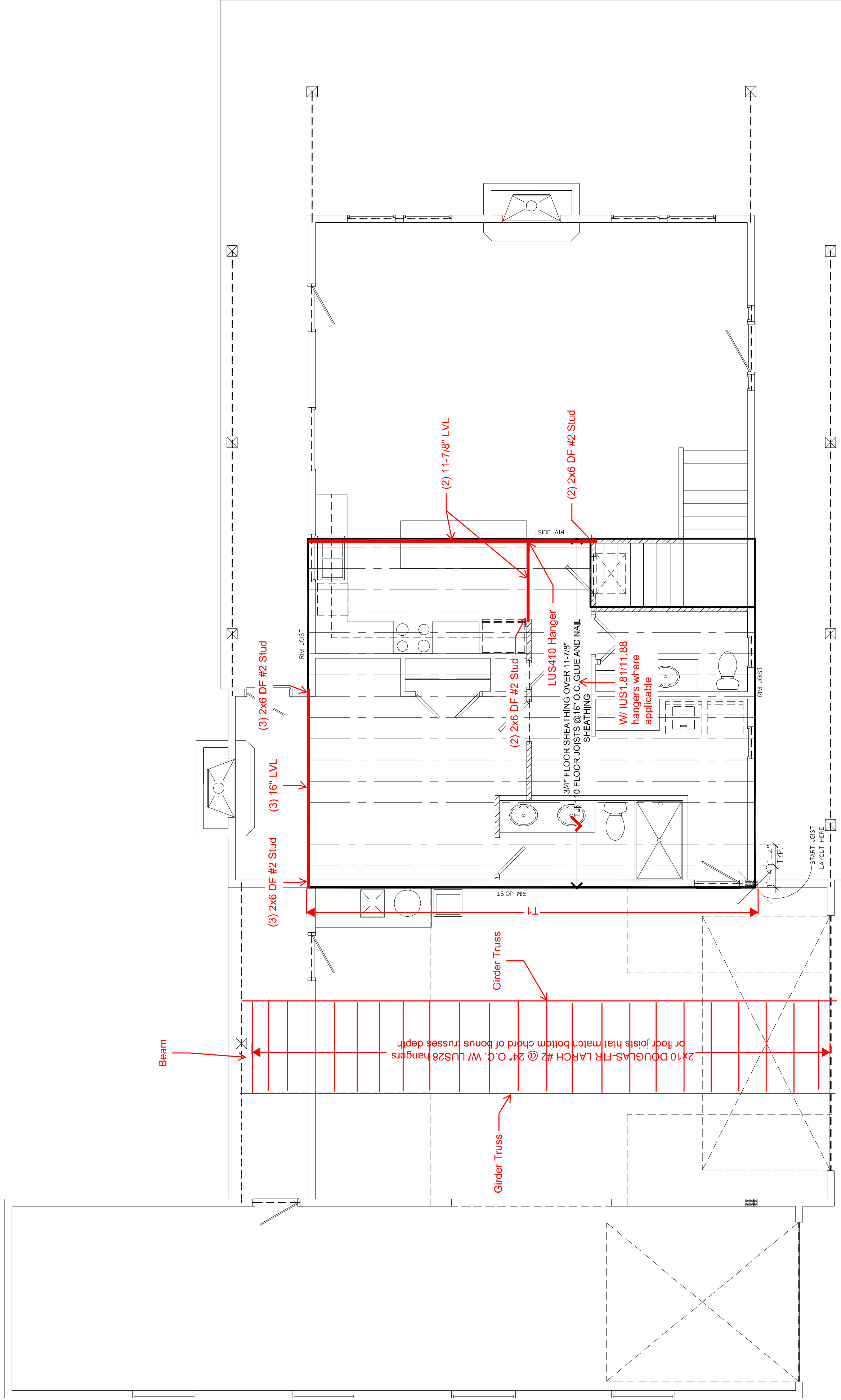


3 TYP. PONY WALL SECTION
SCALE: 1/2"=1'-0"

NOTES:

BEARING WALL

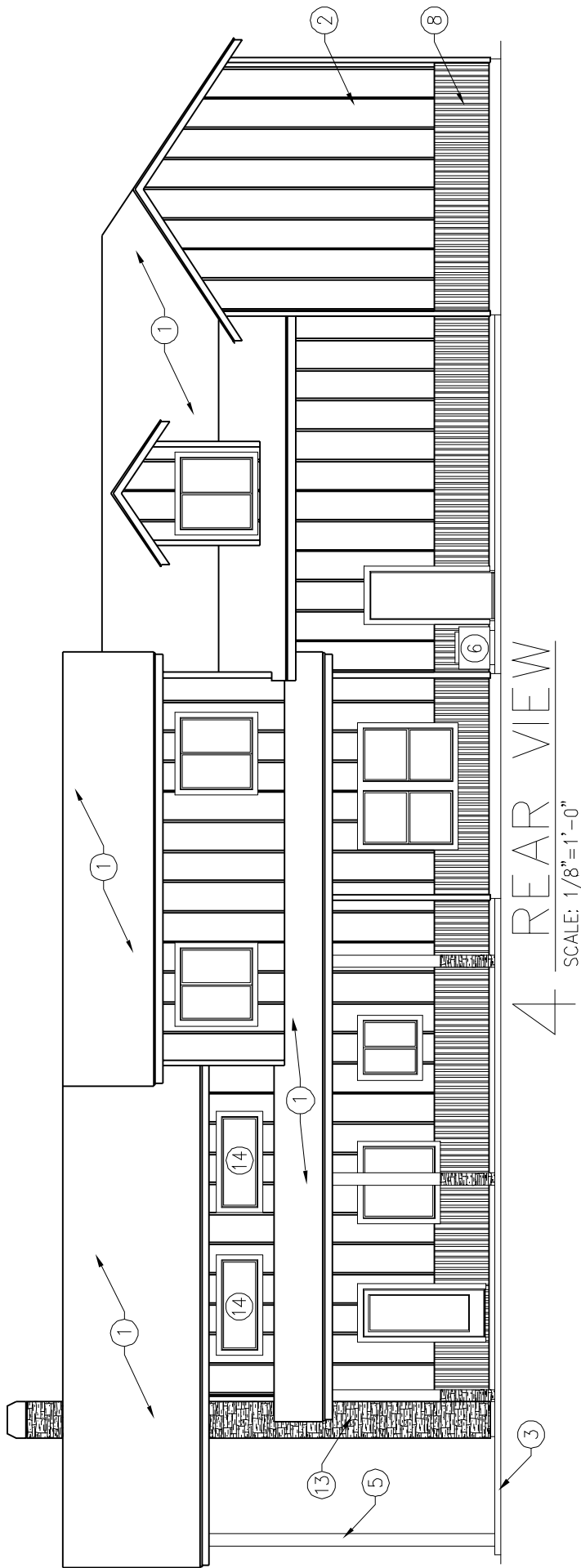
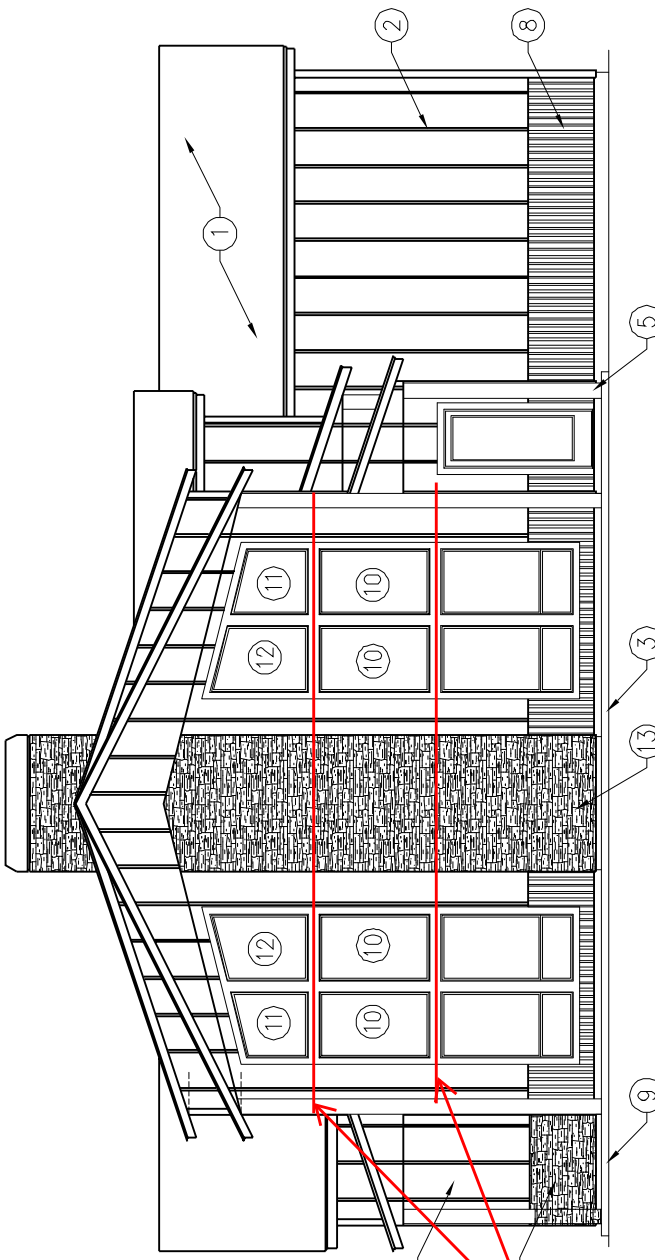
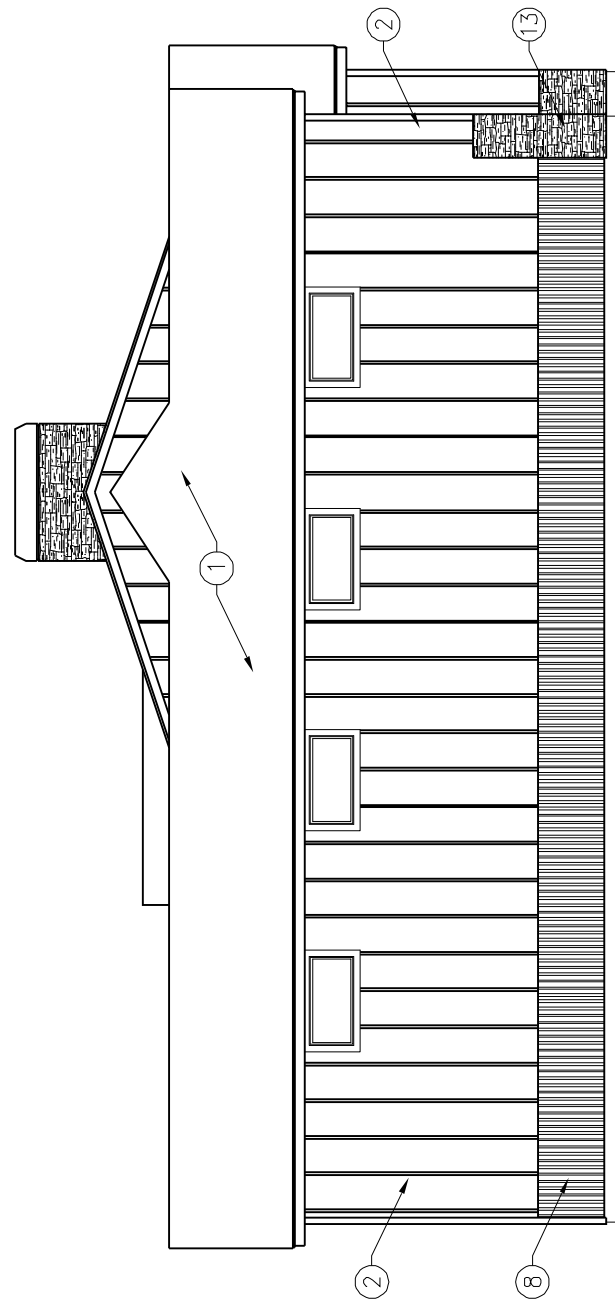
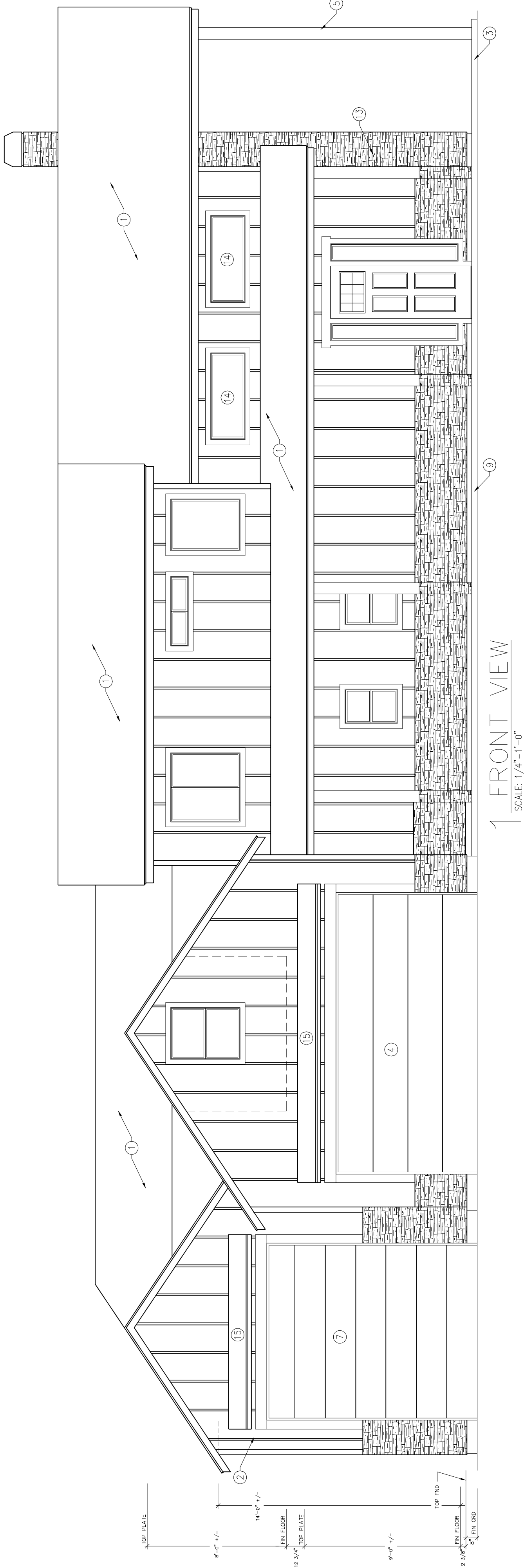
GABLE / DRAG TRUSS OR RIM KEY NOTES:	
T1	- ATTACH GABLE / DRAG TRUSS OR RIM TO TOP PLATE W/ 10d TOENAILS @ 6" O.C. EDGE NAIL SHEATHING ABOVE TO TRUSS OR RIM
T2	- ATTACH GABLE / DRAG TRUSS OR RIM TO TOP PLATE W/ 10d TOENAILS @ 4" O.C. EDGE NAIL SHEATHING ABOVE TO TRUSS OR RIM
T3	- ATTACH GABLE / DRAG TRUSS OR RIM TO TOP PLATE W/ 10d TOENAILS @ 3" O.C. EDGE NAIL SHEATHING ABOVE TO TRUSS OR RIM
T4	- ATTACH GABLE / DRAG TRUSS OR RIM TO TOP PLATE W/ A35 @ 12" O.C. EDGE NAIL SHEATHING ABOVE TO TRUSS OR RIM
T5	- ATTACH GABLE / DRAG TRUSS OR RIM TO TOP PLATE W/ HGA10KT @ 12" O.C. W/ 14dX7 SDS SCREWS INTO TOP PLATE. EDGE NAIL SHEATHING ABOVE TO TRUSS OR RIM



1 2nd FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

SHEET NOTES:

- 1 30 YR COMP. ROOFING OVER #15 BLDG. FELT
- 2 BOARD AND BATTEN SIDING
- 3 PATIO
- 4 16'x8' OVERHEAD DOOR
- 5 8x8 POST TYP.
- 6 AC LOCATION
- 7 10'x12' OVERHEAD DOOR
- 8 METAL WAINSCOT
- 9 PORCH
- 10 3050 FX
- 11 3026 FX
- 12 3035 FX
- 13 STONE VENEER
- 14 2050 FX HEADER @ 13'-5"
- 15 METAL ROOFING



SPACE	SQ. FT.
1st FLOOR	1,255
2nd FLOOR	993
TOTAL	2,248
GARAGE	1,271
PORCH	907

PROJECT	DATE
RES-117	11-14-20

Sheet	A5.0
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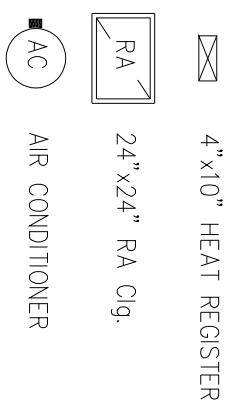
GENERAL CONDITIONS

DRAWINGS & SPECIFICATIONS TO BE USED IN CONJUNCTION WITH THE CONTRACT AGREEMENT. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO BE USED IN CONJUNCTION WITH THE CONTRACT AGREEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ANY QUESTIONS AND MEANINGS IN THE WORKING DRAWINGS AND SPECIFICATIONS AND THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING OF ANY ERRORS, OMISSIONS, OR INCONSISTENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSIONS, OR INCONSISTENCIES. THE DESIGNER'S LIABILITY REGARDING ERRORS AND/OR OMISSIONS WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS. CONSULTANT'S LIABILITY IS THE SAME.

MECHANICAL NOTES:

1. ALL FUTURE LOCATIONS ARE APPROXIMATE. CONFIRM WITH H.V.A.C. CONTRACTOR PRIOR TO INSTALLATION.
2. ACTUAL SIZING OF DUCTS, FURNACE, AND AIR CONDITIONER SHALL BE DETERMINED BY H.V.A.C. CONTRACTOR.
3. ACTUAL INSTALLATION TO VARY ACCORDING TO H.V.A.C. CONTRACTORS PREFERENCE.
4. DUCT DRAIN VENT TO OUTSIDE.

HVAC LEGEND



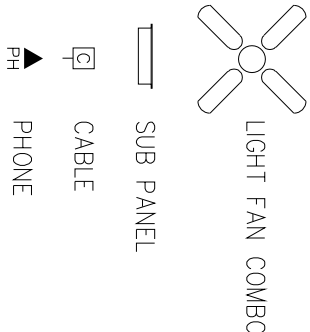
SHEET NOTE:

1. CONTRACTOR TO VERIFY ALL ELECTRICAL WITH OWNER PRIOR TO CONSTRUCTION.
2. ALL HEATER VENTS TO BE PLACED IN THE CEILING.

ELECTRICAL NOTES:

1. ALL FIXTURES SHOWN IN APPROXIMATE LOCATIONS. ELECTRICAL CONTRACTOR TO INSTALL ACCORDING TO N.E.C. AND LOCAL CODES.
2. SMOKE DETECTORS SHALL BE WIRED TO UNSWITCHED POWER CIRCUIT. CONTAIN BATTERY BACK-UP & EMIT RED SIGNAL WHEN BATTERIES ARE LOW. ALARM SHALL BE SOUNDING THROUGHOUT THE AREA IN WHICH THE DETECTOR IS LOCATED.
3. VENT ALL FANS TO OUTSIDE AIR W/ BACKDRAFT DAMPER.
4. ELECTRICAL WIRING TO BE COORDINATED W/ LOCAL POWER CO. BE GFCI.
5. ALL BATHROOM, KITCHEN, GARAGE AND OUTSIDE OUTLETS TO BE GFCI.
6. ALL PHONE JACKS, TV OUTLETS AND CEILING FAN LOCATIONS TO BE DETERMINED BY OWNER AT TIME OF CONSTRUCTION.
7. CONTRACTOR TO INSTALL ENERGY EFFICIENT LIGHT BULBS IN ALL LIGHT FIXTURES.
8. ALL SMOKE DETECTORS SHALL ALSO

ELECTRICAL LEGEND



REVISIONS	
01-22-21	

SPACE	SQ. FT.
1st FLOOR	1,199
2nd FLOOR	993
TOTAL	2,192
GARAGE	1371
PORCH	963

PROJECT	DATE
RES-117	11-14-20

Sheet	
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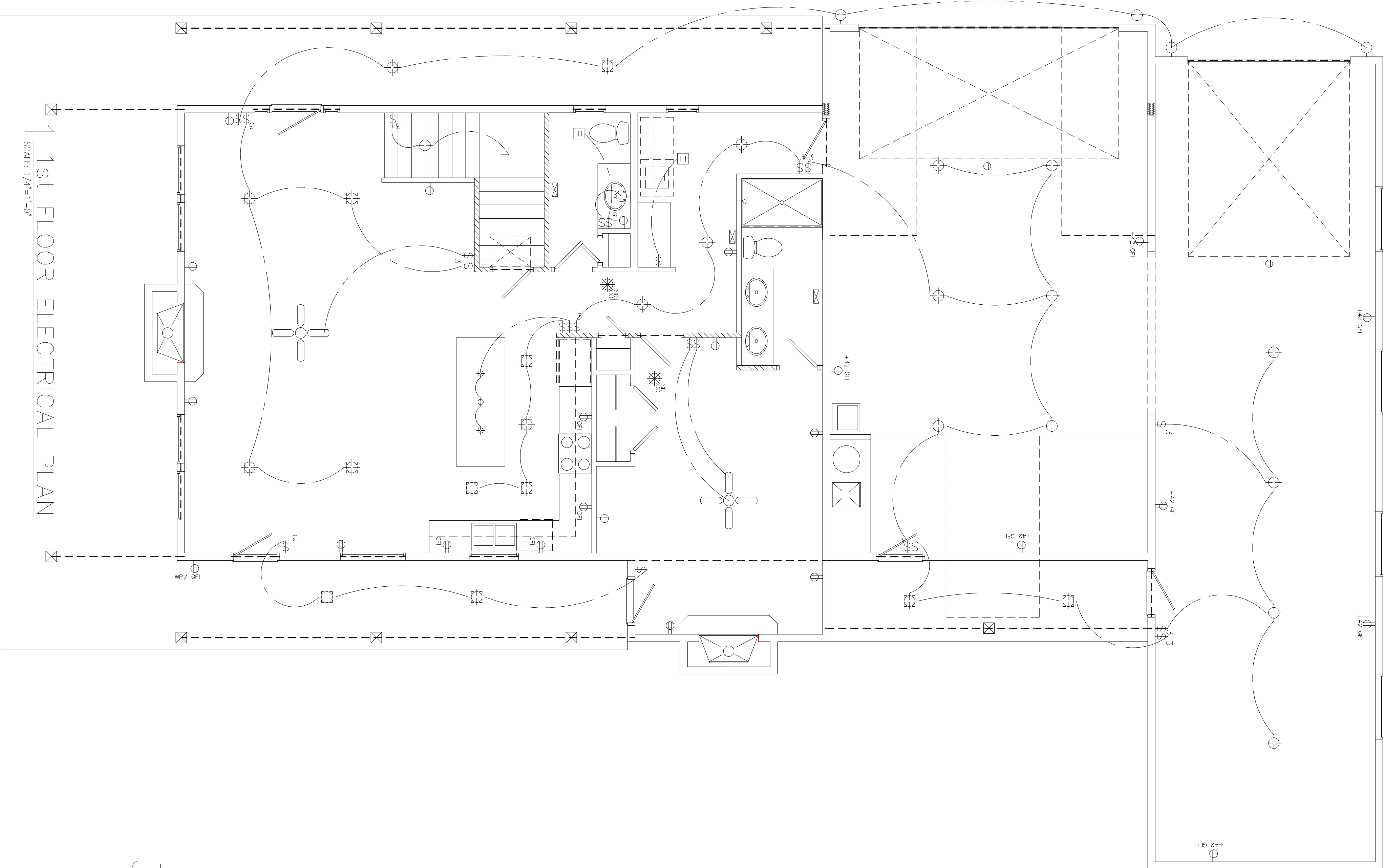
GENERAL CONDITIONS

DESIGNS & SPECIFICATIONS TO BE USED IN THE EVENT OF DISAGREEMENTS AND SPECIFICATIONS TO BE USED IN THE EVENT OF DISAGREEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY QUESTIONS AND MEANINGS IN THE WORKING DRAWINGS AND SPECIFICATIONS AND THE CONTRACTOR SHALL NOTIFY THE DESIGNERS IMMEDIATELY BY WRITTEN NOTICE OF ANY DISCREPANCIES, OMISSIONS, OR CONFLICTS. THE DESIGNERS LIABILITY REGARDING ERRORS AND/OR OMISSIONS WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS. CONSULTANTS LIABILITY IS THE SAME.

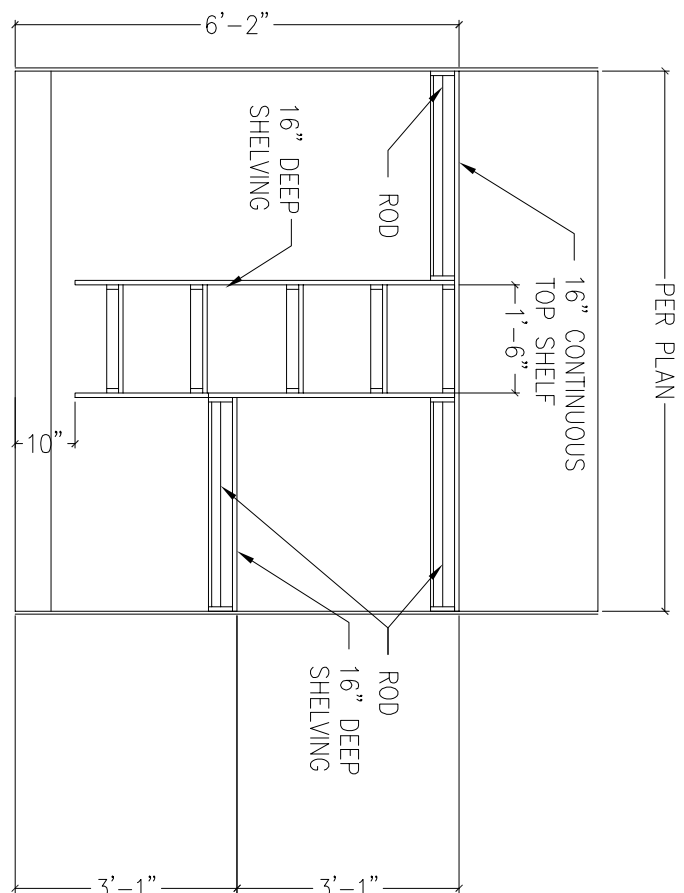
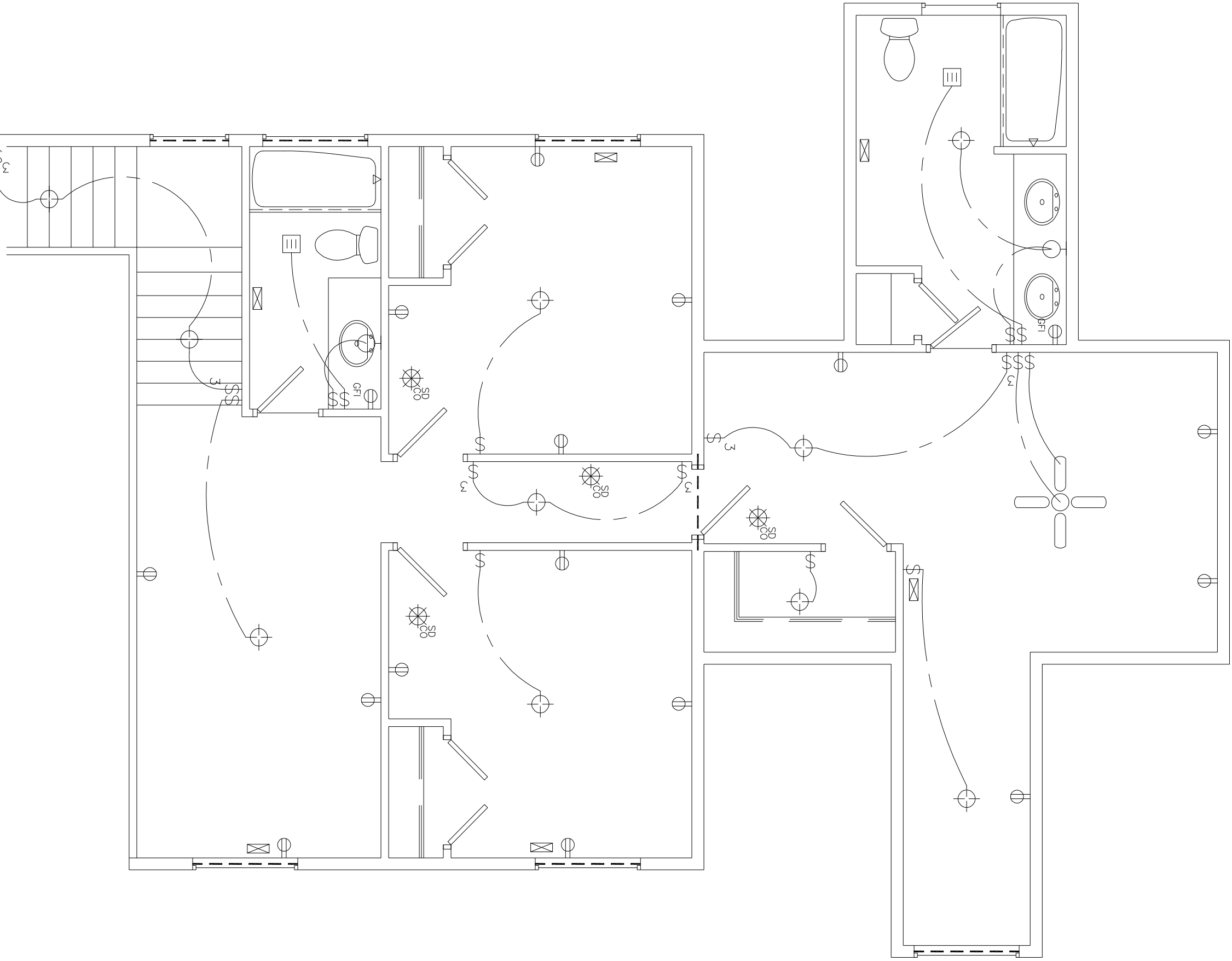
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14202 Peart Pointe Dr.
Chubbuck, Idaho 83407
Tel: 208.870.3767

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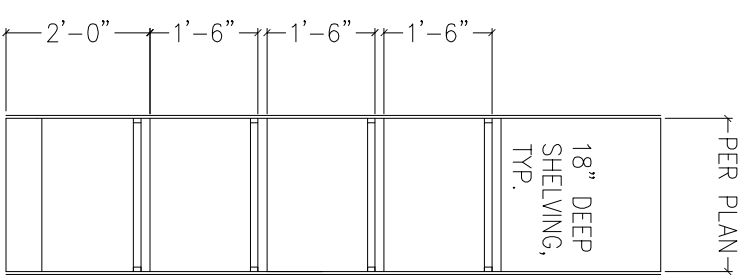
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2 2nd FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



3 BEDRM CLOSET DETAIL
SCALE: 3/8"=1'-0"



4 LINEN CLOSET DETAIL
SCALE: 3/8"=1'-0"