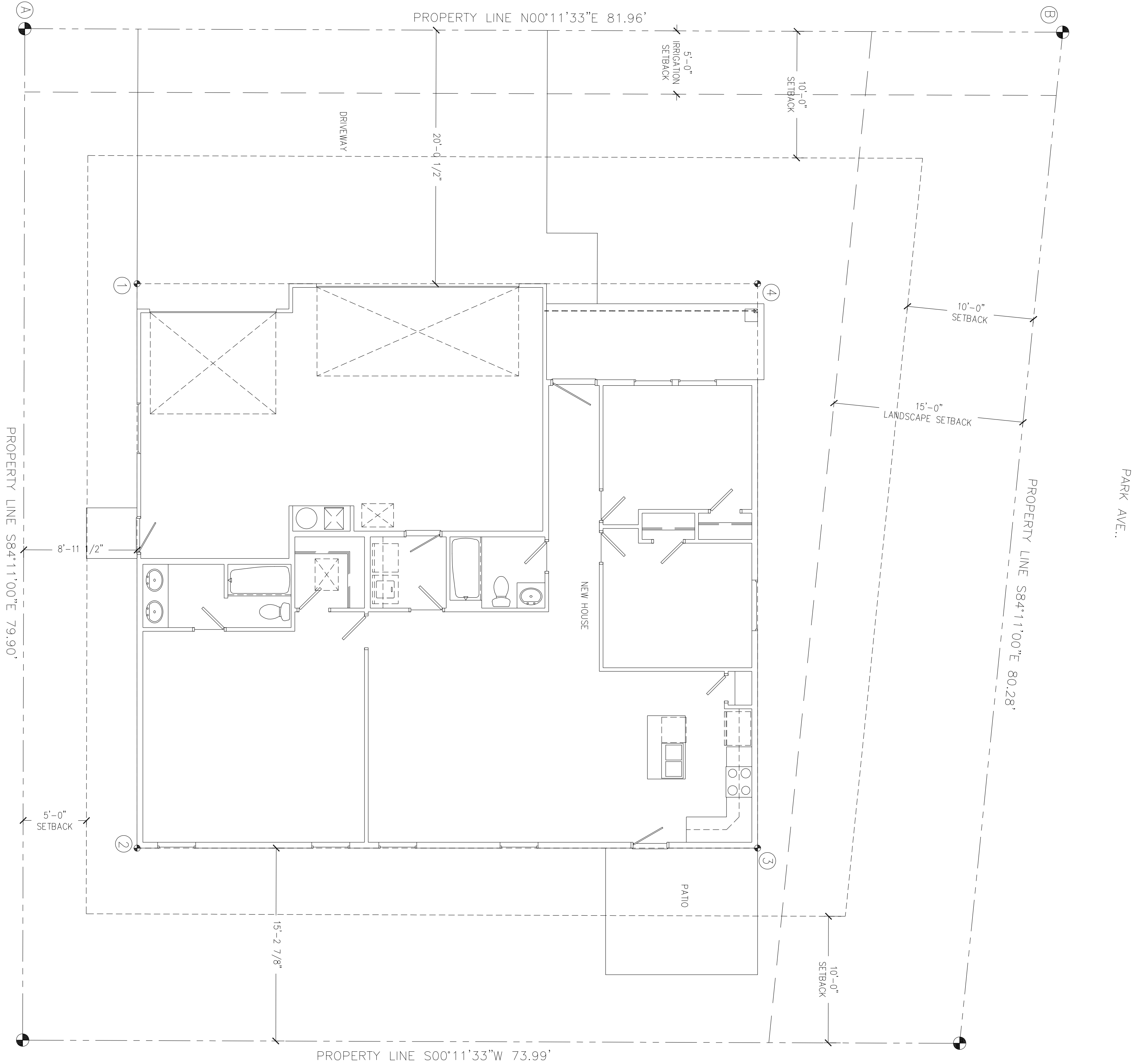


GENERAL NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES. PUBLIC ROADS AND STREETS - IMPROVED OR UNIMPROVED, SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
3. CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIALLY NOTED.
4. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN SAFE AND CLEARLY MARKED VEHICULAR CIRCULATION ALONG ALL STREETS, AND PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED.

LAYOUT KEY		
	A	B
1	22'-0"	75'-9"
2	65'-4"	97'-5"
3	86'-10"	68'-9"
4	61'-3"	31'-2"



1" SITE PLAN
SCALE: 3/16" = 1'-0"

LEGAL DESCRIPTION:

LOT 1 BLOCK 1
SAPPHIRE RANCH SUBDIVISION
KUNA, ADA COUNTY, IDAHO



14202 Fern Platte Dr.
Caldwell, Idaho 83607
Tel: 208 870.3767

THE MCCALL
LOT 1 BLOCK 1 SAPPHIRE RANCH SUBDIVISION
ADA COUNTY KUNA, IDAHO

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REVISIONS

NO.	DATE	DESCRIPTION
10-28-21		
11-7-21		

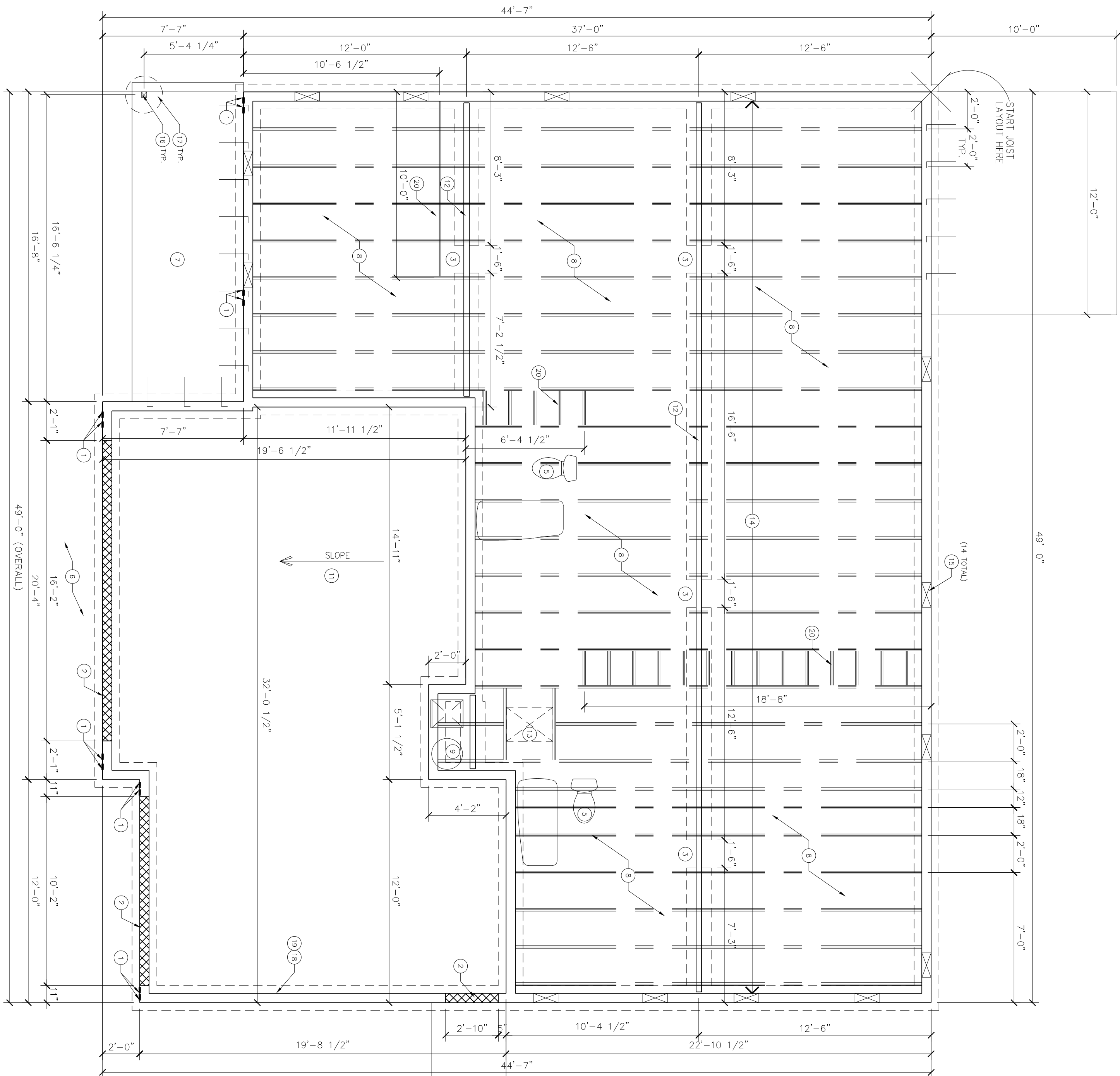
SPACE	SO. FT.
1st FLOOR	1,403
TOTAL	1,403
GARAGE	394
PORCH	103

PROJECT	DATE
HES-119	11-03-20

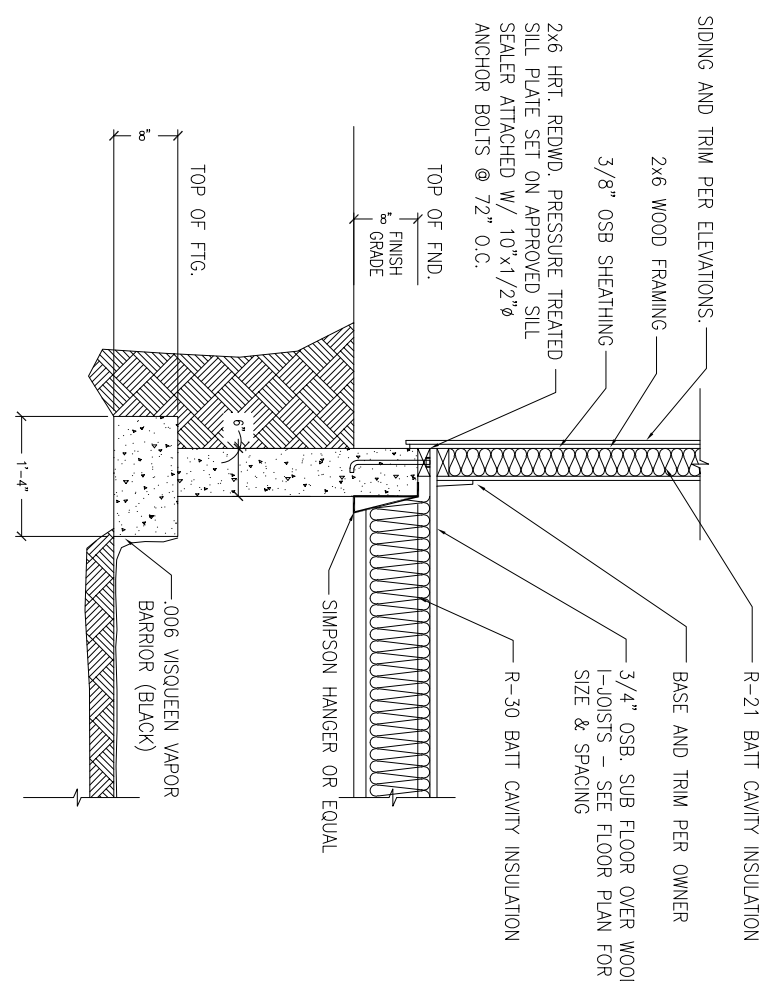
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GENERAL CONDITIONS

IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO BE COORDINATED FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES INFORMATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING OF ANY ERRORS, OMISSIONS, OR UNUSABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES INFORMATION PRIOR TO CONSTRUCTION. CONSULTANT'S LIABILITY IS THE SAME.



2 FOUNDATION SECTION



SHEET NOTES:

1. METAL PLATE HOLLOW STRAP (SMPSON STRIP) 4" W/ ONE #4 REBAR IN SHEAR CONE OF STRAP. SEE TOE DETAIL FOR STRAP PLAN. SEE FLOOR PLAN FOR EXACT LOCATION OF WINDOWS AND DOORS.
2. FOOTING AND FOUNDATION WALL TO RUN CONTINUOUS UNDER GARAGE DOORS, DEPRESS FOR SLAB TO RUN ABOVE W/ (1) NO. 4 BAR ONLY.
3. 18" GRAWL WAY ACCESS - RUN TOP PLATE CONTINUOUS
4. NOT USED
5. TOILET LOCATION - SEE FLOOR PLAN
6. CONCRETE GRENWAY - SEE SITE PLAN
7. PLATO / POPCO CONSTRUCTION:
4" CONCRETE SLAB OVER 4" GRAVEL OVER COMPACTED EARTH. SLOPE AWAY FROM FOUNDATION MIN. 1/8" O.C. GUTIE AND NAIL SHEATHING MIN. 1/8" PCL FOOT. IE TO STEW WALL W/ #4 DOWELS @ 24" O.C.
8. 106 ML VAPOR BARRIER @ GRAWL SPACE (GLAXY)
9. WATER HEATER LOCATION
10. NOT USED
11. GARAGE CONCRETE SLAB CONSTRUCTION:
4" CONCRETE SLAB OVER 4" GRAVEL OVER COMPACTED EARTH. SLOPE MIN. 2" TO DOOR
12. PONY WALL - SEE DETAILS
13. 22"x30" CRAM. SPACE ACCESS
14. 3/4" FLOOR SHEATHING OVER 9" TJI FLOOR JOISTS @ 24" O.C. GUTIE AND NAIL SHEATHING MIN. 1/8" PCL FOOT. IE TO STEW WALL W/ #4 DOWELS @ 24" O.C.
15. 16"x8" SCREENED FOUNDATION VENT
16. SIMPSON POST BASE, OR EQUAL
17. 24" @ 24" DEEP CONCRETE FOOTING
18. ALL FOUNDATIONS, FOOTINGS, AND BALKONY/RETAINMENT WALLS SHALL BE MIN. 18" DEPTH OF 24" BELOW FINISH GRADE. ELEVATION FOR FROST PROTECTION.
19. 6"x24" CONCRETE STEW WALL OVER 16"x8" CONCRETE FOOTING.
20. BLOCKING AS REQ. UNDER WALL.
- FOUNDATION NOTES:
1. ASSUMED SOIL BEARING PRESSURE OF 1500 P.S.F.
2. ALL CONC. TO BEAR ON FIRM, NATURAL, UNDISTURBED SOIL.
3. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE: W/ALLS NOT EXPOSED TO WEATHER 3000 PSI. W/ALLS EXPOSED TO WEATHER 3500 PSI. RETAINMENT WALLS 3500 PSI.
4. EXTEND FOOTINGS BELOW FROST LINE (24" MIN. INTO NATURAL FROST PROTECTION).
5. THE GARAGE AWAY FROM THE FOUNDATION WALLS TO FALL A MIN. OF 6" WITHIN THE FIRST 10 FEET.
6. 1/2" DIA. X 10" ANCHOR BOLTS TO BE USED @ 6'-0" O.C. & 7" MIN. @ 27" O.C. W/ALLS (CONC STEW WALLS).
7. 18" MIN. GRAWL SPACE W/ 6" MIN. BLACK VAPOR BARRIER THRU-OUT LVP JOISTS 12" MIN. EXTEND UP STEW WALL & STABLE TO MID SILL.
8. SUGGESTED REBAR PLACEMENT PLACEMENT TO BE: 2-#4 HORIZ. REBAR IN FOOTING AND VERTICAL. #4 REBAR @ 6" O.C. IN ALL TO FOLLOW LOCAL REQUIREMENTS.
9. SUGGESTED REBAR PLACEMENT PLACEMENT TO BE: 2-#4 HORIZ. REBAR IN FOOTING AND 2-#4 HORIZ. REBAR IN STEW WALL EQUALLY SPACED @ 6" O.C. IN ALL. EXTEND CONC. W/ALLS TO TOP OF STEW WALLS.
10. PRESENT CONCRETE WALLS TO FOLLOW LOCAL REQUIREMENTS AND PER APPROVED STRUCTURAL ENGINEERED DRAWINGS.
11. ALL CONCRETE PORCHES TO BE DOWELED TO EXTERIOR STEW WALL WITH #4 REBAR @ 2' O.C.
12. CONTRAST TO VERIFY ALL MEASUREMENTS AND SQUARENESS OF CORNERS PRIOR TO FORMING AND AFTER COMPLETION OF FINAL WORK. ALL FINISHED WORK (TOP OF STEW WALLS, TOP OF FOOTINGS, SLABS, PORCHES) TO BE FINISHED AS LEVEL AS POSSIBLE.
13. ADD SIMPSON STRAP/22" DEEP STRAP TO ALL GARAGE WING WALLS AND ANY FOUNDATION WALL LESS THAN 2' LONG, IF REQ. PER LOCAL BUILDING DEPT.

REVISIONS	
10-30-21	
11-09-21	

SPACE	SQ. FT.
1st FLOOR	1,403
TOTAL	1,403
GARAGE	394
PORCH	103

PROJECT	DATE
RES-102	07-12-20

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GENERAL CONDITIONS

DRAWINGS & SPECIFICATIONS
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**THE MCCALL
LOT 1 BLOCK 1 SAPPHIRE RANCH SUBDIVISION
ADA COUNTY KUNA, IDAHO**

SRHD
Snake River Horse Designs
14202 Pearl Pointe Dr.
Caldwell, Idaho 83607
Tel. 208 470.3767

SHEET NOTES:

- ① 22"x36" ATTIC SPACE ACCESS. COORDINATE WITH TRUSS LAYOUT.
② 22"x36" CRAWL SPACE ACCESS. COORDINATE WITH JOIST LAYOUT.
③ CONTRACTOR TO VERIFY CLOSET LAYOUT W/HOME OWNER PRIOR TO CONSTRUCTION.



142021 Peppertown Rd.
Caldwell, Idaho 83607
Tel: 208.870.3767

BRAING NOTES

- [H] BRACING CONDITIONS REGARDING FOUNDATIONS AS NOTED ON FOUNDATION PLAN.
FOUNDATION BOLTS: MIN. (3) BOLTS 1/2" x 18" -BOLTED 7".
SHEATHING: 7/16" APA RATED (24/0)(EXTERIOR) ONE SIDE.
MALING:
8d @ 2" o.c. ALL PANEL EDGES
8d @ 12" o.c. IN FIELD
(BLOCK AND NAIL ALL PANEL EDGES)
FOUNDATION REINFORCEMENT: 4" DIA. REBAR @ 12" MIN. OVERLAP AT FRONT FACE, 30" MIN. RETURNS AT SIDE FACES.

- [SP] TYPICAL BRACING CONDITION.
PANEL AT EACH END AND NOT MORE THAN 25' o.c. 1/2" APA RATED SHEATHING (24/0)(EXTERIOR) ONE SIDE ON MIN. 30% OF WALL LENGTH.
MALING:
8d @ 6" o.c. ALL PANEL EDGES
8d @ 12" o.c. IN FIELD
(BLOCK ALL PANEL EDGES)

FLOOR PLAN NOTES:

1. 5/8" TYPE "X" GYPSUM BOARD TO BE INSTALLED ON GARAGE WALLS BETWEEN HOUSE AND GARAGE.
2. 1/2" GYPSUM BOARD TO BE INSTALLED ON INSIDE WALLS OF HOUSE.
3. ALL EXTERIOR STUDS TO BE 2 x 6 #2 OR BETTER @ 16" O.C.
4. ALL INTERIOR STUDS TO BE 2 x 4 #2 OR BETTER UNLESS OTHERWISE NOTED.
5. ALL METAL CONNECTIONS TO BE SIMPSON CO. OR BETTER.
6. VENT FANS, AND DRYER TO OUTSIDE AIR.
7. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK.
8. STANDARD HEADER TO BE 3 1/2" x 7 1/2" FRP WITH WOOD FILLER AT BOTTOM OF HEADER. INSULATE VOID.
9. ALL RESCUE WINDOWS FROM SLEEPING AREAS MUST MEET FOLLOWING REQUIREMENTS:
1. SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FT.
2. MINIMUM HEIGHT OF 20".
3. MINIMUM WIDTH OF 20".
4. FINISHED SILL HEIGHT OF NOT MORE THAN 44".

10. ALL WINDOWS TO HAVE BREATHER TUBES INSTALLED.
11. CRAWL SPACE ACCESS TO BE MINIMUM OF 18" x 24".
12. EXTERIOR DIMENSIONS ARE TO FACE OF STUD WALL. INTERIOR DIMENSIONS ARE TO FACE OF STUD WALL.
13. ALL FURNACE SWITCHES, PILOTS, AND BURNERS TO BE MINIMUM 18" ABOVE FINISHED FLOOR.
14. 18" WIDE SUPER SHELF 56a. PER LINEN CLOSET.
15. HEARTH EXTENSION FOR WOOD BURNING FIRE PLACES: HEARTH EXTENSION (each side of opening): 12" min. HEARTH EXTENSION (front of opening): 20" min.

PROSCRIPTIVE ENERGY COMPLIANCE:

2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE IECC.

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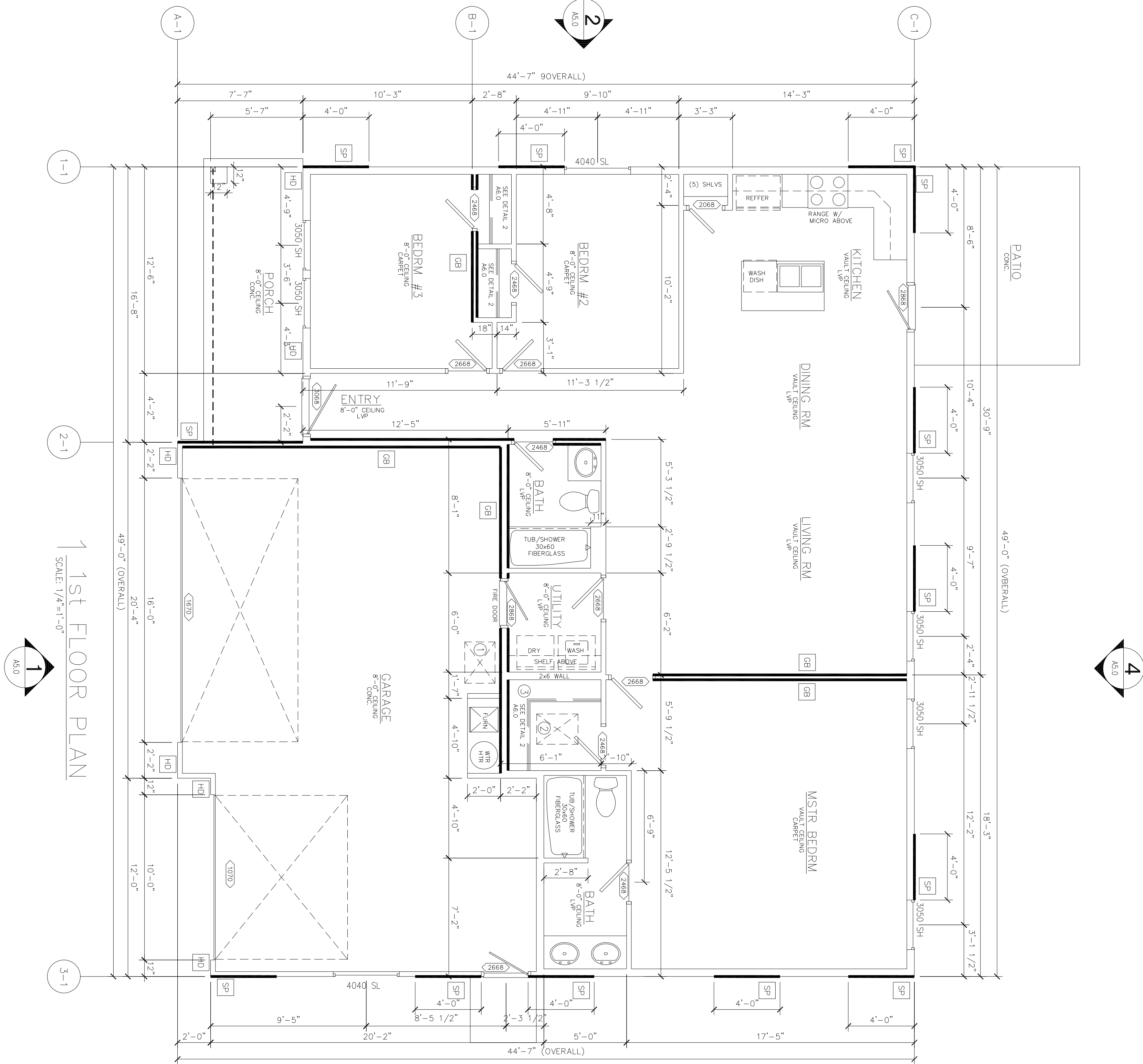
PROJECT	DATE
RES-120	11-03-20

SPACE	SQ. FT.
1st FLOOR	1,403
TOTAL	1,403
GARAGE	639
PORCH	103

REVISIONS	
10-28-21	

THE MCCALL
LOT 1 BLOCK 1 SAPPHIRE RANCH SUBDIVISION
ADA COUNTY KUNA, IDAHO

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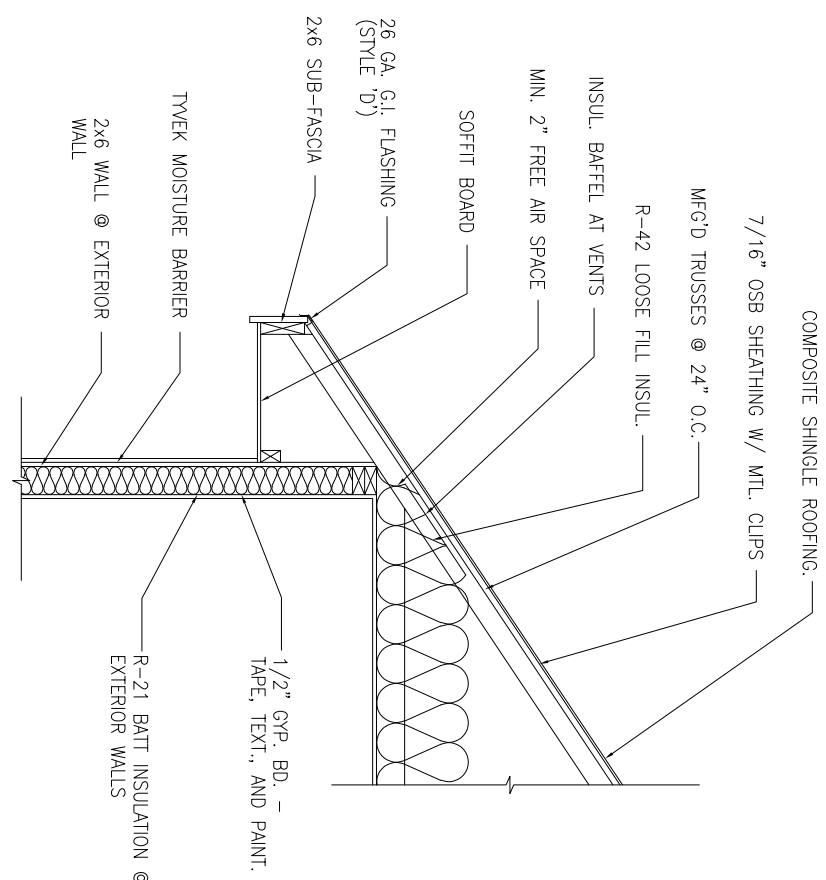


1 1st FLOOR PLAN

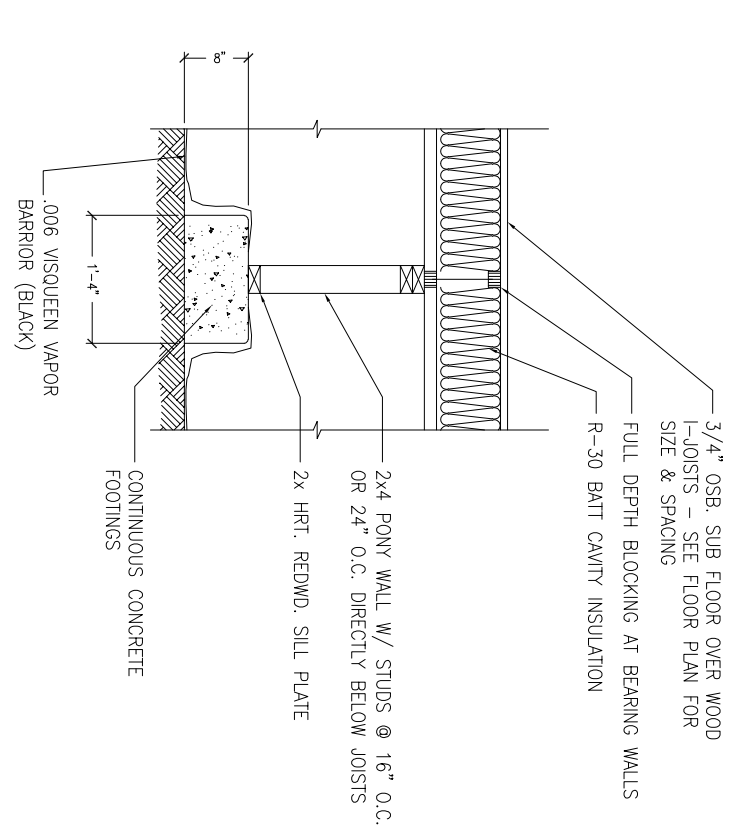
SCALE: 1/4"=1'-0"

DRAWINGS & SPECIFICATIONS TO BE USED IN CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY QUESTIONS AND MEANINGS IN THE WORKING DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES. THE DESIGNER'S LIABILITY REGARDING ERRORS AND/OR OMISSIONS WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS. CONSULTANT'S LIABILITY IS THE SAME.

GENERAL CONDITIONS



2 TYP. WALL SECTION
SCALE: 1/2"=1'-0"

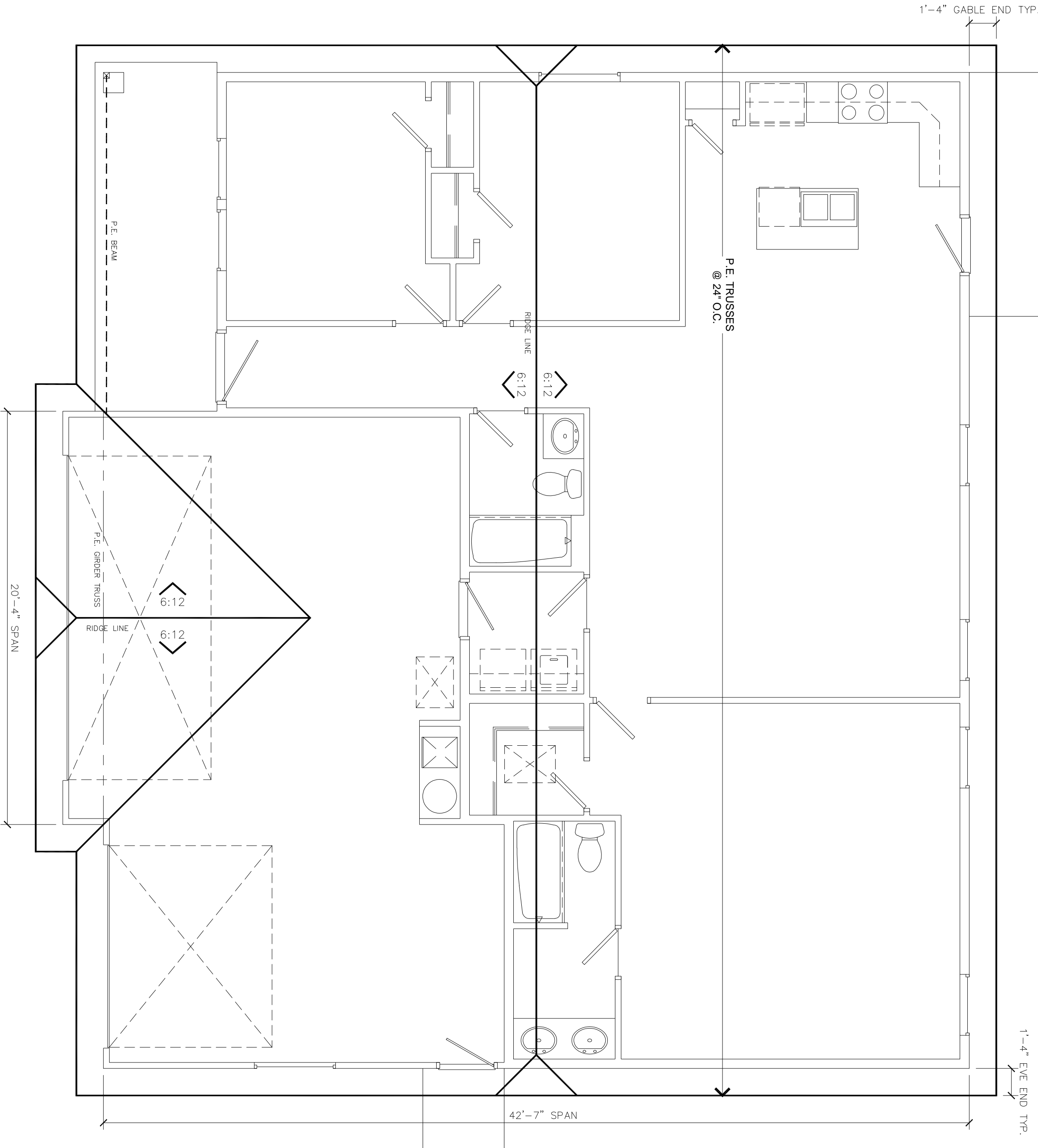


3 TYP. PONY WALL SECTION
SCALE: 1/2"=1'-0"

ROOF NOTES:

1. TRUSS LAYOUT AND DESIGN TO BE SPECIFIED BY LOCAL TRUSS COMPANY. BUILDING CONTRACTOR TO VERIFY ALL TRUSS LAYOUTS WITH THE TRUSS COMPANY BEFORE ORDERING. ALL TRUSS PROBLEMS TO BE CORRECTED BY TRUSS COMPANY AT OWNERS RISK.
2. ALL ROOF AND SOFFIT VENTS TO BE INSTALLED ACCORDING TO U.B.C. AND APPLICABLE LOCAL CODES.
3. ALL TOTAL SPANS MAY VARY DEPENDING UPON GREYER TRUSS PLACEMENT (IF REQUIRED).
4. ALL WINDOW HEADERS, GARAGE DOOR HEADER AND MICRO-LAM BEAMS UNDER ROOF LOAD TO BE SPECIFIED BY LOCAL TRUSS CO.
5. TRUSS COMPANY TO CONFIRM DESIGN ROOF SNOW LOAD SHOWN WITH COUNTY REQUIREMENTS OF THIS HOUSE LOCATION.

1 ROOF PLAN
SCALE: 1/4"=1'-0"



DESIGN CRITERIA	
LOCATION: (CITY) KUNA	(COUNTY) ADA
• DESIGN ROOF SNOW LOAD: 30 lbs/sq.ft.	
• DESIGN WIND SPEED: 90 mph	
• DESIGN WIND EXPOSURE TYPE: C	
• DESIGN EARTH QUAKE ZONE: C	
• FROST DEPTH: 24"	

GENERAL CONDITIONS

DRAWINGS & SPECIFICATIONS
THIS INSTRUMENT OF ARCHITECTURAL DRAWINGS AND SPECIFICATIONS TO BE GUIDELINES FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY QUESTIONS AND MEANINGS IN THE WORKING DRAWINGS AND SPECIFICATIONS AND THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY BY WRITTEN MEANS OF ANY UNUSABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS. THE DESIGNERS LIABILITY REGARDING ERRORS AND/OR OMISSIONS WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS. CONSULTANTS LIABILITY IS THE SAME.

Sheet
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PROJECT	DATE
RES-102	07-12-20

SPACE	SQ. FT.
1st FLOOR	1403
TOTAL	1,403
GARAGE	639
PORCH	103

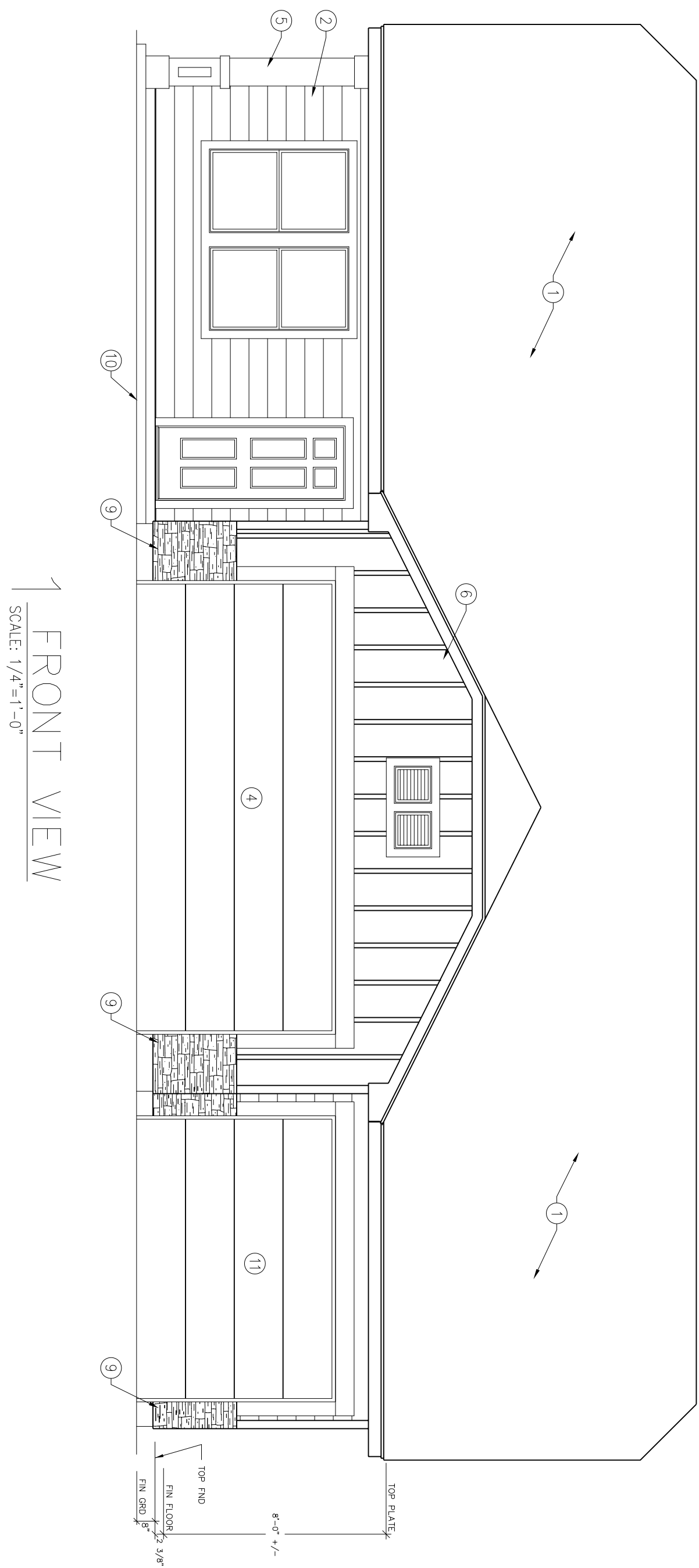
REVISIONS	
10-30-21	

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SRHD
Snake River Home Designs
14202 Peart Pointe Dr.
Chubbuck, Idaho 83407
Tel: 208.870.3767

SHEET NOTES:

- 1) 30 yr comp. roofing over #15 blud. felt
- 2) COTTAGE LAP SIDING
- 3) PATIO
- 4) 16 x 17' OVERHEAD DOOR
- 5) COLUMN
- 6) BOARD AND BATT
- 7) AC LOCATION
- 8) 48"x48" CONC. STOOP
- 9) STONE VENER
- 10) PORCH
- 11) 10 x 17' OVERHEAD DOOR

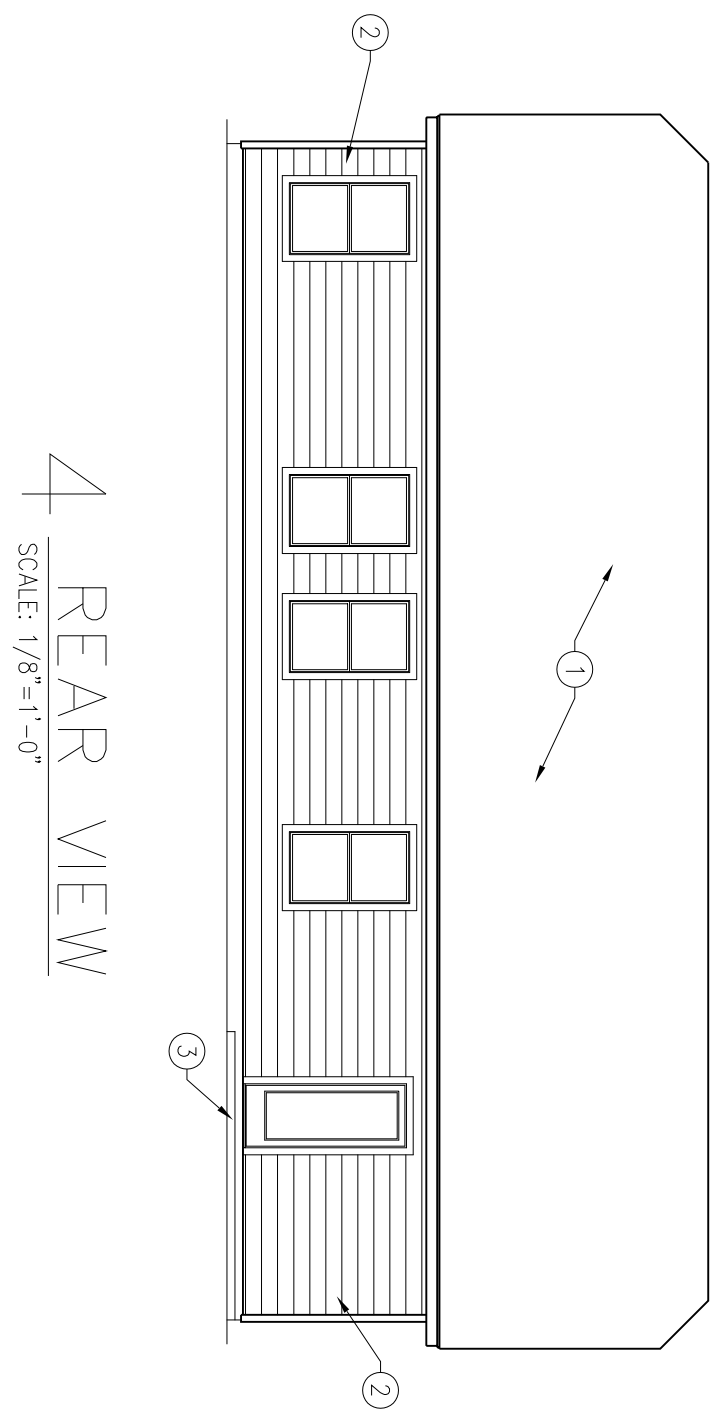


1 FRONT VIEW
SCALE: 1/4"=1'-0"



2 LEFT VIEW
SCALE: 1/8"=1'-0"

3 RIGHT VIEW
SCALE: 1/8"=1'-0"



4 REAR VIEW
SCALE: 1/8"=1'-0"

SPACE	SO. FT.
1st FLOOR	1,403
TOTAL	1,403
GARAGE	639
PORCH	103

PROJECT	DATE
RES-120	11-03-20

Sheet
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REVISIONS	
10-30-31	

THE MCCALL
LOT 1 BLOCK 1 SAPPHIRE RANCH SUBDIVISION
ADA COUNTY KUNA, IDAHO

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GENERAL CONDITIONS

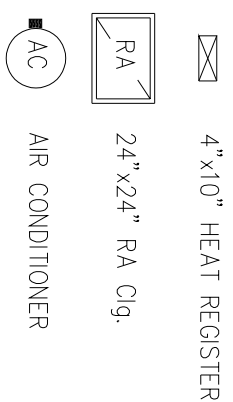
DRAWINGS & SPECIFICATIONS

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MECHANICAL NOTES:

1. ALL FUTURE LOCATIONS ARE APPROXIMATE. CONFIRM WITH H.V.A.C. CONTRACTOR PRIOR TO INSTALLATION.
2. ACTUAL SIZING OF DUCTS, FURNACE, AND AIR HANDLING UNIT IS REQUIRED. PERFORMANCE GUARANTEED BY H.V.A.C. CONTRACTOR.
3. ACTUAL INSTALLATION TO VARY ACCORDING TO H.V.A.C. CONTRACTORS PREFERENCE.
4. DUCT DRAIN VENT TO OUTSIDE.

HVAC LEGEND

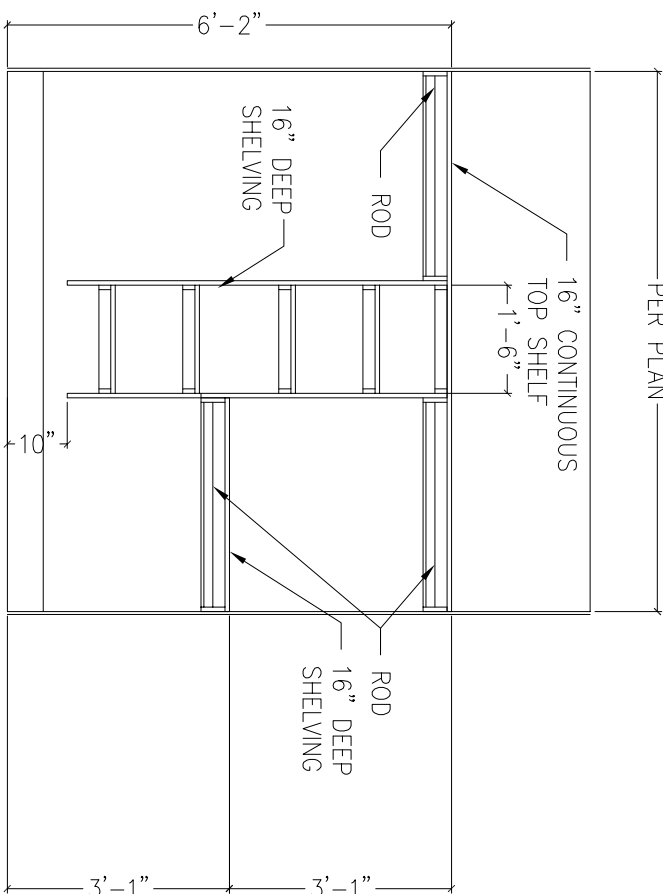


SHEET NOTE:

1. CONTRACTOR TO VERIFY ALL ELECTRICAL WITH OWNER PRIOR TO CONSTRUCTION.
2. ALL HEATER VENTS TO BE PLACED IN THE CEILING.

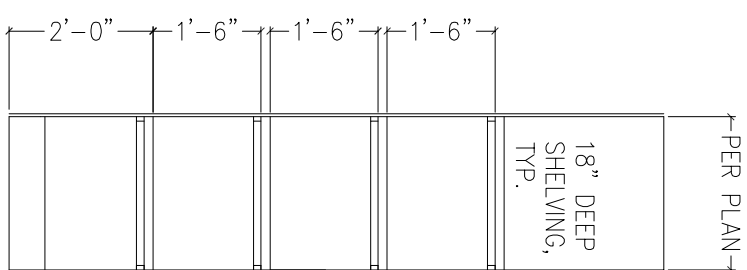
2 BEDRM CLOSET DETAIL

SCALE: 3/8"=1'-0"



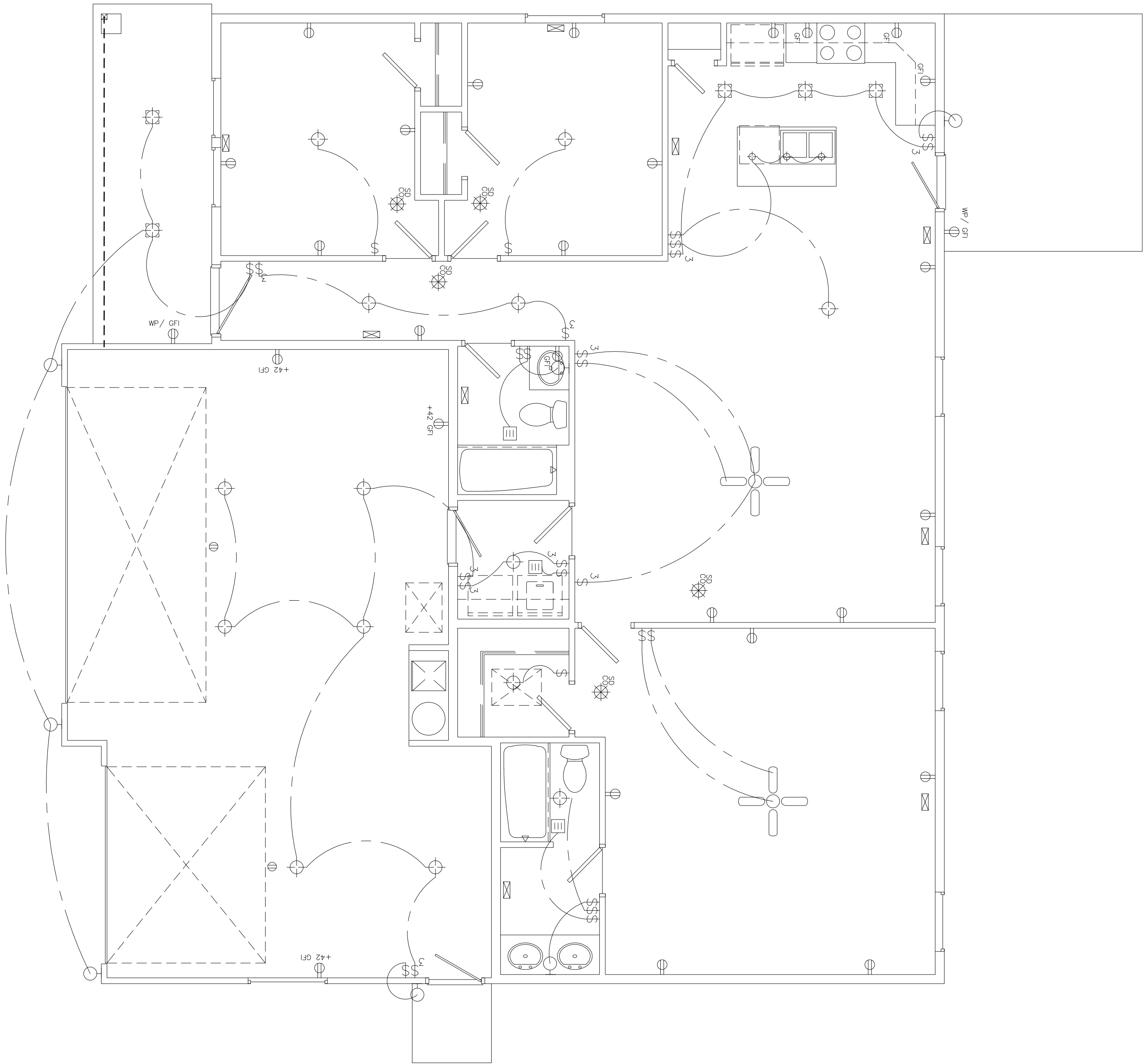
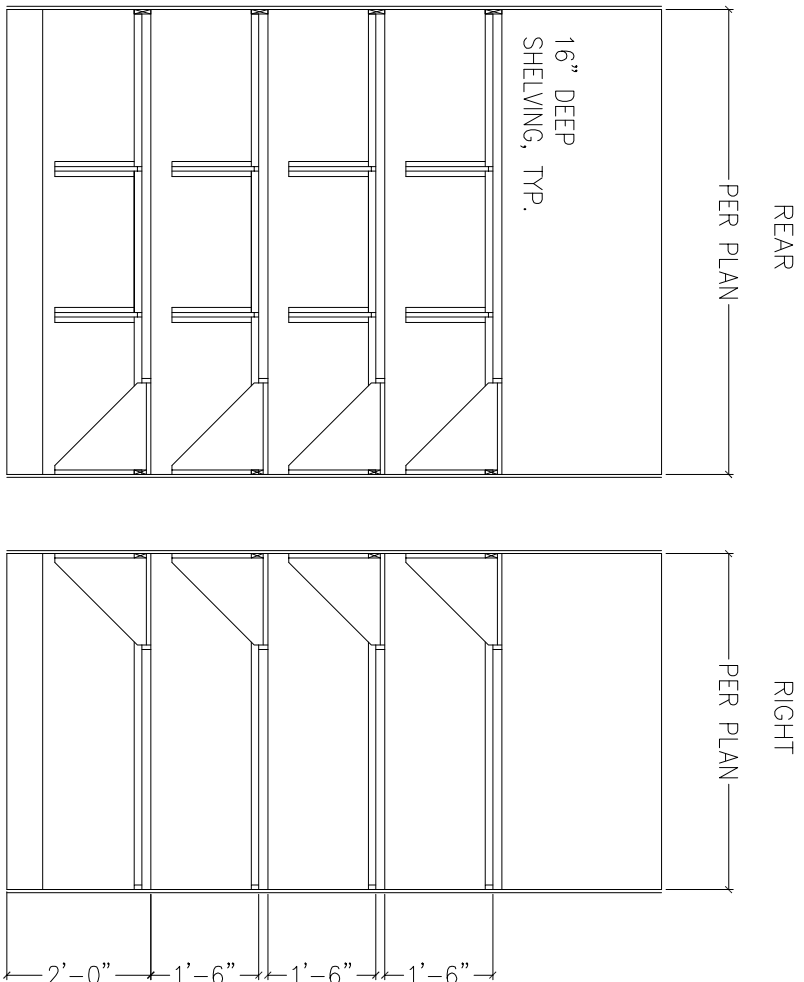
3 LINEN CLOSET DETAIL

SCALE: 3/8"=1'-0"



4 PANTRY DETAIL

SCALE: 3/8"=1'-0"



1 1st FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

- ELECTRICAL NOTES:
1. ALL FIXTURES SHOWN IN APPROXIMATE LOCATIONS. ELECTRICAL CONTRACTOR TO INSTALL ACCORDING TO N.E.C. AND LOCAL CODES.
 2. SMOKE DETECTORS SHALL BE WIRED TO UNSWITCHED POWER CIRCUIT. CONTAIN BATTERY BACK-UP & EMIT A SOUND WHEN BATTERIES ARE LOW. ALARM SHALL BE SILENCED BY PRESSING A SILENCE BUTTON. THE AREA IN WHICH THE DETECTOR IS LOCATED.
 3. VENT ALL FANS TO OUTSIDE AIR W/ BACKDRAFT DAMPER.
 4. ELECTRICAL WIRING TO BE COORDINATED W/ LOCAL POWER CO. BE GFCI.
 5. ALL BATHROOM, KITCHEN, GARAGE AND OUTSIDE OUTLETS TO BE GFCI.
 6. ALL PHONE JACKS, TV OUTLETS AND CEILING FAN LOCATIONS TO BE DETERMINED BY OWNER PRIOR TO CONSTRUCTION.
 7. CONTRACTOR TO INSTALL ENERGY EFFICIENT LIGHT BULBS IN ALL LIGHT FIXTURES.
 8. ALL SMOKE DETECTORS SHALL ALSO

ELECTRICAL LEGEND



GENERAL CONDITIONS

MEASUREMENTS & SPECIFICATIONS TO BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY QUESTIONS AND MEASUREMENTS IN THE WORKING DRAWINGS AND SPECIFICATIONS AND THE CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR UNUSABLE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS. THE DESIGNER'S LIABILITY REGARDING ERRORS AND/OR OMISSIONS WILL BE LIMITED TO THE CORRECTION OF THE ORIGINAL DRAWINGS. CONSULTANT'S LIABILITY IS THE SAME.

SPACE	SQ. FT.
1st FLOOR	1,403
TOTAL	1,403
GARAGE	394
PORCH	103

REVISIONS	
10-30-21	

<p>THE MCCALL LOT 1 BLOCK 1 SAPPHIRE RANCH SUBDIVISION ADA COUNTY KUNA, IDAHO</p>	<p>This document, including the idea and designs incorporated herein, as an instrument of professional service is the property of Snake River Home Designs and shall NOT be used in whole or part, for any other project with out the written permission of an authorized representative of Snake River Home Designs.</p>
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<p>SRHD Snake River Home Designs 14202 Peart Pointe Dr. Caldwell, Idaho 83607 Tel: 208.870.3767</p>
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PROJECT	DATE
RES-102	07-12-20

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