<u> 134 - 136 MAIN STREET</u>

HORNELL NY 14843 CITY OF HORNELL

BUILDING CODE ANALYSIS

SCOPES OF WORK:

RENOVATIONS TO 134 MAIN STREET, AN EXISTING TWO-STORY MASONRY BUILDING, AND 136 MAIN STREET, AN EXISTING THREE-STORY MASONRY BUILDING, LOCATED IN THE CITY OF HORNELL, NEW YORK. SCOPES OF WORK SHALL BE BID SEPARATELY AS INDICATED ON THE BID FORM.

SCOPE A: INCLUDES REMOVAL OF THE EXISTING STOREFRONTS AT 134 AND 136 MAIN STREET AND THE CONSTRUCTION OF NEW STOREFRONT ENCLOSURES WITH ASSOCIATED INTERIOR IMPROVEMENTS THROUGHOUT THE WORK AREA AS SHOWN ON DRAWINGS. INTERIOR WORK AREAS TO REMAIN UNFINISHED UNLESS NOTED OTHERWISE ON THE DRAWINGS.

SCOPE B: INCLUDES MASONRY REPAIR, REPAIRS TO WINDOW LINTELS AND SILLS, UPPER FLOOR WINDOW REPLACEMENT, AND PAINTING OF THE MAIN STREET FACADES OF 134 MAIN AND 136 MAIN.

NOTE: SCOPE A AND SCOPE B ARE THE FIRST PHASES OF A MULTI-PHASE PROJECT. AT THE CONCLUSION OF THE WORK INDICATED IN THESE DRAWINGS, THE WORK AREAS SHALL NOT BE CONSIDERED OCCUPIABLE AND THEREFORE NO CERTIFICATE OF OCCUPANCY SHALL BE APPLICABLE.

BUILDING CODES

BUILDING IS A CONTRIBUTING MEMBER OF THE HORNELL DOWNTOWN HISTORIC DISTRICT AND IS THEREFORE CONSIDERED AN HISTORIC BUILDING.

ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND ALL BUILDING AND ZONING ORDINANCES OF THE AUTHORITIES HAVING JURISDICTION.

2020 EDITION OF THE BUILDING CODE OF NEW YORK STATE

BUILDING SYSTEMS: NO BUILDING SYSTEM WORK - MECHANICAL, PLUMBING AND ELECTRICAL - IS SCHEDULED FOR THE WORK INCLUDED IN THIS SET OF DRAWINGS.

DOUBLE

INTERNATIONAL ENERGY CONSERVATION CODE

2020 ECCNYS

ON CENTER

OUTSIDE FACE

OUTSIDE DIAMETER

STEUBEN COUNTY CLIMATE ZONE 6

INSULATION REQUIREMENTS BY COMPONENT (TABLE C402.1.3)

~ R13 + R7.5 CONTINUOUS OR R-20 +R3.8 CONTINUOUS WOOD-FRAMED ABOVE GRADE WALLS

~ R7.5 CONTINUOUS BELOW-GRADE WALL JOIST/FRAMING FLOORS ~ R-30

OPAQUE DOORS

BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR (TABLE C402.4) FIXED FENESTRATION

0.77 **ENTRANCE DOORS**

NOTE PER **SECTION C501.6** - HISTORIC BUILDINGS - PROVISIONS OF THIS CODE RELATING TO THE

STORM SEWER

STRUCTURAL

SQUARE

CONSTRUCTION, REPAIR, ALTERATION, RESTORATION AND MOVEMENT OF STRUCTURES, AND CHANGE OF OCCUPANCY SHALL NOT BE MANDATORY FOR HISTORIC BUILDINGS.

STORM

STR SQ

ABBREVIATIONS

AIR-CONDITIONING

A/C	AIR-CONDITIONING	DBL	DOUBLE	НВ	HOSE BIB	O.C.
ACT	ACOUSTICAL TILE OR PANEL	DEMO	DEMOLISH/DEMOLITION	HC	HANDICAPPED	O.D.
A.F.F.	ABOVE FINISHED FLOOR	DET/DTL	DETAIL	HD	HAND DRYER	OF
AFG	ABOVE FINISHED GRADE	DEPT	DEPARTMENT	HDWD	HARDWOOD	OPNG
						OPING
AHU	AIR HANDLING UNIT	D.F.	DRINKING FOUNTAIN	HDWR	HARDWARE	Р
ALT	ALTERNATE/ALTERNATIVE	DH	DOUBLE HUNG	H.M.	HOLLOW METAL	
ALUM	ALUMINUM	DIA. Ø	DIAMETER	H.O.D.	HEIGHT OF DOOR	PART
AMT	AMOUNT	DIAG	DIAGONAL	HOR	HORIZONTAL	PERF
ANOD	ANODIZED					PL
A.P.	ACCESS PANEL	DIM	DIMENSION	HR	HOUR	PLAM
	ANGLE	DISP	DISPENSER	HGT., HT.	HEIGHT	PLAS
_		DN	DOWN	H.V.A.C.	HEAT, VENT. & AIR COND	
APPROX	APPROXIMATE	DO	DITTO	HYD	HYDRANT	PLYWD
ARCH	ARCHITECT/ARCHITECTURAL	D.P.	DAMP PROOFING	H.W.		PREF
ASB	ASBESTOS			Ħ.VV.	HOT WATER	PREFAB
ADJ	ADJUSTABLE	DR	DOOR	I.D.	INSIDE DIAMETER	₽REP
AV	AUDIO VISUAL	D.S.	DOWNSPOUT			
AV	AODIO VISOAE	DWG	DRAWING	IF	INSIDE FACE	PLMB
		DWR	DRAWER	INCL	INCLUDING/INCLUDED	PSF
		DVVI	DIAVVER	INL	INLET	P.S.I.
		EA	EACH	INSUL	INSULATION	PT
BD	BOARD					PTD
BITUM	BITUMINOUS	ELEC	ELECTRIC	INT	INTERIOR	
BLDG	BUILDING	ELEV	ELEVATION	INV	INVERT	PVMT
		ENCL	ENCLOSURE	1001	LANUTOR	PVC
BLK	BLOCK	EP	ELECTRICAL PANEL	JAN.	JANITOR	
BLKG	BLOCKING	EPDM	ETHYLENE PROPYLENE	J.C.	JANITOR'S CLOSET	R
B.M.	BENCH MARK	ELDIAI		J.S.	JANITOR'S SINK	RA
ВОТ	BOTTOM		DIENE MONOMER	JT.	JOINT	RAD
BRK	BRICK	EQ	EQUAL	51.	301111	
		EQUIP	EQUIPMENT	LAB	LABORATORY	RC
BSMT	BASEMENT	EXC	EXCAVATE/EXCAVATION	LAM	LAMINATED	RCP
BRG	BRITISH THERMAL UNIT					R.D.
BTU		EXIST	EXISTING	LAV	LAVATORY	RD
5.0		EXH	EXHAUST	LB	POUND	
		EXP	EXPANSION	LDR	LEADER	REC
		EXPD	EXPOSED	LF	LINEAR FOOT/LINEAR FEET	REF
		EXP. JT/E.J.		LH		REFG
			EXPANSION JOINT		LEFT HAND	REG
CAB	CABINET	EXT	EXTERIOR	LG	LENGTH	REINF
		E.F.	EACH FACE	LL	LIVE LOAD	
CARP	CARPET	E.W.	EACH WAY	LOC	LOCATION	REQ'D
C.B.	CATCH BASIN		27 (31.7 17) (1	LT	LIGHT	RES
C.D.	CEILING DIFFUSER	F.D.	FLOOR DRAIN			RET
C.J.	CONTROL JOINT	F.E.	FIRE EXTINGUISHER	LVR	LOUVER	RFG
CLG				MAR	MARBLE	RFS
	CEILING	F.E.C.	FIRE EXTINGUISHER CABINET			
CL.	CLOSET	F.F.L.	FINISH FLOOR LEVEL	MAS	MASONRY	RH
CL	CENTER LINE	FIN	FINISH	MATL	MATERIAL	RM
COL	COLUMN	FIX	FIXTURE	MAX	MAXIMUM	RO
CONC	CONCRETE	FLR	FLOOR	M.D.O.	MEDIUM DENSITY OVERLAY	ROW
				MECH		
CONN	CONNECTION	FND/FOUND	FOUNDATION		MECHANICAL	RR
CONST	CONSTRUCTION	FNTP	FEMININE NAPKIN/TAMPON	MED	MEDIUM	RTU
CONT	CONTINUOUS		DISPENSER	MEZZ	MEZZANINE	RV
CONTR	CONTRACTOR	FOC	FACE OF CONCRETE	MFG	MANUFACTURING	RWC
COORD	COORDINATE			MFR	MANUFACTURER	
		FOM	FACE OF MASONRY			S
C.T.	CERAMIC TILE	F.P.	FIREPROOF	M.H.	MANHOLE	
C.W.	COLD WATER	FT	FEET/FOOT	MHT	MOUNTING HEIGHT	SAN/SS
C.M.U.	CONCRETE MASONRY UNIT	FTG	FOOTING	MIN	MINIMUM	SCH
		FURR	FURRING	MISC	MISCELLANEOUS	SD
		FURK	FURRING	ML	METAL LATH	SECT
		C A	CALICE			
		GA	GAUGE	M.O.	MASONRY OPENING	SEP
		GAL	GALLON	MT'D.	MOUNTED	SF
		GALV	GALVANIZED	MTL	METAL	SHR
		GB	GRAB BAR	MTP	METAL TOILET PARTITION	SHTG
		G.C.	GENERAL CONTRACTOR	19111	WILLIAL TOTAL TAKTITION	SHV
				Ν	NATURAL FINISH	
		GDR	GUARD RAIL	NA	NOT APPLICABLE	SIM
		GL	GLASS			SPEC
		GND	GROUND	ND	NAPKIN DISPOSAL	SPR
		GR	GRADE	N.I.C.	NOT IN CONTRACT	ST. STL
				NO., #	NUMBER	
		GYP	GYPSUM	NOM	NOMINAL	STD
		GYP. BD.	GYPSUM BOARD			STL
		GWB	GYPSUM WALL BOARD	N.T.S.	NOT TO SCALE	STOR

OPENING	SUSP	SUSPENDED
	SW.	SWITCH
PAINT	S.S.	STRUCTURAL STEEL
PARTITION	SYM	SYMMETRICAL
PERFORATED		STIMINETRICAL
PLATE	T., TR.	TREAD
PLASTIC LAMINATE	T & B	TOP & BOTTOM
PLASTER	T.B.	TOWEL BAR/TEST BORING
PLYWOOD	T.C.	TOP OF CURB
PREFINISHED	TD	TOWEL DISPENSER
PREFABRICATED	TDD	TOWEL DISPENSER
PREPARATION		AND DISPOSAL
PLUMBING	TEL.	TELEPHONE
POUNDS PER SQUARE FOOT	TERR.	TERRAZZO
POUNDS PER SQUARE INCH	T & G	TONGUE & GROOVE
	TLT.	TOILET
PORCELAIN TILE/PAVER TILE	TOC	TOP OF CONCRETE
PAPER TOWEL DISPENSER	TOF	TOP OF CONCRETE
PAVEMENT	TOP	FOUNDATION
POLYVINYL CHLORIDE	TOI	
RISER	TOJ	TOP OF MASONEY
RETURN AIR	TOM	TOP OF MASONRY
RADIUS	TOP	TOP OF PIER/PLATE
	TOS	TOP OF STEEL
REINFORCED CONCRETE	TOW	TOP OF WALL
REFLECTED CEILING PLAN	TPD	TOILET PAPER DISPENSER
ROOF DRAIN	TRANS.	TRANSFORMER
ROUND	T.W.	TOP OF WALL
RECESSED	TYP.	TYPICAL
REFER TO		
REFRIGERATOR	U.L.	UNDERWRITER'S LABS. INC.
REGISTER	UNFIN	UNFINISHED
REINFORCE	UNO	UNLESS NOTED OTHERWISE
REQUIRED	UR	URINAL
RESILIENT	UTIL	UTILITY
RETURN	VA	VALVE
ROOFING	VAR	VARIES
ROOM FINISH SCHEDULE	V.C.T.	VINYL COMPOSITION TILE
RIGHT HAND	V.C.1. VEN	VENEER
ROOM		
ROUGH OPENING	VENT	VENTILATION
RIGHT OF WAY	VERT	VERTICAL
RAILROAD	VEST	VESTIBULE
ROOF TOP UNIT	V.I.F.	VERIFY IN FIELD
ROOF VENT	VTR	VENT THROUGH ROOF
RAIN WATER CONDUTOR	VWC	VINYL WALL COVERING
TO THE VOTABLE CONTROLLER	W/	WITH
STAIN	W/O	WITHOUT
SANITARY (SEWER)	W.C.	WATER CLOSET
SCHEDULE	WD	WOOD
SOAP DISPENSER	WDW	WINDOW
SECTION	WH	WATER HYDRANT
SEPARATE	WL	WATER LINE
SQUARE FOOT/SQUARE FEET		
SHOWER	W.O.D.	WIDTH OF DOOR
SHEATHING	W.P.	WATERPROOFING
SHELVING	W.R.	WATER RESISTANT
	WSCT	WAINSCOT
SIMILAR TO	WT	WEIGHT
SPECIFICATION	W.W.M.	WELDED WIRE MESH
SPRINKLER	W.R.B	WEATHER BARRIER
STAINLESS STEEL		
STANDARD		
STEEL		
STORAGE		

DRAWING LIST:

** COVER SHEET

G-100 GENERAL NOTES / SPECS

D-100 DEMOLITION AND MASONRY REPAIR

A-100 FLOOR PLAN

A-101 EXTERIOR ELEVATIONS A-102 BUILDING SECTIONS

A-103 SECTIONS AND DETAILS

A-104 SCHEDULES AND DETAILS

A-105 FRAMING AND TRIM DETAILS A-106 EXTERIOR ELEVATIONS - COLOR SCHEME

OWNER:

JAMES BARLOW & MARK BUFFA

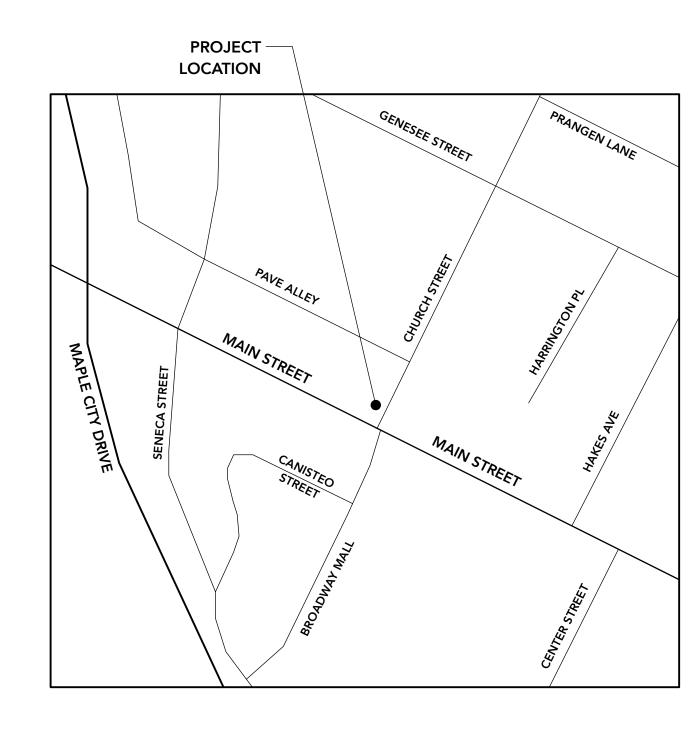
hz8k44@gmail.com

ADDRESS: 44811 KEMP ST. UTICA, MI 48317 PHONE: JAMES 248.606.1849; MARK 586.262.9639 EMAIL: sbarlowja2013@icloud.com



136 MAIN STREET

134 MAIN STREET





PROJECT # 2407 07.25.2025 CONSTRUCTION DOCUMENTS



Perry • Finger Lakes • Rochester V • 585.237.2614 F • 585.237.3679 2 Borden Ave Ste 202 Perry, NY 14530

www.insitearch.com ARCHITECT CONTACT: KIMBERLY KRAFT, AIA

> OWNER CONTACT: JAMES BARLOW - 248.606.1849

GENERAL NOTES

THESE NOTES ARE INTENDED AS A COMPLEMENTARY SUPPLEMENT TO THE DRAWINGS. WORK IS TO BE DONE ACCORDING TO THE BEST TRADE STANDARDS TO RESULT IN A COMPLETE JOB. SEE ALSO MATERIAL SPECIFICATIONS SHEET FOR ADDITIONAL NOTES.

BUILDING CODES

ALL WORK IS TO CONFORM TO THE LATEST EDITION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND ALL BUILDING AND ZONING ORDINANCES OF THE CITY OF HORNELL, NEW YORK

GENERAL CONDITIONS

THE GENERAL CONDITIONS OF THE CONTRACT, AIA A201 LATEST EDITION, IS A PART OF THE CONTRACT DOCUMENTS.

GENERAL NOTES

OWNER.

OF OCCUPANCY.

INSURANCE/BONDS -- TO BE PROVIDED BY THE CONTRACTOR PER THE OWNER'S REQUIREMENTS.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND HIS AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, EXCAVATION OR DEMOLITION OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE.

THE CONTRACTOR IS TO COORDINATE ALL TRADES ON THE PROJECT AND TO COORDINATE WITH ANY WORK DONE UNDER SEPARATE CONTRACT WITH THE OWNER BY OTHER FORCES.

THE CONTRACTOR IS TO COORDINATE THE USE OF OR LOCATION OF PORTABLE TOILETS, AND STORED MATERIALS OR EQUIPMENT WITH THE OWNER.

ALL TEMPORARY POWER, HEAT, TELEPHONE AND WATER IS TO BE REVIEWED AND APPROVED BY THE

THE CONTRACTOR IS TO APPLY AND PAY FOR ALL REQUIRED PERMITS AND FEES FOR THE WORK AND TO SCHEDULE AND COORDINATE ALL REQUIRED INSPECTIONS, INCLUDING OBTAINING A CERTIFICATE

THE CONTRACTOR IS TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE

THE DRAWINGS SHOW THE COMPLETED PROJECT. THEY DO NOT INCLUDE COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY ON AND AROUND THE JOBSITE DURING CONSTRUCTION.

THE CONTRACTOR IS TO VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS PRIOR TO ORDERING, CONSTRUCTION AND/OR INSTALLATION OF ANY PREFABRICATED COMPONENTS AND BE RESPONSIBLE FOR ERRORS AND OMISSIONS.

ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL AND PLUMBING WITH THE APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. ANY SUBSTITUTIONS FOR MATERIALS AS SPECIFIED BY ARCHITECT SHALL BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPARTMENT AND DOCUMENTED. BOTH OWNER AND ARCHITECT SHALL BE NOTIFIED OF CHANGES AND INCLUDED IN THE DOCUMENTATION.

THESE PLANS HAVE BEEN PREPARED ACCORDING TO NEW YORK STATE BUILDING CODE REQUIREMENTS. THE CONTRACTOR WILL BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING SITE, AS REQUIRED, AS LONG AS SUCH ADAPTATIONS DO NOT VIOLATE THE BUILDING OR LOCAL CODE AND DO NOT ALTER THE STRUCTURAL DESIGN OR INTEGRITY OF THE STRUCTURE.

PROVIDE ALL TEMPORARY BRACING, SHORING, GUYING OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

THE CONTRACTOR IS TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING, ELECTRICAL, MECHANICAL, SANITARY AND ENERGY CODES.

THE CONTRACTOR IS TO BE RESPONSIBLE TO THE LOCAL BUILDING DEPARTMENT AND THEIR INTERPRETATION OF THE CODE SHOULD IT DIFFER FROM THESE PLANS.

THE CONTRACTOR SHALL REVIEW THE DRAWINGS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF THESE DISCREPANCIES. THE ARCHITECT SHALL THEN RESOLVE THEM IN WRITING OR WITH A REVISED DOCUMENT.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND THE FIELD CONSTRUCTION.

DO NOT SCALE DRAWINGS. FOLLOW THE DIMENSIONS ONLY. IF A DIMENSION IS NOT CALLED OUT. VERIFY DIMENSION WITH THE ARCHITECT.

FINISHED GRADE AS INDICATED ON DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SLAB ELEVATIONS AND SLOPES NOT NOTED.

DESIGN CRITERIA

DESIGN LOADS

A. DESIGN LOADS: DESIGN LOADS FOR THIS STRUCTURE ARE IN ACCORDANCE WITH THE 2020 BUILDING CODE OF NYS AND 2018 INTERNATIONAL BUILDING CODE (IBC), AND ARE AS FOLLOWS:

DEAD WEIGHT OF FLOOR STRUCTURES: 5 PSF SUPERIMPOSED DEAD LOAD ON FLOORS: 15 PSF

SUPERIMPOSED LIVE LOAD ON FLOORS: 40 PSF

DEAD WEIGHT OF ROOF STRUCTURE: 10 PSF

SUPERIMPOSED DEAD LOAD ON ROOF: 10 PSF **GROUND SNOW LOAD: 40 PSF**

WIND LOAD (ULTIMATE WIND SPEED): V = 115 MPH

STRUCTURAL DESIGN

B. STRUCTURAL DETAILS: DETAILS ARE APPLICABLE WHERE INDICATED BY SECTIONS CUT, BY NOTE OR BY DETAIL TITLE. PROVIDE SIMILAR DETAILS AT SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. THE CONTRACTOR MAY REQUEST A CLARIFICATION DURING THE BIDDING/PRICING PERIOD. OTHERWISE THE MORE STRINGENT REQUIREMENTS SHALL CONTROL.

C. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF NEW YORK.

D. CHANGES TO THE DESIGN OF THE STRUCTURE WHICH ARE PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL STRUCTURAL AND NON-STRUCTURAL ELEMENTS AFFECTED BY THE PROPOSED CHANGE. THE COST OF ANY DESIGN WORK NECESSITATED BY SUCH A PROPOSED CHANGE SHALL BE BORNE BY THE CONTRACTOR.

E THE COST OF DESIGN WORK RESULTING FROM ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR.

SPECIAL INSPECTIONS / SUBMITTALS

1. SPECIAL INSPECTION IS NOT REQUIRED IN ACCORDANCE WITH U.B.C. SECTION 1701, U.N.O.

2. SHOP DRAWINGS AND MATERIAL SPECIFICATIONS: SUBMITTALS FOR THE FOLLOWING LISTED ITEMS SHALL BE MADE TO THE OWNER AND ARCHITECT FOR THEIR REVIEW AND APPROVAL PRIOR TO THEIR PURCHASE AND INSTALLATION.

- 1. PREFABRICATED WOOD TRUSSES
- 2. TJI FRAMING 3. EXTERIOR STEEL FRAMING (WEST DECK)

SITE NOTES

ANY ENCROACHMENT ISSUES.

THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC GRADE / ADJACENT PAVING LEVELS, WITH THE EXISTING BUILDING CONDITIONS THE CONTRACTOR IS TO COMMUNICATE TO THE OWNER AND ARCHITECT ANY RECOMMENDED CHANGES PRIOR TO THE START OF ANY WORK.

THE CONTRACTOR IS TO VERIFY THE BUILDING LOCATION TO ENSURE THAT THE BUILDING DOES NOT ENCROACH ON ANY SETBACKS OR EASEMENTS, UNLESS A VARIANCE HAS BEEN GRANTED FROM THE LOCAL ZONING BOARD. THE CONTRACTOR IS TO COMMUNICATE TO THE OWNER AND ARCHITECT

THE CONTRACTOR IS TO COORDINATE FINISH SURFACES AND PAVING (WALKS, DRIVEWAYS, PATIOS, ETC.) AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION UNLESS OTHERWISE NOTED. SLOPE FINISH GRADE MINIMUM 5% FOR A DISTANCE OF 10'-0".

THE CONTRACTOR IS TO VERIFY ALL UTILITY SERVICES (WATER, ELECTRIC, SEPTIC/SEWER, GAS, TELECOMMUNICATIONS) IMPACTED BY THE WORK AND COORDINATE THE EXTENSIONS/TIE INS TO THE BUILDING WITH THE APPROPRIATE INSTALLER. ALL CONNECTIONS, METERS, CLEAN-OUTS, ETC. TO BE LOCATED AWAY FROM ANY PROMINENT VIEW.

SEE CONTRACT DOCUMENTS FOR SUB-FLOOR PREPARATION REQUIREMENTS AND ANY REMOVALS AND/OR EXCAVATION RESTRICTIONS.

ANY SURPLUS EXCAVATED AND/OR REMOVED MATERIALS SHALL BE COORDINATED WITH THE OWNER FOR DISPOSAL LOCATIONS.

POTABLE WATER - WORK IS TO COMPLY WITH PERTINENT CODES AND REQUIREMENTS OF NEW YORK STATE AND LOCAL GOVERNMENT ENTITIES.

SECURITY

SECURITY DOORS ARE DEFINED AS ALL EXTERIOR DOORS AND WINDOWS LEADING INTO A PRIVATE INTERIOR SPACE, INCLUDING FOLDING GLASS DOORS/WINDOWS.

ALL EXTERIOR SWINGING DOORS SHALL BE OF SOLID CORE OR METAL SKIN CONSTRUCTION. EXTERIOR GLASS INSERT DOORS SHALL BE SOLID CORE OR METAL SKIN CONSTRUCTION IN THE NON-GLAZED PORTION.

OPEN SPACE BETWEEN TRIMMERS AND WOOD EXTERIOR DOOR JAMBS SHALL BE SOLID SHIMMED EXTENDING NOT LESS THAN 6" ABOVE AND BELOW THE DEAD BOLT STRIKE PLATE. DEAD BOLT STRIKE PLATES FOR EXTERIOR DOOR LOCKS SHALL BE ATTACHED TO WOOD JAMBS WITH NOT LESS THAN 2 NO. 8 BY 2" SCREWS OR WHEN ATTACHED TO METAL JAMBS, SHALL BE ATTACHED WITH NOT LESS THAN 2-NO. 8 MACHINE SCREWS.

EXTERIOR DOORS WITH HINGE PINS EXPOSED ON THE OUTSIDE SHALL USE HINGES WITH NON-REMOVABLE PINS OR PIN STANDARD HINGES TO PREVENT REMOVAL OF THE DOOR FROM THE EXTERIOR BY REMOVAL OF THE HINGE PINS.

ALL EXTERIOR FOLDING DOORS/WINDOWS SHALL BE CONSTRUCTED AND INSTALLED OR EQUIPPED SO AS TO PROHIBIT THE FOLDING, SLIDING AND/OR REMOVAL OF THE SLIDING SECTION FROM THE TRACK WHILE IN THE CLOSED AND LOCKED POSITION. SUCH FOLDING DOORS/WINDOWS SHALL BE PROVIDED WITH AN AUXILIARY OR ADDITIONAL LOCKING DEVICE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

- ALL EXTERIOR SWINGING DOORS SHALL BE EQUIPPED WITH A DEAD BOLD LOCK. SUCH LOCKS SHALL: 1. HAVE A MINIMUM OF 1" THROW AND RECEIVING STRIKE PLATE HOLE 1/4" DEEPER THAN
 - THE PROJECTED BOLT THROW. 2. HAVE A WRENCH-RESISTANT COLLAR
 - 3. HAVE FASTENERS WHICH THREAD INTO THE CYLINDER BODY
 - 4. BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY

DEAD BOLTS SHALL BE MADE OF CAST HARDENED STEEL, POWDERED S.S. BAR BRASS, OR BRONZE ALLOY. CYLINDER GUARDS SHALL BE CONSTRUCTED OF A SOLID METAL, NOT A HOLLOW SHELL. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.

EXTERIOR WINDOWS SHALL BE CONSTRUCTED AND INSTALLED SO AS TO PROHIBIT RAISING, SLIDING, OR REMOVAL OF THE MOVING SECTION WHILE IN THE CLOSED AND LOCKED POSITION. A PASSIVE WINDOW PANEL SHALL HAVE WEATHER STRIP MOLDING OR GLAZING BEAD WHICH IS NOT EASILY REMOVED FROM THE OUTSIDE TO PREVENT REMOVAL OF THE WINDOW GLASS. AN AUXILIARY LOCK SHALL BE INSTALLED ON ALL HORIZONTAL AND VERTICAL SLIDING WINDOWS TO ALLOW THEM TO BE LOCKED IN A PARTIALLY OPEN, VENTILATING POSITION. ANY LOCKING DEVICE USED ON WINDOWS IN A SLEEPING ROOM SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

WASTE AND RECYCLING SPECIFICATIONS

- A) THE OWNER REQUIRES THE CONTRACTOR TO EFFICIENTLY USE RESOURCES TO THE FULLEST EXTENT POSSIBLE IN THE COMPLETION OF THIS PROJECT. RESOURCE EFFICIENT ASPECTS TO BE CONSIDERED IN COMPLETING THIS PROJECT INCLUDE:
 - (1) USE OF TECHNIQUES THAT MINIMIZE WASTE GENERATION (2) REUSE AND RENOVATION OF EXISTING STRUCTURES IN LIEU
 - OF DEMOLITION (WHERE APPLICABLE) (3) SALVAGE OF EXISTING MATERIALS AND ITEMS FOR REUSE
 - OR RESALE. (4) REUSE OF MATERIALS ON SITE WHERE POSSIBLE
 - (5) RECYCLING OF WASTE GENERATED DURING THE
 - DEMOLITION AND CONSTRUCTION PROCESS. (6) USE OF RECYCLED-CONTENT MATERIALS WHERE
 - APPLICABLE

B) THE CONTRACTOR IS ENCOURAGED TO INCLUDE ADDITIONAL RESOURCE EFFICIENT METHODS IN THIS PROJECT.

2. PROJECT GOALS:

A) TO DIVERT 25% MIN. OF THE CONSTRUCTION WASTE GENERATED BY THIS PROJECT FROM MUNICIPAL LANDFILLS.

A) THE CONTRACTOR SHALL BE RESPONSIBLE FOR KNOWING AND COMPLYING WITH

3. EXECUTION

REGULATORY REQUIREMENTS-FEDERAL, STATE AND LOCAL-PERTAINING TO LEGAL DISPOSAL OF ALL CONSTRUCTION AND DEMOLITION WASTE MATERIALS. B) DECIDE WHAT MATERIALS WILL BE RECYCLED ON THE PROJECT AND DETERMINE WHICH

WASTES SUBCONTRACTORS WILL BE RESPONSIBLE FOR RECYCLING C) DESIGNATE SOMEONE TO BE RESPONSIBLE FOR IMPLEMENTING AND MONITORING A WASTE

DISPOSAL AND RECYCLING PROGRAM. D) CLEARLY DESIGNATE THE RECYCLING BINS. POST LISTS OF WHAT IS AND WHAT IS NOT

E) PLACE GARBAGE AND RECYCLING BINS NEAR EACH OTHER, AND CLOSE TO THE POINT OF

WASTE GENERATION BUT OUT OF THE TRAFFIC PATTERN. F) PLACE THE TRASH CONTAINER CLOSEST TO THE CONSTRUCTION SITE, AS A METHOD TO PREVENT CONTAMINATION OF THE RECYCLING BINS.

G) DISCUSS WASTE HANDLING REQUIREMENTS WITH CREW AND SUBCONTRACTORS PRIOR TO

THE START OF CONSTRUCTION.

H) PERIODICALLY CHECK THE RECYCLE BINS FOR CONTAMINATION AND CHECK THE WASTES IN

THE GARBAGE DUMPSTERS TO SEE IF RECYCLABLES ARE BEING THROWN OUT. I) PLACE MATERIALS DEFINED AS HAZARDOUS OR TOXIC WASTE IN DESIGNATED CONTAINERS, AND DISPOSE OF PER REGULATORY REQUIREMENTS.

J) RETURN SOLVENT AND OIL SOAKED RAGS FOR CONTAMINANT RECOVERY AND LAUNDERING OR FOR PROPER DISPOSAL K) USE TRIGGER OPERATED SPRAY NOZZLES FOR WATER LINES

L) THE FOLLOWING (BUT NOT LIMITED TO) ARE MATERIALS THAT CAN BE SALVAGED AND OR DONATED LOCALLY:

(1) APPLIANCES, BLOCK, BRICKS, CARPETING, DOORS, FLOORING, LIGHTING FIXTURES, METAL FRAMING, PIPES, SHELVING, TILE, WINDOWS, BATHROOM FIXTURES,

CABINETS, DIMENSIONAL LUMBER, DUCTWORK, INSULATION, MARBLE, PANELING, OSB AND PLYWOOD, SIDING, TRIM, WOOD BEAMS, PACKAGING AND WOOD PALLETS.

M) DELIVER OR ARRANGE COLLECTION FOR THE ABOVE MATERIALS FOR VERIFIABLE REUSE OR REMANUFACTURING.

N) USE THE LEAST TOXIC SEALANTS, ADHESIVES, SEALERS, AND FINISHES NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS SECTION.

MATERIAL SPECIFICATIONS

1. DIMENSIONAL LUMBER: SHALL BE GRADE STAMPED PER W.W.P.A. RULES. A) ALL WINDOW / DOOR JAMB AND HEADER FRAMING SHALL BE DOUG-FIR #2 TO MEET

STRUCTURAL LOADING REQUIREMENTS. B) ALL JOISTS, BEAMS, PLATES, HEADERS AND OTHER LUMBER TO BE HEM FIR #2 OR BETTER,

UNLESS OTHERWISE NOTED. C) WALL STUDS TO BE HEM FIR STUD GRADE OR BETTER, NOTING THE REQUIREMENT ABOVE

FOR WINDOW/DOOR OPENINGS. D) MAXIMUM MOISTURE CONTENT 19%

E) ALL LUMBER TO BE TRUE AND STRAIGHT WITHOUT CRACKS OR SPLITS

2. PRESERVATIVE TREATED LUMBER LOCATIONS

A) ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE AND WHERE INDICATED B) DECK STRUCTURAL MEMBERS INCLUDING JOISTS, BEAMS, PLATES, LEDGERS AND RELATED FRAMING C) OTHER MISCELLANEOUS WOOD FRAMING EXPOSED TO THE ELEMENTS NOT OTHERWISE

NOTED D) PRESERVATIVE TREATMENT EQUAL TO OSMOSE K-33

3. SHEATHING A) ALL SHEATHING TO BE APA RATED APPROPRIATE TO THE SPAN LENGTHS, EXPOSURE AND DIRECTIONS INDICATED ON THE DRAWINGS. PLYWOOD LAY-UP TO BE WITH FACE GRAIN PERPENDICULAR TO SUPPORTS EXCEPT WHERE SPECIFICALLY SHOWN OR OTHERWISE

PERMITTED BY THE MANUFACTURER. B) EXTERIOR WALL SHEATHING SHALL BE TRUE 1/2" THICK PLYWOOD OR APPROVED EQUAL C) ALL SINGLE SPAN CONDITIONS SHALL HAVE 2x4 BLOCKING ACROSS THE SPAN AT 24" O.C. MAX. SHEATHING PANELS MAY BE INSTALLED WITH LONG EDGE PARALLEL OR PERPENDICULAR

D) PROVIDE SOLID WOOD BLOCKING ALONG ALL PANEL EDGES OR AS REQUIRED BY MANUFACTURER. FASTEN SHEATHING TO WALL STUDS WITH 8d NAILS @ 6" O.C. ALONG ALL PANEL EDGES AND 12" O.C. AT ALL INTERMEDIATE STUD SUPPORTS. PANELS SHALL BE

CONTINUOUS OVER TWO OR MORE SPANS. E) INTERIOR SUBFLOOR AT PLATFORM SHALL BE PLYWOOD AND TRUE 3/4" THICKNESS.AND BE GLUED AND SCREWED TO FLOOR JOISTS. F) CONTRACTOR SHALL SUBMIT PRODUCT LITERATURE TO OWNER AND ARCHITECT PRIOR TO

4. WOOD NAILING SCHEDULE: FOLLOW CODE STANDARDS AND REFER TO DRAWINGS

WOOD SCREW INSTALLATION:

ORDERING MATERIAL

A) WOOD SCREWS SHALL BE INSTALLED INTO PROPERLY SIZED LEAD AND CLEARANCE HOLES

PER N.F.P.A. "NATIONAL DESIGN SPECIFICATION" REQUIREMENTS AS FOLLOWS: 1) THE PART OF THE LEAD HOLE RECEIVING THE SHANK SHALL BE ABOUT 7/8 THE DIAMETER OF THE SHANK AND THAT RECEIVING THE THREADED PORTION SHALL BE ABOUT 7/8 THE DIAMETER OF THE SCREW AT THE ROOT OF THE THREAD. 2) THE WOOD SCREW SHALL BE INSERTED IN ITS LEAD HOLE BY TURNING WITH A SCREW DRIVER OR OTHER TOOL, NOT BY DRIVING WITH A HAMMER. 3) SOAP OR OTHER LUBRICANT SHALL BE USED ON THE WOOD SCREWS OR IN THE

6. WOOD CONNECTORS:

A) REFER TO DRAWINGS FOR SPECIFIED HANGERS AND FASTENERS FOR FRAMING MEMBERS EXPOSED TO THE ELEMENTS AND TO VIEW.

LEAD HOLE TO FACILITATE INSERTION AND PREVENT DAMAGE TO THE SCREW.

B) LAG SCREWS SHALL MEET THE MINIMUM REQUIREMENTS OF ASTM A307, LOW CARBON STEEL EXTERNALLY AND INTERNALLY THREADED STANDARD FASTENERS. C) WOOD SCREWS SHALL CONFORM TO ANSI/ASME STANDARD B18.6.1-1981. D) ALL LUMBER CONNECTORS SPECIFIED AS "SIMPSON" TYPE TO BE MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY, INC." OR PRE-APPROVED EQUAL

ARCHITECTURAL WOOD AND TRIM MATERIALS

2. ANY PRESSURE TREATED LUMBER EXPOSED TO THE INTERIOR TO BE LEAST TOXIC

(BORATE OR EQUAL)

1. ALL WOOD USED IS TO BE FOREST STEWARDSHIP COUNCIL (FSC) CERTIFIED.

3. TRIM: ALL TRIM MATERIAL SHALL BE BORAL TRU EXTERIOR TRIM POLYASH COMPOSITION AND SUITABLE FOR AT / BELOW GRADE APPLICATIONS.

A) PROVIDE TRIM SIZES AS NOTED IN MANUFACTURERS LITERATURE 5/8 = 5/8" ACTUAL THICKNESS

1X = 3/4" ACTUAL THICKNESS

5/4 = 1" ACTUAL THICKNESS 2X = 1 1/2" ACTUAL THICKNESS

B) PROVIDE TRIM IN LONGEST LENGTHS AVAILABLE TO AVOID CUT PIECES

C) SMOOTH FINISH D) TRIM SHALL BE INSTALLED AS DETAILED ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED PRACTICES

E) PAINTED FINISH PER COLOR SCHEME ON A-106 F) CONTRACTOR SHALL SUBMIT PRODUCT LITERATURE TO OWNER AND ARCHITECT PRIOR TO ORDERING MATERIAL

4. TRIM PROFILES: PRE-FORMED PROFILES AS NOTED ON THE DRAWINGS A) SILL NOSING: AZEK LARGE SILL NOSE AZM-7979 OR APPROVED EQUAL

B) QUARTER ROUND: AZEK QUARTER ROUND AZM-105

ORDERING MATERIAL

401 METAL TRIM, 1/2" J-STOP.

ARCHED PANELS: REFER TO DETAIL 11/A-101

TILE: NOT IN CONTRACT

C) PAINTED FINISH PER COLOR SCHEME ON A-106 D) CONTRACTOR SHALL SUBMIT PRODUCT LITERATURE TO OWNER AND ARCHITECT PRIOR TO

5. FIBER CEMENT TRIM PROFILES: EASY TRIM BY ENGAGE BUILDING PRODUCTS

A) PROVIDE PROFILES FOR 5/16" TRIM SYSTEM IN PRIMED FINISH B) INSTALL AS DETAILED ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURERS

INSTALLATION REQUIREMENTS C) HORIZONTAL: EZ 4 - HORIZONTAL Z 5/16"TRIM

D) VERTICAL: EZ 104 - 2 PIECE ARROW OUTSIDE CORNER 5/16" TRIM E) CONTRACTOR SHALL SUBMIT PRODUCT LITERATURE TO OWNER AND ARCHITECT PRIOR TO ORDERING MATERIAL

6. INSTALLATION OF ALL TRIM AND ASSOCIATED COMPONENTS SHALL BE BY SKILLED FINISH CARPENTERS AND EXECUTED IN ACCORDANCE WITH THE BEST TRADE STANDARDS

7. EXTERIOR TRIM AND CLADDING FASTENERS SHALL BE RATED FOR THEIR RESPECTIVE MATERIAL

AND FOR EXTERIOR GRADE APPLICATIONS

FINISHES

ALL FINISHES NOT NOTED BELOW SHALL BE COORDINATED WITH THE OWNER AND ARCHITECT

GYPSUM WALL BOARD: INSTALL IN COMPLIANCE WITH THE STANDARDS OF ASTM C840 AND GA 216 -THICKNESS AS NOTED ON DRAWINGS. -FIRE RATED AS REQUIRED PER DRAWINGS -COMPLY WITH ASTM C931

-NAIL 6" TO 7" O.C. ON CEILINGS, AND 7" TO 8" O.C. FOR WALLS -APPLY STANDARD TRIM ACCESSORIES AS REQUIRED AND NOTED ON DRAWINGS

-PAPER FACED MATERIAL FOR PAINTED FINISH WHERE EXPOSED TO VIEW

-PASTE, TAPE AND SPACKLE ALL JOINTS AND EDGES -SAND, SMOOTH FOR APPLICATION OF PAINT WHERE EXPOSED TO VIEW -FOR INTERSECTIONS WITH NON-GYPSUM BOARD SURFACES - PAINTABLE SHEETROCK

PAINT/STAIN PRODUCT SELECTION SHALL BE MADE AS APPROPRIATE FOR APPLICATION

PAINT/STAIN: REFER TO A-106 FOR PROPOSED COLOR SCHEME - ALL PAINT AND STAIN COLORS PER PROPOSED COLOR SCHEME AND FINAL SELECTIONS SHALL BE CONFIRMED WITH OWNER PRIOR TO PROCEEDING WITH FINISHING.

LOCATION (INTERIOR/EXTERIOR) - ALL PAINT/STAIN FINISHES TO HAVE MAX. 250 GRAMS/LITER V.O.C. (VOLATILE ORGANIC COMPOUND) CONTENT.

- RECOMMEND SUBCONTRACTING WITH CUSTOM SIGNMAKER TO FABRICATE PANELS - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

- INSTALLATION PER THE TILE COUNCIL OF AMERICA HANDBOOK

FINISH FLOORING: NOT IN CONTRACT - INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS OR INDUSTRY STANDARDS

THERMAL AND MOISTURE PROTECTION

WEATHER BARRIER:

- COMPLIANT WITH ASTM E2556 TYPE II - CONTRACTOR SHALL SUBMIT PRODUCT LITERATURE TO OWNER AND ARCHITECT PRIOR TO ORDERING MATERIAL

ICE AND WATER SHIELD:

- BY GRACE OR APPROVED EQUAL

- 3' MINIMUM ROLL WIDTH TO WRAP UP SIDES OF WALL AS DETAILED ON 12/A-104 - CONTRACTOR SHALL SUBMIT PRODUCT LITERATURE TO OWNER AND ARCHITECT PRIOR TO ORDERING MATERIAL

BUILDING INSULATION: SEE SYSTEMS DETAILS FOR LOCATIONS, TYPICAL MATERIAL AND R-VALUE OWENS CORNING THERMAFIBER FIRE & SOUNDGUARD PLUS MINERAL WOOL INSULATION

OR APPROVED EQUAL

- INSULATION SHALL BE FORMALDEHYDE-FREE - INSULATION SHALL BE NON-COMBUSTIBLE AND INSTALLED AS NOTED ON THE DRAWINGS - SPRAY FOAM INSULATION SHALL BE CLOSED-CELL AND MINIMUM 2" THICKNESS

- XPS INSULATION SHALL BE LIMITED TO LOCATIONS WHERE IT CAN BE ENCLOSED IN FRAMING SEALANT AND CAULK: INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS - SONNEBORN CONCRETE MASTIC SEALANT AND EXPANSION MATERIAL - PROVIDE CAULKING AT ALL JOINTS, COLOR SHALL MATCH ADJACENT SURFACE. - ONE-PART SEALANT - NON-STAINING, NON-SAGGING, GUNGRADE

SYNTHETIC RUBBER SEALANT. SONNEBORN: "SONNOLASTIC NP-1" (PERCORA: "GC-9" OR "DYNATRO I" OR EQUAL) - TWO PART SEALANT - SONNEBORN: "SONNOLASTIC TWO PART" ("SONNOLASTIC NP-1", "PERCORA:GC-5" OR "DYNATRO II" OR EQUAL) - BACK-UP MATERIAL-DOW CHEMICAL CO.: "ETHAFOAM SB"

(SONNEBORN: "SONNOFOAM" OR EQUAL). FIBER CEMENT PANEL SIDING: 48" WIDE PANELS WITH SMOOTH FINISH BY JAMES HARDIE OR APPROVED EQUAL

- INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND AS DETAILED ON

- USE FULL SIZE FIBER CEMENT PANELS AND HIDE SEAMS BEHIND TRIM - USE FACTORY EDGE WHERE PANEL EDGES ARE EXPOSED - COORDINATE FASTENERS AND FASTENING PATTERN WITH ARCHITECT - PAINT COLOR IN ACCORDANCE WITH COLOR SCHEME ON A-106

TILE BACKER BOARD: RATED FOR EXTERIOR TILE APPLICATION - USG DUROCK BRAND CEMENT BOARD WITH EDGEGUARD

- INSTALL PER LOCATION REQUIREMENTS AND MANUFACTURERS INSTALLATION INSTRUCTIONS - 1/2" MINIMUM THICKNESS, COORDINATE FUTURE FINISH FLOOR ASSEMBLY THICKNESS WITH OWNER - GLUE AND SCREW TO SUBSTRATE WITH APPROPRIATE ADHESIVE

DOORS, WINDOWS, AND GLASS

THE DRAWINGS.

CLAD WOOD DOORS: SCOPE A - BASIS OF DESIGN: ANDERSEN E-SERIES OUTSWING DOOR

- FINISHES: REFER TO DOOR SCHEDULE FOR SELECTIONS - GLAZING: CLEAR LOW-E INSULATED GLASS WITH STAINLESS STEEL SPACER, UNLESS OTHERWISE NOTED - HARDWARE: FINISH TO BE SELECTED BY OWNER

- EXTERIOR PULL - INTERIOR PUSH HANDLE / PLATE - ACCESSIBLE THRESHOLD AT DOORS 101 AND 102

- REFER TO DOOR SCHEDULE FOR ADDITONAL HARDWARE SELECTIONS CLAD WOOD WINDOWS: SCOPE A

- BASIS OF DESIGN: ANDERSEN E-SERIES SASH SET STATIONARY STOREFRONT WINDOWS AND TRANSOMS

- FINISHES: REFER TO WINDOW SCHEDULE FOR SELECTIONS

- FINISHES: REFER TO WINDOW SCHEDULE FOR SELECTIONS

- KEYED DEAD-BOLT LOCK WITH THUMB TURN

- (4) BUTT HINGES FOR DOORS OVER 90" IN HEIGHT

- GLAZING: CLEAR LOW-E INSULATED GLASS WITH STAINLESS STEEL SPACER, UNLESS OTHERWISE NOTED

CLAD WOOD WINDOWS: SCOPE B BASIS OF DESIGN: ANDERSEN E-SERIES ARCH SINGLE HUNG WINDOWS - REPLACEMENT WINDOWS MUST MATCH ORIGINAL WINDOW OPENING DIMENSIONS AND ORIGINAL FRAME, SILL AND SASH PROFILES TO BE IN COMPLIANCE WITH THE NATIONAL PARK SERVICE SECRETARY OF THE INTERIOR STANDARDS.

 GLAZING: CLEAR LOW-E INSULATED GLASS WITH STAINLESS STEEL SPACER, UNLESS OTHERWISE NOTED

- FURNISH INSECT SCREENS AS DIRECTED BY OWNER AND GENERALLY AT ALL OPERABLE SASHES, SCREEN SASH SHALL MATCH EXTERIOR CLADDING COLOR

ANDERSEN WINDOW REPRESENTATIVE CONTACT INFORMATION: CHARLIE JACKSON - EMAIL: Charles.Jackson@andersencorp.com

SECURITY PURPOSES.

NANAWALL FOLDING WINDOW UNIT - BASIS OF DESIGN: NW CLAD 740 WOOD-ALUMINUM FOLDING SYSTEM - CONFIGURATION: INWARD (CONFIRM DIRECTION OF FOLDING WITH DRAWINGS)

- FINISHES: REFER TO WINDOW SCHEDULE FOR SELECTIONS - GLAZING: OWNER TO SELECT FROM MANUFACTURER OPTIONS - HARDWARE: MULTI-POINT LOCKING WITH ALL FUNCTIONS LOCATED AT INTERIOR FACE FOR

- HARDWARE FINISH: OWNER TO SELECT FROM STANDARD OPTIONS - SILL TYPE: THERMALLY BROKEN LOW PROFILE SADDLE (FOR RESISTANCE AGAINST WIND DRIVEN RAIN, WEEP HOLES AND DRAIN CONNECTIONS BY OTHERS NECESSARY)

- SILL FINISH: OWNER TO SELECT FROM STANDARD OPTIONS CONTRACTOR SHALL COORDINATE WITH QUALIFIED NANAWALL INSTALLER TO PREPARE WATERTIGHT

OPENINGS TO RECEIVE THE NANAWALL UNITS. NANAWALL REPRESENTATIVE CONTACT INFORMATION: MIKE CATALINA

- EMAIL: mcatalina@preferredmarketing.net QUALIFIED NANAWALL INSTALLER: CHRIS NEWCOMER AT PRISM HOME IMPROVEMENT

- EMAIL: nukeyrochester@yahoo.com

ARCHITECT.

GENERAL WINDOW AND DOOR NOTES: A) CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL WINDOWS AND DOORS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING.

B) CONTRACTOR SHALL TAKE CARE TO COORDINATE THE REQUIRED R.O. DIMENSIONS FOR THE WINDOW AND DOOR UNITS WITH THE DIMENSIONS ESTABLISHED FOR THE STOREFRONT DESIGN AS INDICATED IN THE DRAWINGS. ANY CONFLICTS AND/OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.

INSTALLATION REQUIREMENTS AND IN ACCORDANCE WITH INDUSTRY STANDARDS. ADJUST DOORS AND WINDOWS TO OPERATE SMOOTHLY AND TO BE WEATHER TIGHT WHEN CLOSED. D) ALL GLASS AND GLAZING SHALL CONFORM TO U.B.C. 2406 AND LOCAL CODE REQUIREMENTS. THE

C) ALL DOORS AND WINDOWS SHALL BE INSTALLED TRUE AND PLUMB PER MANUFACTURERS

MORE STRINGENT REQUIREMENTS SHALL GOVERN. ALL WINDOWS SHALL HAVE NATIONAL

FENESTRATION RATING COUNCIL (N.F.R.C.) TOTAL UNIT U-FACTOR OF 0.65 OR LESS. ALL WINDOWS TO HAVE N.F.R.C. SOLAR HEAT GAIN COEFFICIENT (S.H.G.C.) OF 0.55 OR LESS. E) CAULK ALL JOINTS AT DOOR AND WINDOW FRAMES TO PROVIDE WEATHER RESISTIVE BARRIER.

COLOR OF CAULKING SHALL MATCH ADJACENT WALL. F) HANGING DOORS AND INSTALLATION OF FINISH HARDWARE - ALL HARDWARE TO BE INSTALLED ACCURATELY AND SECURELY AND SHALL WORK PROPERLY TO THE SATISFACTION OF THE OWNER /

-ROCHESTER--FINGER LAKES 585.237.2614 315.220.0225 2 Borden Ave #202 103 Seneca Street Perry, NY 14530 Geneva, NY 14456

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REVISIONS

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PROJECT TITLE

134-136 MAIN STREET

HORNELL, NY

134-136 MAIN

ISSUE DATE: 07.25.2025

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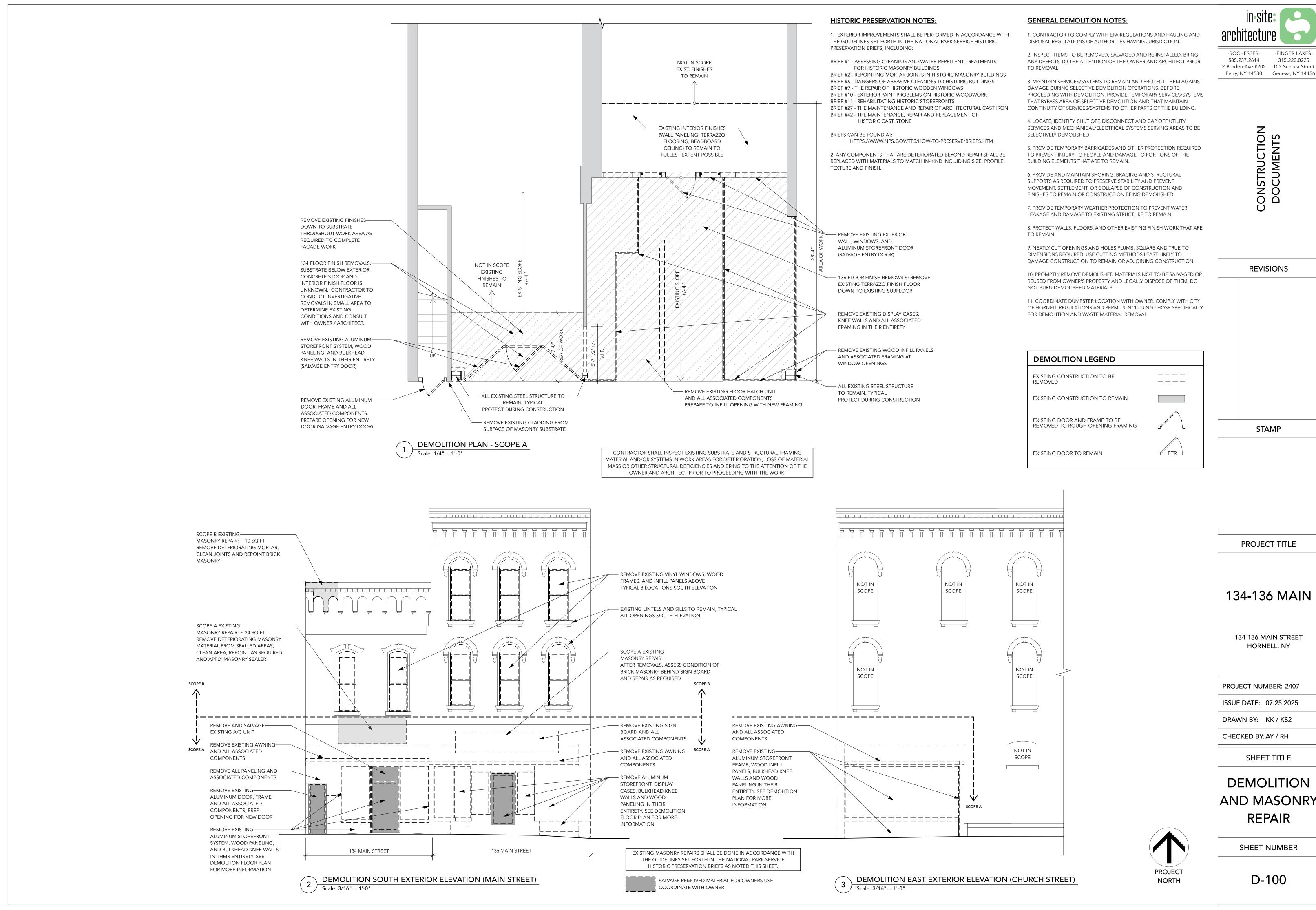
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GENERAL

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G-100



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