

CITY OF TOOL 403-752-2022
Lalosta Davis

Residential Permit Application

Building Permit Number:	25-000193			Valuation:	\$400,000	
Project Address:	800 Oak Circle, Tool, TX 75143			Zoning:	B-1	
Lot:	Block:	Subdivision:	Phase			
☒ Plan Review & Inspection ☐ Plan Review only ☐ Inspection only ☐ FENCE ☐ ACCESSORY BUILDING						☐ NEW SFR ☐ PLUMBING ☐ SFR REMODEL/ADDITION ☐ MECHANICAL ☐ LAWN IRRIGATION ☐ SPECIFY OTHER: ☐ ELECTRICAL ☐ SWIMMING POOL
Description of Work: New metal building w/awning						
Area Square Feet:		Covered	Total:		Number of stories:	
Living:	Garage:	Porch:				
THIS PROPERTY IS IN A FLOODPLAIN: Yes ☐ No ☐ If yes, provide Flood Plain Certificate to the City						

Owner Information:	City of Tool		
Name:	Contact Person: Julius Kizzee		
Address:			
Phone Number:	Cell Number:	Email:	
	(903) 432-3522		

General Contractor	Contact Person	Phone #:	Contractor License Number
Raymond's Concrete	James Raymond	(903) 880-6883	☐
	Email:		
Mechanical Contractor	Contact Person	Phone #:	Contractor License Number
			☐
	Email:		
Electrical Contractor	Contact Person	Phone #:	Contractor License Number
			☐
	Email:		
Plumber/Irrigator	Contact Person	Phone #:	Contractor License Number
			☐
	Email:		
TPO Energy Provider	Contact Person	Phone #:	Contractor License Number
			☐
	Email:		

A permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. All permits require final inspection.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

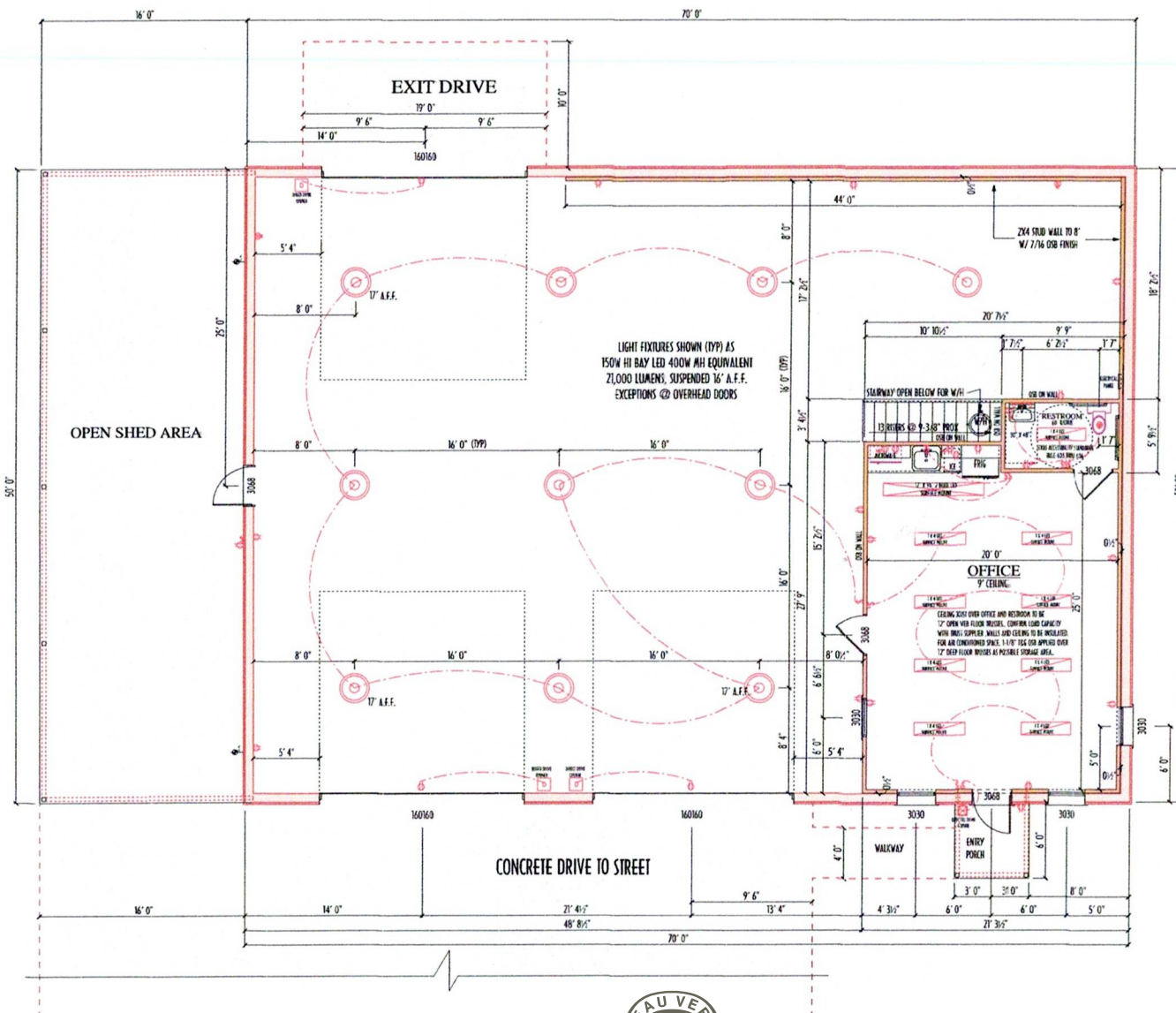
Lalosta Davis
OFFICE USE ONLY:

Date: _____

Approved:	 <i>D.D. Shutt</i>	Date:	09/22/2025
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Building Permit Fee: _____
Plan Review Fee: _____
Water Tap Fee: _____
Sewer Tap Fee: _____
Meter Deposit Fee: _____

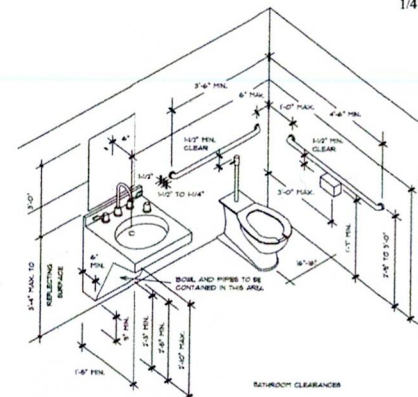
Total Fees: _____
Receipt #: _____
Issued Date: _____
Issued By: _____
BV Project # 2025-023383



**BUREAU
VERITAS**

PLANS REVIEWED
Plans not valid without attached notes

Sep-22-2025



ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
1' X 8' LED	1	
1' X 4' LED	9	
LED HI BAY LIGHT	10	
DUSK TILL DAWN	1	
RESTROOM EXHAUST	1	
garage door opener	3	
outlet	20	
outlet 220v	2	
outlet gfi	4	
switch	11	
switch 3 way	2	
RESTROOM SINK LITE	1	
KITCHEN SINK LITE	1	

OPENING SCHEDULE			
PRODUCT CODE	SIZE	HINGE	COUNT
36X80 FRONT ENTRY O/S	3068	L	1
192X192 PANEL OVERHEAD	160160	U	3
36X80 INTERIOR UNIT	3068	L	1
36X80 INTERIOR UNIT	3068	R	1
36X36 SH IG LOW E WINDOW	3030	U	4

**ADDITIONAL PLANS
AND/OR ENGINEERING
MAY BE REQUIRED AT
THE DISCRETION OF
THE INSPECTOR**

NOTICE
ALL WORK SHALL COMPLY
WITH THE I-CODES AND ALL
OTHER APPLICABLE ADOPTED
CODES AND ORDINANCES

**SUBJECT TO FIELD
INSPECTION AND
APPROVALS**

SCALE
1/4" = 1'0"

NICKELSON
HEAT & AIR
303-340-9446
www.nickelsonhvac.com

ELITE
INSTALLATION
SYSTEMS
303-480-2166
www.elitehvac.com

Clay Structures
ROBIN LANE
303-480-2166
www.claystructures.com

MAKING EARTHWORK
A TOTAL INSTALLATION
303-480-2166
www.makingearthwork.com

McAFEE
INSURANCE
303-480-2166
www.mcafeeinsurance.com

PRECISION
303-480-2166
www.precisionhvac.com

Hassel Free Plumbing
303-480-2166
www.hasselfreeplumbing.com

City of Tool
701 N. TOOL DRIVE
TOOL, TEXAS
FLOOR PLAN
W/ ELECTRICAL

DISCLAIMER: Although every care has been taken to insure accuracy and compliance in codes, it is the responsibility of the CONTRACTOR to check all dimensions for accuracy and to check all building codes applicable to the structure in the area it is to be built.

Mueller, Inc. 3D Design Tool
Project Specifications

Project Name: New Project 11-18-2024
Project Date: 11/18/2024 09:12:12 AM

Customer Mailing Address

none
Tool , TX 75143
Phone/Email: 8176584140 / lawyervera@aol.com

Building Details

Basics (in ft.):
width X length X height: 50 X 70 X 19
Pitch: 5
Overhang sides: 0
Overhang end: 0
Single slope: no
Wainscot: none
Gutter: yes

Leantos

Back: width: 16, pitch: 1, drop: 2, cut_front: 0, cut_back: 0

Colors

Wall:	Roof:	Trim:
Charcoal	Black	Black

RollUp: Black
Vent: Black
Wainscot: none
Liner Panels: none

Accessories

Ridge Vent Type / Mode: low / continuous
Insulation: yes
front wall window_3x3
left wall door_3x7
right wall rollup_16x16

front wall window_3x3
left wall rollup_16x16
left wall window_3x3
left wall rollup_16x16



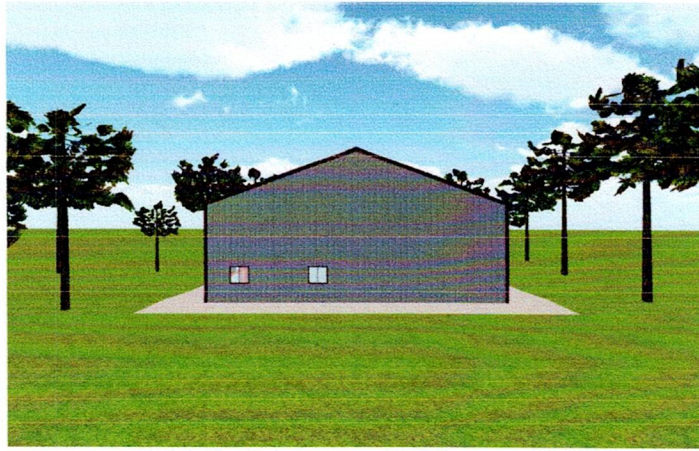
3D QUOTE DATA

Mueller Quote ID:	202411190012
Quote Date:	2024-11-18 09:12:12
Project Type:	Commercial
State:	TEXAS
County:	Kaufman
Building Address:	701 N TOOL DR.
Building City:	TOOL
Building Zip:	75143
Branch:	Kaufman
Rep:	Clint Weaks
Snow Load:	5.00
Wind Load:	115.00

Comments/Extra Instructions:

add a 6 x 6 lean to over front entry door. Add a window just to the right of entry door 3x3. There will be a 20 x 25 office where the entry door will enter into that goes back 25' I couldn't tell where I was putting the entry door. We will supply home depot windows. Mueller supplies entry door

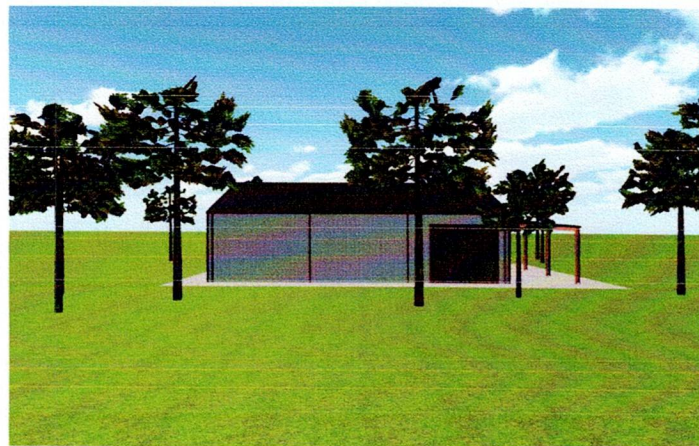
FRONT



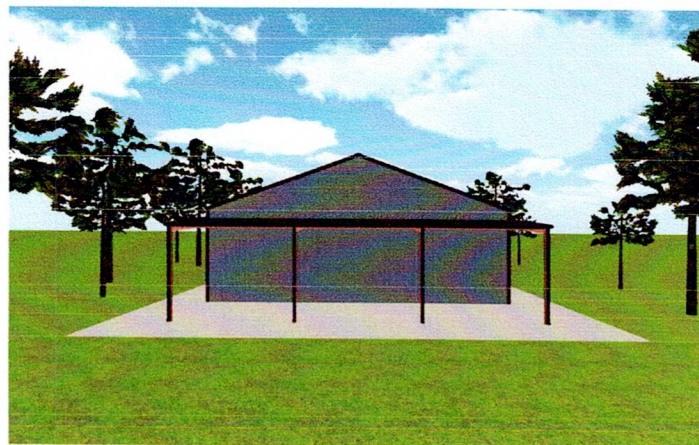
LEFT SIDE

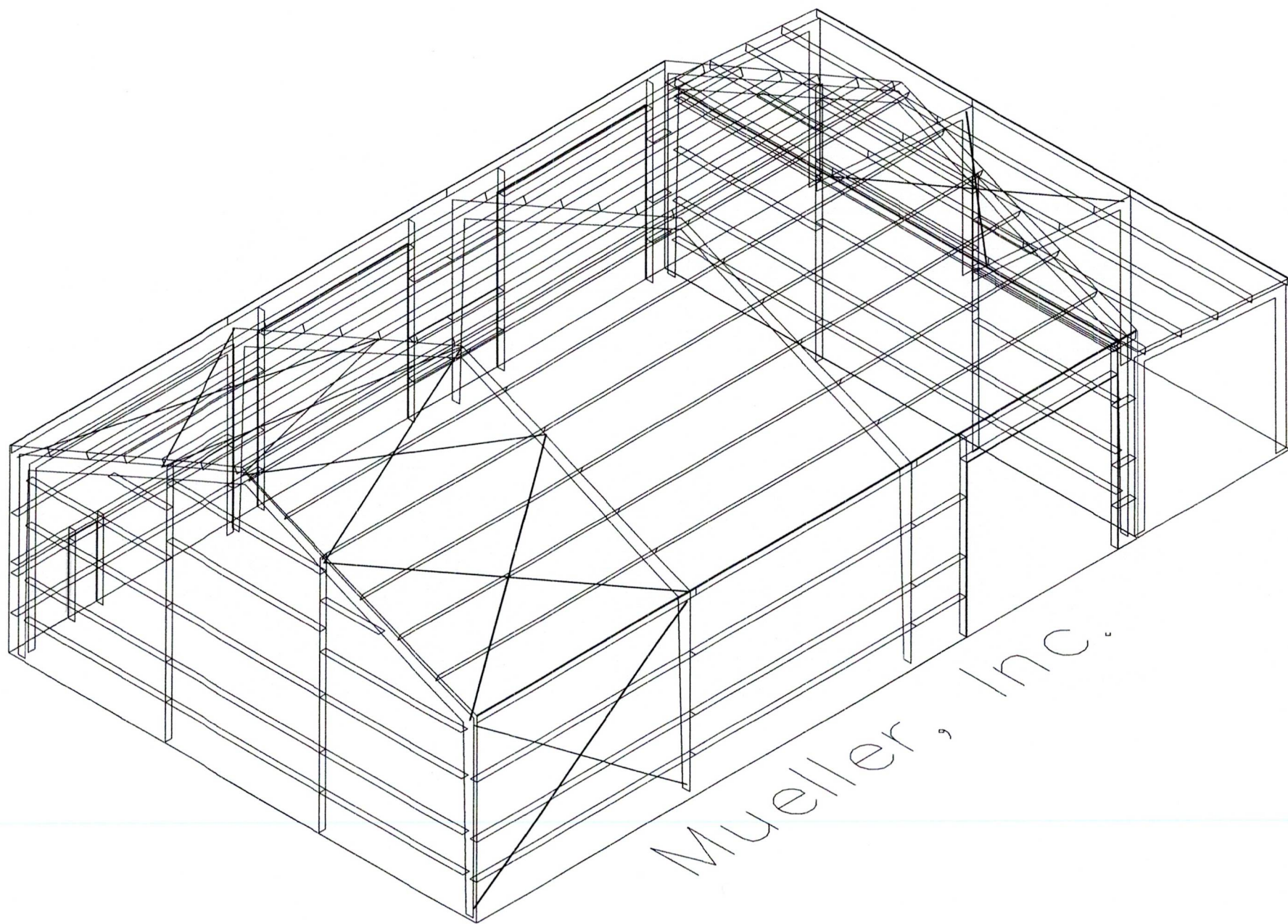


RIGHT SIDE



BACK





Mueller, Inc.

(877) 268-3553



Building Quotation

Steel Building Systems & Components

Salesperson: Clint Weaks

Date: 11/19/2024 **Quote #:** 202411190012M

Submittals

- ☐ Mueller Supplied Components Designed to meet TX Windstorm Criteria
- ☐ See Additional Architectural Drawings
- ☐ Request for Pre-Express
- ☐ Request for Pre-Approved Custom

Customer Data

Customer: _____
Cust. No: _____
Mail Address: _____
City, State, Zip: _____
Contact: _____
Day Phone: _____
Home Phone: -
Cell Phone: -
Fax: -
Email: _____

End User: _____
Name: New Project 11-18-2024
Jobsite Address: 701 N Tool Dr.
City, State, Zip: Tool, TX 75143
County: Kaufman
General Contr: _____
Address: _____
City, State, Zip: _____
Customer Type: _____

Building Details

Building Type: ☒ RF ☐ SS ☐ LT
Width: 50.000' Peak Offset: 25.000'
Length: 70.000'
Sidewall Bay Spacing 3 @ 23.3333'

	Eave Ht	Roof Slope	Girt Type
Front Side:	<u>19.000'</u>	<u>5.000 in 12</u>	<u>ByPass</u>
Back Side:	<u>19.000'</u>	<u>5.000 in 12</u>	<u>ByPass</u>

Frame ID	Frame Type*	Col Type*	Rafter Type*	Frame Line	# Int Col's
<u>1</u>	<u>Rigid Frame</u>	<u>Tapered</u>	<u>Tapered</u>	<u>2 3</u>	<u>-</u>
<u>2</u>	<u>Rigid Frame</u>	<u>Tapered</u>	<u>Tapered</u>	<u>1 4</u>	<u>-</u>

* May change due to engineering requirements

Building Code (Provided by customer): Building Loads:

Design Code: IBC'18
Closed/Open: P
Exposure: C
Importance - Wind: 1.00
Site Class: D
Importance - Seismic: 1.00
Seismic Coefficient: 0.14
Importance - Snow: 1.00

Dead Load: 2.50 psf
Live Load: 20.00 psf
Load Reduction: Yes
Ground Snow: 5.00 psf
Collateral: 0.00 psf
Wind Load: 106.00 mph

Other Loads:

Crane Load? ☐ Yes ☒ No
Floor Load? ☐ Yes ☒ No
Parapet / Mansard? ☐ Yes ☒ No
(Attach Separate Data Sheet)

Stepped elevations or structures within 20 feet? ☐ Yes ☒ No

Building Use Classification: **Standard Building**
Description of building use:

Frame Coating

Main Columns & Rafters

- ☒ Red oxide
- ☐ Hot-Dipped Galv'd

Purlins, Girts, Eave Struts

- ☒ Red oxide
- ☐ Pre-Galvanized
- ☐ Hot-Dipped Galv'd

Door Framing

- ☒ Red oxide
- ☐ Pre-Galvanized
- ☐ Hot-Dipped Galv'd

Base Angle

- ☒ Red oxide
- ☐ Pre-Galvanized
- ☐ Hot-Dipped Galv'd

End Frames

	Left	Right
Expandable	☐	☐
Non-Exp RF	☒	☒
Std. Endwall	☐	☐
CF Endwall	☐	☐

Base Condition

- ☐ Angle
- ☒ Trim
- ☒ Channel
- ☐ Girt
- ☐ GZ Base Fixtrue

Wall Bracing

- Roof:
- Left Endwall:
- Front Sidelwall:
- Right Endwall:
- Back Sidelwall:

Bracing Details

Diagonal Bracing
Rigid Frame
Diagonal Bracing
Rigid Frame
Diagonal Bracing

Framed Openings

Note: Bolted Clips

Wall	Bay	Open Width	Header Ht	Sill Ht	Offset
Front Sidelwall	3	16.000'	16.000'	0.000'	5.333'
Back Sidelwall	1	16.000'	16.000'	0.000'	2.000'
Back Sidelwall	2	16.000'	16.000'	0.000'	4.000'

*Note on framed openings: Mueller, Inc will supply the necessary reinforcement to brace framed openings against necessary loadings. If the size of the framed openings are specified by the customer, Mueller, Inc will not be responsible for adaptability of fit-up of items installed in these framed openings other than stock overhead doors supplied by Mueller, Inc

Purlin Extensions

Wall	Surface	Length	Soffit
None			

Eave Extensions and Canopies

Wall	Bay St	Bay End	Height	Width	Slope	Soffit
None						

Open walls:

*Note: All open walls will contain necessary columns unless otherwise noted.

Left Endwall:	☐ Yes	☒ No	Right Endwall:	☐ Yes	☒ No
Front Sidelwall:	☐ Yes	☒ No	Back Sidelwall:	☐ Yes	☒ No

Partial Walls and Wainscot:

Wall	Wainscot	Bay Start	Bay End	Open Height	Base	Full Load
None						

Liner Panel

Location	Start	End	Height
None			

Sheets & Trim

Location	Color	Panel	Gauge	Quality	Trim
Roof	Black	PBR	26	30 Yr.	Gable: Black
Walls	Charcoal Gray	PBR	26	30 Yr.	Eave: Black
Soffit	Charcoal Gray	PBR	26	30 Yr.	Corner: Black
Roof Liner	---				Jamb: Black
Wall Liner	---				Liner: ---
Wainscot	---				Wainscot: ---

* see specific details at www.muellerinc.com.**Fasteners**

Roof	Walls	Soffit
Panel: TEK1.25	Panel: TEK1.25	Panel: TEK1.25
Lap: LAPTEK	Lap: LAPTEK	Lap: LAPTEK
Type: Painted	Type: Painted	Type: Painted

Ridge Covering

- Peak Sheets
- Ridge Roll

Eave Condition

- | | |
|-------------------------|-------------------------|
| Front Sidewall | Back Sidewall |
| ● Gutter & 4 Downspouts | ● Gutter & 4 Downspouts |
| ○ Eave Trim | ○ Eave Trim |

Lean-to's

<u>Wall No.</u>	<u>Wall</u>	<u>Width</u>	<u>Length</u>	<u>Eave Ht.</u>	<u>Drop</u>	<u>Cut/Wrap Lt/Rt</u>
3	Right Endwall	16.00'	50.00'	15.67'	2.00'	- / -

Lean-to walls are not sheeted.

See Addendum(s) for additional lean-to details.

Accessories**** All accessories need to be applied to the base price as shown on the pricing page. ****

<u>Item Description</u>	<u>Quantity</u>	<u>Price</u>
Alt 1: 3x3 Horiz Slide Window Dia	3	(Included)
Alt 2: Dbl Sided Ins Tape 1	9	(Included)
Alt 3: Ins (roof): 6' X 3" Vrr Faced	1 Lot	(Included)
Alt 4: Ins (wall): 6' X 3" Vrr Faced	1 Lot	(Included)
Alt 5: Mue Low Pro Vent Bwh 10' Mfg	7	(Included)
Alt 6: Mue Rud: Mue 16' X 16' W350 Bwh Stock	3	(Included)
Alt 7: Standard Lockset	1	(Included)
Alt 8: Vrr Insulation Patch Tape	1 Lot	(Included)
Alt 9: Wd: 3x7 Door Wht W/lks Cutout	1	(Included)
Alt 10: Wd: 8 1/4" X 3'x 7' Wht Kerf Frame	1	(Included)

Weight of All Buildings: 34,681 lbs.

(Subject to change after the building is Engineered and Detailed)

Special Requirements:**Notes: Anchor Bolts are not included with this Quotation.****Price, Main Bldg - Includes Accessories:****Price, Wall 3 - Right Endwall:****Building Price**

(Above Listed Accessories Included)

\$76,563.90**Price does not include
shipping or sales tax.****Price Subject to Change Without Notice**

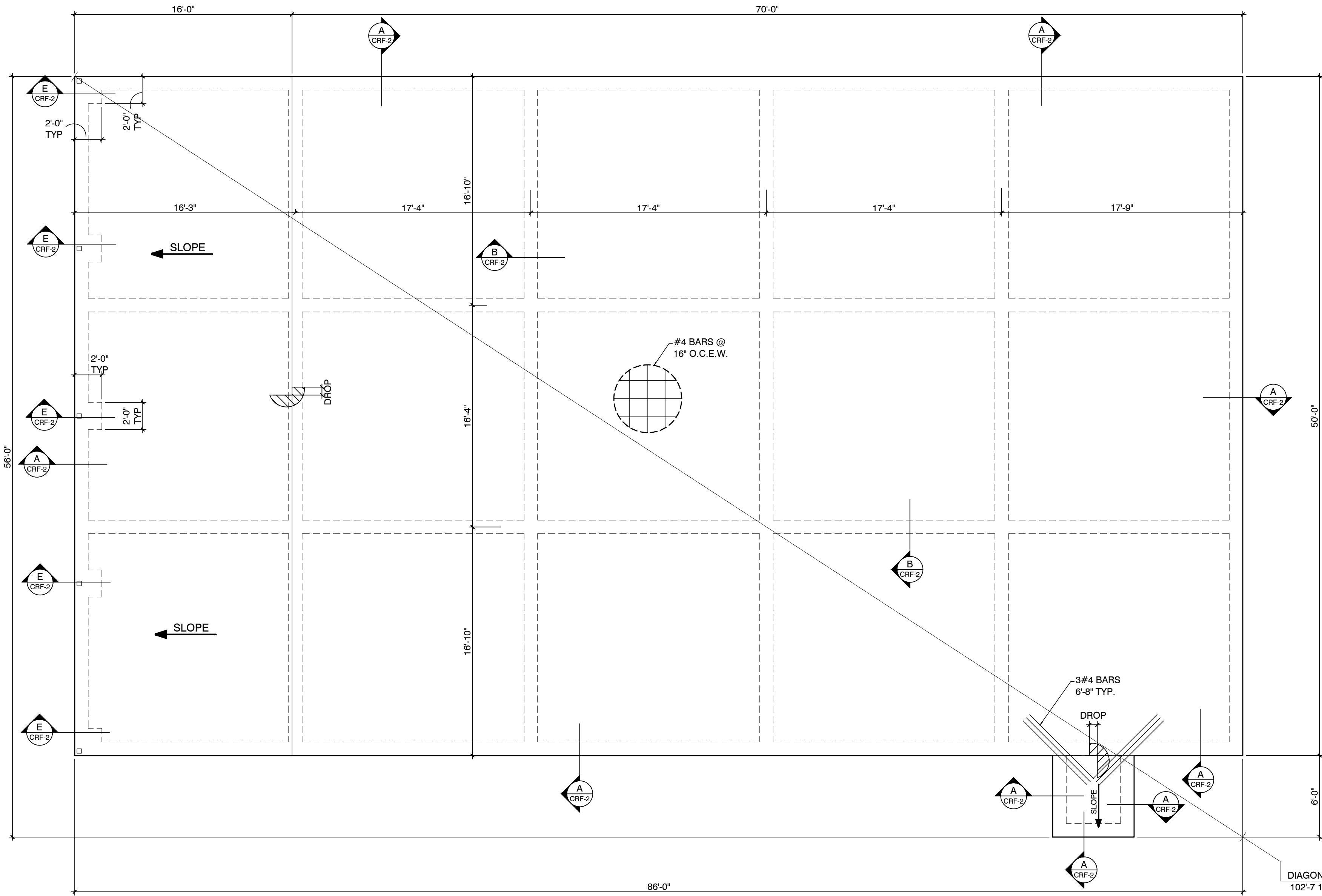
Available Anchor Bolt Options:

<u>Item Description</u>	<u>Quantity</u>	<u>Weight</u>	<u>Price</u>	<u>Accept</u>	<u>Decline</u>
Hex Anchor Bolt 5/8"x12"	28	29.12	\$ 164.08	Accept	Decline
Hex Anchor Bolt 3/4"x 15"	36	67.68	\$ 390.60	Accept	Decline
Hex Anchor Bolt 3/4"x 15"	20	37.60	\$ 217.00	Accept	Decline
Anchor Bolt Ship to Branch	0	-	-	Accept	Decline
Anchor Bolt Ground Shipping	0		\$ 268.80	Accept	Decline
Anchor Bolt Overnight Shipping	0		\$ 1,612.80	Accept	Decline
Anchor Bolt Template Sets	0	32.75	\$ 268.09	Accept	Decline
Template Ship to Branch	0	-	-	Accept	Decline
Template Ground Shipping	0		\$ 65.50	Accept	Decline
Template Overnight Shipping	0		\$ 392.99	Accept	Decline

To place this building on order, contract your Mueller sales representative. A Purchase Agreement will be sent to you detailing your building requirements. If all the information is correct, sign the Purchase Agreement and return with a 25% deposit of the total purchase price The balance of the order will be due on delivery. The delivery date for your project will be determined by the date we receive your Purchase Agreement and deposit. If you have any questions please contact us.

If your building is located in the Texas Windstorm Region as designated by the Texas Department of Insurance. You will need to contact your sales representative about this building as there may have to be some modifications made in order to accommodate the criteria requirements for a building in the Texas Windstorm Region.

MBS Version: 11/18/2024

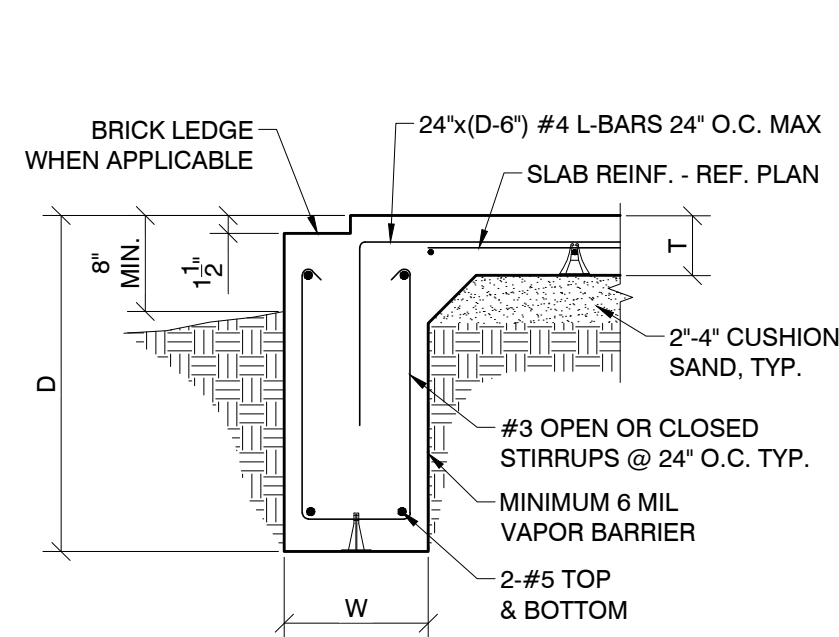


FOUNDATION NOTES:
1. THICKNESS: T = 5"
2. SLAB STEEL - #4 BARS @ 16" O.C.E.W.
3. BEAM WIDTH W = 12"
4. BEAM DEPTH
INTERIOR D = 30"
EXTERIOR D = 36"
5. BEAM STEEL - TOP: 2-#5
BOTTOM: 2-#5
6. AREA = 4336 SQ. FT.
7. ***EST. CONCRETE = 140 YDS.
8. SOIL REPORT:
EYNCON, LLC
1604 N KAUFMAN ST
ENNIS, TX 75119
PROJECT NO. 0525097
DATED: 06/30/25
9. GRADE BEAMS TO BEAR A MIN. OF 18"
BELOW GRADE.
10. CONTRACTOR TO ADHERE TO
GEOTECHNICAL RECOMMENDATIONS
FOR REQUIRED SITE PREPARATION
AND SOIL MEDIATION.

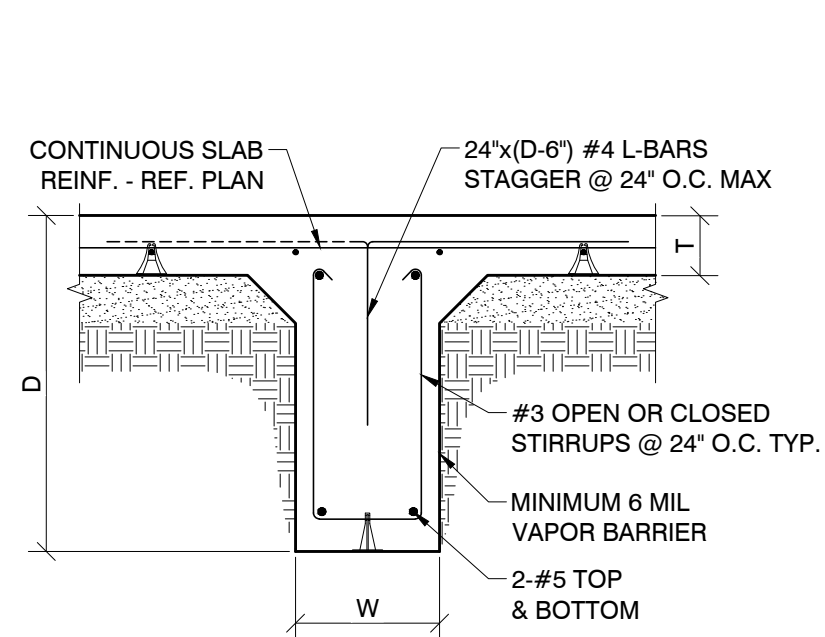
DISCLAIMER: EYNCON IS **NOT THE EOR** FOR ROOF, CEILING, FLOOR, NOR WALL CONSTRUCTION FOR THIS RESIDENTIAL STRUCTURE. EYNCON'S STRUCTURAL DIVISION HAS BEEN CONTRACTED TO PROVIDE FOUNDATION CONSULTING SERVICES ONLY. EYNCON HAS USED KNOWLEDGE AND EXPERIENCE OF TYPICAL FRAMING SCHEMES AND INDUSTRY STANDARDS TO ANTICIPATE LOAD DEMANDS IMPOSED BY STRUCTURAL FRAMING BY OTHERS. HOWEVER, UNLESS LOAD DEMANDS FROM THE FRAMING SYSTEM ARE PROVIDED TO EYNCON PRIOR TO THE CONSTRUCTION OF THIS FOUNDATION, EYNCON PROVIDES NO GUARANTEE OF ADEQUATE SUPPORT FOR ANTICIPATED GRAVITY AND LATERAL DEMANDS IMPOSED FROM THE FRAMING DESIGN BY OTHERS.

- NOTES:**
- THIS FOUNDATION DESIGN IS CONSIDERED INVALID UNLESS ACCOMPANIED BY A LETTER FROM EYNCON ENGINEERING AUTHORIZING ITS USE ON A SPECIFIC LOT & BLOCK, OR ADDRESS.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS SHOWN ON PLAN. IF DISCREPANCIES EXIST BETWEEN ARCHITECTURAL AND ENGINEERING DESIGN DOCUMENTS, ARCHITECTURAL SHALL CONTROL.
 - CAUTION:** THIS FOUNDATION HAS BEEN DESIGNED USING SOIL PROPERTY VALUES AND RECOMMENDATIONS PROVIDED BY THE GEOTECHNICAL REPORT FOR THIS SPECIFIC LOT OF LAND. THIS FOUNDATION HAS **NOT** BEEN DESIGNED TO PREVENT ALL POTENTIAL MOVEMENT OF THE STRUCTURAL FOUNDATION. THIS FOUNDATION HAS BEEN DESIGNED TO MITIGATE POTENTIAL MOVEMENT, ADHERING CONSERVATIVELY TO CODE MINIMUM STANDARDS.
 - U.N.O, ALL CONCRETE SHALL BE NORMAL WEIGHT, WITH A MINIMUM STRENGTH OF **3,000 PSI AT 28 DAYS** AND SHALL CONFORM TO **ACI 318, ACI 301, AND ASTM C94 STANDARDS**.
 - CONCRETE MIX DESIGN BY OTHERS. ADMIXTURES TO BE APPROVED BY A COMPETENT CONSULTANT. EYNCON REVIEW OF MIX DESIGNS AVAILABLE UPON REQUEST.
 - CONCRETE SHALL NOT BE PLACED WITH SLUMP GREATER THAN 5 INCHES.
 - ALL REINFORCING BARS SHALL ADHERE TO **ASTM A615** GRADE 60, EXCEPT #3 REINFORCING BARS ARE PERMITTED TO BE GRADE 40.
 - REINFORCING STEEL CLEAR COVER FOR FOUNDATION ELEMENTS SHALL BE 3" AT BOTTOM, 2" AT BOARD FORMED SIDES, 3" AT EARTH FORMED SIDES, AND 1 1/2" MINIMUM AT TOP, U.N.O. REF. DETAILS.
 - ALL EXTERIOR BEAMS TO HAVE A FINISHED FLOOR ELEVATION SUCH THAT BEAMS EXTEND A MINIMUM OF 6" ABOVE GRADE **PER IRC-404.1.6**.
8" DEPTH ABOVE GRADE IS RECOMMENDED BUT NOT REQUIRED.
 - PLUMBING NOT PERMITTED TO RUN WITHIN LENGTH OF GRADE BEAM UNLESS APPROVED BY EYNCON.
 - STANDING WATER IS TO BE REMOVED PRIOR TO THE PLACEMENT OF CONCRETE AT ALL STRUCTURAL FOUNDATION ELEMENTS.
 - IF DROUGHT CRACKS ARE PRESENT WITHIN THE SLAB FOOTPRINT, THEN IMMEDIATELY PRIOR TO CONSTRUCTION, CONTRACTOR SHALL SLUSH OR INJECT THE GROUND AREA WITHIN A PERIMETER NO LESS THAN 10' OUTSIDE OF THE SLAB FOOTPRINT. SUFFICIENT WATER IS TO BE INJECTED SUCH TO CLOSE ALL EXISTING DROUGHT CRACKING IN THE SOIL.
 - 2'-4" OF LEVELING SAND TO BE INSTALLED AT ALL SLAB-ON-GRADE AND FOOTING FOUNDATIONS. A MINIMUM 6 MIL. POLYETHYLENE VAPOR BARRIER IS TO BE UTILIZED. REFER AND ADHERE TO GEOTECHNICAL RECOMMENDATIONS. DOUBLE-POLY SYSTEM RECOMMENDED BUT NOT REQUIRED.
 - CHAIRS OR BOLSTERS ARE REQUIRED AT ALL CONCRETE REINFORCING ELEMENTS FOUNDED DIRECTLY ABOVE GRADE.
 - VOID FORMS, AS REQUIRED, TO BE APPROVED BY A COMPETENT CONSULTANT. EYNCON REVIEW OF PRODUCT SPECIFICATION AVAILABLE UPON REQUEST.
 - PLANS MAY BE REVERSED ON LOT AT BUILDERS DISCRETION; CONTINGENT SUCH THAT THE CENTROID LOCATION OF THE STRUCTURE DOES NOT SHIFT A REASONABLE DISTANCE.
 - PLANS ARE FOR REINFORCEMENT, BEAM, AND FOOTING PLACEMENT ONLY. SET FORMS, DROPS, BRICK LEDGES, HANDICAP RAMPS, ETC., BY OTHERS. REF. ARCHITECTURAL DOCUMENTS.
 - DROPS:** DROP DEPTH AND EXACT DROP LOCATIONS TO BE DETERMINED BY ARCHITECTURAL PLANS AND CONFIRMED BY OWNER/CONTRACTOR. IF DROP DEPTH EXCEEDS THAT SHOWN IN TYPICAL DROP DETAIL SHOWN ON PLAN, CONTACT EYNCON FOR RE-EVALUATION.
 - DRAINAGE:** PROPER DRAINAGE ALL AROUND A SLAB-ON-GRADE FOUNDATION IS A CRITICAL FACTOR FOR PERFORMANCE OF THE FOUNDATION. AS REQUIRED **PER IRC-401.3, POSITIVE DRAINAGE WITHIN 10 FEET OF A FOUNDATION IS CRITICAL IN MITIGATING POTENTIAL SOIL HEAVE**. FOLLOWING STRIPPING OF FORMS AND APPROPRIATE CURING OF CONCRETE, PROPER ROUGH GRADING IS REQUIRED. CONTRACTOR TO INSURE NO PONDING CAN OCCUR ADJACENT TO THE FOUNDATION. ALL AREAS OF NEGATIVE DRAINAGE ARE TO BE FILLED AND ROUGH GRADED IMMEDIATELY TO INSURE POSITIVE DRAINAGE AWAY FROM FOUNDATION. IT IS RECOMMENDED BY EYNCON THAT THE FINAL GRADE AROUND THE FOUNDATION IS TO BE 8" BELOW FLOOR ELEVATION AND SLOPE NO LESS THAN A MINIMUM [6" OVER 5'-0" & 12" OVER 10'-0"] AWAY FROM THE FOUNDATION.
 - ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL OF ROOF DRAINAGE THAT COLLECTS AND DISCHARGES STORM DRAINAGE TO THE GROUND SURFACE NO LESS THAN 5 FEET FROM THE EDGE OF FOUNDATION OR TO AN APPROVED SUB-SOIL DRAINAGE SYSTEM.
 - CAUTION:** VIBRATE CONCRETE FOR PROPER CONSOLIDATION PARTICULARLY AT AREAS OF REINFORCEMENT CONGESTION.
 - TREE REMOVAL:** ALL TREES TO BE REMOVED WITHIN 10' OF FOUNDATION PRIOR TO CONSTRUCTION OF SLAB. FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR BACKFILL AND MOISTURE CONDITION REQUIREMENTS AT ALL VOIDS LEFT FROM TREE REMOVAL. IF TREES ARE NOT TO BE REMOVED DUE TO OWNER DIRECTIVE, **CONTACT EYNCON FOR FURTHER EVALUATION**.
 - THE CONCRETE "ESTIMATE" SHOWN ON PLAN SHALL NOT BE USED IN CALCULATING TAKE-OFF QUANTITIES. EYNCON, LLC IS NOT LIABLE FOR MATERIAL TAKE OFFS (MTO) DISCREPANCIES.
 - CONSTRUCTION SITES CAN VARY DRASTICALLY FROM PROJECT TO PROJECT. TEMPORARY SHORING OF EXISTING STRUCTURAL ELEMENTS AND/OR TEMPORARY SOIL RETAINAGE IS NOT SHOWN, TYPICAL. IFF NEEDED FOR SITE-SPECIFIC CONDITIONS, EYNCON CONSULTING SERVICES FOR VARIOUS SHORING SYSTEMS IS AVAILABLE UPON REQUEST.
 - PRE-POUR INSPECTION BY EYNCON ENGINEERING REQUIRED. CONTINGENT ON JOB-SPECIFIC REQUIREMENTS, PLEASE NOTE THAT MULTIPLE PRE-POUR INSPECTIONS MAY BE REQUIRED.**

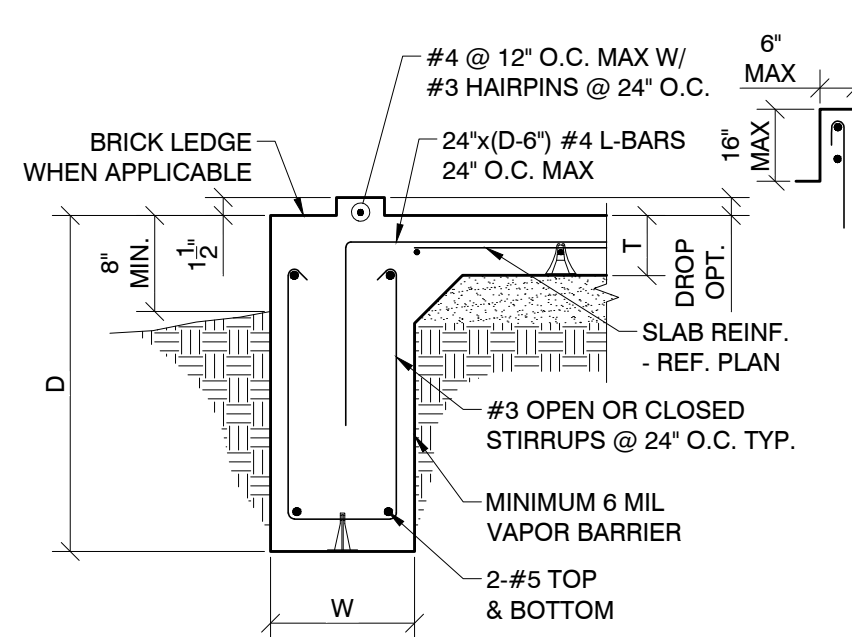
FOUNDATION PLAN



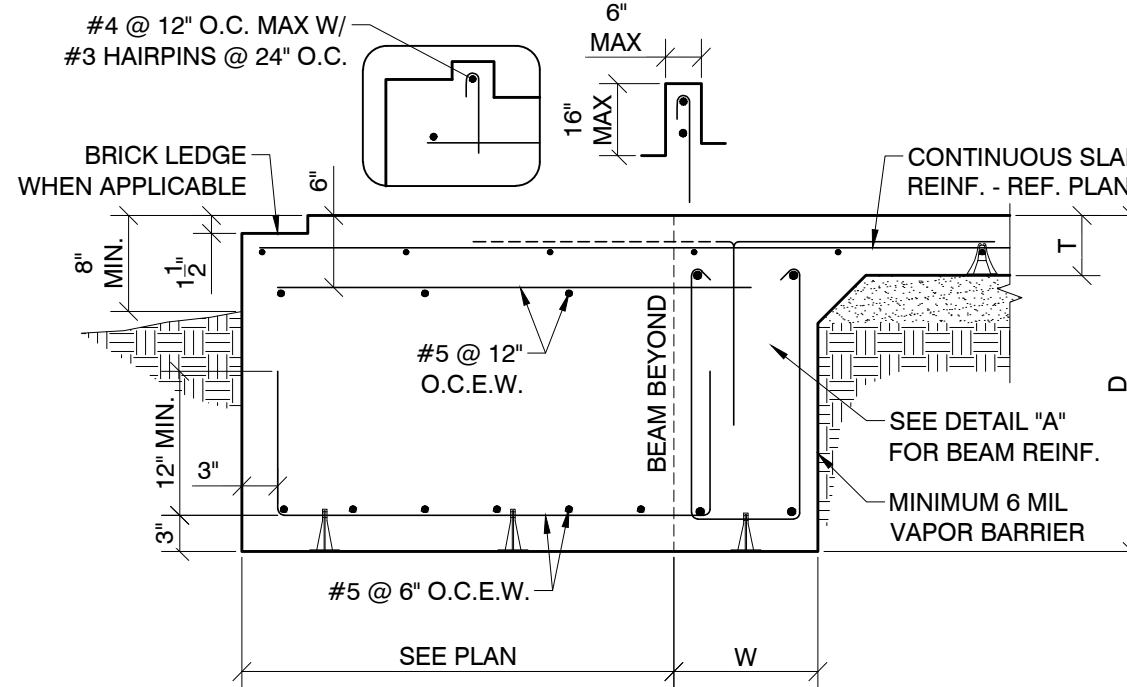
DETAIL "A"



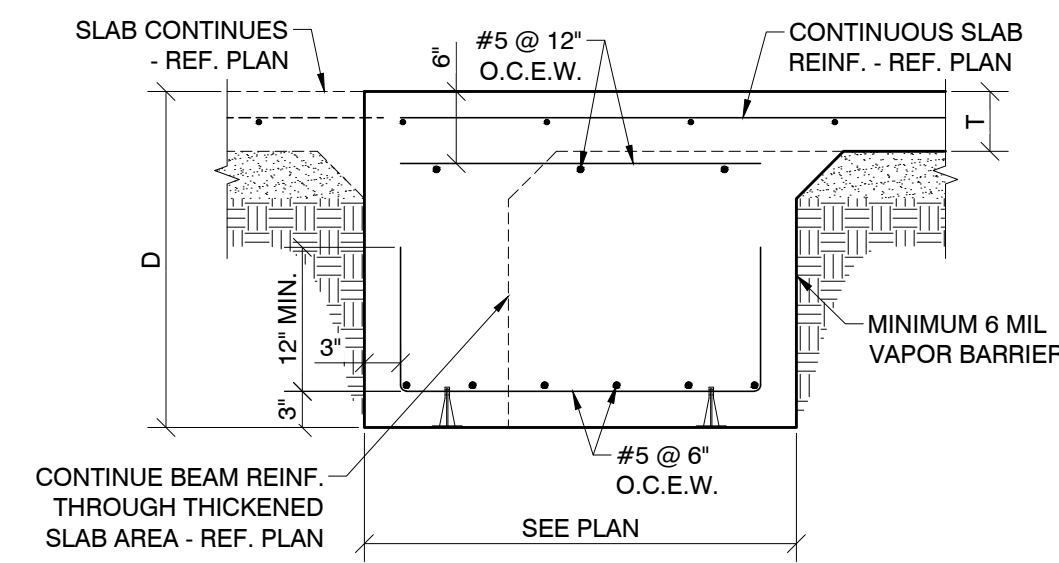
DETAIL "B"



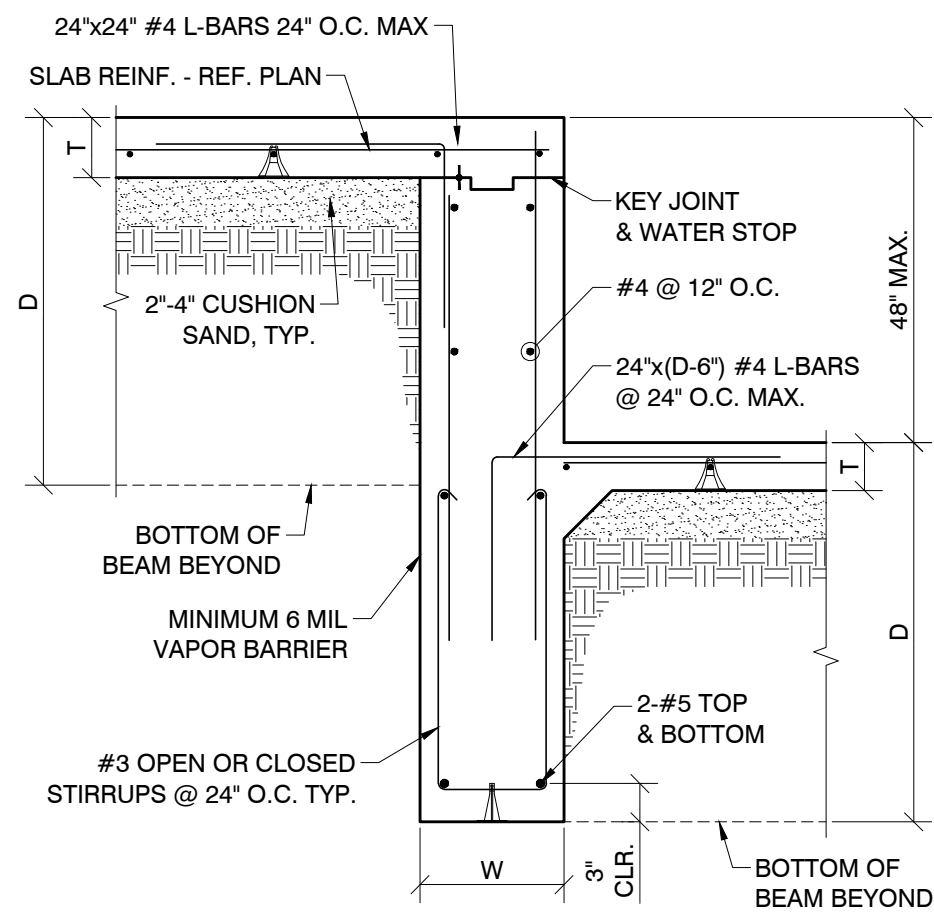
DETAIL "C"



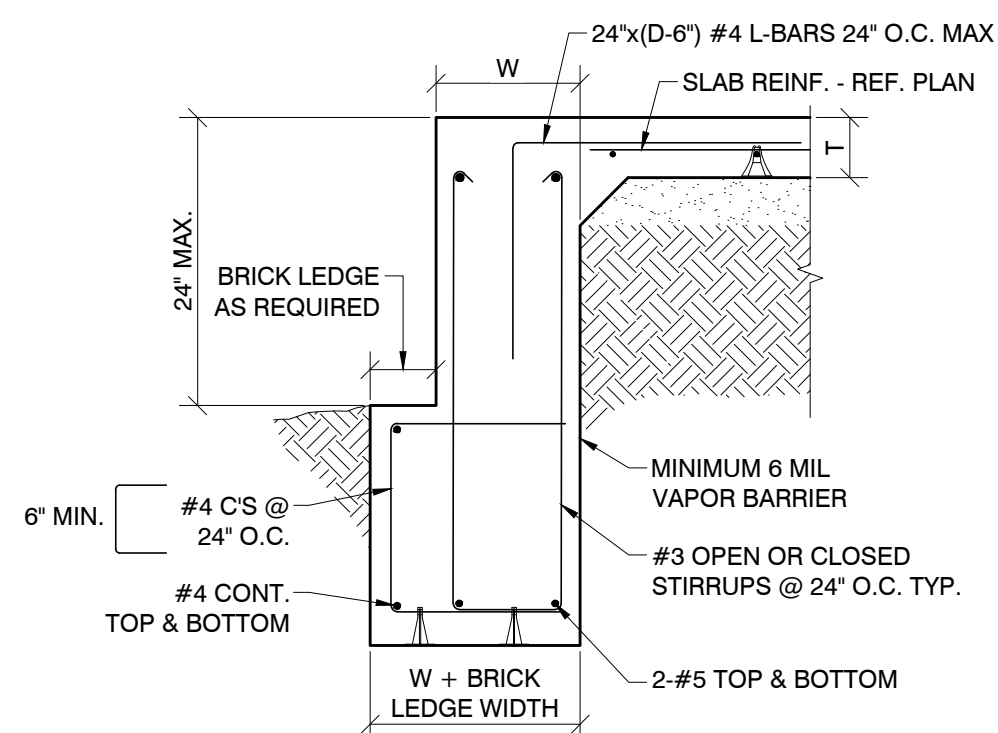
DETAIL "D"



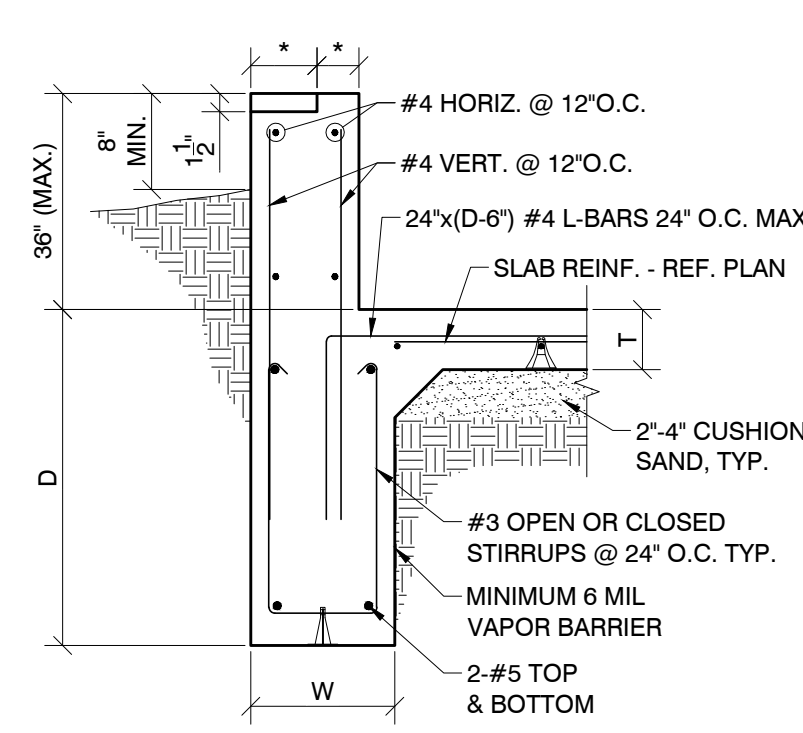
DETAIL "E"



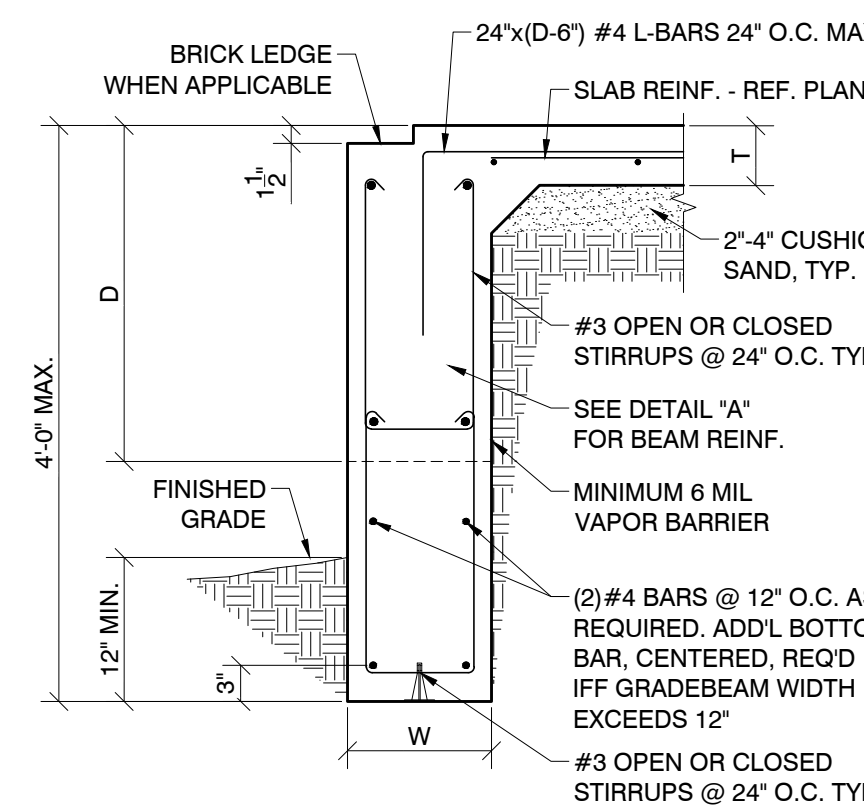
DETAIL "F"
DROPPED SLAB



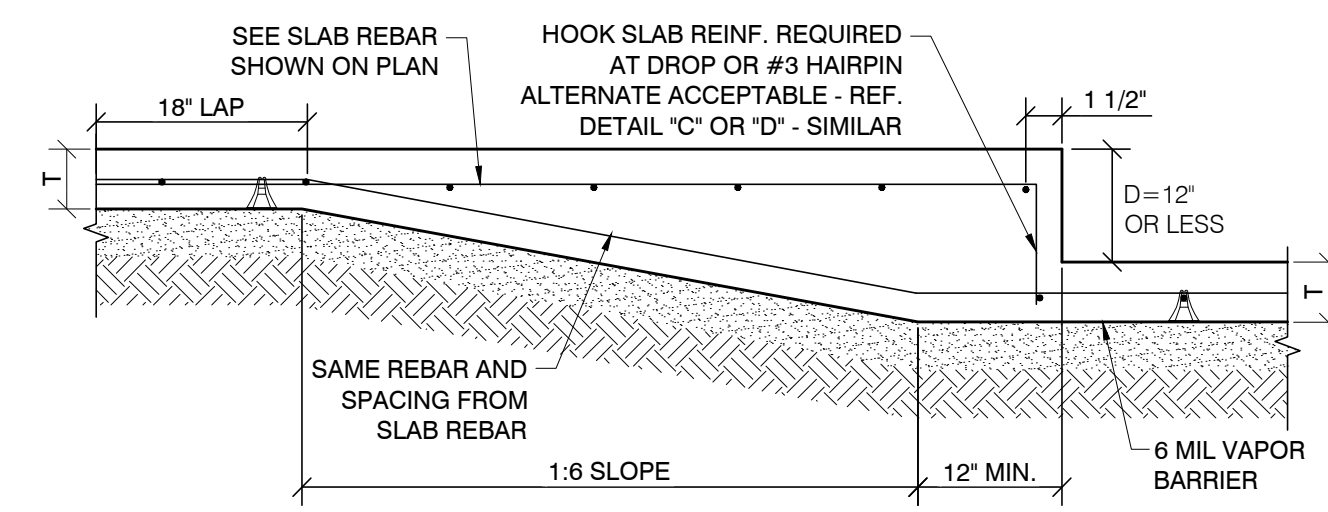
DETAIL "G"
DROPPED BRICK LEDGE



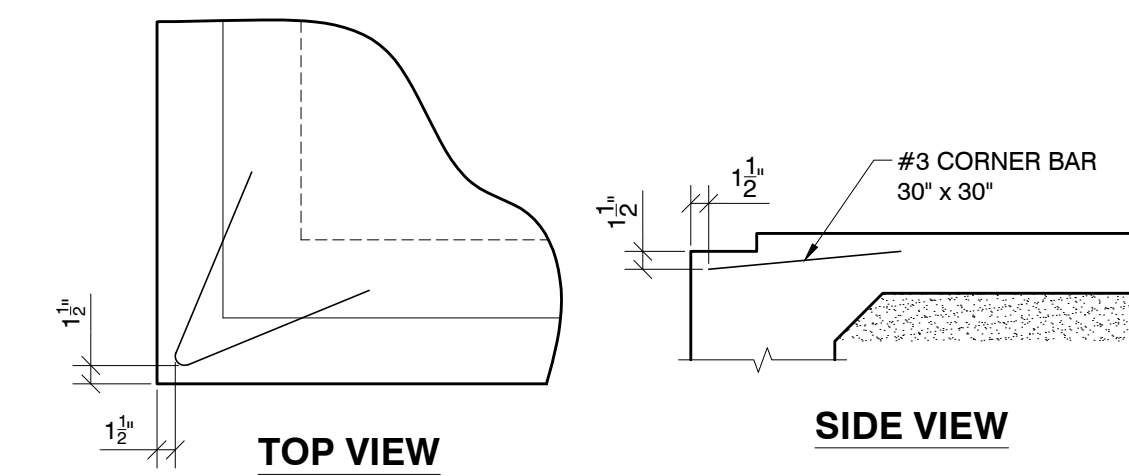
DETAIL "H"
STEM WALL



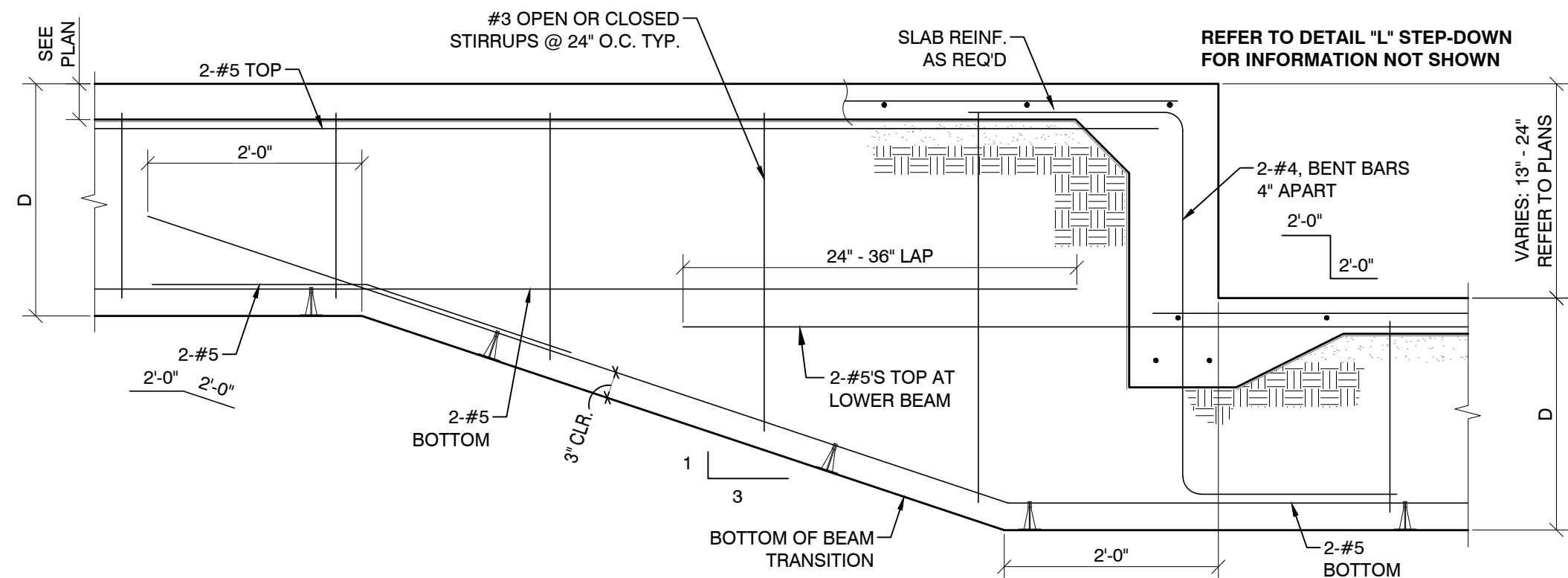
DETAIL "J"
STANDARD DEEPENED BEAM



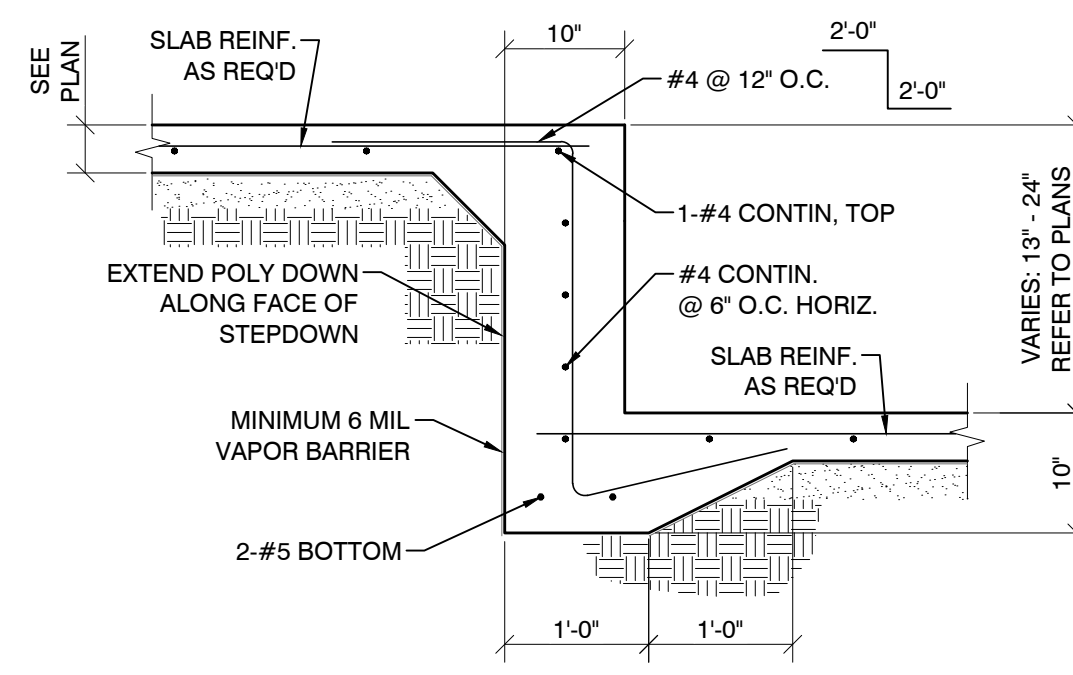
STANDARD DROP DETAIL



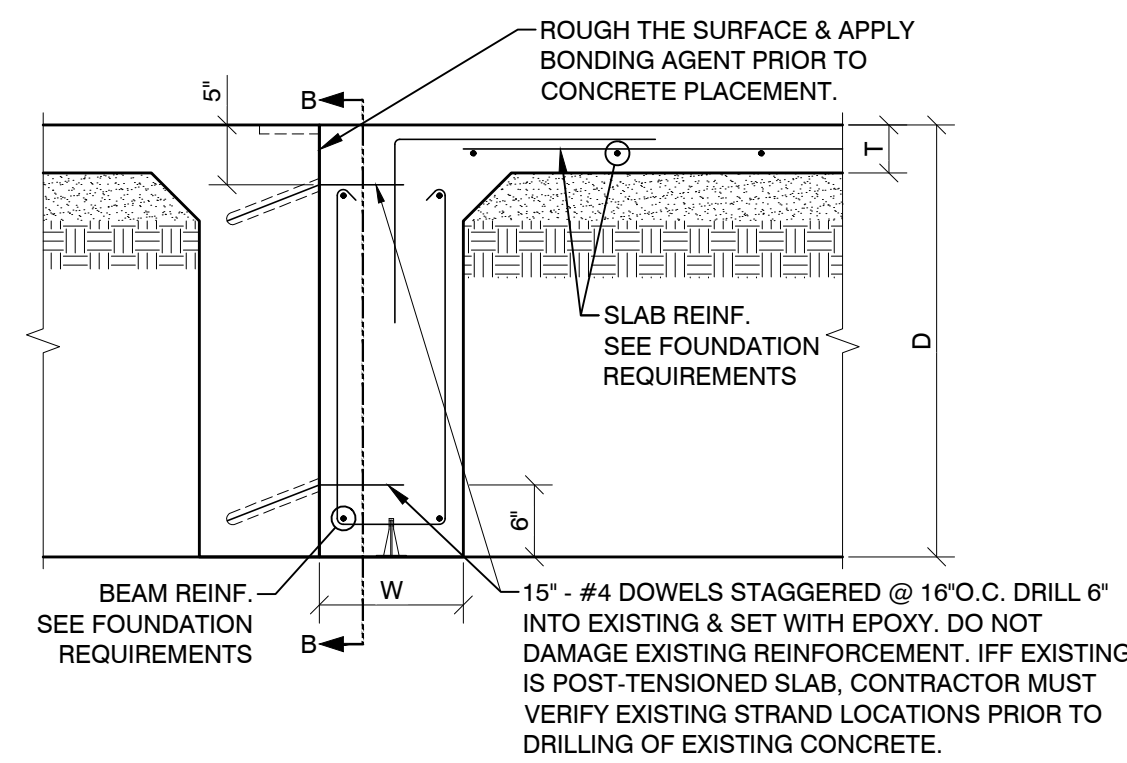
TYP. CORNER STIFFENER BAR



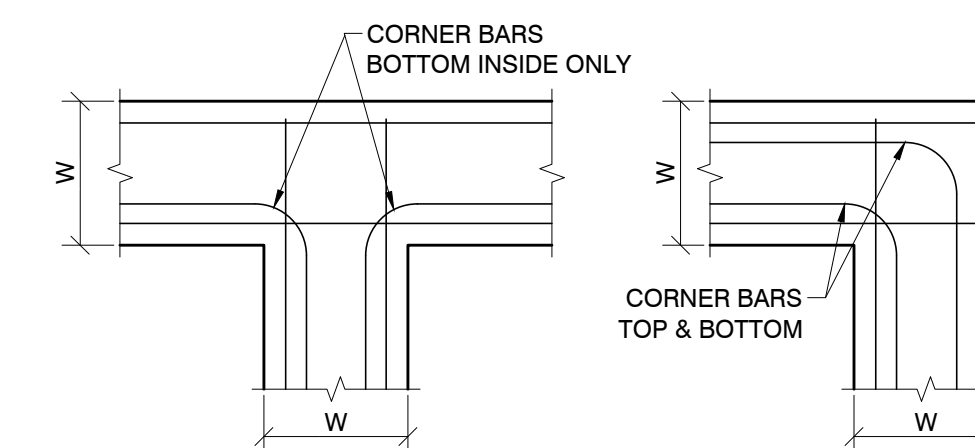
DETAIL "K"
TYPICAL INTERIOR BEAM AT STEP-DOWN



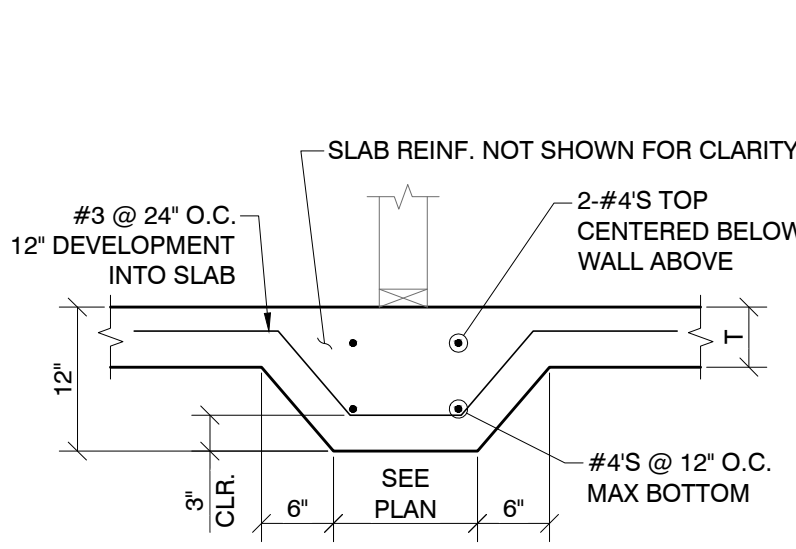
DETAIL "L"
STEP-DOWN



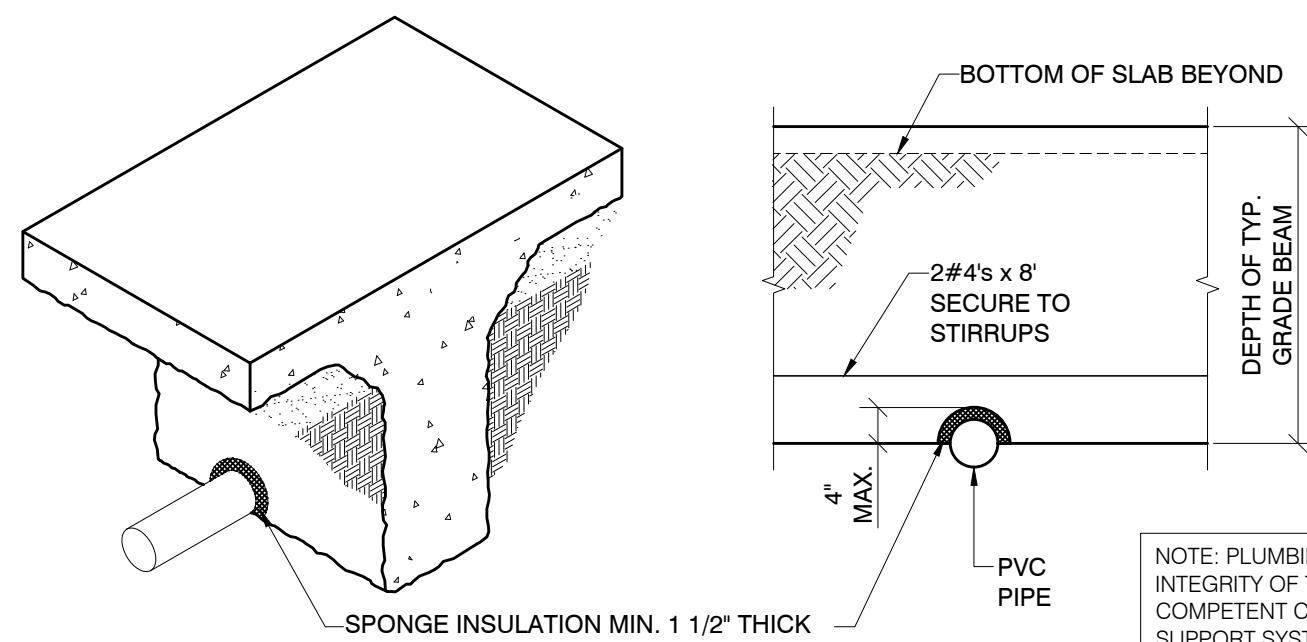
DETAIL "M"
ADD-ON TO EXISTING DETAIL



DETAIL "N"
CONCRETE BEAM CORNER BARS DETAIL
(CORNER BARS TO BE SAME SIZE OF BEAM BARS)

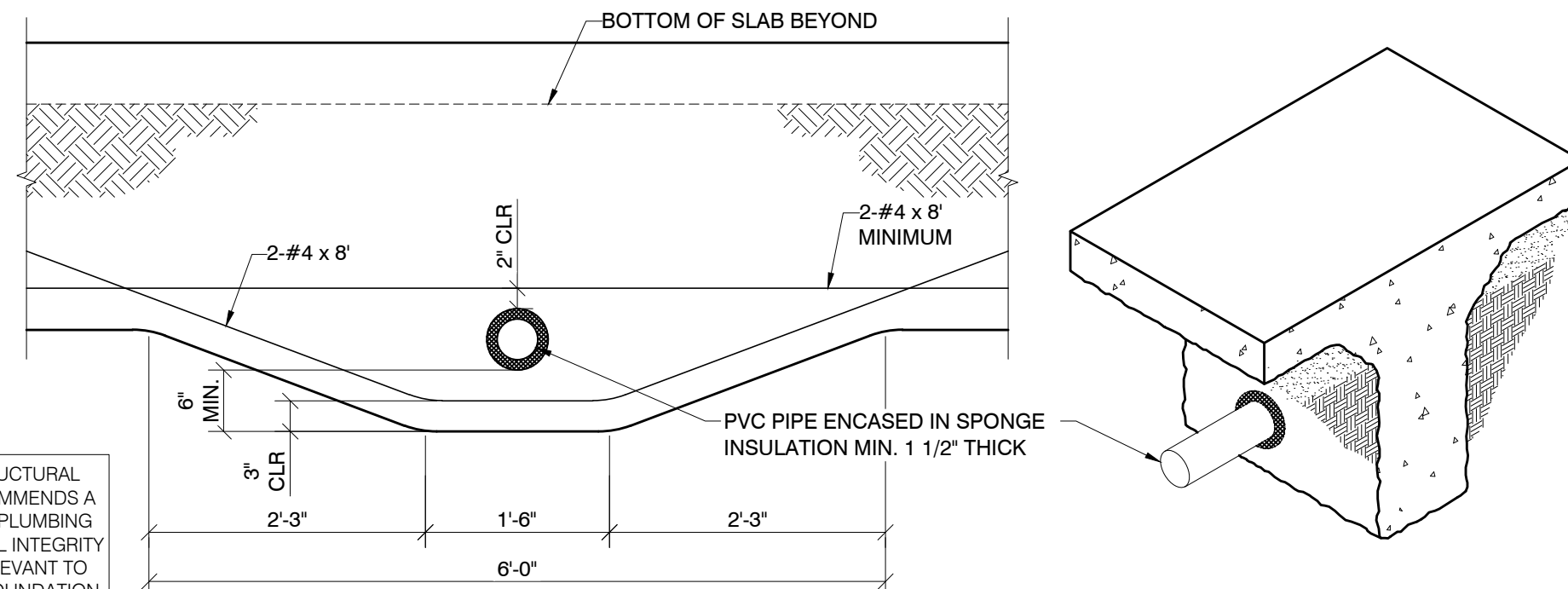


DETAIL "P"



PARTIAL PLUMBING PENETRATION

NOTE: PLUMBING SUPPORTS SHOWN ARE REQUIRED FOR THE STRUCTURAL INTEGRITY OF THE AFFECTED GRADE BEAMS ONLY. EYNCON RECOMMENDS A COMPETENT CONSULTANT BE INVOLVED FOR THE DESIGN OF THE PLUMBING SUPPORT SYSTEM ACTING BELOW AND/OR AT GRADE. STRUCTURAL INTEGRITY OF THE GRADE BEAM OFFERS NO IMPLICATIONS OF INTEGRITY RELEVANT TO CONDUIT OR PIPE SYSTEMS PENETRATING THE SLAB-ON-GRADE FOUNDATION. MITIGATION OF MOVEMENT OF CONDUITS AND PIPING IS OUT OF THE SCOPE OF THESE STRUCTURAL DESIGN DOCUMENTS PROVIDED BY EYNCON.



FULL PLUMBING PENETRATION

LAND TITLE SURVEY

701 N. TOOL DRIVE, TOOL, TEXAS 75143

BEING ALL THAT CERTAIN LOT TRACT OR PARCEL OF LAND LOCATED IN THE G. HANCOCK SURVEY, A-360, CITY OF TOOL, HENDERSON COUNTY, TEXAS, BEING DESCRIBED AS LOTS 13-20, 27-29 AND 30-55 OF OAK PARK SUBDIVISION ACCORDING TO THE PLAT RECORDED IN VOLUME 4, PAGE 18, CABINET A, SLIDE 276 OF THE PLAT RECORDS HENDERSON TEXAS.

LEGEND

FENCE
OVERHEAD POWER
CONC. = CONCRETE
PP = POWER POLE
WM = WATER METER
WV = WATER VALVE
IRF = IRON ROD FOUND
IRS = IRON ROD SET
W/CAP # 4207
IPF = IRON PIPE FOUND
FC = FENCE CORNER FOUND
BCS = BURIED CABLE SIGN
PLM = PIPELINE MARKER
TB = TELEPHONE BOX
LP = LIGHT POLE
GM = GAS METER
EB = ELECTRICAL BOX
PT = PROPANE TANK
SP = SERVICE POLE
FH = FIRE HYDRANT
BL = BUILD LINE
UE = UTILITY EASEMENT
DE = DRAINAGE EASEMENT

BASIS OF BEARINGS:
TEXAS COORDINATE
SYSTEM NORTH
CENTRAL ZONE NAD 83

4.05 ACRES
TOTAL

G. HANCOCK SURVEY, A-360

TRACT C
2.63 ACRES

TRACT A
0.89 ACRES

TRACT B
0.53 ACRES

LINE	BEARING	DISTANCE
L1	S 55°15'09" W	36.21'
L2	N 49°32'11" E	29.93'
L3	S 77°04'51" E	30.42'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	30.00'	46.75'	42.16'	S 46°25'00" E
C2	58.76'	40.00'	39.23'	N 21°16'16" W

SURVEYORS NOTES

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR BY OTHER PARTIES SHALL BE AT THEIR OWN RISK AND THE UNDERSIGNED SURVEYOR IS NOT RESPONSIBLE FOR ANY LOSS THEREFROM. THERE IS NO VISIBLE EVIDENCE OF AN OIL OR GAS PIPELINE ON THIS TRACT.

NO FLOOD PLAIN DESIGNATION WAS DETERMINED BY THIS SURVEYOR.

NO ATTEMPT HAS BEEN MADE TO DETERMINE OR SHOW THE EXISTENCE, LOCATION, SIZE, DEPTH, CAPACITY OR CONDITION OF ANY PROPOSED OR EXISTING UTILITIES ON THIS PROPERTY WHETHER PRIVATE, MUNICIPAL OR PUBLICLY OWNED. NO ENVIRONMENTAL OR SUBSURFACE CONDITIONS WERE SURVEYED OR EXAMINED THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.

THE ADDRESS SHOWN WAS PROVIDED BY OTHERS, HARDIN SURVEYING MAKES NO CLAIM TO ITS ACCURACY.

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. THERE MAY BE MATTERS AFFECTING THIS TRACT THAT A TITLE COMMITMENT WOULD REVEAL. THE UNDERSIGNED HAS NOT PERFORMED A TITLE AND/OR EASEMENT SEARCH AND ASSUMES NO LIABILITY FOR SUCH MATTERS.

THIS PROPERTY IS SUBJECT TO THE RULES, REGULATION, AND ZONING ORDINANCES IMPOSED BY THE CITY OF TOOL.

I GARY L. HARDIN R.P.L.S. # 4207, DO HEREBY CERTIFY THAT THE SURVEY SHOWN REPRESENTS THE RESULTS OF AN ON THE GROUND SURVEY MADE UNDER MY DIRECTION AND SUPERVISION DURING THE MONTH OF APRIL 2021, AND ALL CORNERS ARE SHOWN HEREON AND THERE ARE NO VISIBLE EASEMENTS, ENCROACHMENTS, CONFLICTS OR PROTRUSIONS OTHER THAN SHOWN.

GARY L. HARDIN R.P.L.S. # 4207
SIGNATURE VOID IF NOT SIGNED IN BLUE INK

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HARDIN SURVEYING

PO BOX 587
MABANK, TEXAS 75147
(903) 887-5674
FIRM# 10114700

DATE PERFORMED: APRIL 14, 2021

SCALE: 1"= 60 FEET

WORK ORDER #2103141

FIELD BY: GF

THIS SURVEY WAS PERFORMED FOR:

CITY OF TOOL

DRAWN BY: TF

CHECKED BY: TP