

# Code Analysis Summary

**Note: A fire alarm system is required FFPC 101:14.3.4.1.1**  
**The age of children attending the school is ages 3-5 years old.**

# Children's Workshop Classroom Addition

506 Lincoln Avenue  
 Ormond Beach, Florida

Enclosed Space = 3,032 sq. ft.  
 Porch & Ramp / Stairs = 1,454 sq. ft.

REVISIONS  
 January 8, 2016  
 Feb. 09, 2016

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SHEET TITLE

Title Sheet

SHEET

A-001

OF

SHEET 1 OF 23

### Project Criteria

The architectural building style: Neo-Eclectic.

Required bldg. elements visible in this project:

#### (1) General Design Guidelines:

- a. Massing... For buildings less than 15,000 sq ft., massing elements in facade shall be every 25' of building length (item 11. - Variations in roof height).
- 4. Veranda -We are building an open colonnaded veranda along the east wall and west wall of the building.
- 5. Overhangs - We are building the open veranda s on the north and east side covered by the roof overhang.
- 10. Colonnade - We are building an colonnaded veranda along the east wall and west wall of the building.
- 12. Projections - We are using the gables & dormers for roof variation.
- 11 Variations in roof height. We are using the dormers to vary the roof height.

#### b. Exterior finish materials...

- item i - Stucco - is being applied on the west and south walls.
- item iv Wood siding - is being applied to the east wall and north gable.

#### c. Doors/ Entrance... We have operable doors and windows at the entry area.

- 1. We have a colonnade at the entry with an elevated stair and ramp., to the elevated veranda.
- 2. We have a landscape feature- low wood fence in the front.
- 3. Landscaping / landscape planters are shown on the civil engineering plans at the front door area.
- 4. The front veranda is shaded inside the gabled porch roof over it.
- 5. We have a large window right at the front door location.

#### d. Roof design & materials...

- item 2 - We use the gable and dormers to create a vertical change in the dominant roof line.
- item 3. - We are using the gables and dormers to create plane changes in the dominant roof line.
- 4. We are using the metal roofing.

#### 5. Roof fascias are not exaggerated as required.

portions of a building which are screened by roof-like appurtenances such as ...parapets...

...parapets shall be topped with a decorative cornice with significant vertical relief.

e. Windows. Windows (real or false) shall be placed along at least 50% vertical of any facade that is visible from a public right-of-way. Windows shall be recessed or project at least 1/2" and shall include...shutters, stucco relief or other forms of framing.

We are using trim boards around the windows & have quite a few of them

f. Colors. Colors of all building surfaces shall comply with the following requirements:

- (item 1) Colors shall be earth tones and pastels. ...The selection of pastels shall be limited to those colors having a minimum white content of 90% (measured by spectrum & not volume).
- (item 2) Other colors, including pure white but excluding fluorescents, shall only be permitted as accent colors, not to exceed 20% of the surface area of any one elevation.

Perimeter Stucco Walls - Medium Beige / Saddle Tan

Foam W/ Stucco Cornice & Horizontal & Window Trim Banding & Diamond Motifs - White (4" Reveal Typical)

Metal window Frames - White

Shutters - White

Wood trim - White

Hardboard walls - Red Walls & Brown North Gable End

("Safety Red " Rust Cat Polyurethane Enamel Typ.) (Sherwin Williams "Rugged Brown" SW6062 Typ.)

Stucco Walls - Red Walls & Brown Stem Wall

Wood guardrails - White

Wood Columns - White

Metal roofing - American Building Components roofing " Saddle Tan"

#### (2) Building Facades: Use three of the following elements.

- a. color change - We have trim and Wall finish contrasting colors.
- b. Architectural banding - We are using fascia and window trim banding
- d. Building...projections a minimum of 3' in width, on upper levels - We are using dormers.

#### FBC Ed 2010 Building with adopted supplements'

##### Chapter 3 FBC Occupancy Types - :

##### Educational Group E Section 305

305.12 Educational Group E. Educational Group E occupancy includes, among others, the use of a building or structure or a portion thereof, by six or more persons any one time for educational purposes through the 12th. grade. ...

##### Table 803.9 Interior Wall & Ceiling Finish Requirements By Occupancy

##### Group S - Occupancy type = Rooms & enclosed spaces Class C.

##### Chapter 6 Construction Types FBC

##### Type Vb Unprotected Unsprinkled construction

Section 602.3 Type III. Type III construction is that type of construction in which the exterior walls are of noncombustible materials and the interior building elements are of any material permitted by this code. ....

##### Chapter 6 Types of Construction

##### Type Vb

##### Table 503 FBC

Type Vb Max sq. ft. = 9,500 1 story max.

Max bldg. size this project = 3,043 sq. ft.

##### Table 601 Fire Resistance Rating Requirements For Building Elements (Hours):

##### Type Vb

Primary Struct. Frame - 0

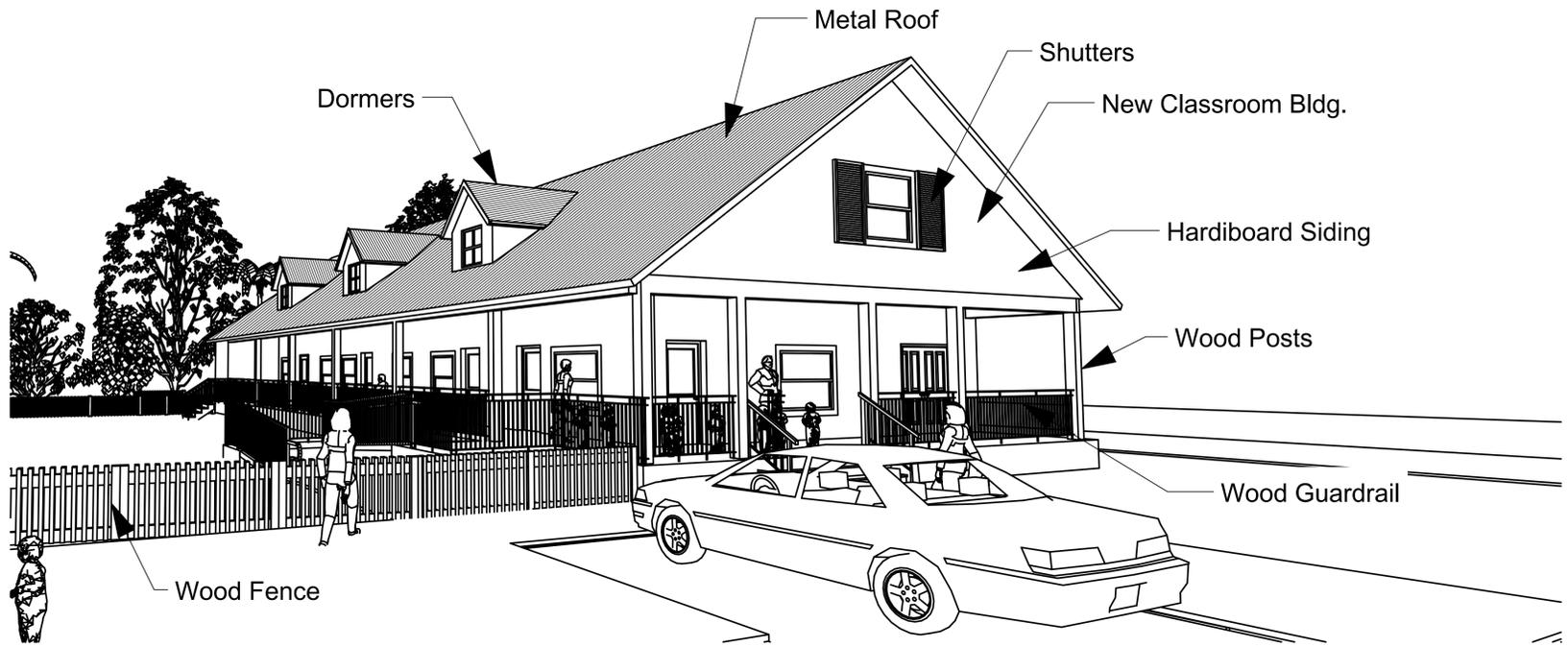
Bearing Walls - Exterior 0

Bearing Walls - Interior 0

Nonbearing Walls and partitions Interior - 0

Floor construction & secondary members - 0

Roof construction & secondary members -0



Perspective View

Group E Occupancy Table 1016.1 Exit access travel distance  
 UnSprinkled = 150'  
 Table 1004.1 Maximum floor area allowances per occupant:  
 Classroom area = 20 net  
 Shops & other vocational rooms/ areas = 50 net  
 Classrooms = 739 sq. ft.  
 739 / 20 = 37 People in each classroom  
 37 x 3 = 102 People Total  
 Table 1021.1 Stories with one exit  
 Occupancy E - 49 occupants & 75 ft. of travel distance.  
 Each classroom has 37 occupants with one exit to the exterior.  
 All rooms and spaces within each story shall be provided with and have access to the minimum number of approved independent exits as required by table 1021.1 Occupant load 1-500 = 2 Exit req. per story.  
 We have one each unit.  
 1018.4 Max dead-end corridor length 20'  
 Table 1004.1.1 Max. Floor Area Allowance Per Occupant  
 Storage largest Units 10' x 20' = 200 sq. ft. sq. ft./ 300 gross max Fir Area  
 Allowance per occupant = 1 person  
 1005.1 Egress width per person served Level = .2 inches  
 .2 inches x 37 = 7 inches per classroom.  
 We have one overhead door in each unit for exiting.  
 Min. Educational Corr. Aisle width = 72"  
 All hallways maintain a min. 44" width at all points, especially at turns in halls.  
 Minimum clear opening of all exit doors (Inches) = 32" All 3'-0" doors  
 Fire Provide illuminated EXIT signs throughout the building so that the means of egress is obvious at all times NFPA 101-26-2.10

Minimum number of required plumbing fixtures  
 Table 403.1 FBC Plumbing Code  
 Group E Occupancy: 37 per classroom  
 water closets 1 per (50 men & women)  
 Lavatories 1 per 50.  
 Drinking Fountains 1 per 100  
 1 service sink

Plans Conform to the requirements of the Florida Building Code 2014 Edition bldg.,  
 \Mech, Plumb, 2011 NEC, FFPC 5th Edition  
 with adopted supplements.  
 Wind Speed 140  
 Enclosed Building Type  
 Risk Category 2  
 Exposure Category B  
 Internal Pressure Coefficient = .18  
 Wind Importance Factor 1  
 Design Pressures +33.4 -31.6

Table of Contents	
Sheet	Name
A-001	Title Sheet
A-002	Enlarged Perspective View
A-003	Existing Site Plan
A-004	New Site Plan
A-005	Floor Plan
A-006	Attic Plan
A-007	North & South Elevations
A-008	East Elevation
A-009	Bldg Sections
A-010	Building Section A EW Axis
A-011	Details and Finish Schedule
A-012	Typical Details
A-022	Life Safety Plan
E-013	South End Elect Plans
E-014	North End Electric Plan
M-015	South End HVAC Plan
M-016	North End HVAC Plan
M-023	Attic Duct Plan
P-017	Plumbing Plan & Riser
S-018	Foundation Plan
S-019	Floor Framing Plan
S-020	Stairs, Ramp Framing Plans
S-021	Roof Framing Plan

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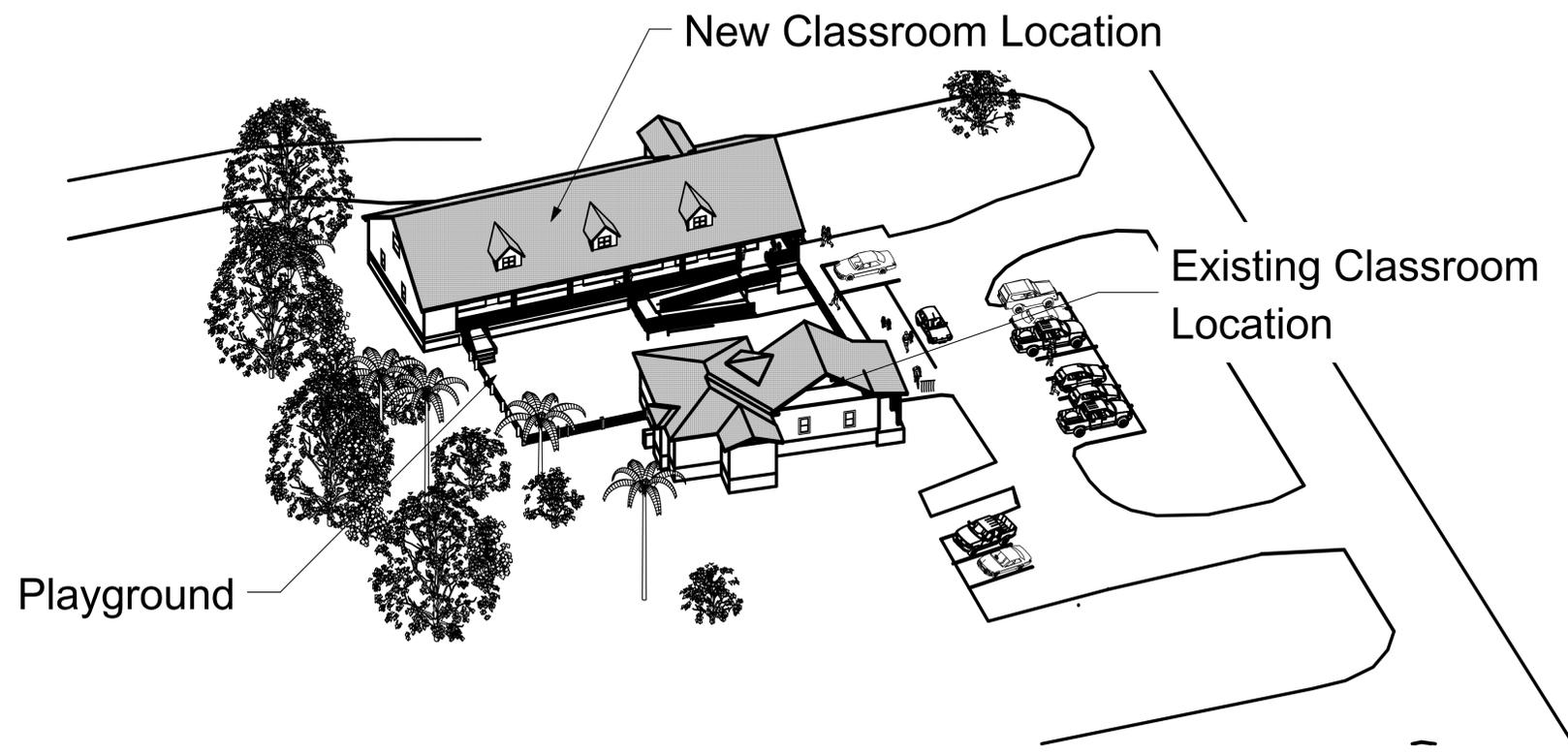
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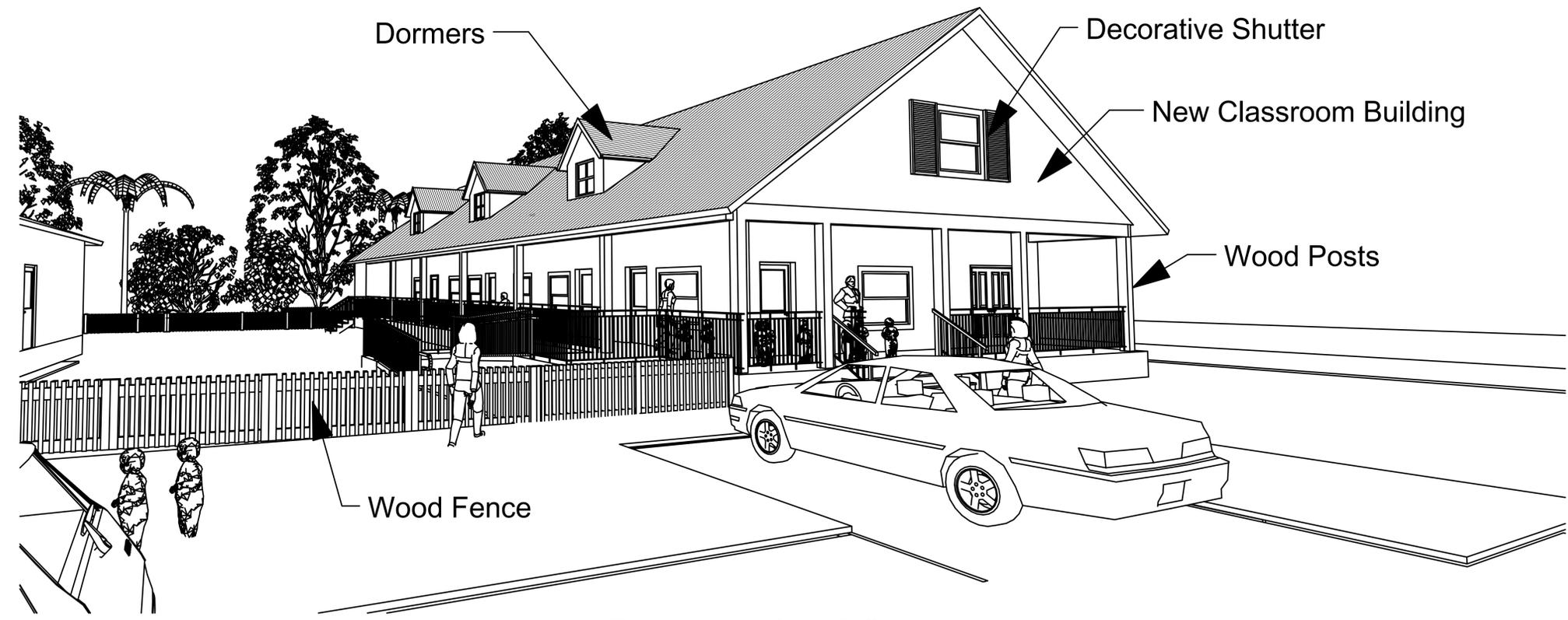
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SHEET TITLE  
 Enlarged  
 Perspective View

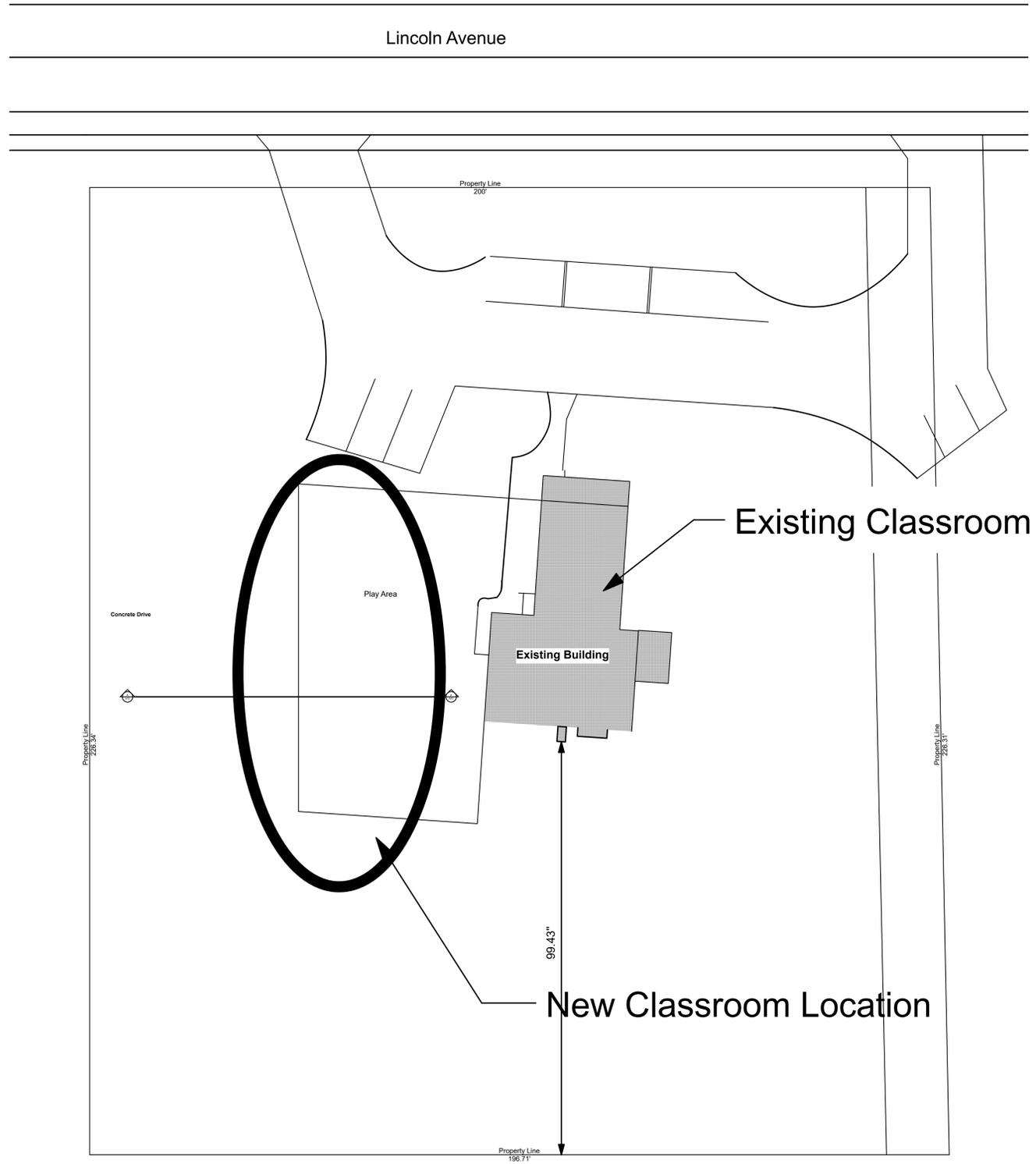
SHEET  
 A-002  
 OF  
 SHEET 2 OF 23



Axonometric View

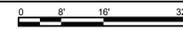


Perspective View



# Existing Site Plan

SCALE: 1/16" = 1'-0"



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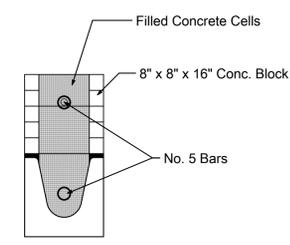
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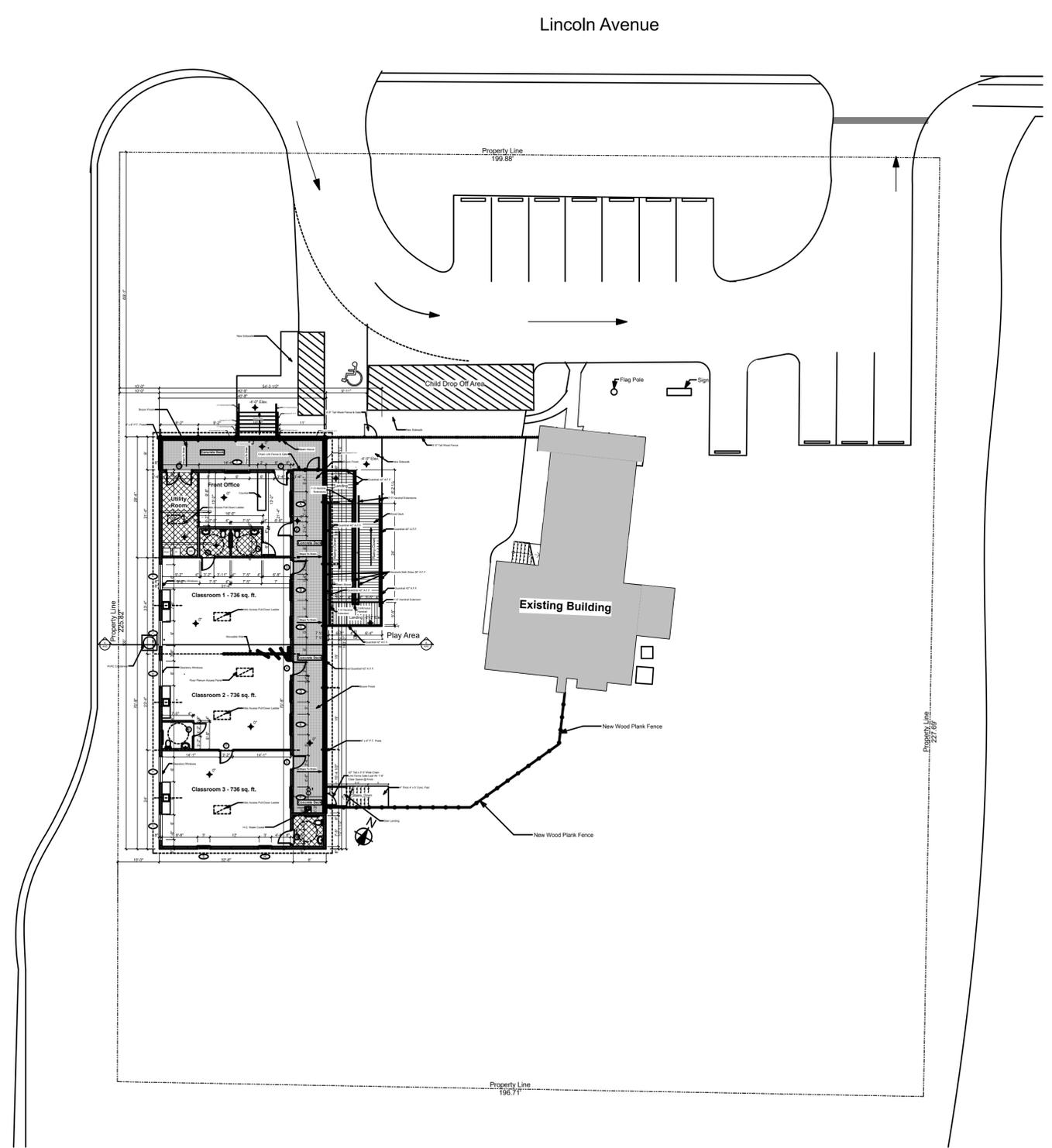
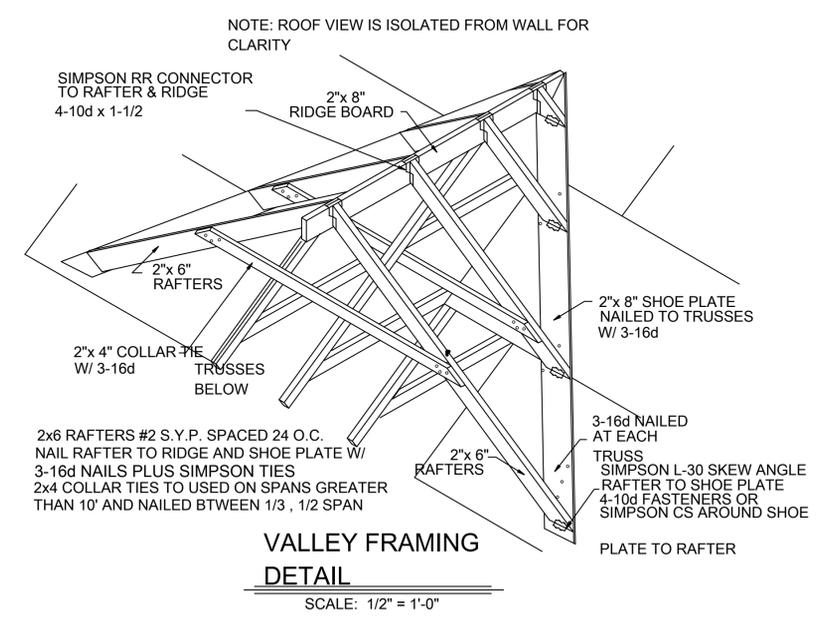
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New Site Plan

SHEET  
**A-004**  
 OF  
 SHEET 4 OF 23



Typical Bond Beam Section

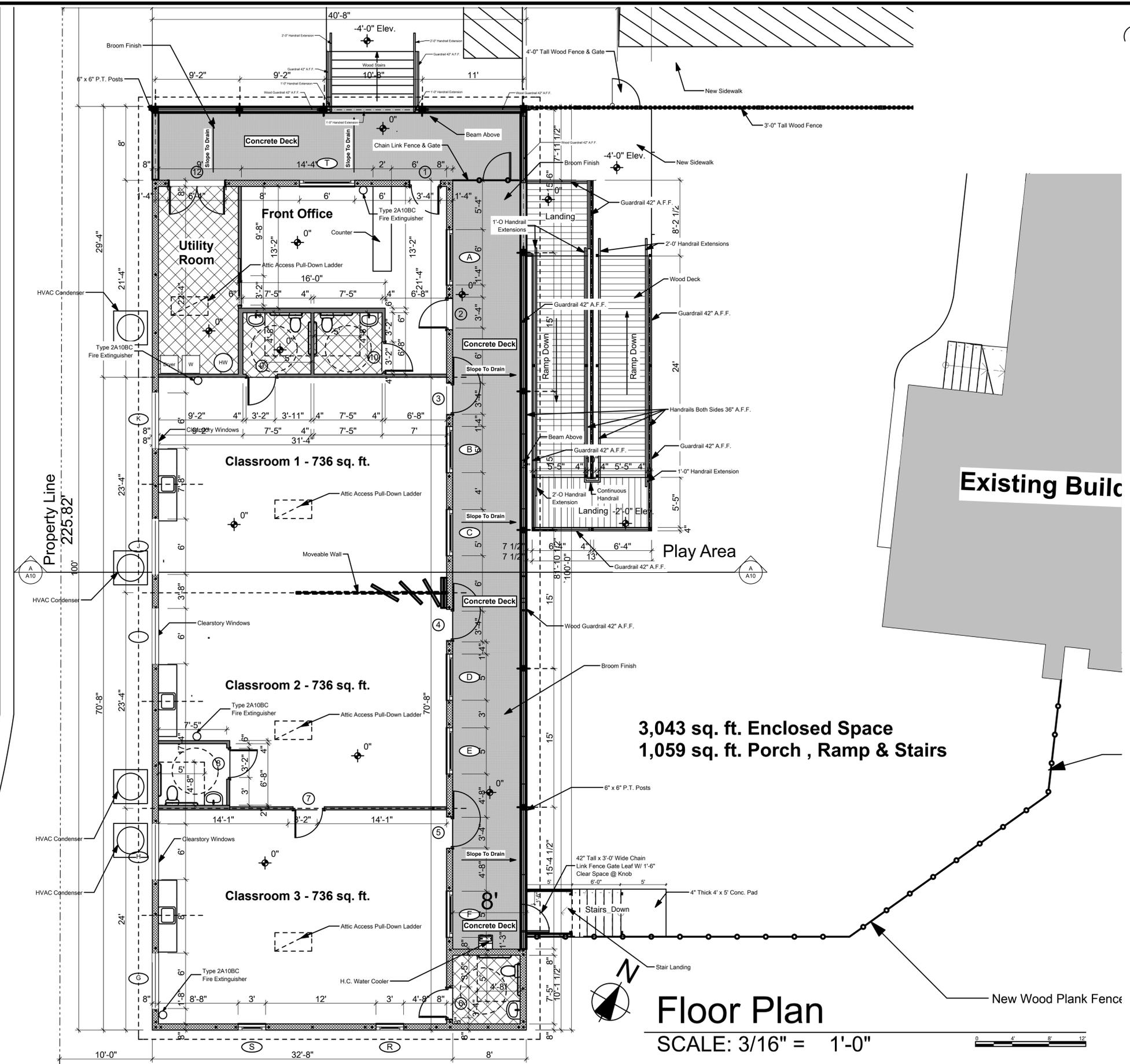


**New Site Plan**

SCALE: 1/16" = 1'-0"



The plot plan is included on the approved site plan.



**3,043 sq. ft. Enclosed Space**  
**1,059 sq. ft. Porch, Ramp & Stairs**

**Floor Plan**  
 SCALE: 3/16" = 1'-0"





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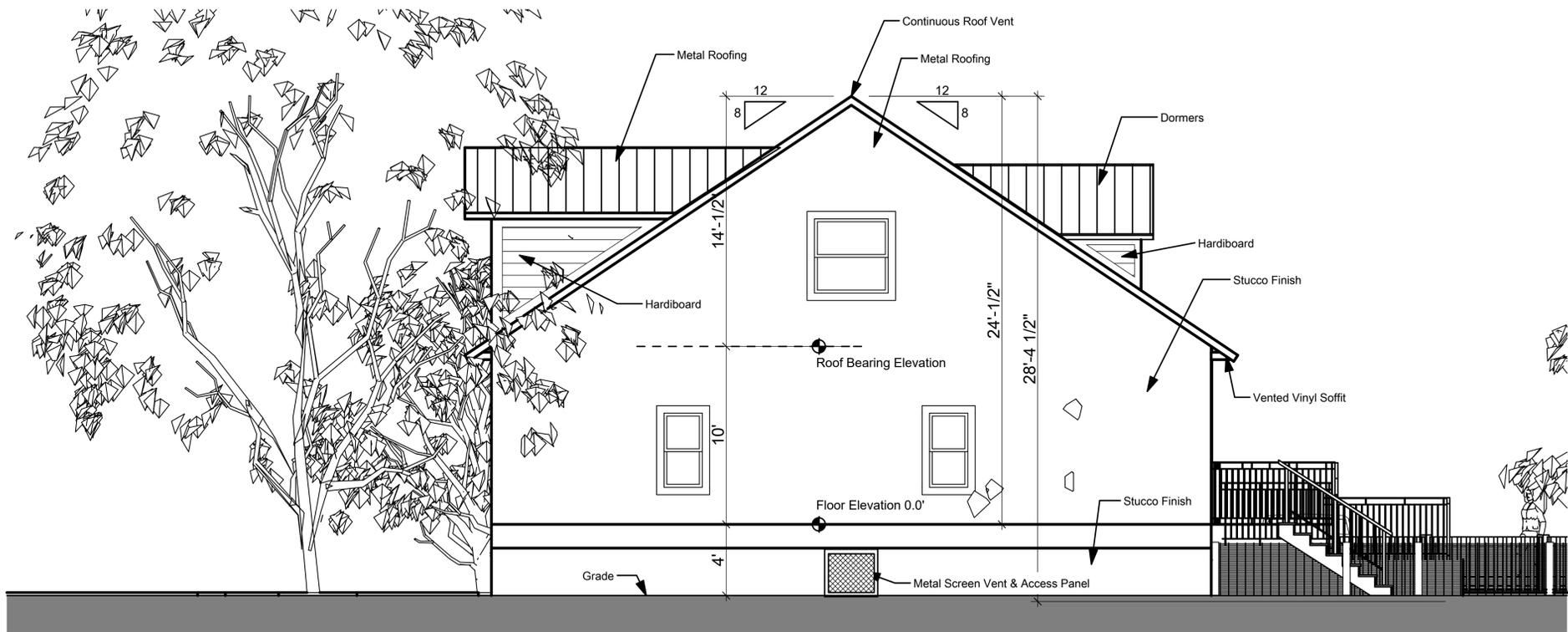
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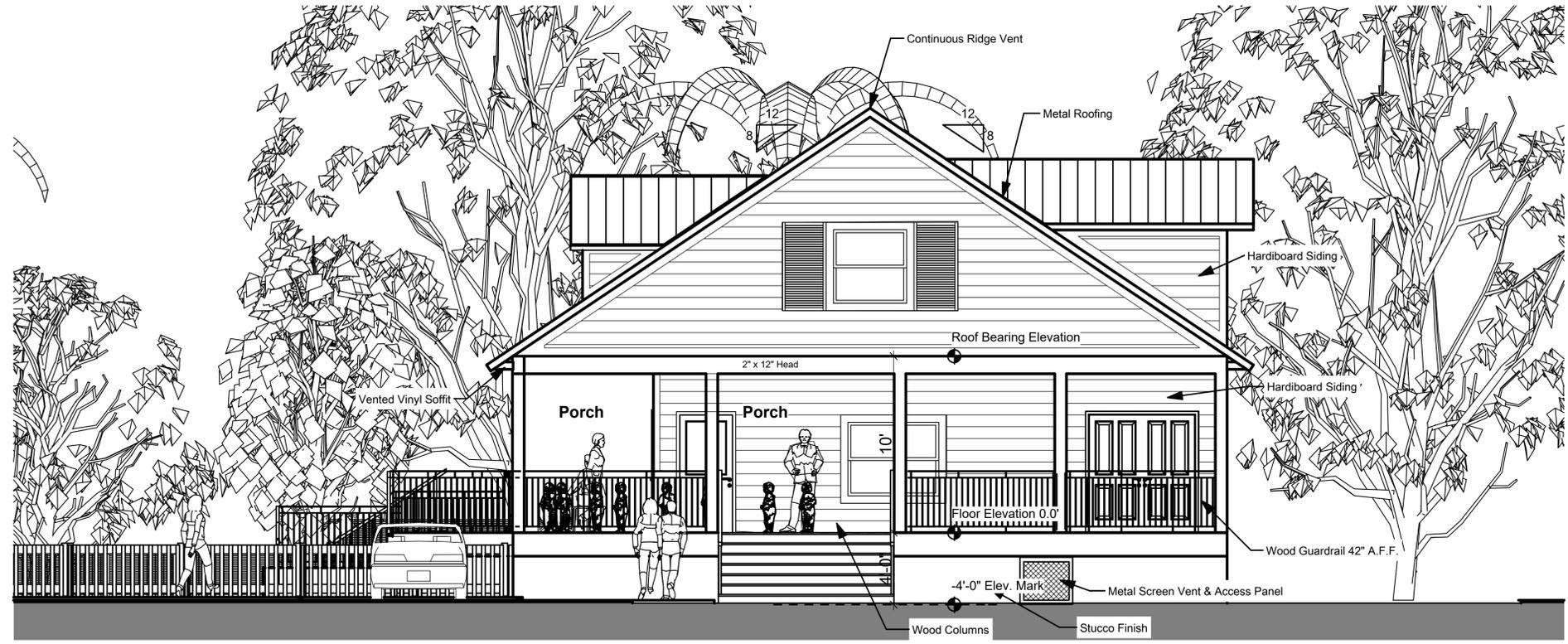
North & South Elevations

SHEET  
**A-007**  
 OF  
 SHEET 7 OF 23



**South Elevation**

SCALE: 1/4" = 1'-0"



**North Elevation**

SCALE: 1/4" = 1'-0"



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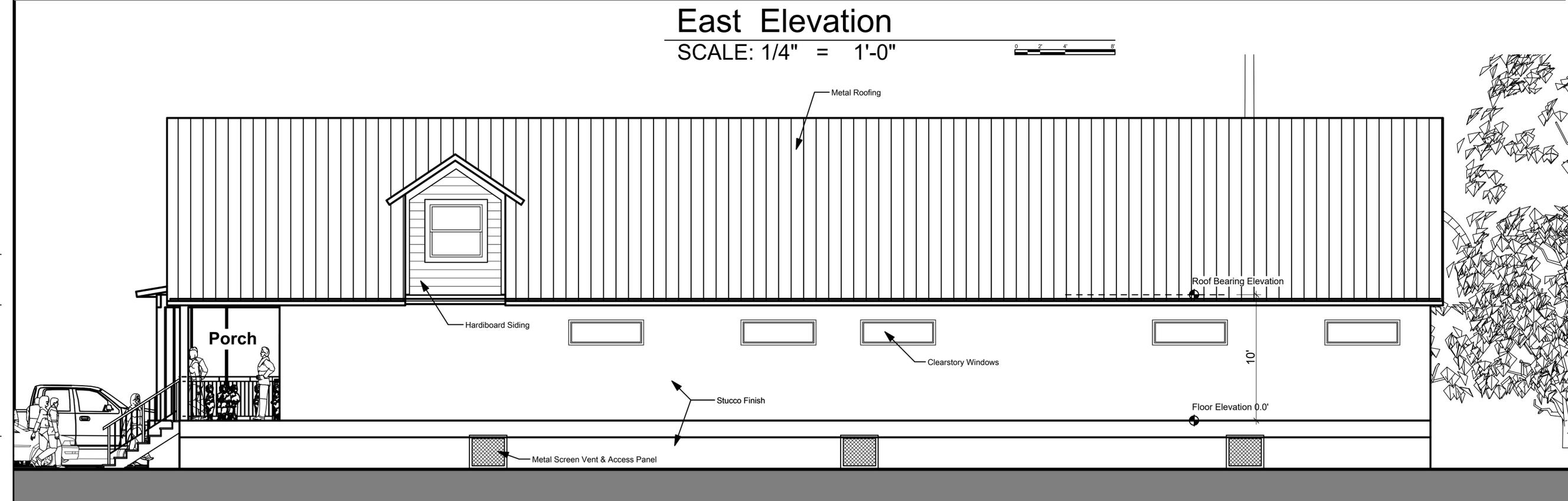
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SHEET TITLE  
 East Elevation

SHEET  
 A-008  
 OF  
 SHEET 8 OF 23



**East Elevation**  
 SCALE: 1/4" = 1'-0"



**West Elevation**  
 SCALE: 1/4" = 1'-0"



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ID	Window A	Window B	Window C	Window D	Window E	Window F	Window G	Window H	Window I	Window J	Window K	Window L	Window M	Window N	Window O	Window P	Window Q
Quantity	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
W x H Size	6'x8'	6'x8'	6'x8'	6'x8'	6'x8'	6'x8'	6'x2'	3'x3'	3'x3'	3'x3'							
2D Symbol	Single Hung	Fixed Glass	Single Hung														
3D Front View																	

## Window Schedule

ID	Door 1	Door 2	Door 3	Door 4	Door 5	Door 6	Door 7	Door 8	Door 9	Door 10	Door 11	Door 12	Exist Door	Exist Door	Exist Door
Quantity	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
W x H Size	3'x8'-8"	3'x8'-8"	3'x8'-8"												
2D Symbol															
3D Front View															

## Door Schedule



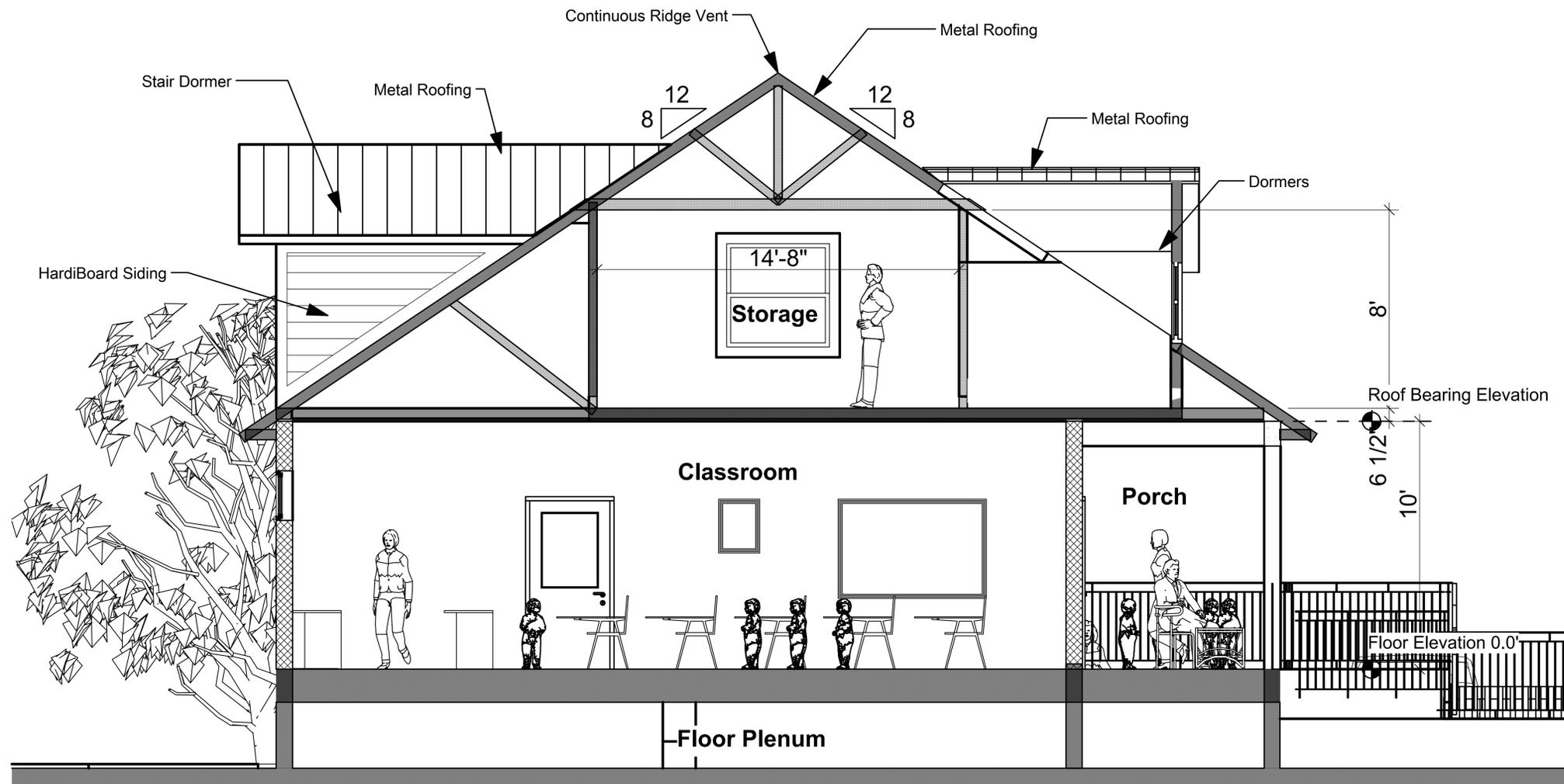
Single Hung  
Window O  
3' x 3'



Single Hung  
Window P  
3' x 3'



Single Hung  
Window Q  
3' x 3'



## A Section A EW Axis

SCALE: 3/8" = 1'-0"

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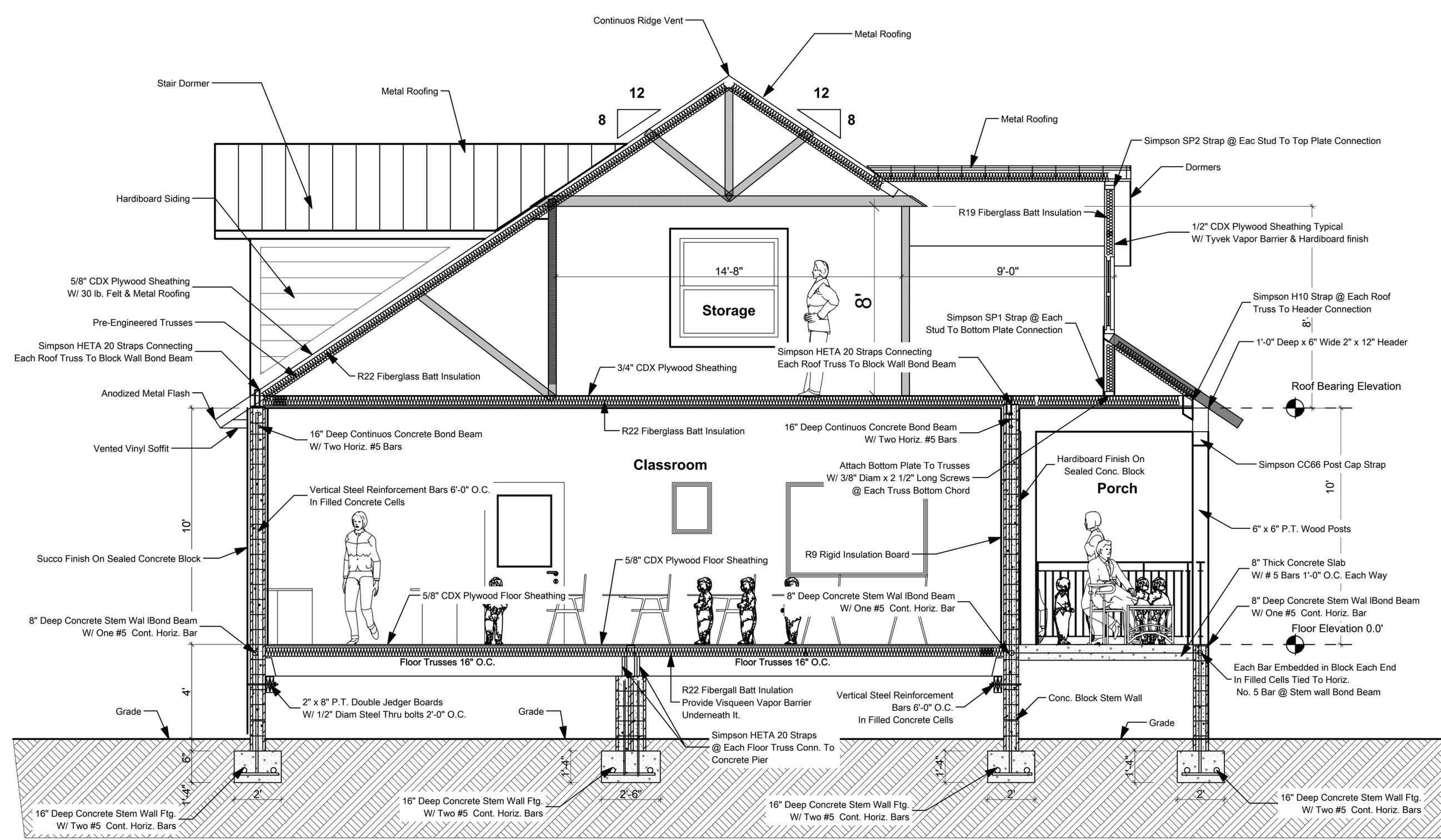
Bldg Sections

SHEET

A-009

OF

SHEET 9 OF 23



**Section A EW Axis**

SCALE: 1/2" = 1'-0"



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