

# EMERY COUNTY SCHOOL DISTRICT

# COTTONWOOD ELEMENTARY MECHANICAL UPGRADE

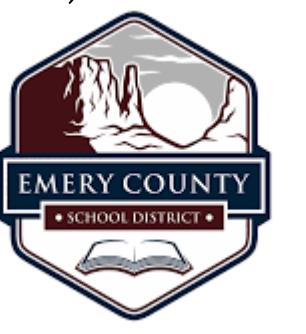
55 EAST 200 SOUTH

ORANGEVILLE, UTAH 84537

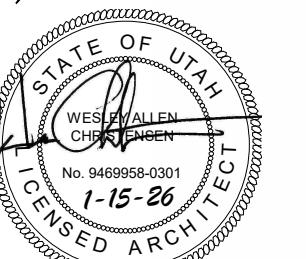


## PROJECT CONTACTS

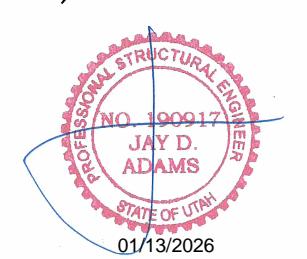
**OWNER**  
EMERY COUNTY SCHOOL DISTRICT  
120 NORTH MAIN STREET  
HUNTINGTON, UTAH 84528  
(435) 687-9846



**ARCHITECTURAL**  
KMA ARCHITECTS, INC.  
170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
(801) 377-5062



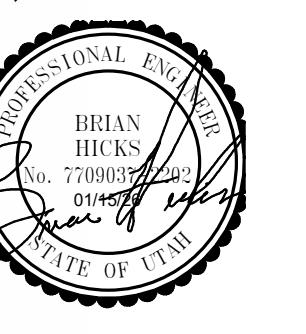
**STRUCTURAL**  
DYNAMIC STRUCTURES  
744 SOUTH 400 EAST,  
OREM, UTAH 84097  
(801) 356-1140



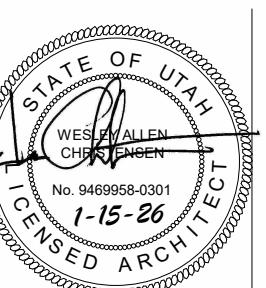
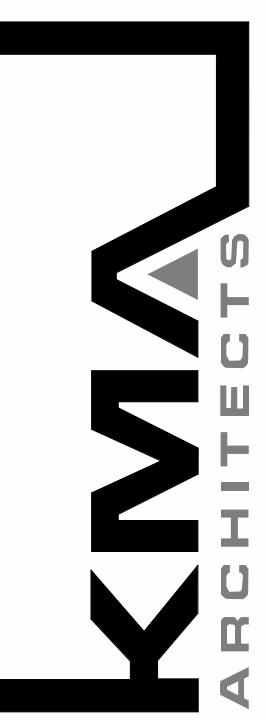
**MECHANICAL**  
OLSEN & PETERSON ENGINEERING  
14 EAST 2700 SOUTH  
SALT LAKE CITY, UTAH 84115  
(801) 486-4646



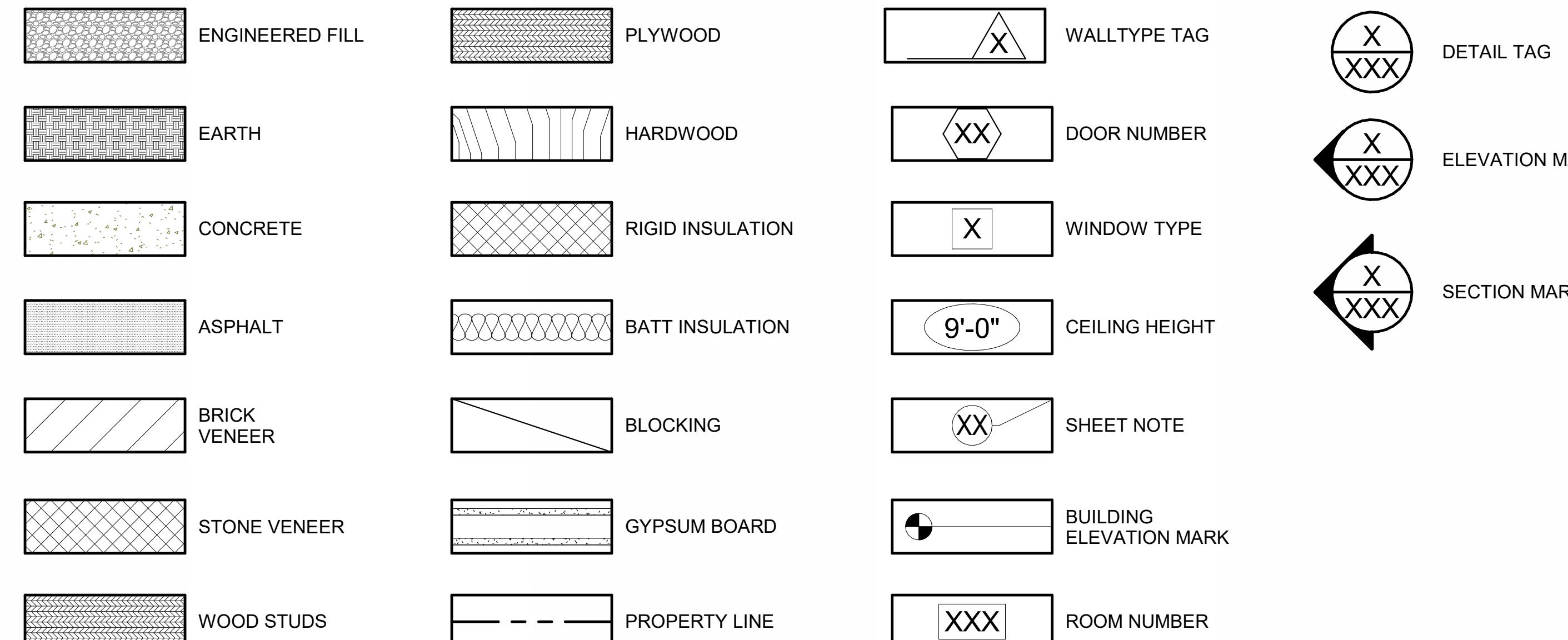
**ELECTRICAL**  
RESOLUT  
181 EAST 5600 SOUTH, SUITE 200  
MURRAY, UT 84107  
(801) 530-3148



170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
www.kmaarchitects.com



## GRAPHIC SYMBOLS



## PROJECT DATA

TOTAL AREA: 36,466 SQ. FT.

## PROJECT SCOPE

COTTONWOOD ELEMENTARY SCHOOL MECHANICAL UPGRADE CONSISTS OF INSTALLING NEW GAS FIRE/DX ROOF TOP UNITS ALONG WITH THE ASSOCIATED DUCT WORK, 1 NEW HEAT PUMP INDOOR UNIT, NEW AIR COOLED OUTDOOR UNIT, REPLACING A NEW MAKE-UP AIR UNIT, CABINET UNIT HEATER, AND REPLACING TWO EXISTING EXHAUST FANS. ELECTRICAL SYSTEMS WILL BE MODIFIED ACCORDINGLY TO MEET THE NEW MECHANICAL NEEDS. ROOF PATCHING IS REQUIRED FOR NEW PENETRATIONS AND STRUCTURAL BRACING AS NEEDED FOR THE NEW ROOF TOP UNITS. ARCHITECTURAL ITEMS WILL BE TO ADDRESS THE Affected AREAS DUE TO CONSTRUCTION.

## INDEX OF DRAWINGS

### ARCHITECTURAL

- A1.0 - OVERALL MAIN FLOOR PLAN
- A1.0A - AREA 'A' MAIN FLOOR PLAN
- A1.0B - AREA 'B' MAIN FLOOR PLAN
- A2.1 - OVERALL REFLECTED CEILING PLAN
- A2.1A - AREA 'A' REFLECTED CEILING PLAN
- A2.1B - AREA 'B' REFLECTED CEILING PLAN
- A2.2 - OVERALL ROOF PLAN
- A2.2A - AREA 'A' ROOF PLAN
- A2.2B - AREA 'B' ROOF PLAN

### STRUCTURAL

- S1.1A - ROOF DUCT OPENING PLAN AREA 'A'
- S1.1B - ROOF DUCT OPENING PLAN AREA 'B'
- S2.0 - DUCT OPENING DETAILS

### PLUMBING

- P1.1A - PLUMBING PLAN AREA 'A'
- P1.1B - PLUMBING PLAN AREA 'B'
- P6.1 - PLUMBING DETAILS
- P6.2 - PLUMBING DETAILS

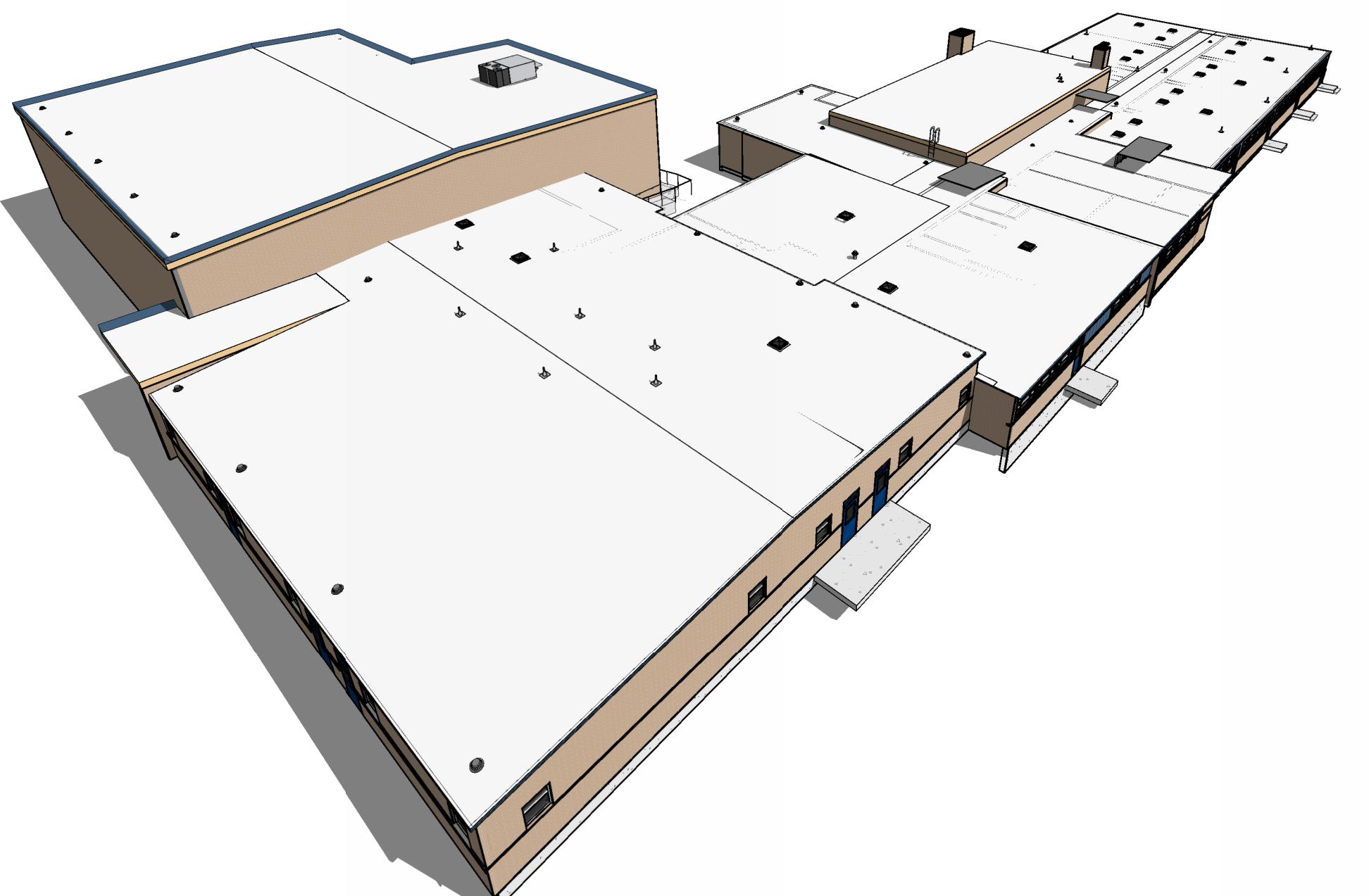
### MECHANICAL

- M0.1A - MECHANICAL DEMOLITION PLAN AREA 'A'
- M0.1B - MECHANICAL DEMOLITION PLAN AREA 'B'
- M1.1A - MECHANICAL PLAN AREA 'A'
- M1.1B - MECHANICAL PLAN AREA 'B'
- M5.1 - MECHANICAL SCHEDULES
- M6.1 - MECHANICAL DETAILS
- M6.2 - MECHANICAL DETAILS

### ELECTRICAL

- EG001 - ELECTRICAL TITLE SHEET
- EG002 - ELECTRICAL SCHEDULES
- EG003 - ELECTRICAL ONE-LINE DIAGRAM
- EG004 - ELECTRICAL DIAGRAMS
- EG005 - ELECTRICAL DIAGRAMS
- EP112 - MAIN FLOOR POWER PLAN AREA 'A'
- EP113 - MAIN FLOOR POWER PLAN AREA 'B'
- EP114 - OVERALL ROOF POWER PLAN
- EP115 - PANEL SCHEDULE
- ES112 - MAIN FLOOR SYSTEM PLAN AREA 'A'
- ES113 - MAIN FLOOR SYSTEM PLAN AREA 'B'

## RENDERING



## VICINITY MAP

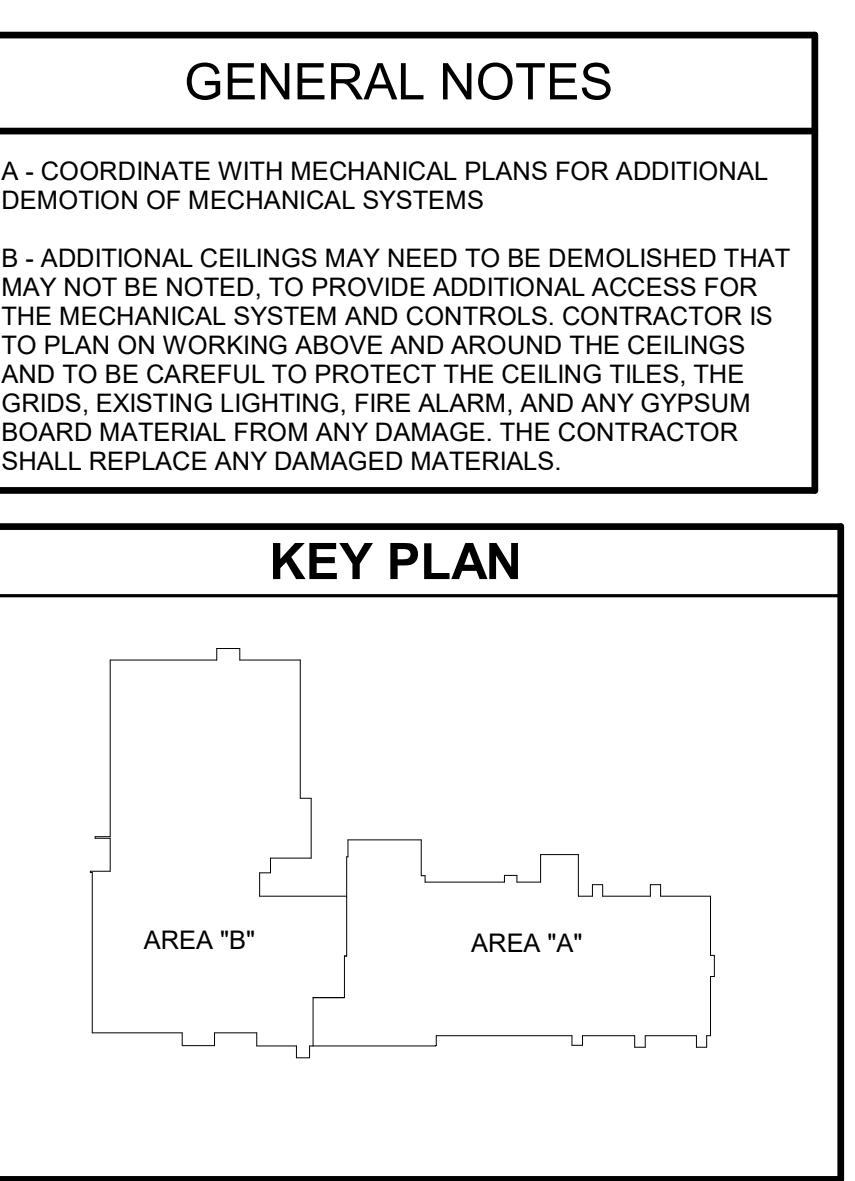
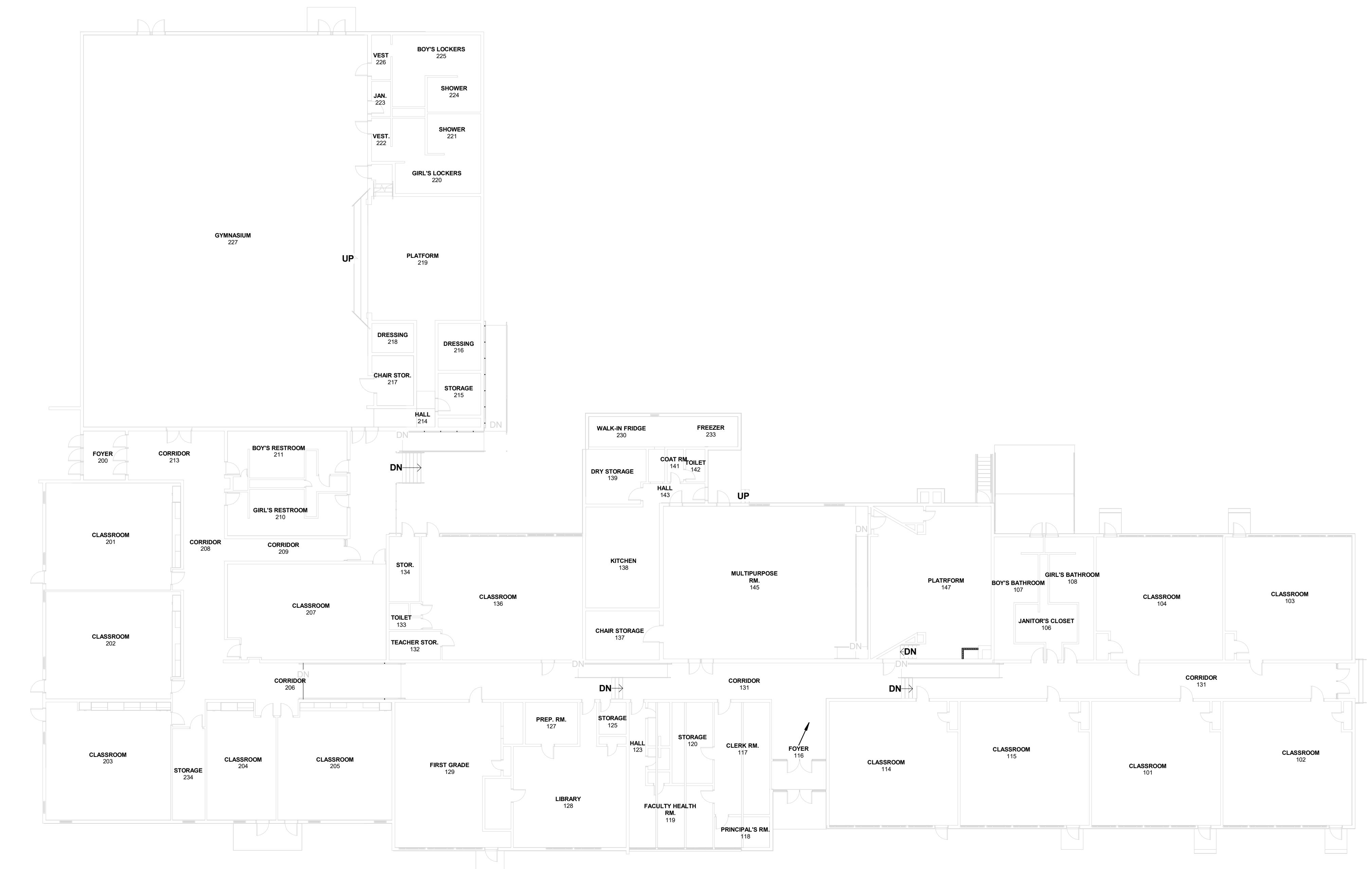


EMERY SCHOOL DISTRICT  
COTTONWOOD ELEMENTARY SCHOOL  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

PROJECT TITLE  
COTTONWOOD ELEMENTARY SCHOOL  
MECHANICAL UPGRADE  
55 EAST 200 SOUTH

DRAWN BY: KMA  
CHECKED BY: WC  
DATE: JAN 2026  
PROJECT #: 176525

TITLE



PROJECT TITLE: COTTONWOOD ELEMENTARY SCHOOL  
EMERY SCHOOL DISTRICT  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

PROJECT TITLE: 55 EAST 200 SOUTH  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
www.kmaarchitects.com

**KMA**  
ARCHITECTS

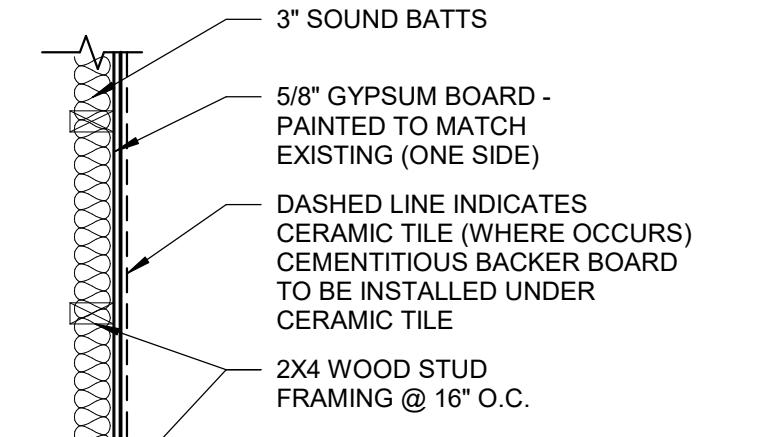


REVISIONS:

A1.0

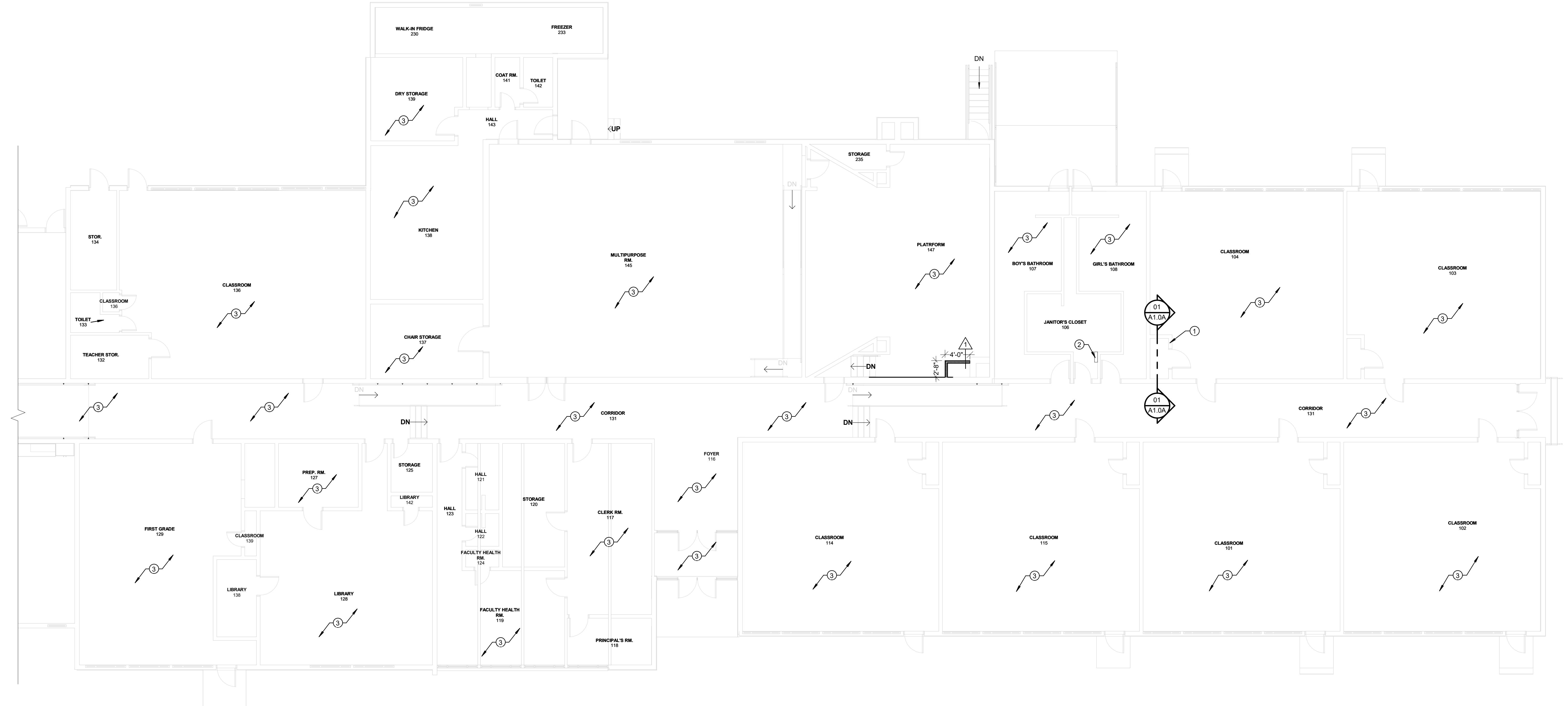
## **SHEET NOTES**

- CLOSET WALLS ARE TO BE CUT DOWN TO A 8'-6" AFF. ELEVATION TO PROVIDE ACCESS FOR THE INSTALLATION OF THE NEW MECHANICAL UNIT.
- PROPOSED NEW LOCATION OF THE ATC PANEL. COORDINATE IN FIELD WITH EXISTING CONDITIONS. PATCH AND REPAIR ALL EXISTING CONDITIONS DUE TO CONSTRUCTION.
- EXISTING CONSTRUCTION TO REMAIN. CONTRACTOR TO PATCH, REPAIR, AND CLEAN AS REQUIRED DUE TO DEMOLITION AND NEW CONSTRUCTION.



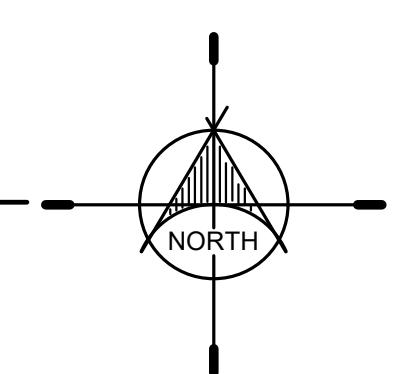
## 1. WALL TYPE 1

3/4" = 1'-0"



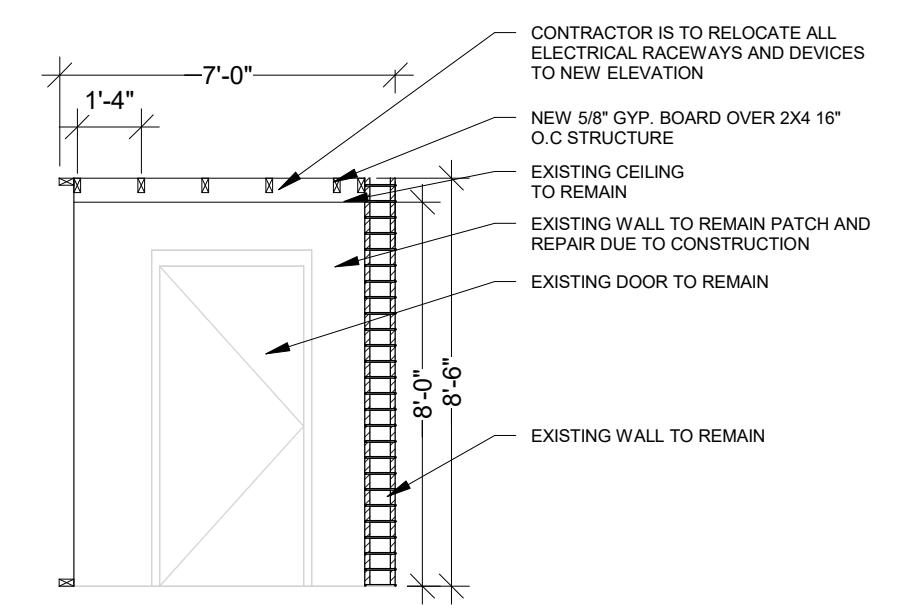
## MAIN FLOOR PLAN AREA

MA



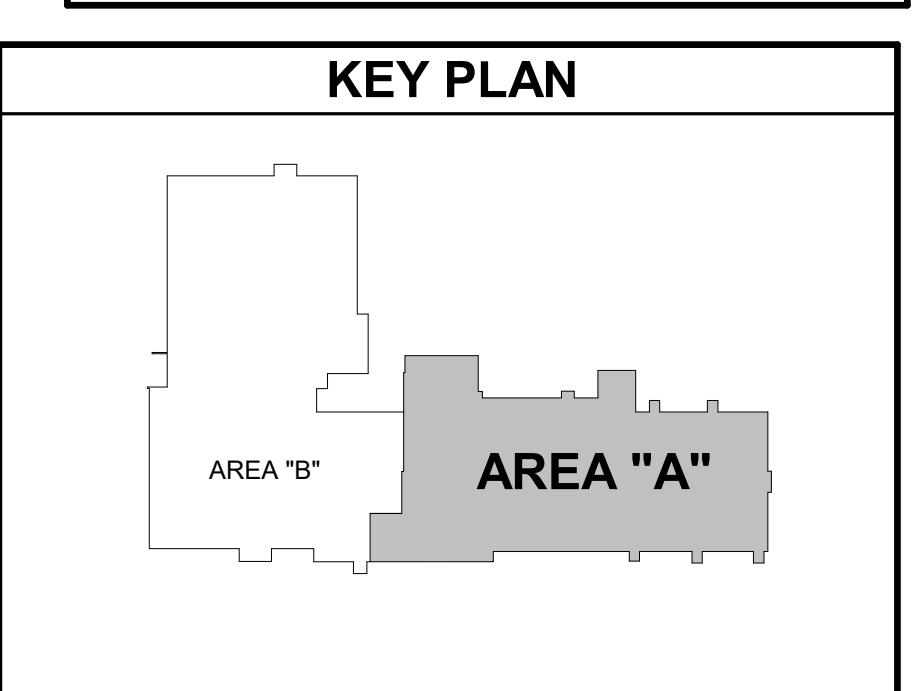
## CLOSET SECTION

01 1/4" :



## GENERAL NOTES

- A - COORDINATE WITH MECHANICAL PLANS FOR ADDITIONAL DEMOTION OF MECHANICAL SYSTEMS
- B - ADDITIONAL CEILINGS MAY NEED TO BE DEMOLISHED THAT MAY NOT BE NOTED, TO PROVIDE ADDITIONAL ACCESS FOR THE MECHANICAL SYSTEM AND CONTROLS. CONTRACTOR IS TO PLAN ON WORKING ABOVE AND AROUND THE CEILINGS AND TO BE CAREFUL TO PROTECT THE CEILING TILES, THE GRIDS, EXISTING LIGHTING, FIRE ALARM, AND ANY GYPSUM BOARD MATERIAL FROM ANY DAMAGE. THE CONTRACTOR SHALL REPLACE ANY DAMAGED MATERIALS.



### SHEET NOTES

1 - PROPOSED NEW LOCATION OF THE ATC PANEL. COORDINATE IN FIELD WITH EXISTING CONDUIT, PATCH AND REPAIR ALL EXISTING CONDITIONS DUE TO CONSTRUCTION.

2 - EXISTING CONSTRUCTION TO REMAIN. CONTRACTOR TO PATCH, REPAIR, AND CLEAN AS REQUIRED DUE TO DEMOLITION AND NEW CONSTRUCTION.

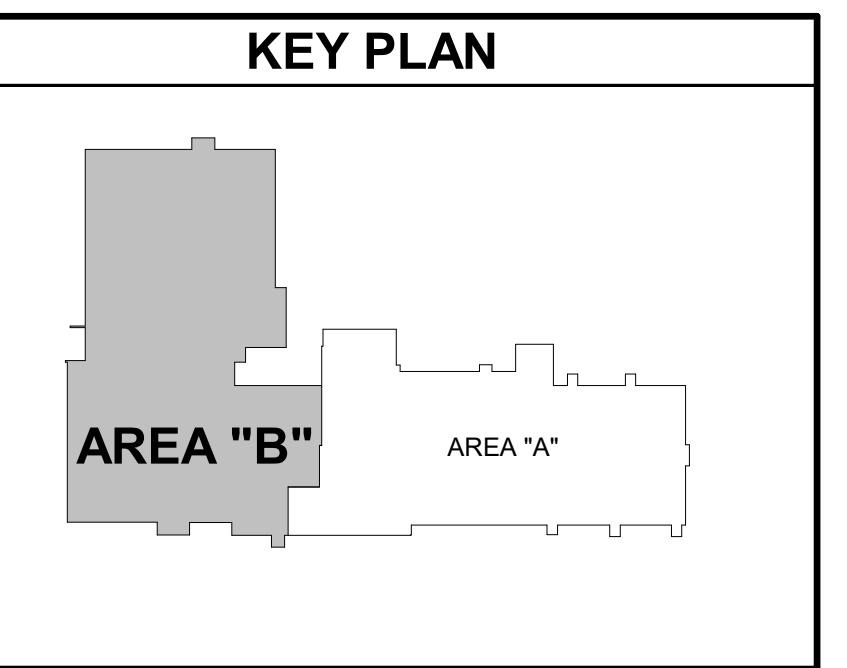


### GENERAL NOTES

A - COORDINATE WITH MECHANICAL PLANS FOR ADDITIONAL DEMOTION OF MECHANICAL SYSTEMS

B - ADDITIONAL CEILINGS MAY NEED TO BE DEMOLISHED THAT MAY NOT BE NOTED. TO PROVIDE ADDITIONAL ACCESS FOR THE MECHANICAL SYSTEM AND CONTROLS. CONTRACTOR IS TO PLAN ON WORKING ABOVE AND AROUND THE CEILINGS AND TO BE CAREFUL TO PROTECT THE CEILING TILES. THE GRID SYSTEM, LIGHTING, SMOKE ALARMS AND ANY GYPSUM BOARD MATERIAL FROM ANY DAMAGE. THE CONTRACTOR SHALL REPLACE ANY DAMAGED MATERIALS.

### KEY PLAN



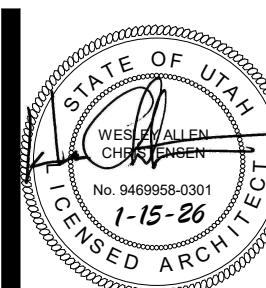
PROJECT TITLE: COTTONWOOD ELEMENTARY SCHOOL  
EMERY SCHOOL DISTRICT  
MECHANICAL UPGRADE  
55 EAST 200 SOUTH  
ORANGEVILLE, UTAH

DRAWN BY: KMA  
CHECKED BY: WC  
DATE: JAN 2026  
PROJECT #: 176525

A1.0B

170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
www.kmaarchitects.com

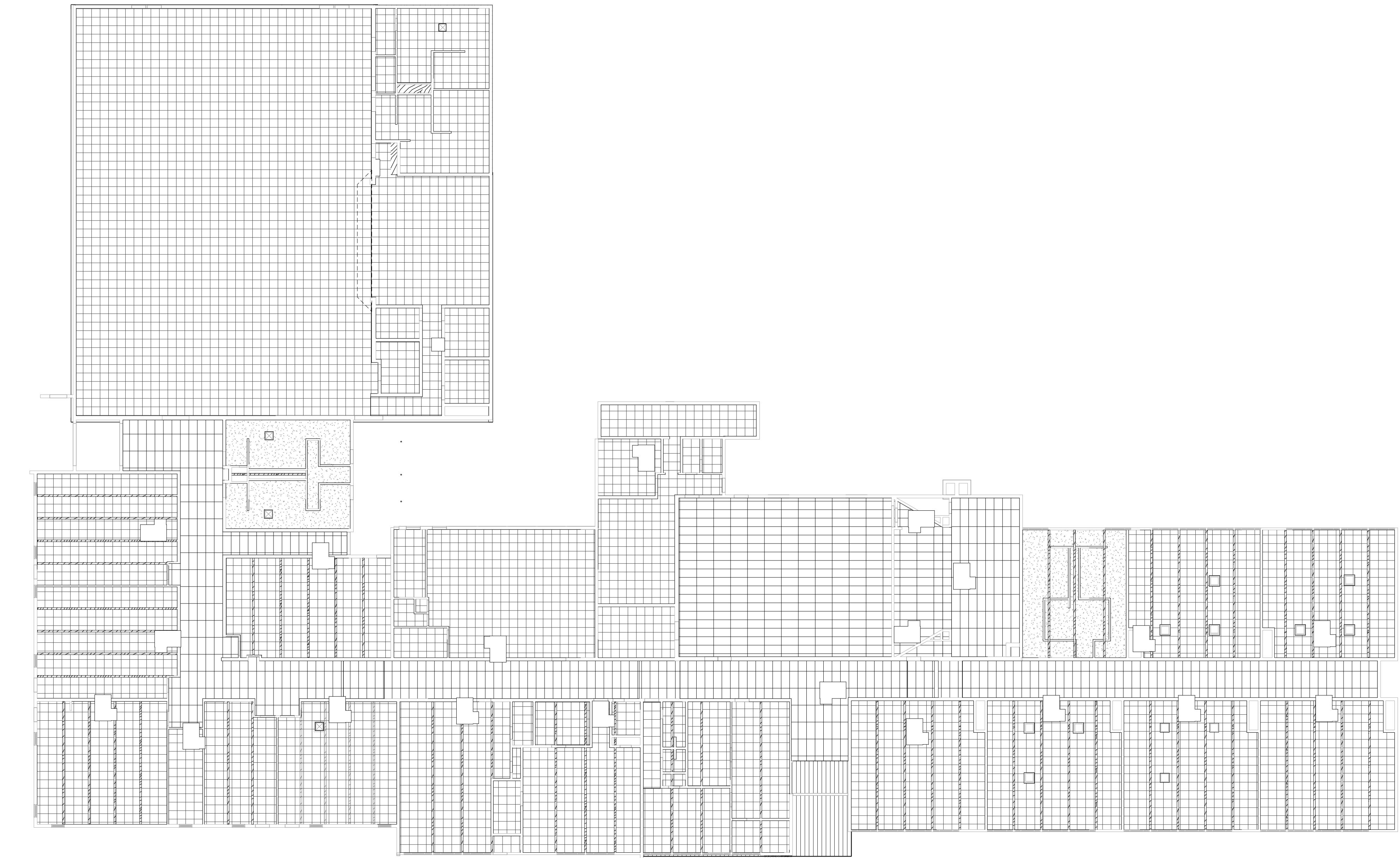
**KMA**  
ARCHITECTS



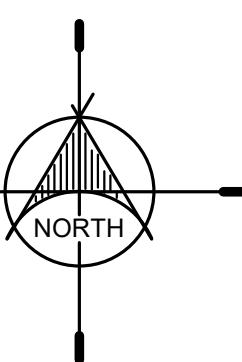
REVISIONS:

1-15-26

No. 9409958-201



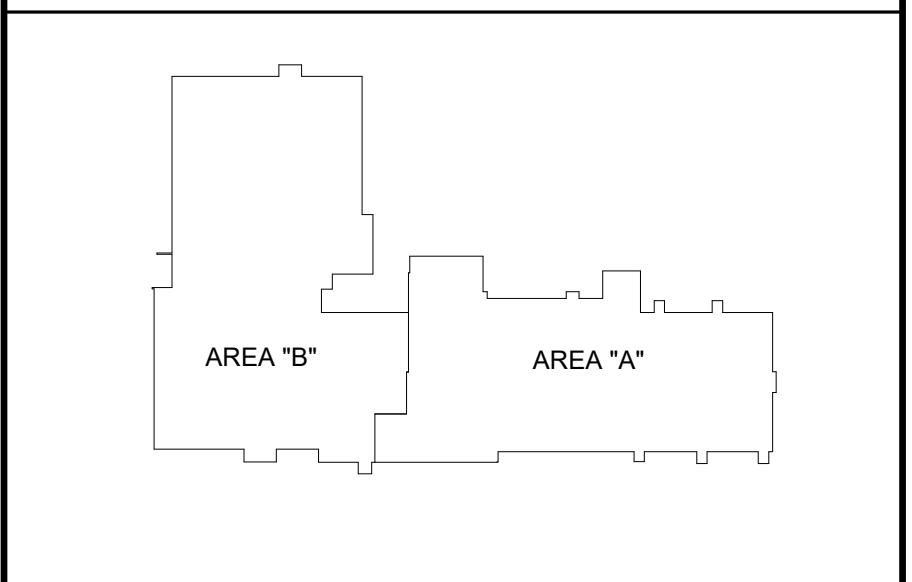
OVERALL MAIN FLOOR REFLECTED  
1/16" = 1'-0"



GENERAL NOTES

A - COORDINATE WITH MECHANICAL PLANS FOR ADDITIONAL DEMOTION OF MECHANICAL SYSTEMS  
B - ADDITIONAL CEILINGS MAY NEED TO BE DEMOLISHED THAT MAY NOT BE NOTED. TO PROVIDE ADDITIONAL ACCESS FOR THE MECHANICAL SYSTEM AND CONTROLS. CONTRACTOR IS TO PLAN ON REMOVING AND AROUND THE CEILINGS AND TAKE CARE TO PROTECT THE CEILINGS, THE GRIDS, EXISTING LIGHTING, FIRE ALARM, AND ANY GYPSUM BOARD MATERIAL FROM ANY DAMAGE. THE CONTRACTOR SHALL REPLACE ANY DAMAGED MATERIALS.

KEY PLAN



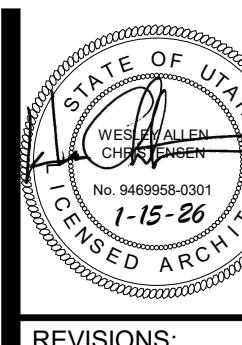
PROJECT TITLE: EMERY SCHOOL DISTRICT  
COTTONWOOD ELEMENTARY SCHOOL  
55 EAST 200 SOUTH  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

DRAWN BY: KMA  
CHECKED BY: WC  
DATE: JAN 2026  
PROJECT #: 176525

A2.1

170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
www.kmaarchitects.com

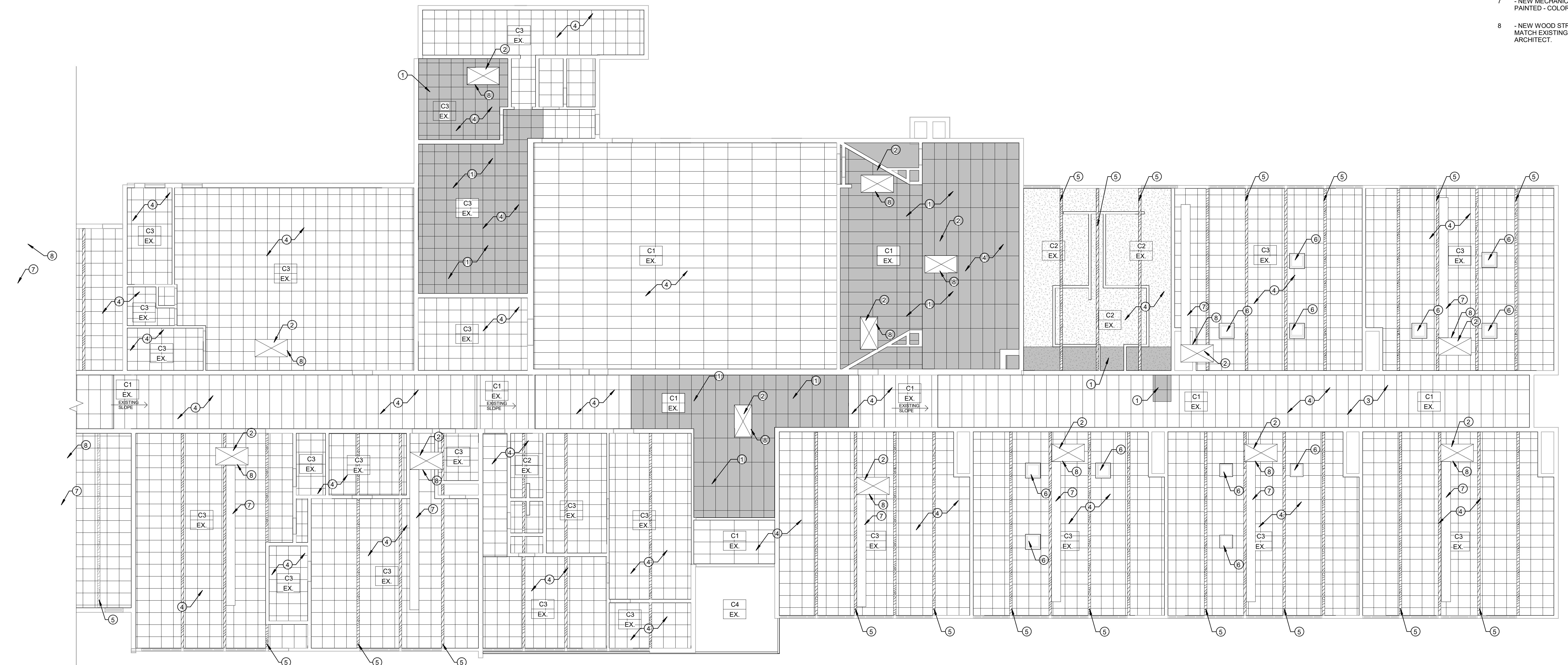
**KMA**  
ARCHITECTS



REVISIONS:

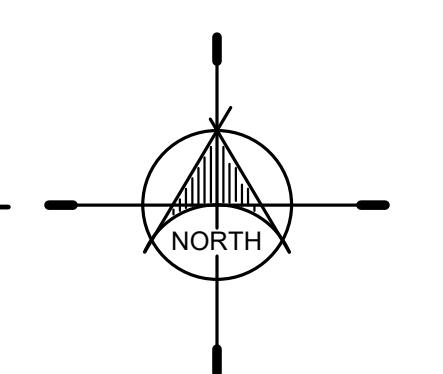
## SHEET NOTES

- EXISTING CEILING TO BE REMOVED TO ALLOW ACCESS FOR DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR IS TO PRESERVE ALL CEILING ELEMENTS (LIGHT FIXTURES, CEILING TILE, CEILING GRID, ETC.) THAT IS REMOVED TO PROVIDE ACCESS. CONTRACTOR IS TO REPLACE ALL CEILING ELEMENTS WHEN WORK ABOVE IS COMPLETED. CONTRACTOR IS TO REPLACE ANY DAMAGED COMPONENTS CAUSED BY CONSTRUCTION.
- APPROXIMATE LOCATION OF NEW MECHANICAL UNIT. COORDINATE WITH MECHANICAL AND STRUCTURAL PLAN ON EXACT LOCATION AND BRACING - SEE STRUCTURAL DETAILS ON SHEET S2.0.
- CEILING TILE IS TO BE REMOVED AND REINSTALLED AS NEEDED TO ALLOW FOR ANY NEW CONTROL WIRES TO BE INSTALLED. CONTRACTOR IS TO FIX ANY GRID DAMAGED DUE TO CONSTRUCTION.
- EXISTING CONSTRUCTION TO REMAIN. CONTRACTOR TO PATCH, REPAIR, AND CLEAN AS REQUIRED DUE TO DEMOLITION AND NEW CONSTRUCTION.
- EXISTING STRUCTURE TO REMAIN.
- EXISTING SKY LIGHTS TO REMAIN.
- NEW MECHANICAL EQUIPMENT AND DUCT WORK TO BE PAINTED - COLOR SELECTED BY ARCHITECT.
- NEW WOOD STRUCTURAL SUPPORTS ARE TO BE STAINED TO MATCH EXISTING BEAMS - STAIN COLOR TO BE APPROVED BY ARCHITECT.



MAIN FLOOR REFLECTED AREA "A"

1/8" = 1'-0"



## GENERAL NOTES

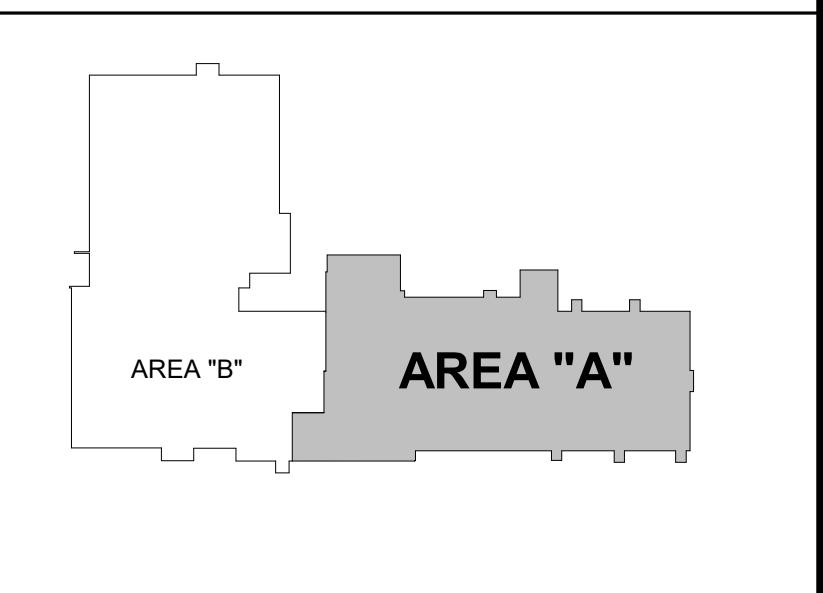
A - COORDINATE WITH MECHANICAL PLANS FOR ADDITIONAL DEMOTION OF MECHANICAL SYSTEMS

B - ADDITIONAL CEILINGS MAY NEED TO BE DEMOLISHED THAT MAY NOT BE NOTED. TO PROVIDE ADDITIONAL ACCESS FOR THE MECHANICAL SYSTEM AND CONTROLS. CONTRACTOR IS TO PLAN ON WORKING ABOVE AND AROUND THE CEILINGS AND TAKE CAREFUL TO NOT DAMAGE THE CEILINGS, THE GRIDS, EXISTING LIGHTING, FIRE ALARM, AND ANY GYPSUM BOARD MATERIAL FROM ANY DAMAGE. THE CONTRACTOR SHALL REPLACE ANY DAMAGED MATERIALS.

## CEILING LEGEND

C1	EXISTING 2X4 CEILING GRID.	
C2	EXISTING 5/8" GYP. BOARD (TEXTURED AND PAINTED)	
C3	EXISTING GLUE UP CEILING TILES	
C4	EXISTING SOFFIT	
	EXISTING CEILING HEIGHT (VERIFY ELEVATION)	
	LIGHT FIXTURES	
	MECHANICAL DIFFUSERS	

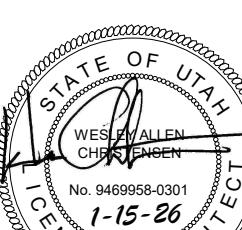
## KEY PLAN



PROJECT TITLE: COTTONWOOD ELEMENTARY SCHOOL  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
www.kmaarchitects.com

**KMA**  
ARCHITECTS



REVISIONS:

PROJECT TITLE

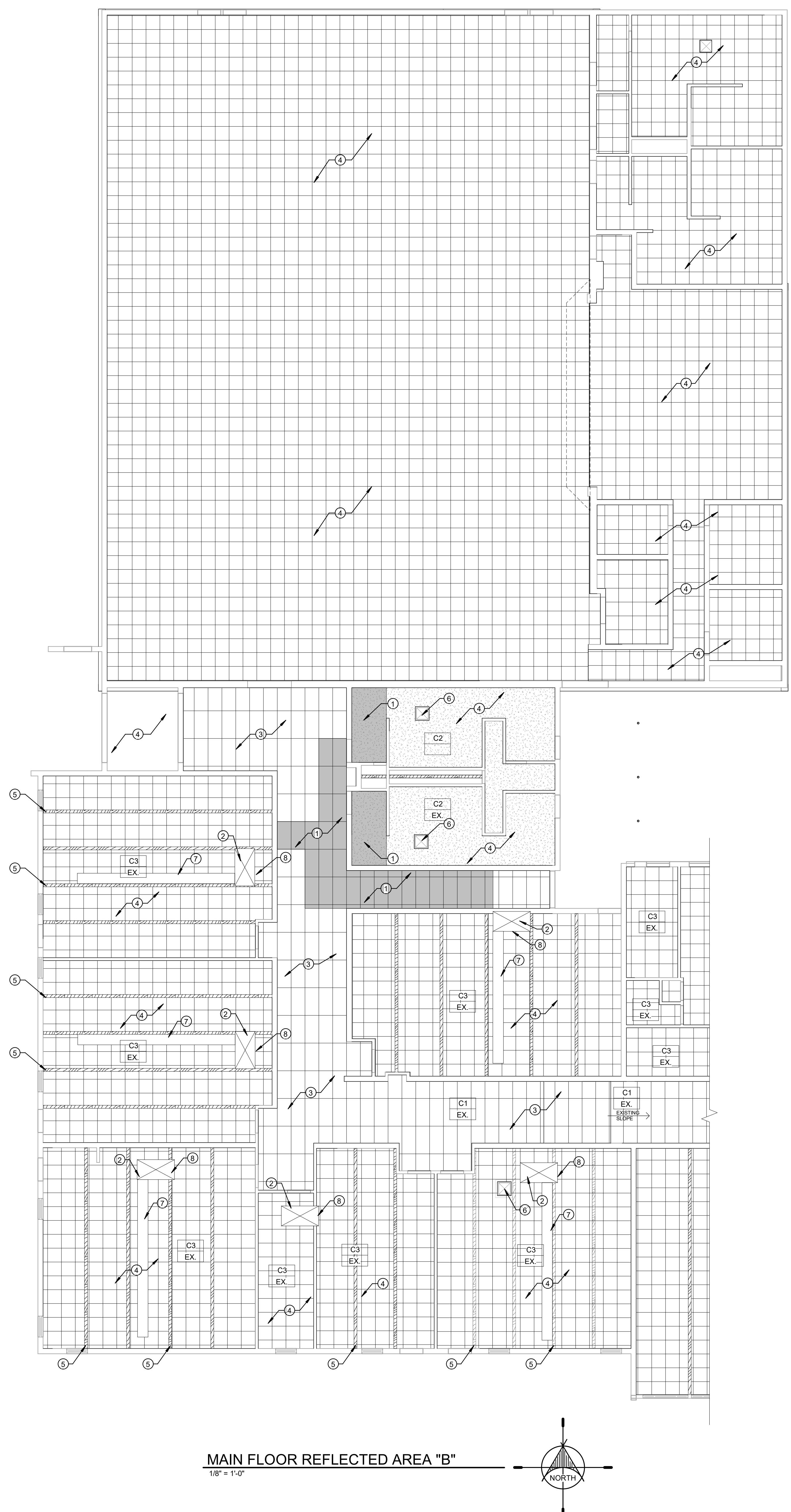
55 EAST 200 SOUTH  
COTTONWOOD ELEMENTARY SCHOOL  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

DRAWN BY: KMA  
CHECKED BY: WC  
DATE: JAN 2026  
PROJECT #: 176525

A2.1A

### SHEET NOTES

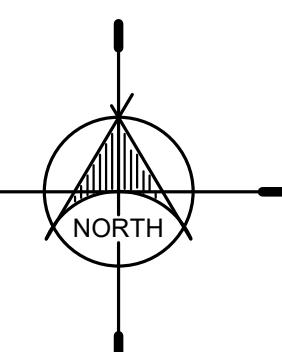
- EXISTING CEILING TO BE REMOVED TO ALLOW ACCESS FOR DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR IS TO PRESERVE ALL CEILING ELEMENTS (LIGHT FIXTURES, CEILING GRID, ETC.) AND PROVIDE ELEVATED ACCESS TO THE CEILING ACCESS WITHIN THE SHADeD REGION. REINSTALL ALL ELEMENTS WHEN WORK ABOVE IS COMPLETED. CONTRACTOR IS TO REPLACE ANY DAMAGED COMPONENTS CAUSED BY CONSTRUCTION.
- APPROXIMATE LOCATION OF NEW MECHANICAL UNIT. COORDINATE WITH MECHANICAL AND STRUCTURAL PLAN ON EXACT LOCATION AND BRACING - SEE STRUCTURAL DETAILS ON SHEET S2.0.
- CEILING TILE IS TO BE REMOVED AND REINSTALLED AS NEEDED TO ALLOW FOR ANY NEW CONTROL WIRES TO BE INSTALLED. CONTRACTOR IS TO FIX ANY GRID DAMAGED DUE TO CONSTRUCTION.
- EXISTING CONSTRUCTION TO REMAIN. CONTRACTOR TO PATCH, REPAIR, AND CLEAN AS REQUIRED DUE TO DEMOLITION AND NEW CONSTRUCTION.
- EXISTING STRUCTURE TO REMAIN.
- EXISTING SKY LIGHTS TO REMAIN.
- NEW MECHANICAL EQUIPMENT AND DUCT WORK TO BE PAINTED - COLOR SELECTED BY ARCHITECT.
- NEW WOOD STRUCTURAL SUPPORTS ARE TO BE STAINED TO MATCH EXISTING BEAMS - STAIN COLOR TO BE APPROVED BY ARCHITECT.





OVERALL ROOF PLAN

1/16" = 1'-0"



## GENERAL NOTES

- A - ALL MECHANICAL UNITS AND ROOF PENETRATIONS MAY NOT BE SHOWN. PROVIDE FLASHING, CRICKETS, AND REGLETS AT EACH UNIT SHOWN OR NOT. VERIFY ALL EXISTING PENETRATIONS.
- B - PROVIDE FLASHING AND ROOFING BOOTS FOR ALL ELECTRICAL CONDUIT PENETRATIONS THROUGH ROOF. VERIFY ALL EXISTING ELECTRICAL PENETRATIONS.
- C - ALL ROOF CRICKETS TO BE SIZED AND SLOPED TO MATCH EXISTING.
- D - ALL MEMBRANE ROOFING AREAS TO MATCH EXISTING SLOPE.
- E - ALL MECHANICAL ROOF HATCH, SKYLIGHT, AND SOLAR CURBS TO BE 18" MINIMUM ABOVE ROOF DECK.
- F - CONTRACTOR RESPONSIBLE FOR ANY INTERIOR DAMAGES DUE TO MECHANICAL UPGRADE.
- G - CONTRACTOR IS TO PRESERVE, PROTECT, REPLACE ALL EXISTING CONDITIONS THAT ARE AFFECTED DUE TO CONSTRUCTION.
- H - CONTRACTOR IS TO DOCUMENT EXISTING CONDITIONS BEFORE STARTING DEMOLITION.

## GENERAL DEMOLITION NOTES

- 1 - CONTRACTOR TO PROVIDE PLYWOOD SHEATHING, INSULATION, AND MEMBRANE FOR WALLS & ROOF TO PROTECT INTERIOR FROM WEATHER DURING DEMOLITION AND CONSTRUCTION.
- 2 - ALL PLUMBING, HVAC, & ELECTRICAL WILL BE RE-ROUTED OR MODIFIED TO ALLOW COMPLETE CONTINUITY OF UTILITY SERVICE FOR SCHOOL OPERATION DURING CONSTRUCTION.
- 3 - STAGING TO BE DETERMINED BY GENERAL CONTRACTOR. (COSTS FOR TEMPORARY STAGING BY CONTRACTOR.)
- 4 - CONSTRUCTION FENCING SEPARATE NEW CONSTRUCTION AND DEMOLITION FROM ALL STUDENT ACTIVITY. (COSTS FOR TEMPORARY CONSTRUCTION FENCING BY CONTRACTOR.)
- 5 - CONSTRUCTION AND DEMOLITION ACCESS TO BE DETERMINED BY GENERAL CONTRACTOR AND OWNER.

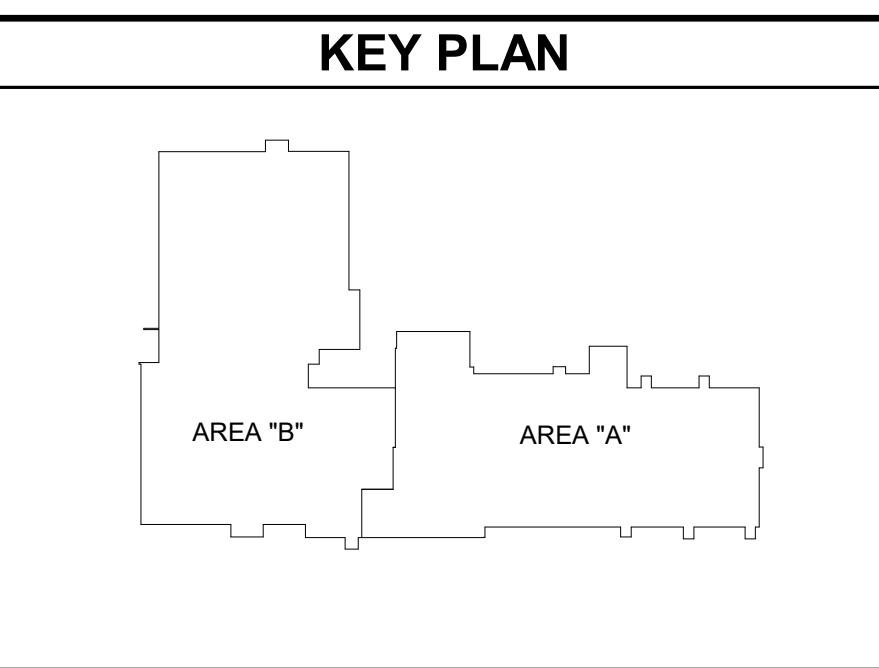
PROJECT TITLE: COTTONWOOD ELEMENTARY SCHOOL  
EMERY SCHOOL DISTRICT  
55 EAST 200 SOUTH  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH



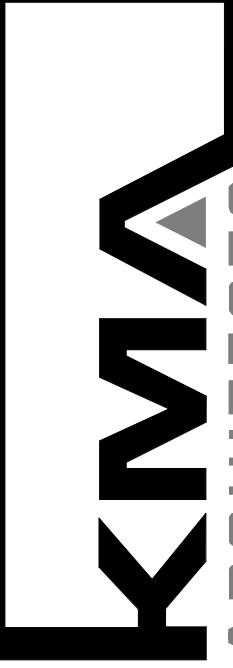
REVISIONS:

## ROOFING DEMOLITION NOTE

- A - CONTRACTOR TO INCLUDE ANY NEW ROOF DECKING, 6" RIGID INSULATION, CURBING, AND SHEET MEMBRANE ROOFING AT ANY ROOF PENETRATION DUE TO CONSTRUCTION. COORDINATE ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND KITCHEN SHEETS FOR ROOF REPAIRS.
- B - CONTRACTOR TO ADD NEW PLYWOOD DECKING, 6" RIGID INSULATION AND ROOF MEMBRANE OVER OPENING CREATED AT CURBS BY REMOVAL OF ANY EXISTING UNITS. REFER TO MECHANICAL DEMOLITION SHEET FOR LOCATIONS.



170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
www.kmaarchitects.com



STATE OF UTAH  
ARCHITECTURAL  
REGISTRATION  
No. 940995-201  
1-15-26

REVISIONS:

DRAWN BY: KMA  
CHECKED BY: WC  
DATE: JAN 2026  
PROJECT #: 176525

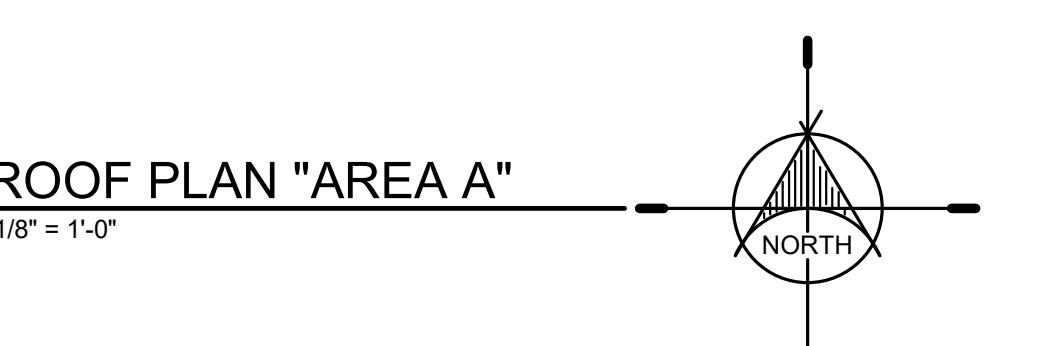
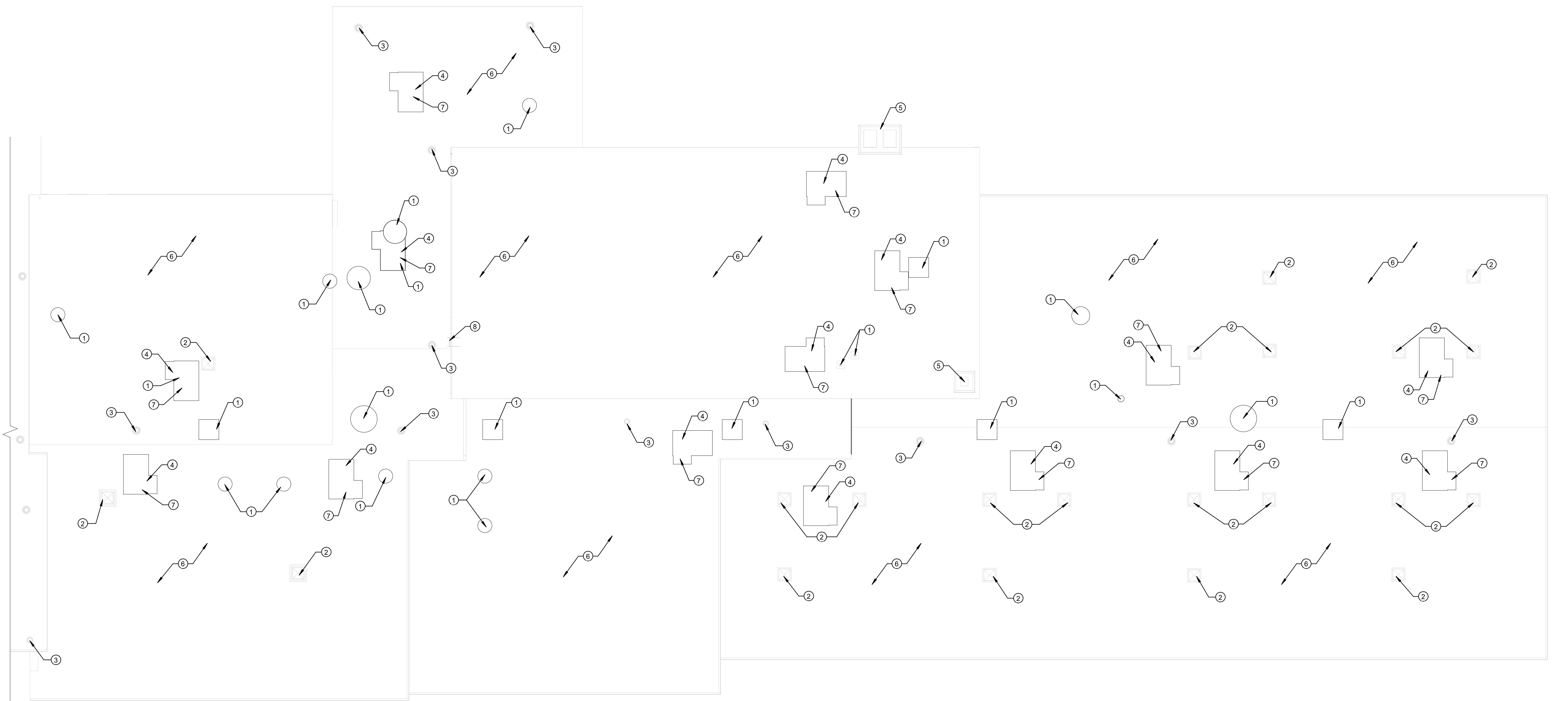
A2.2

## SHEET NOTES

- EXISTING MECHANICAL UNITS, VENTS, PIPING, ETC. COORDINATE WITH MECHANICAL DEMOLITION PLANS. IF COMPONENT IS TO BE REMOVED CONTRACTOR IS TO PATCH AND REPAIR THE ROOF AND DECKING. IF THE COMPONENT IS NOT TO BE REMOVED PRESERVE AND PROTECT DURING CONSTRUCTION.
- EXISTING SKYLIGHT TO REMAIN (TYP.)
- EXISTING ROOF DRAIN TO REMAIN (TYP.)
- APPROXIMATE LOCATION OF NEW MECHANICAL UNIT. REMOVE EXISTING LOCATION. NEW MECHANICAL UNIT. THERE PATCH AND REPAIR ALL ADDITIONAL PENETRATIONS. COORDINATE WITH MECHANICAL PLANS.
- EXISTING CHIMNEY STACK TO REMAIN (TYP.)
- EXISTING ROOF MEMBRANE AND INSULATION TO REMAIN - PATCH AND REPAIR DUE TO CONSTRUCTION.
- NEW MECHANICAL CURBING AND FLASHING AT ALL NEW UNITS TO PROVIDE PROPER DRAINAGE SEE MECHANICAL DETAIL ON SHEET M6.1.
- EXISTING ACCESS LADDER TO REMAIN.

## GENERAL NOTES

- A - ALL MECHANICAL UNITS AND ROOF PENETRATIONS MAY NOT BE SHOWN. PROVIDE FLASHING, CRICKETS, AND REGLETS AT EACH UNIT SHOWN OR NOT. VERIFY ALL EXISTING PENETRATIONS.
- B - PROVIDE FLASHING AND ROOFING BOOTS FOR ALL ELECTRICAL CONDUIT PENETRATIONS THROUGH ROOF. VERIFY ALL EXISTING ELECTRICAL PENETRATIONS.
- C - ALL ROOF CRICKETS TO BE SIZED AND SLOPED TO MATCH EXISTING.
- D - ALL MEMBRANE ROOFING AREAS TO MATCH EXISTING SLOPE.
- E - ALL MECHANICAL ROOF HATCH, SKYLIGHT, AND SOLAR PANEL CURBS TO BE 18" MINIMUM ABOVE ROOF DECK.
- F - CONTRACTOR RESPONSIBLE FOR ANY INTERIOR DAMAGES DUE TO MECHANICAL UPGRADE.
- G - CONTRACTOR IS TO PRESERVE, PROTECT, REPLACE ALL EXISTING CONDITIONS THAT ARE AFFECTED DUE TO CONSTRUCTION.
- H - CONTRACTOR IS TO DOCUMENT EXISTING CONDITIONS BEFORE STARTING DEMOLITION.



## GENERAL DEMOLITION NOTES

- 1 - CONTRACTOR TO PROVIDE PLYWOOD SHEATHING, INSULATION, AND MEMBRANE FOR WALLS & ROOF TO PROTECT INTERIOR FROM WEATHER DURING DEMOLITION AND CONSTRUCTION.
- 2 - ALL PLUMBING, HVAC, & ELECTRICAL WILL BE RE-ROUTED OR MODIFIED TO ALLOW COMPLETE CONTINUITY OF UTILITY SERVICE FOR SCHOOL OPERATION DURING CONSTRUCTION.
- 3 - STAGING TO BE DETERMINED BY GENERAL CONTRACTOR. (COSTS FOR TEMPORARY STAGING BY CONTRACTOR.)
- 4 - CONSTRUCTION FENCING SEPARATE NEW CONSTRUCTION AND DEMOLITION FROM ALL STUDENT ACTIVITY. (COSTS FOR TEMPORARY CONSTRUCTION FENCING BY CONTRACTOR.)
- 5 - CONSTRUCTION AND DEMOLITION ACCESS TO BE DETERMINED BY GENERAL CONTRACTOR AND OWNER.

## ROOFING DEMOLITION NOTE

- A - CONTRACTOR TO INCLUDE ANY NEW ROOF DECKING, 6" RIGID INSULATION, CURBING, AND SHEET MEMBRANE ROOFING AT ANY ROOF PENETRATION DUE TO CONSTRUCTION. COORDINATE ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND KITCHEN WALLS FOR ROOF REPAIRS.
- B - CONTRACTOR TO ADD NEW PLYWOOD DECKING, 6" RIGID INSULATION AND ROOF MEMBRANE OVER OPENING CREATED AT CURBS BY REMOVAL OF ANY EXISTING UNITS. REFER TO MECHANICAL DEMOLITION SHEET FOR LOCATIONS.

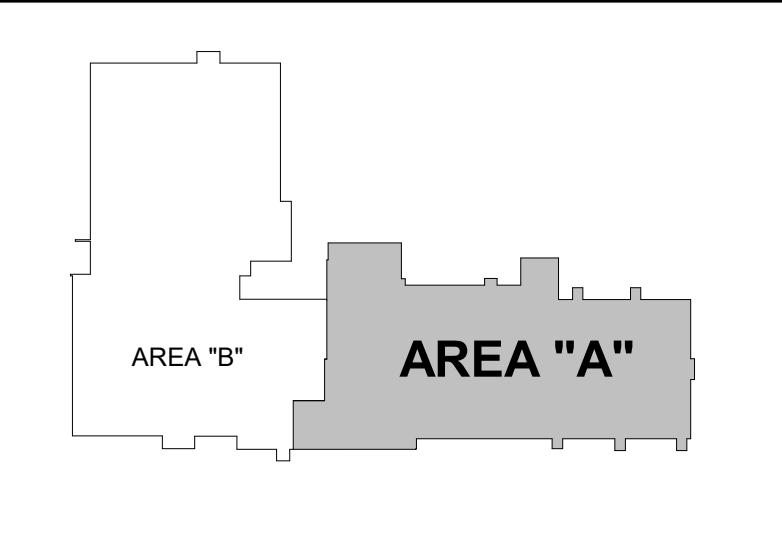
PROJECT TITLE: COTTONWOOD ELEMENTARY SCHOOL  
EMERY SCHOOL DISTRICT  
55 EAST 200 SOUTH  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
WWW.KMAARCHITECTS.COM



REVISIONS:

## KEY PLAN



A2.2A



### SHEET NOTES

- EXISTING MECHANICAL UNITS, VENTS, PIPING, ETC. COORDINATE WITH MECHANICAL DEMOLITION PLANS. IF COMPONENT IS TO BE REMOVED CONTRACTOR IS TO PATCH AND REPAIR THE ROOF AND DECKING. IF THE COMPONENT IS NOT TO BE REMOVED PRESERVE AND PROTECT DURING CONSTRUCTION.
- EXISTING SKYLIGHT TO REMAIN (TYP.)
- EXISTING ROOF DRAIN TO REMAIN (TYP.)
- APPROXIMATE LOCATION OF NEW MECHANICAL UNIT. REMOVE EXISTING ROOF TO NEW MECHANICAL UNIT CURB, PATCH AND REPAIR ALL ADDITIONAL PENETRATIONS. COORDINATE WITH MECHANICAL PLANS.
- EXISTING ROOF MEMBRANE AND INSULATION TO REMAIN - PATCH AND REPAIR DUE TO CONSTRUCTION.
- NEW MECHANICAL CURBING AND FLASHING AT ALL NEW UNITS TO PROVIDE PROPER DRAINAGE SEE MECHANICAL DETAIL ON SHEET MG 1.

### GENERAL NOTES

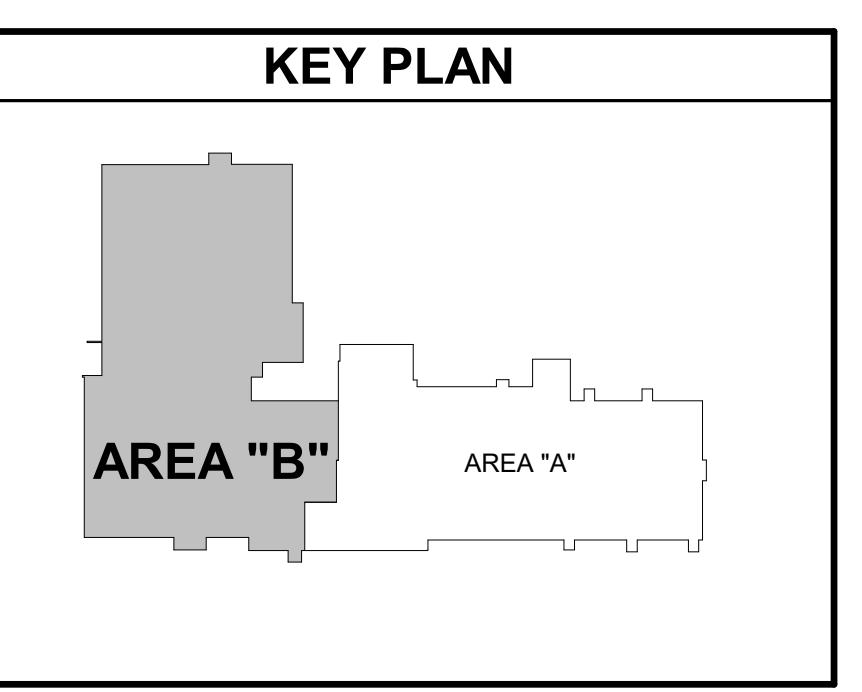
- A - ALL MECHANICAL UNITS AND ROOF PENETRATIONS MAY NOT BE SHOWN. PROVIDE FLASHING, CRICKETS, AND REGLETS AT EACH UNIT SHOWN OR NOT. VERIFY ALL EXISTING PENETRATIONS.
- B - PROVIDE FLASHING AND ROOFING BOOTS FOR ALL ELECTRICAL, CONDUIT PENETRATIONS THROUGH ROOF. VERIFY ALL EXISTING ELECTRICAL PENETRATIONS.
- C - ALL ROOF CRICKETS TO BE SIZED AND SLOPED TO MATCH EXISTING.
- D - ALL MEMBRANE ROOFING AREAS TO MATCH EXISTING SLOPE.
- E - ALL MECHANICAL, ROOF HATCH, SKYLIGHT, AND SOLAR CURBS TO BE 18" MINIMUM ABOVE ROOF DECK.
- F - CONTRACTOR RESPONSIBLE FOR ANY INTERIOR DAMAGES DUE TO MECHANICAL UPGRADE.
- G - CONTRACTOR IS TO PRESERVE, PROTECT, REPLACE ALL EXISTING CONDITIONS THAT ARE AFFECTED DUE TO CONSTRUCTION
- H - CONTRACTOR IS TO DOCUMENT EXISTING CONDITIONS BEFORE STARTING DEMOLITION.

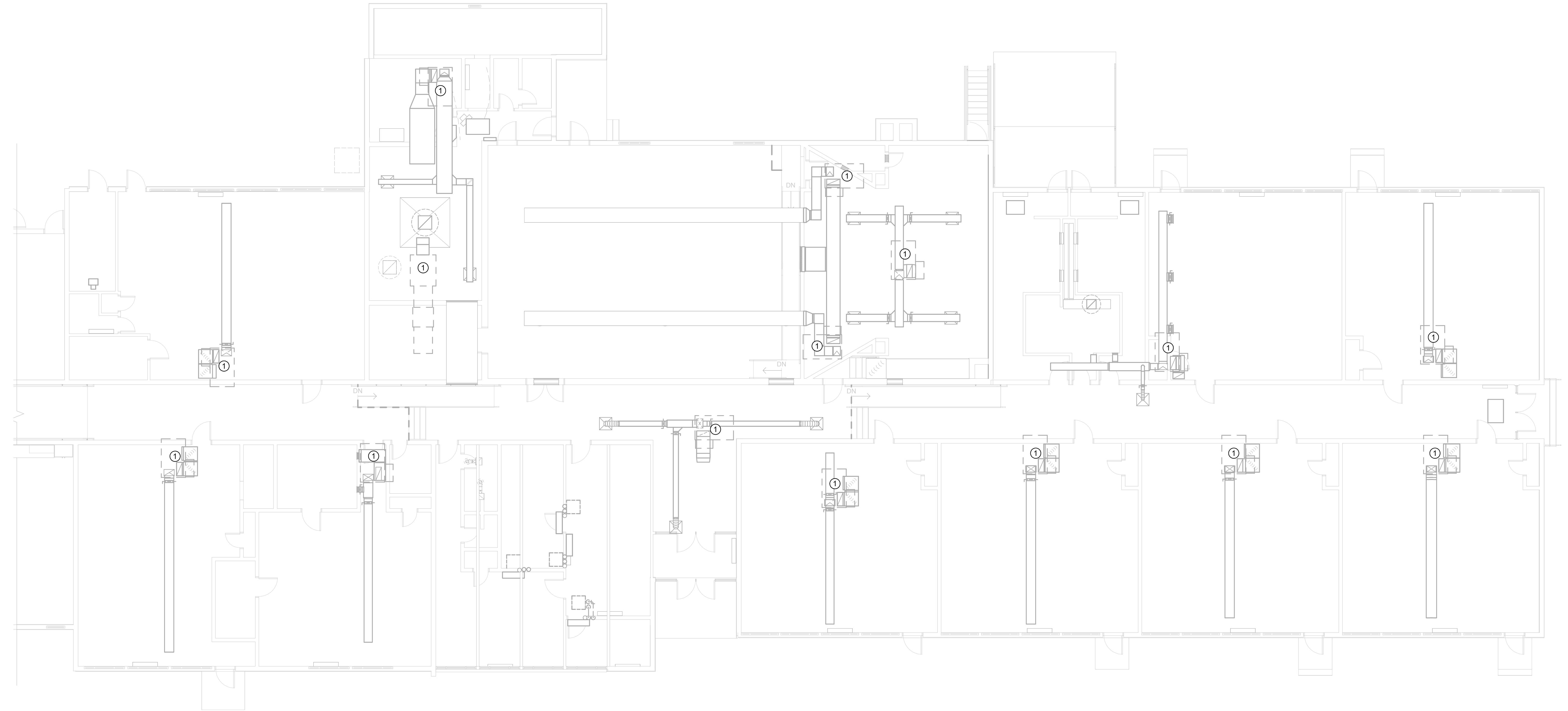
### GENERAL DEMOLITION NOTES

- 1 - CONTRACTOR TO PROVIDE PLYWOOD SHEATHING, INSULATION, AND MEMBRANE FOR WALLS & ROOF TO PROTECT INTERIOR FROM WEATHER DURING DEMOLITION AND CONSTRUCTION.
- 2 - ALL PLUMBING, HVAC, & ELECTRICAL WILL BE RE-ROUTED OR MODIFIED TO ALLOW COMPLETE CONTINUITY OF UTILITY SERVICE FOR SCHOOL OPERATION DURING CONSTRUCTION.
- 3 - STAGING TO BE DETERMINED BY GENERAL CONTRACTOR. (COSTS FOR TEMPORARY STAGING BY CONTRACTOR.)
- 4 - CONSTRUCTION FENCING SEPARATE NEW CONSTRUCTION AND DEMOLITION FROM ALL STUDENT ACTIVITY. (COSTS FOR TEMPORARY CONSTRUCTION FENCING BY CONTRACTOR.)
- 5 - CONSTRUCTION AND DEMOLITION ACCESS TO BE DETERMINED BY GENERAL CONTRACTOR AND OWNER.

### ROOFING DEMOLITION NOTE

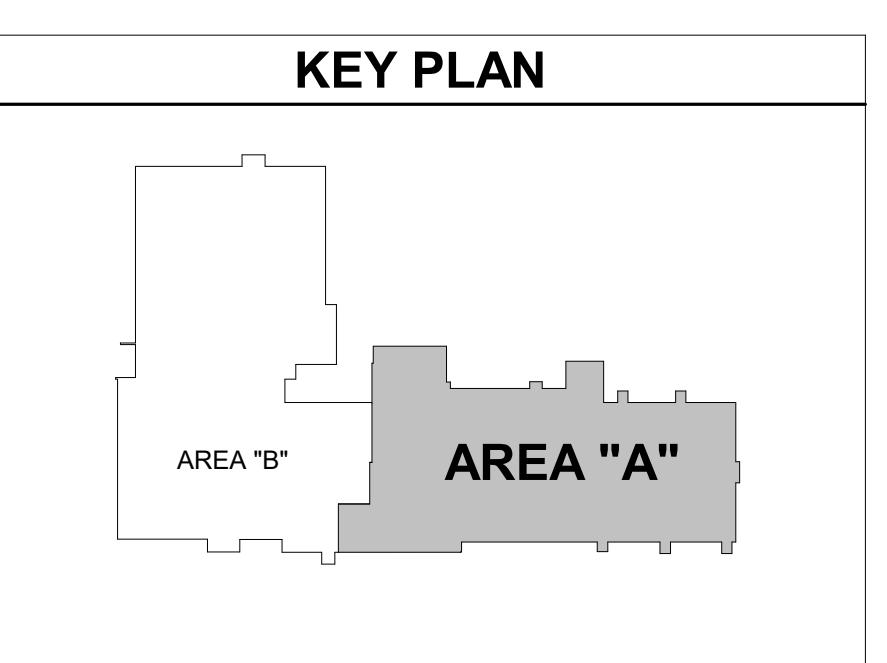
- A - CONTRACTOR TO INCLUDE ANY NEW ROOF DECKING, 6" RIGID INSULATION, CURBING, AND SHEET MEMBRANE ROOFING AT ANY ROOF PENETRATION DUE TO CONSTRUCTION. COORDINATE ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND KITCHEN SHEETS FOR ROOF REPAIRS.
- B - CONTRACTOR TO ADD NEW PLYWOOD DECKING, 6" RIGID INSULATION AND ROOF MEMBRANE OVER OPENING CREATED AT CURBS BY REMOVAL OF ANY EXISTING UNITS. REFER TO MECHANICAL DEMOLITION SHEET FOR LOCATIONS.





① FLOOR PLAN AREA 'A'  
1/8" = 1'-0"

SHEET NOTES  
① SEE DETAILS 5 & 6.9 FOR REQUIRED FRAMING AROUND  
NEW DUCT OPENINGS THROUGH EXISTING ROOF. SEE  
MECHANICAL PLANS FOR EXACT NUMBER OF NEW UNITS  
AND REQUIRED DUCT CONFIGURATIONS



S1.0A

PROJECT TITLE: EMERY SCHOOL DISTRICT  
COTTONWOOD ELEMENTARY SCHOOL  
ORANGEVILLE, UTAH  
MECHANICAL UPGRADE

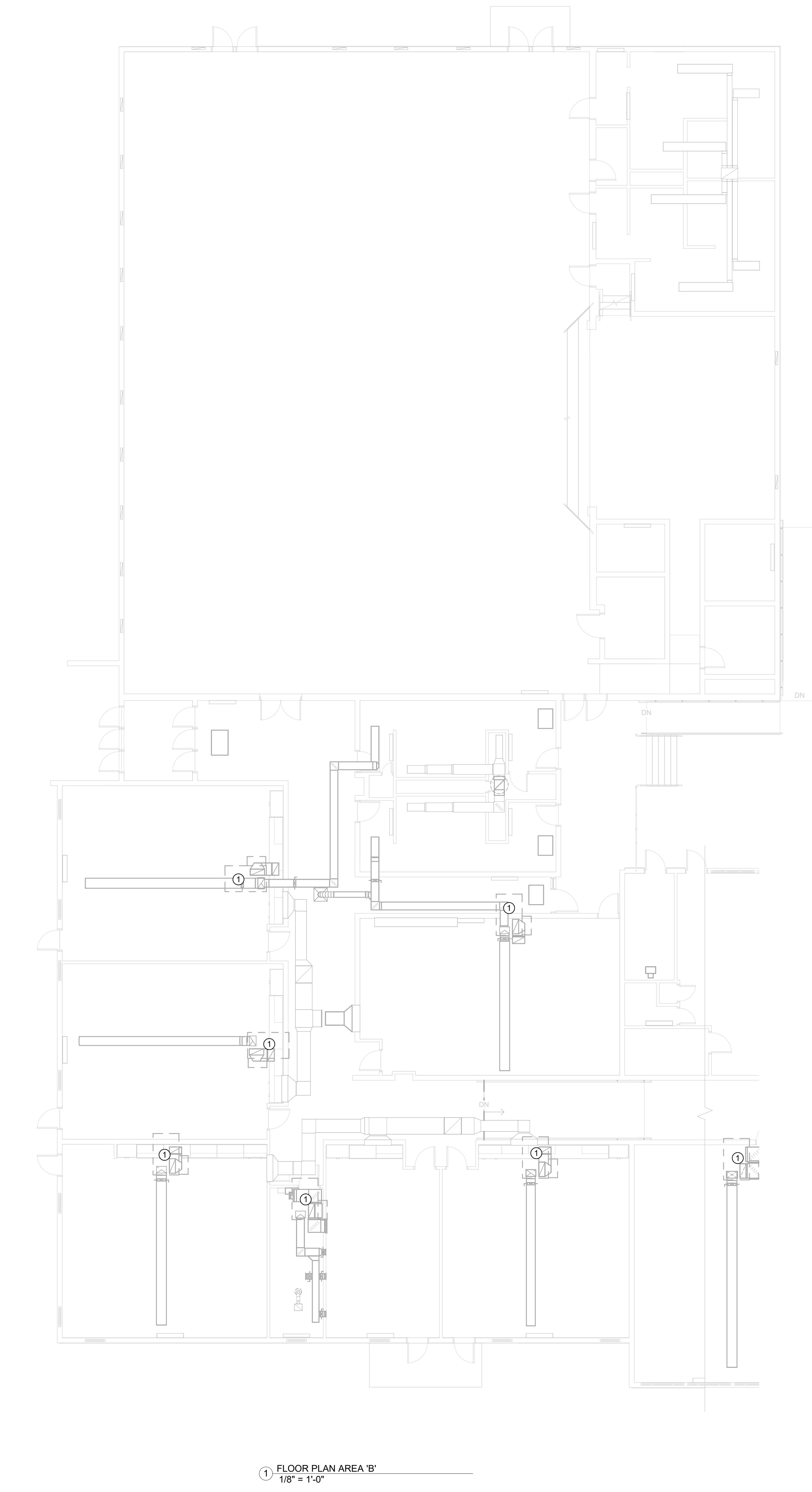
DRAWN BY: J.K.P.  
CHECKED BY: J.D.A.  
DATE: JAN. 15, 2026  
PROJECT #: 7611125

REVISIONS:  
NO. 10001  
JAY D.  
ADAMS  
07/13/2026

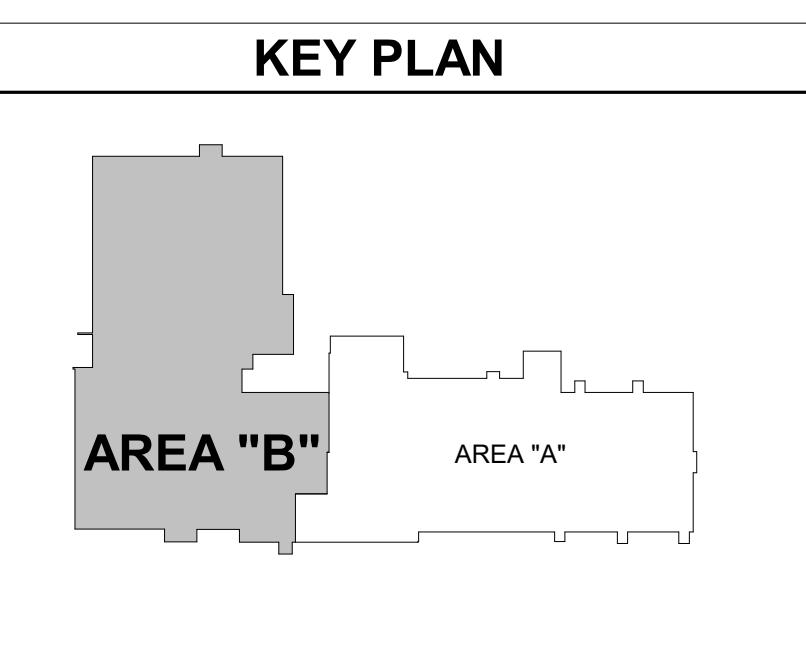
170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
WWW.KMAARCHITECTS.COM

DYNAMIC  
STRUCTURES  
744 S 100 E, Orem, UT 84097 801.259.9020

**KMA**  
ARCHITECTS



SHEET NOTES  
① SEE DETAILS 3 & 6.9 FOR REQUIRED FRAMING AROUND  
NEW DUCT OPENINGS THROUGH EXISTING ROOF. SEE  
MECHANICAL PLANS FOR EXACT NUMBER OF NEW UNITS  
AND REQUIRED DUCT CONFIGURATIONS



S1.0B

PROJECT TITLE: EMERY SCHOOL DISTRICT  
COTTONWOOD ELEMENTARY SCHOOL  
55 EAST 200 SOUTH  
MECHANICAL UPGRADE

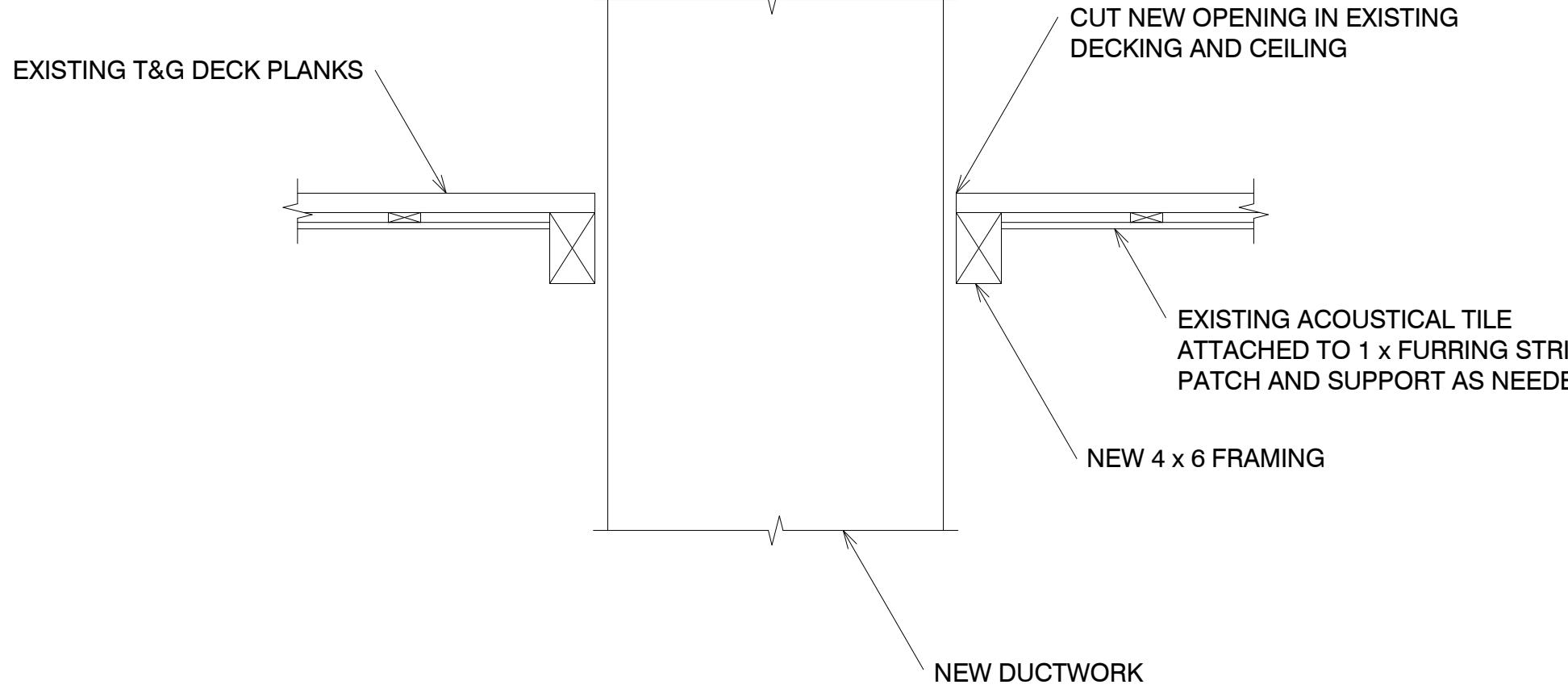
DRAWN BY: J.K.P.  
CHECKED BY: J.D.A.  
DATE: JAN. 15, 2026  
PROJECT #: 7611125

**KMA**  
ARCHITECTS

170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
www.kmaarchitects.com

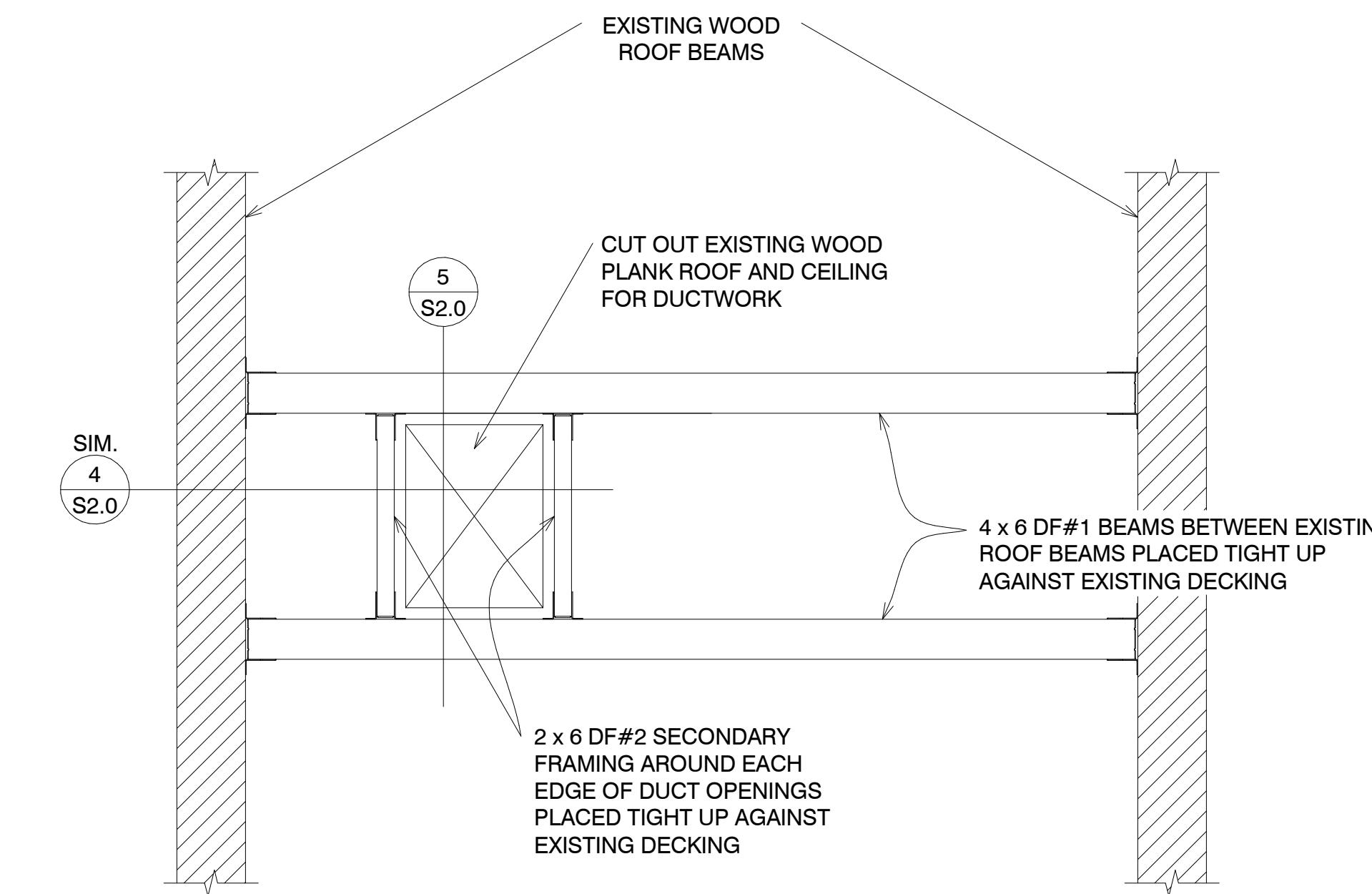


74 S 100 E, Orem, UT 84097  
801-229-9020

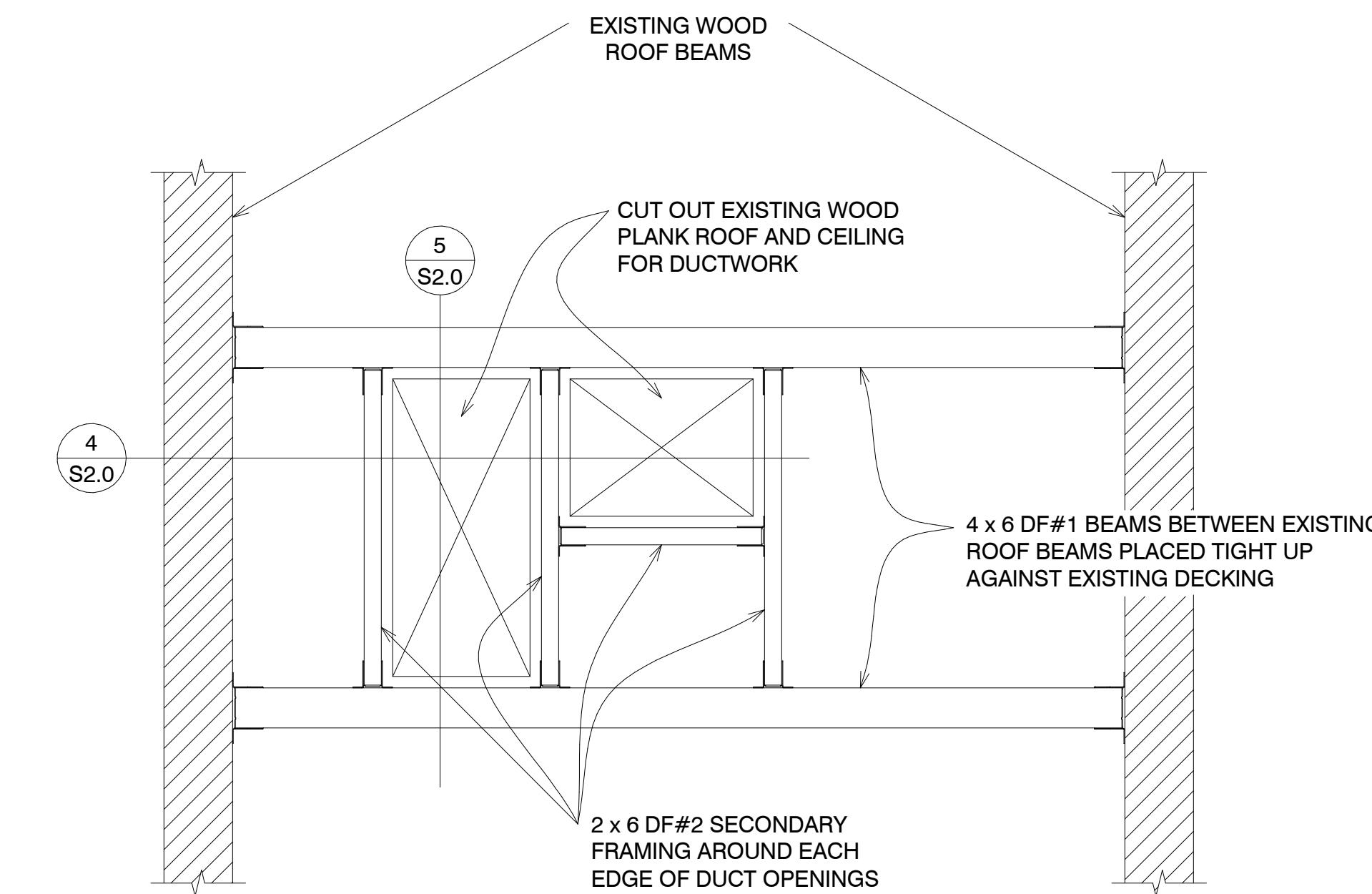


5  
S2.0  
CONSTRUCTION DETAIL  
NO SCALE

FOR NEW DUCT OPENINGS THROUGH AREAS WITH CONVENTIONAL RAFTER FRAMING, USE SAME DETAILS BUT REPLACE FRAMING MEMBERS WITH NEW 2 X DIMENSIONAL RAFTERS MATCHING EXISTING RAFTER DEPTH. PROVIDE SIMPSON LU210 EACH END OF EACH NEW MEMBER

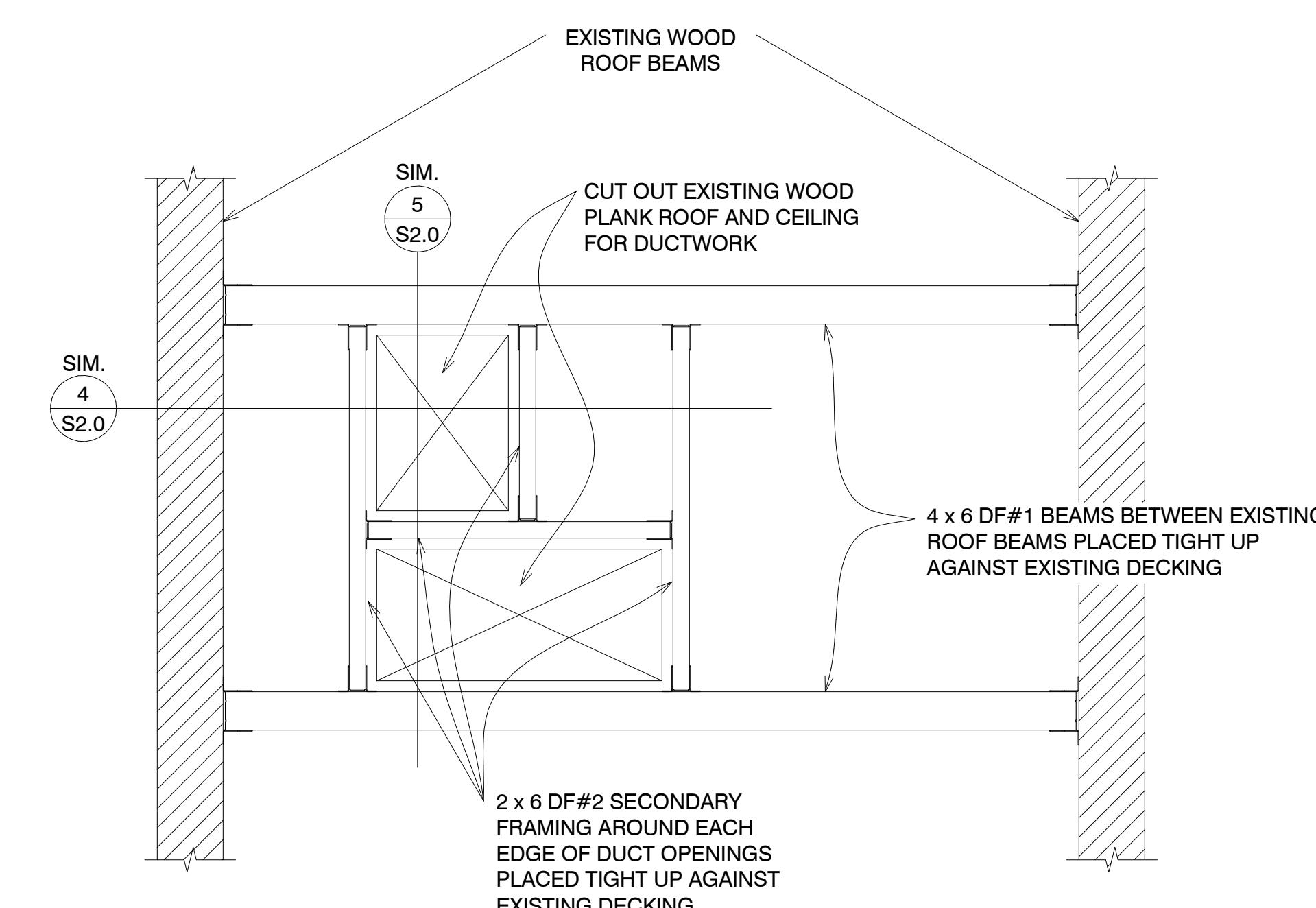
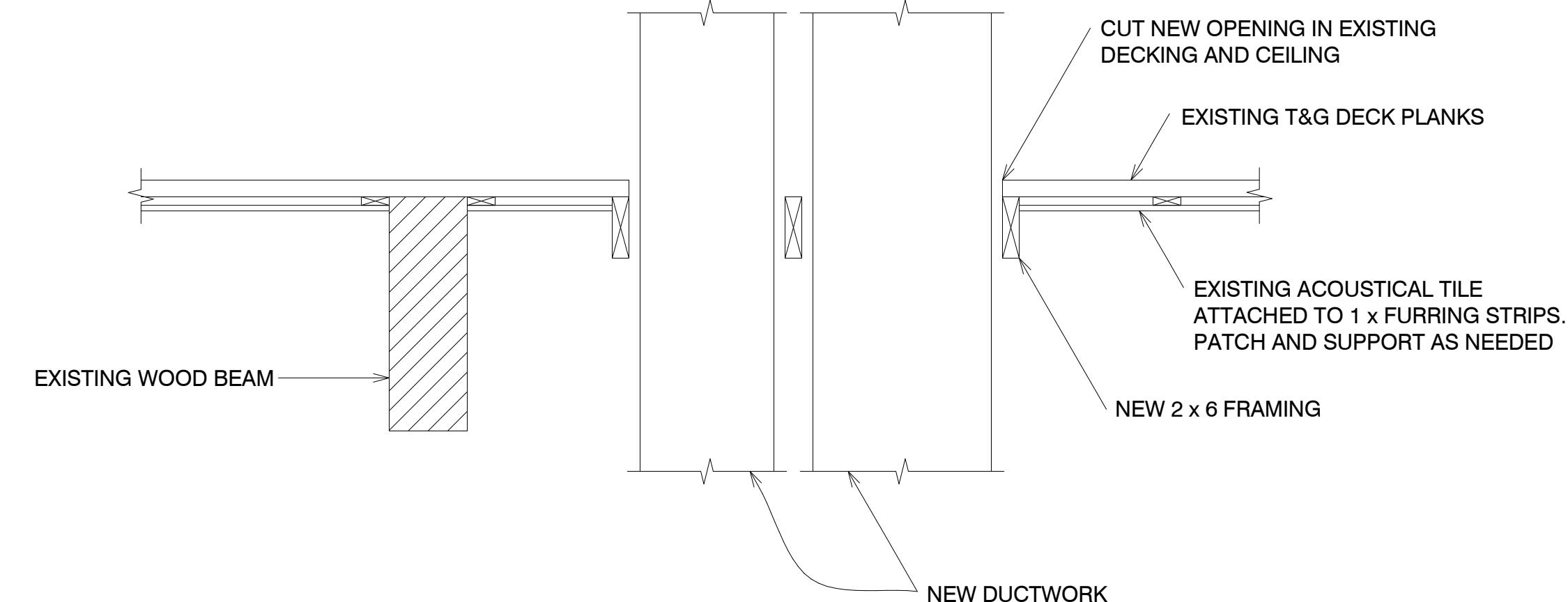


NOTES:  
1. PROVIDE SIMPSON HU46 EACH END OF EACH 4x6. PAINT BLACK.  
2. PROVIDE SIMPSON HU26 EACH END OF EACH 2x6. PAINT BLACK.



NOTES:  
1. PROVIDE SIMPSON HU46 EACH END OF EACH 4x6. PAINT BLACK.  
2. PROVIDE SIMPSON HU26 EACH END OF EACH 2x6. PAINT BLACK.

3  
S2.0  
CONSTRUCTION DETAIL  
NO SCALE



NOTES:  
1. PROVIDE SIMPSON HU46 EACH END OF EACH 4x6. PAINT BLACK.  
2. PROVIDE SIMPSON HU26 EACH END OF EACH 2x6. PAINT BLACK.

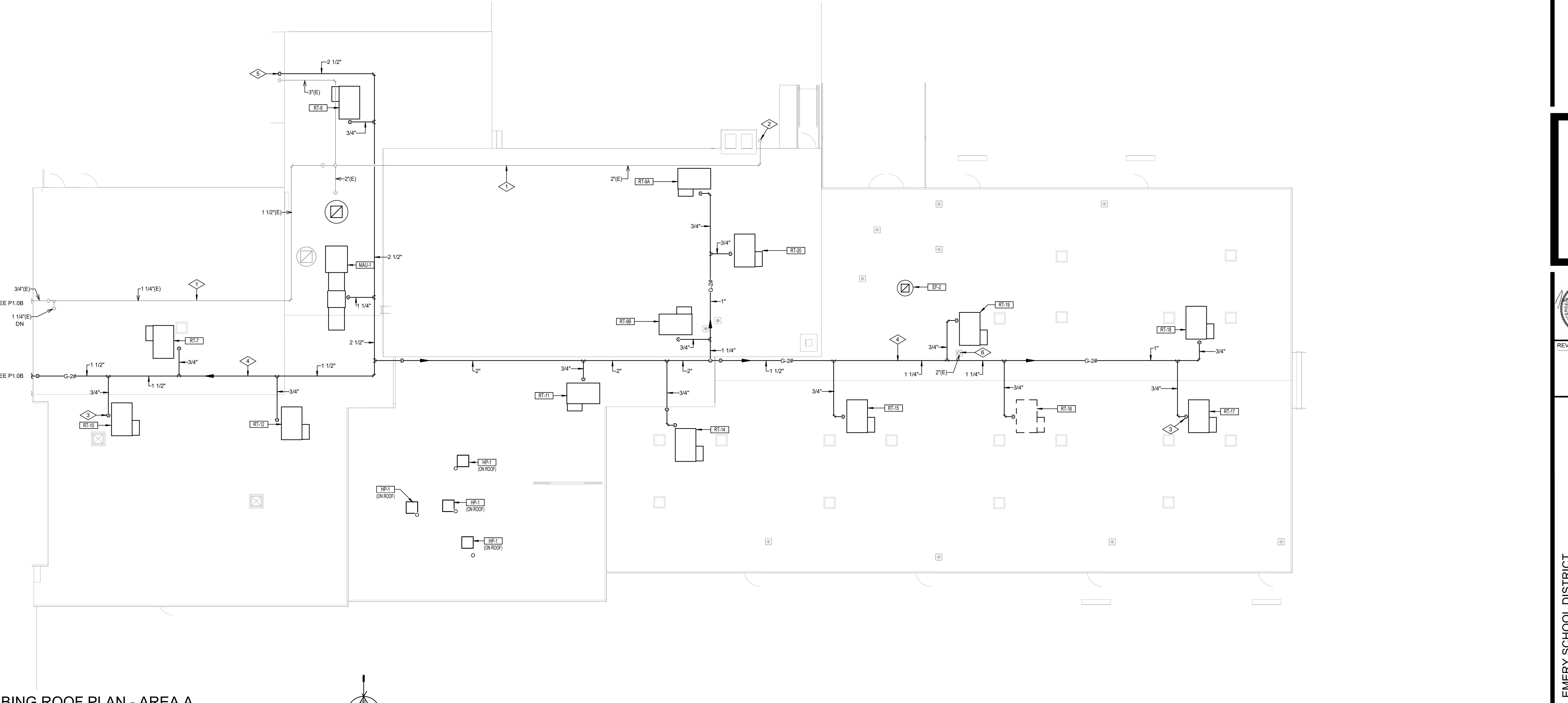
4  
S2.0  
CONSTRUCTION DETAIL  
NO SCALE

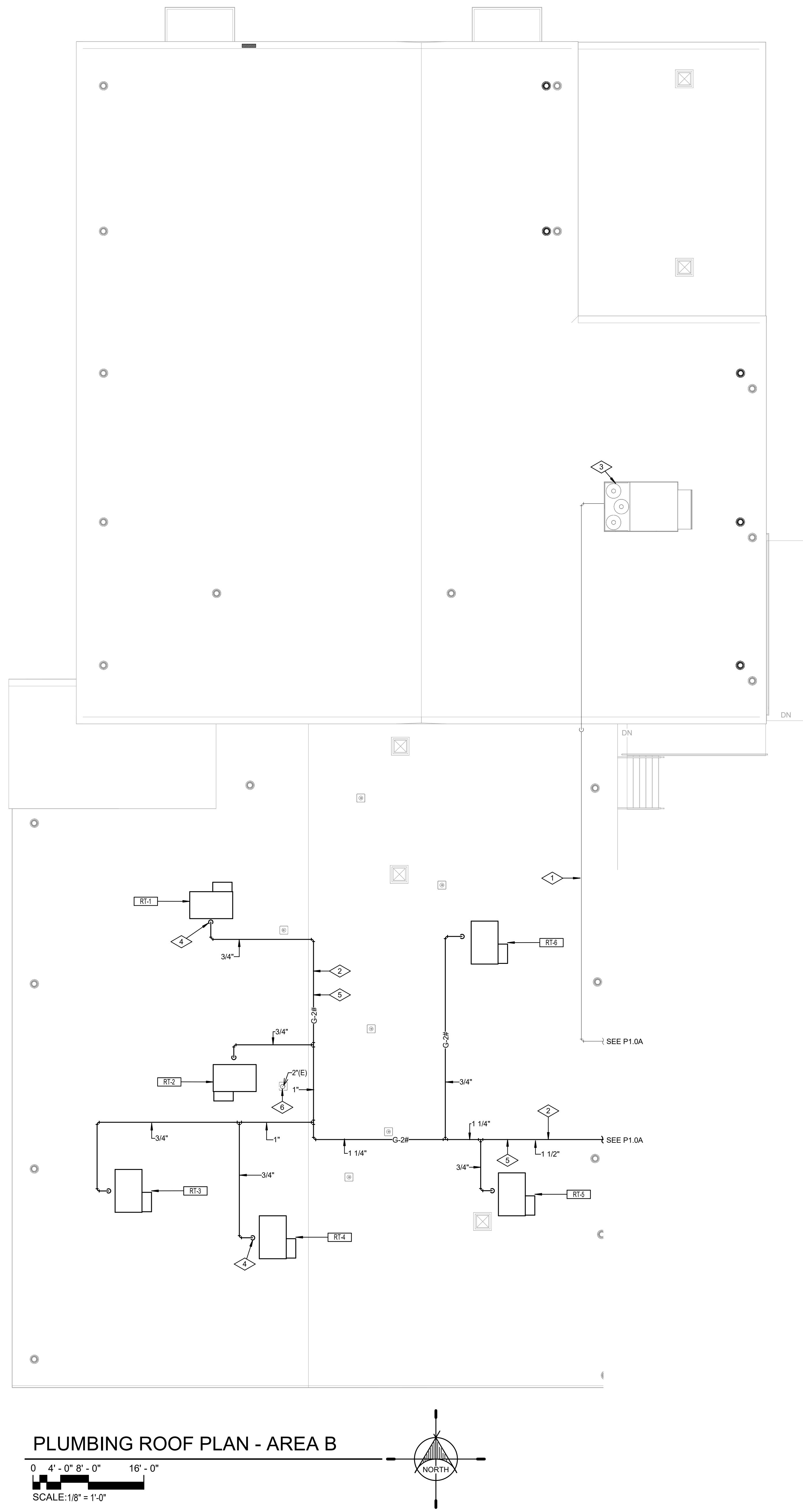
2  
S2.0  
CONSTRUCTION DETAIL  
NO SCALE

REVISIONS:  
4-17-25

PROJECT TITLE: COTTONWOOD ELEMENTARY SCHOOL  
DRAWN BY: JK.P  
CHECKED BY: J.D.A.  
DATE: JAN. 15, 2026  
PROJECT #: 7611125

S2.0



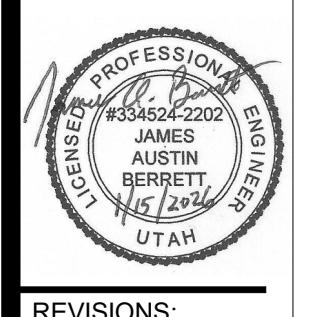


REFERENCE NOTES

- 1 EXISTING GAS PIPING ON ROOF TO REMAIN.
- 2 NEW GAS PIPING ON ROOF (TYP).
- 3 EXISTING ROOF TOP UNIT ON GYM ROOF TO REMAIN.
- 4 GAS TO EQUIPMENT. SEE DETAIL 2/P6.1 (TYPICAL).
- 5 SUPPORT PIPING ON ROOF. SEE DETAIL 3/P6.1, (TYPICAL).
- 6 ADD AIR ADMITTANCE VALVE WITH UV RESISTANT CAP TO EXISTING PLUMBING VENT. FIELD VERIFY VENT SIZE.

170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
www.kmaarchitects.com

**KMA**  
ARCHITECTS

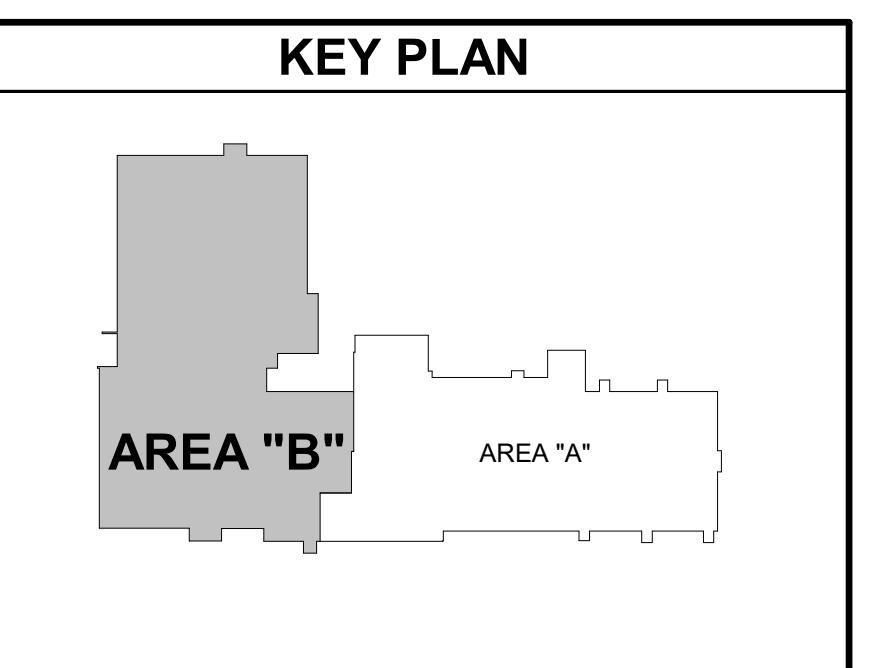


REVISIONS:

PROJECT TITLE: COTTONWOOD ELEMENTARY  
EMERY SCHOOL DISTRICT  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

PROJECT TITLE: 55 EAST 200 SOUTH  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

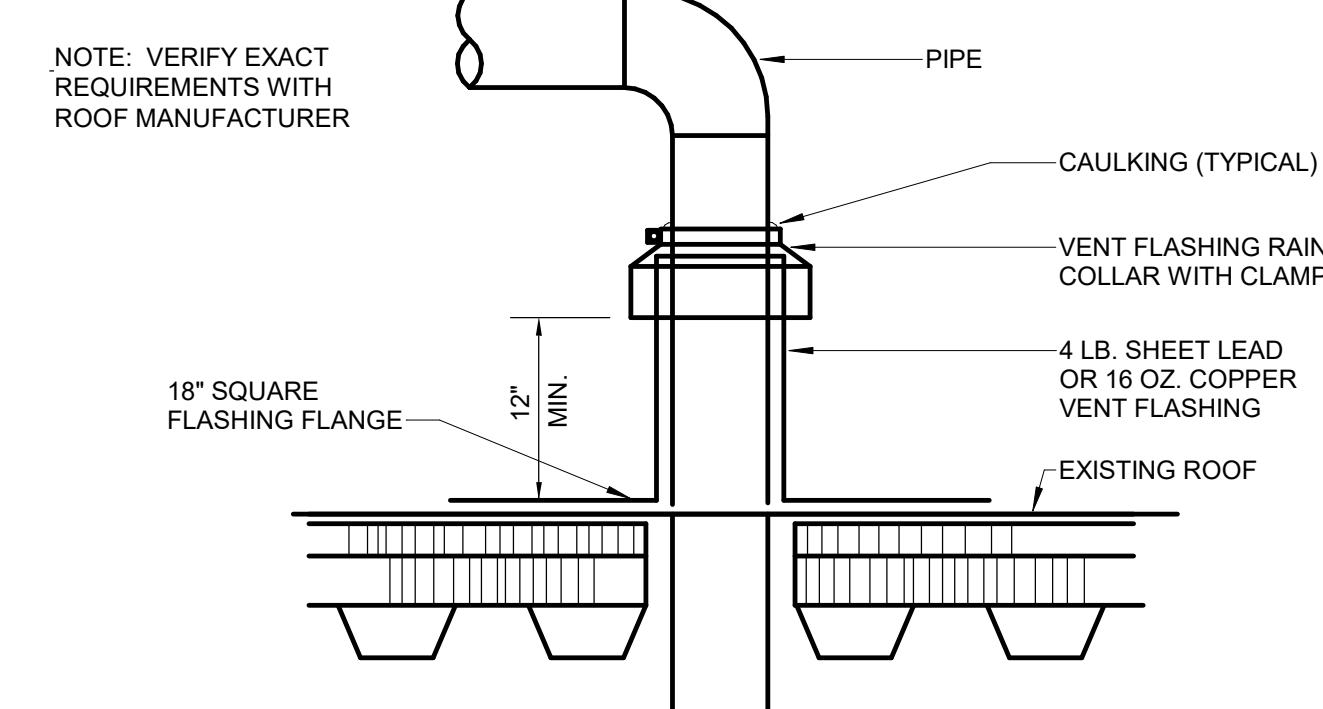
P1.1B



DRAWN BY: STAFF  
CHECKED BY: M.T.  
DATE: JAN 2026  
PROJECT #: 176525

**OLSEN & PETERSON**  
consulting engineers, inc.  
11802 South Salt Lake City, UT 84151  
Phone: (801) 467-2551 Fax: (801) 468-4466

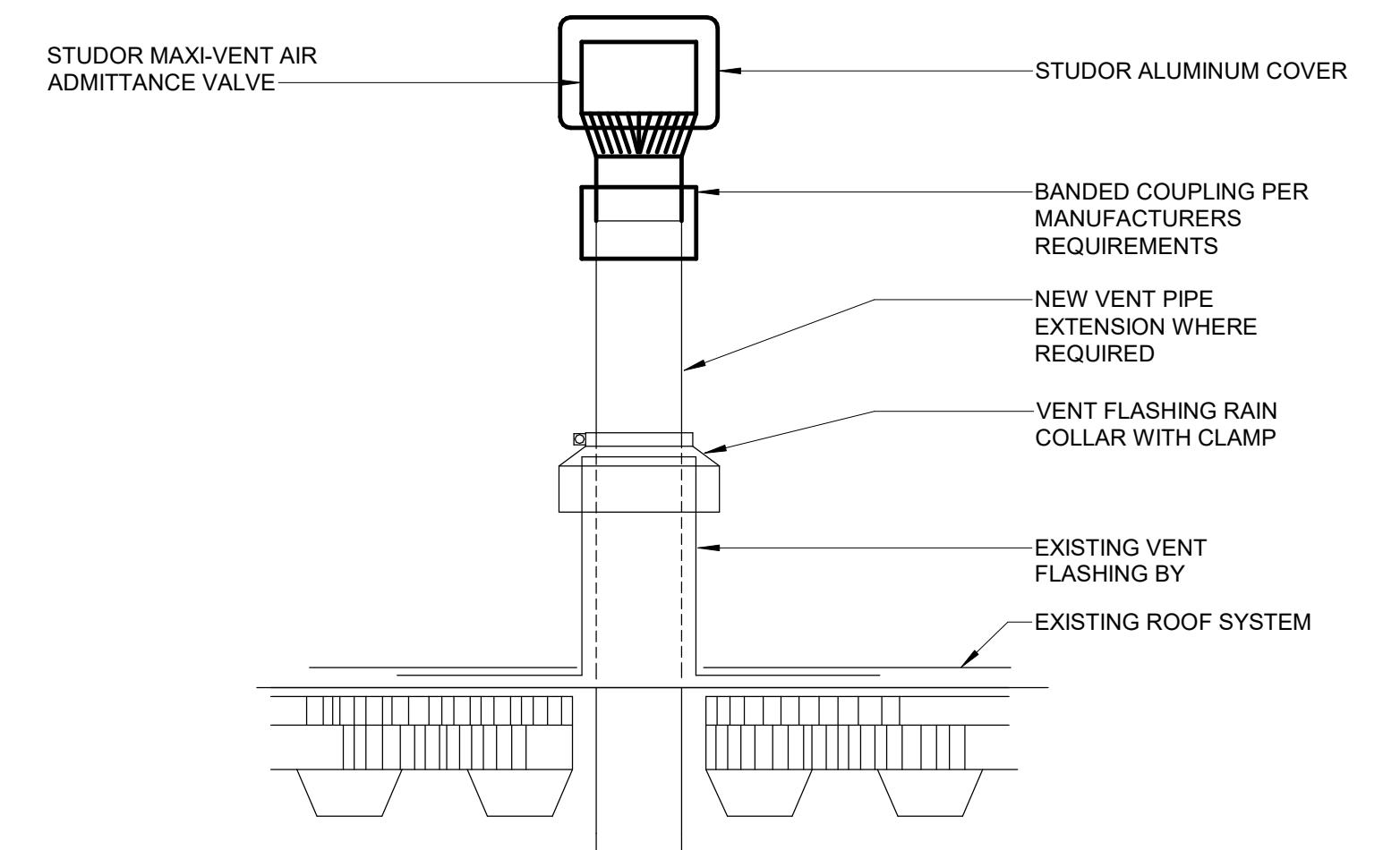
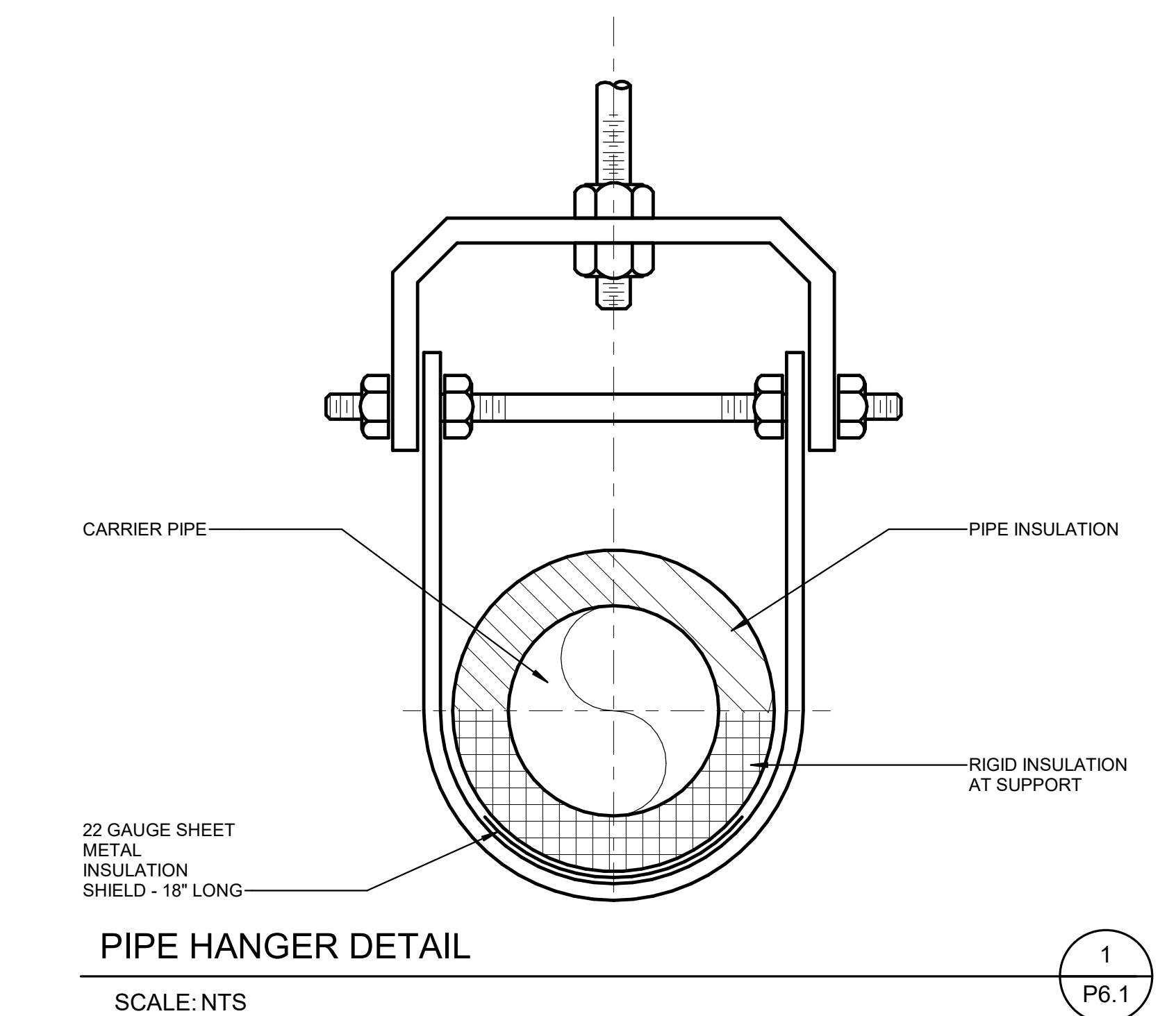
11802 South Salt Lake City, UT 84151  
Phone: (801) 467-2551 Fax: (801) 468-4466



PIPE THRU ROOF PENETRATION DETAIL

SCALE: NTS

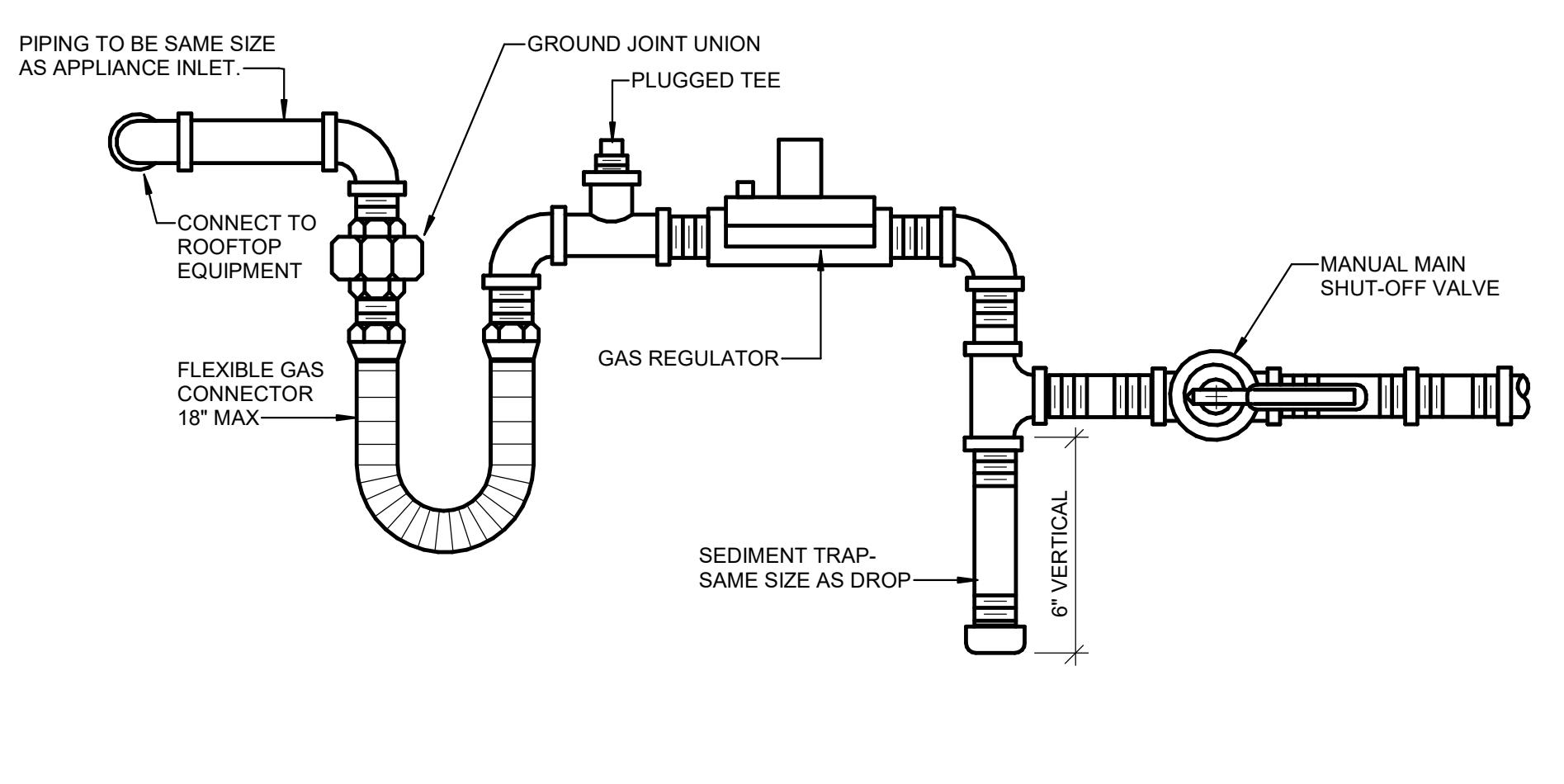
4 P6.1



AIR ADMITTANCE VALVE DETAIL

SCALE: NTS

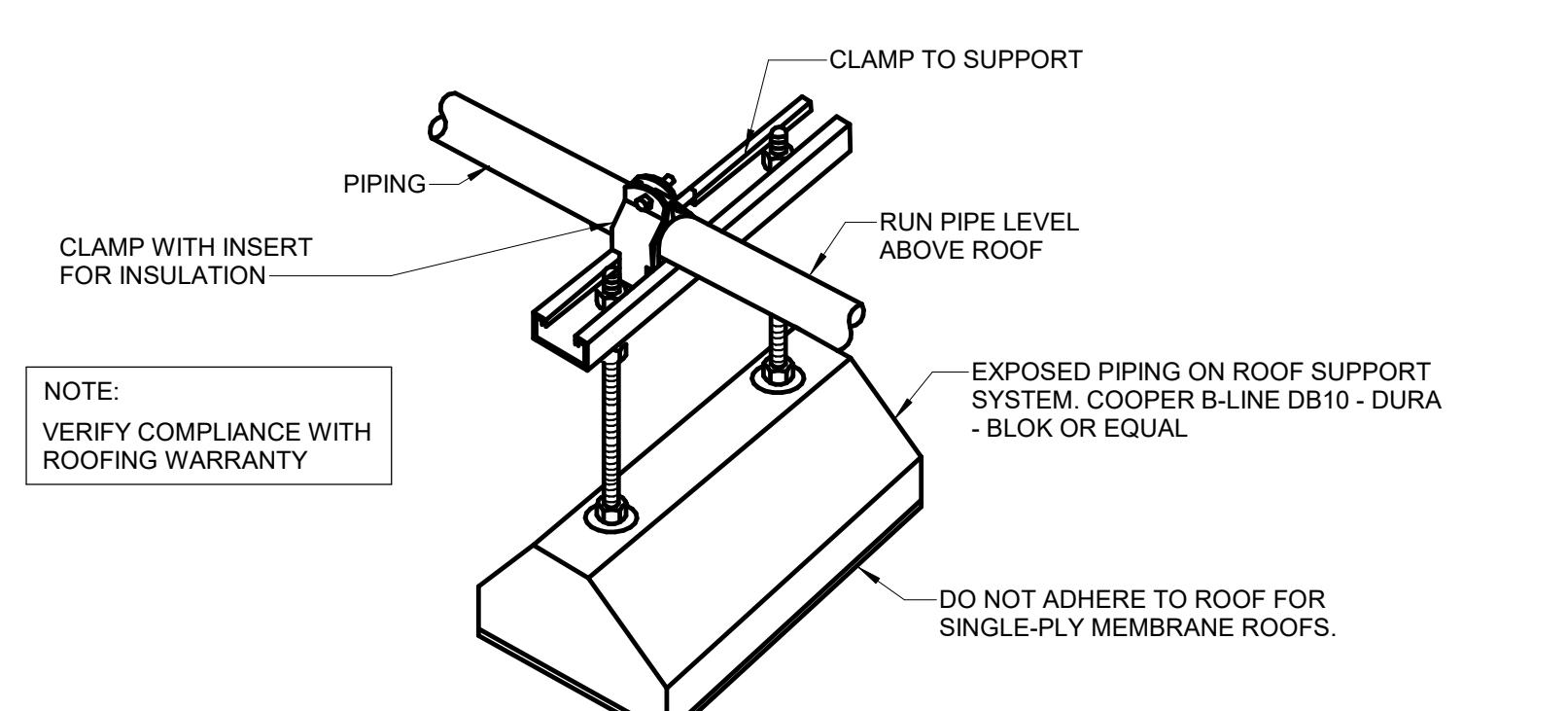
5 P6.1



ROOFTOP GAS LINE CONNECTION DETAIL

SCALE: NTS

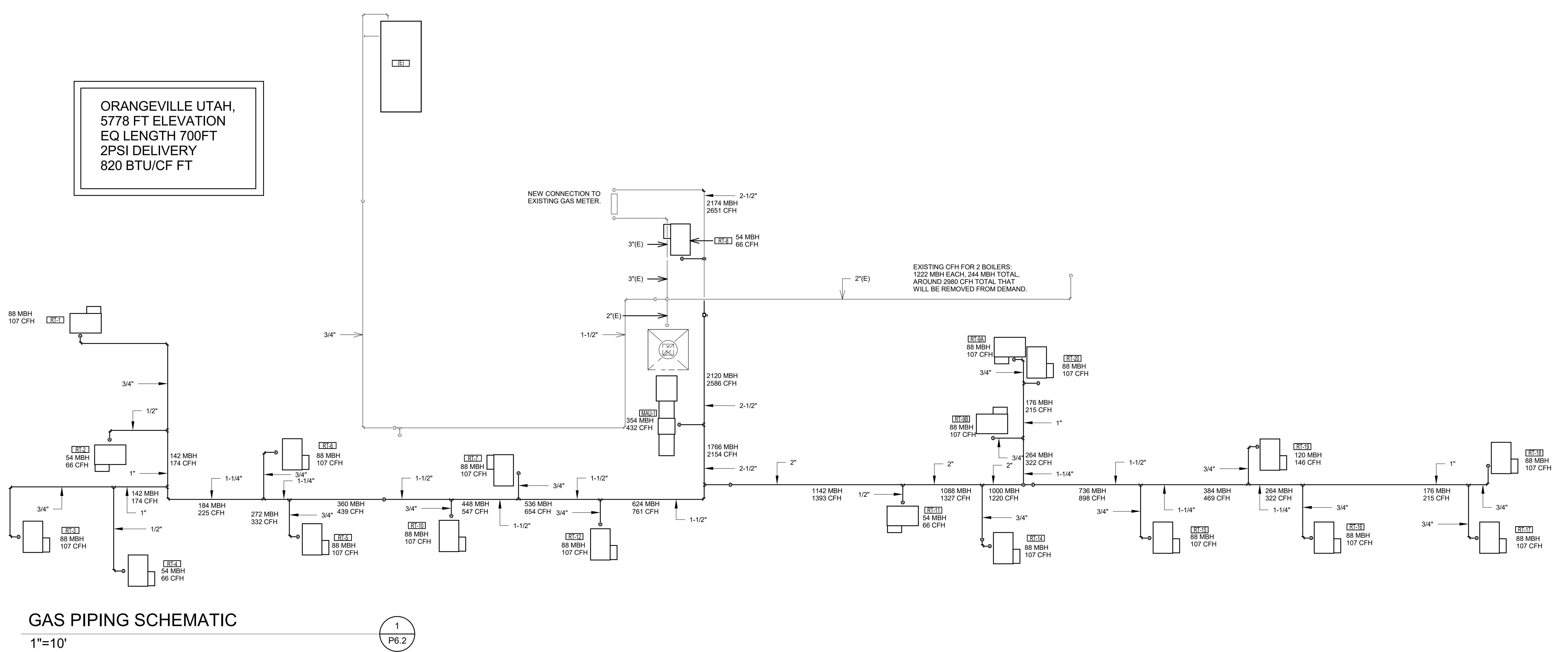
2 P6.1



PIPING ON ROOF SUPPORT

SCALE: NTS

3 P6.1



## REFERENCE NOTES

REMOVE EXISTING RELIEF FAN COMPLETE, PATCH AND REPAIR ROOF.

REMOVE EXISTING EVAPORATIVE UNIT, DUCT AND DIFFUSER COMPLETE. PATCH AND REPAIR ROOF AND T-GRID CEILING.

EXISTING UNIT CONVECTORS TO BE ABANDONED IN PLACE.

REMOVE EXISTING THERMOSTAT COMPLETE. REMOVE ANY WIRE MOULDING (TYP).

EXISTING CONVECTOR TO BE ABANDONED IN PLACE.

REMOVE EXISTING EXHAUST FAN COMPLETE. SEE NEW WORK FOR REPLACEMENT.

REMOVE EXISTING DUCT WORK TO APPROXIMATELY THIS LOCATION. EXISTING LOCATIONS AND SIZES ARE APPROXIMATE.

EXISTING EVAPORATIVE UNIT TO BE ABANDONED IN PLACE.

REMOVE EXISTING CEILING FAN COMPLETE AND REPAIR CEILING, SCHOOL DISTRICT TO HAVE FIRST SALVAGE RIGHTS.

ABANDON RELIEF VENTS IN PLACE (TYP).

EXISTING DIFFUSERS TO REMAIN (TYP).

EXISTING DUCTWORK TO REMAIN (TYP).

EXISTING DUCTWORK DROPS TO BOILER ROOM BELOW. CAP DUCTWORK AND ABANDON IN PLACE.

REMOVE EXISTING UNIT HEATER AND PIPING. COORDINATE DEMOLITION WITH SCHOOL DISTRICT.

ABANDON EXISTING CABINET UNIT HEATER.

REMOVE EXISTING MAKE UP AIR UNIT AND KITCHEN EXHAUST FAN.

This architectural floor plan illustrates the layout of a school building, showing various rooms, hallways, and fire safety features. The rooms are labeled with their names and room numbers. Fire safety features include fire doors (indicated by diamond symbols with numbers 1-16), smoke detectors (indicated by diamond symbols with numbers 1-16), and fire extinguishers (indicated by diamond symbols with numbers 1-16). The plan also shows fire escapes, stairs, and platform areas.

**Rooms and Areas:**

- WALK-IN FRIDGE/FREEZER 230
- DRY STORAGE 139
- HALLWAY 143-1
- COAT RM. 141
- TOILET 142
- KITCHEN 138
- STOR. 134
- CLASSROOM 136
- TOILET 133
- TEACHER STOR. 132
- CHAIR STORAGE 137
- MULTIPURPOSE RM. 145
- PLATFROM 147
- GIRL'S BATHROOM 108
- BOY'S BATHROOM 107
- JANITOR'S CLOSET 106
- CLASSROOM 104
- CLASSROOM 103
- FIRST GRADE 129
- PREP. RM. 127
- LIBRARY 138
- LIBRARY 128
- STORAGE 125
- HALL 121
- STORAGE 129
- HALL 122
- FACULTY HEALTH RM. 124
- FACULTY HEALTH RM. 119
- CLERK RM. 130
- FOYER 116
- CLASSROOM 115
- CLASSROOM 114
- CLASSROOM 101
- CLASSROOM 102
- PRINCIPAL'S RM. 118

**Fire Safety Features:**

- Fire Doors: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16
- Smoke Detectors: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16
- Fire Extinguishers: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16

**Dimensions:**

- 28"x12" (E)
- 24"x8" (E)
- 60"x14" (E)
- 38"x12" (E)

# MECHANICAL DEMOLITION FLOOR PLAN AREA

0' 4" - 0" 8' - 0" 16' - 0"

SCALE: 1/8" = 1'-0"

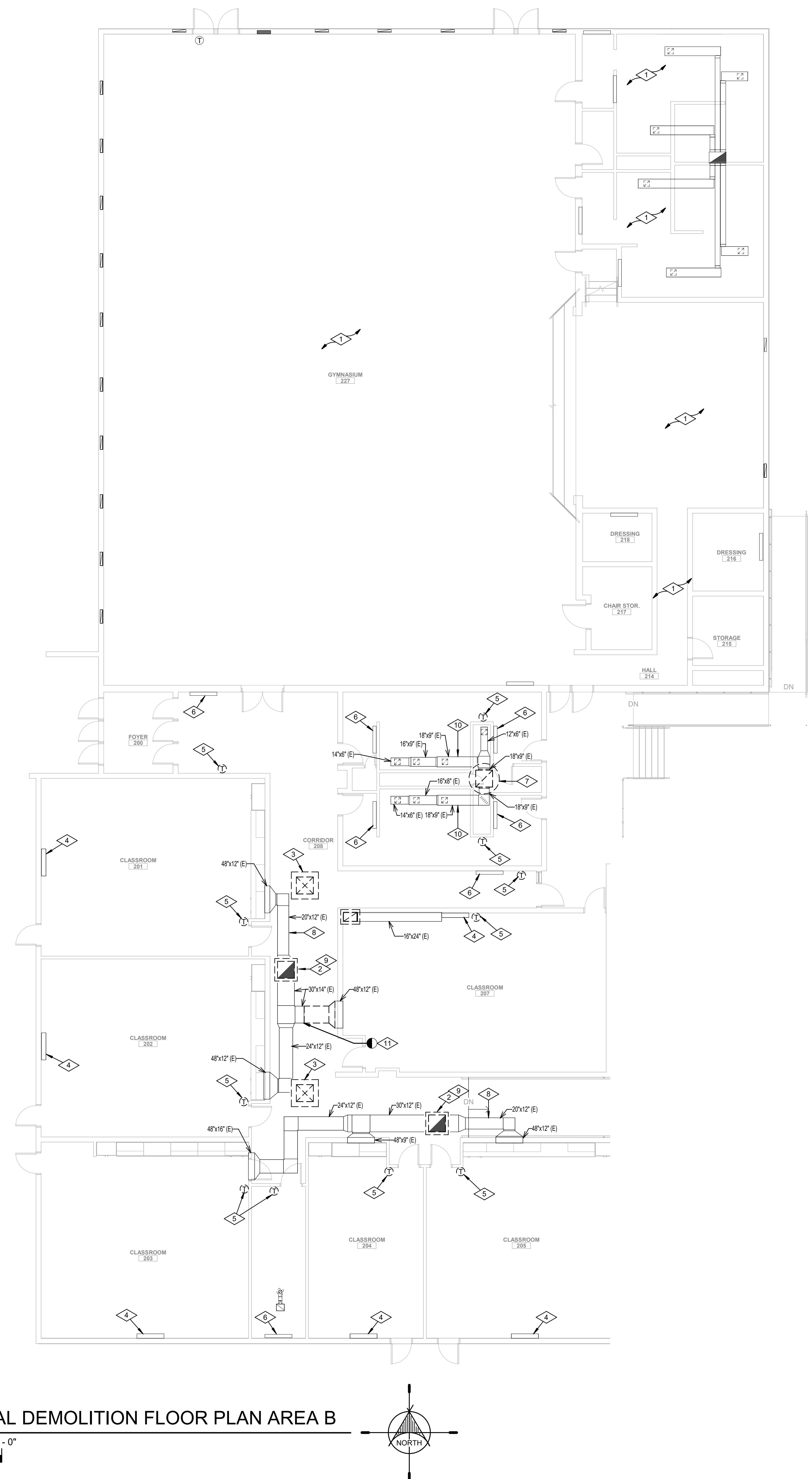
A compass rose with a needle pointing North. The needle is a vertical line with a small circle at the top. The rose is a circle with four points: 'NORTH' at the bottom, 'EAST' at the right, 'WEST' at the left, and 'SOUTH' at the top. The 'NORTH' and 'SOUTH' labels are in large capital letters, while 'EAST' and 'WEST' are in smaller capital letters. The needle is pointing towards the 'NORTH' label.

EMERY SCHOOL DISTRICT  
COTTONWOOD ELEMENTARY  
OUTH MECHANICAL UPGRADE  
ORANGEVILLE

PROJECT TITLE	55 EAST 200 S	
	DRAWN BY: STAFF	CHECKED BY: M.T.
DATE:	JAN 2026	
PROJECT #:	176525	

M0.1A

THIS PRINT AND ALL INFORMATION HEREON IS THE PROPERTY OF KMA ARCHITECTS AND SHALL NOT BE USED ON ANY OTHER FOR WITHOUT WRITTEN PERMISSION OF THE ARCHITECT



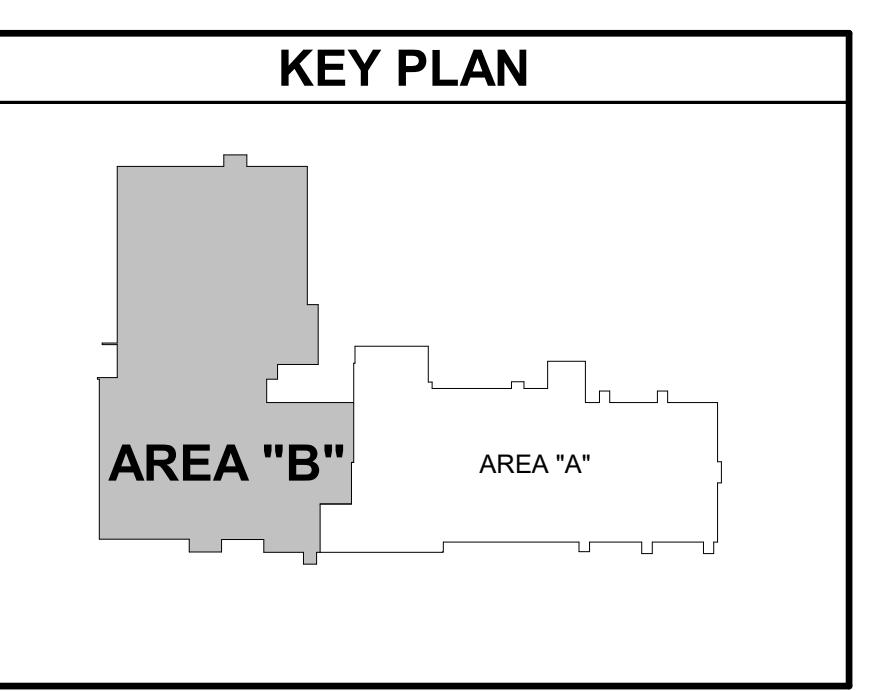
# MECHANICAL DEMOLITION FLOOR PLAN AREA E

0 4' - 0" 8' - 0" 1  
  
SCALE: 1/8" = 1'-0"

A compass rose with a vertical needle pointing North. The word 'NORTH' is written in the center of the rose.

---

KEY PLAN



DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

DATE: JA \_\_\_\_\_

PROJECT #: \_\_\_\_\_

# EMERY SCHOOL DISTRICT COTTONWOOD ELEMENTARY

**OLSEN & PETERSON**  
consulting engineers, inc.  
170 NORTH MAIN STREET  
GRANVILLE, OHIO 43023

> REFERENCE NOTES

NO WORK IN THIS AREA (TYP).

REMOVE EXISTING RELIEF HOOD COMPLETE. PATCH AND REPAIR ROOF.

REMOVE EXISTING EVAPORATIVE UNIT, DUCT AND DIFFUSER COMPLETE. PATCH AND REPAIR ROOF AND T-GRID CEILING.

EXISTING UNIT CONVECTORS TO BE ABANDONED IN PLACE.

REMOVE EXISTING THERMOSTAT COMPLETE (TYPICAL).

EXISTING CONVECTOR TO BE ABANDONED IN PLACE.

REMOVE EXISTING EXHAUST FAN COMPLETE.

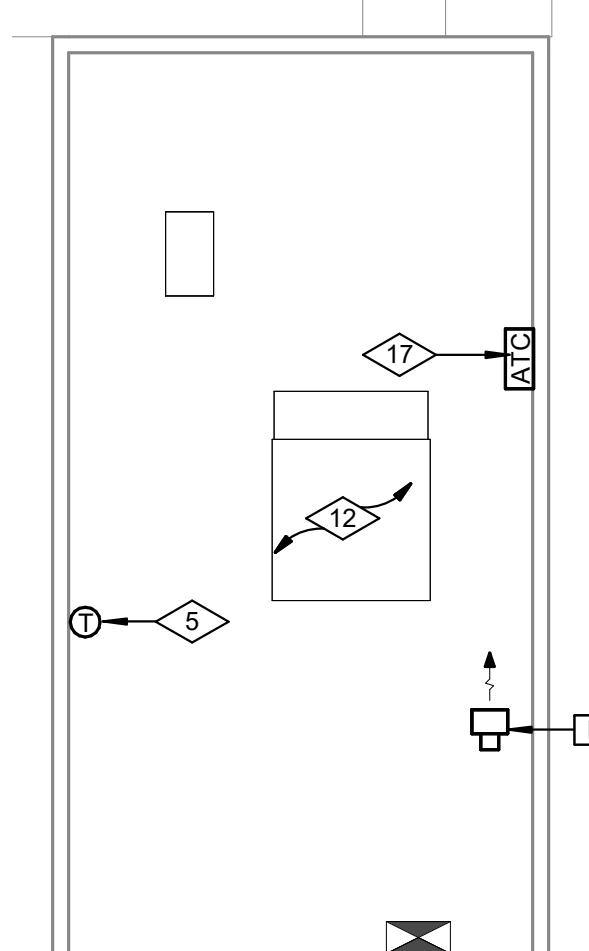
ABANDON EXISTING DUCTWORK IN PLACE (TYP).

CAP DUCTWORK BELOW ROOF.

EXISTING DUCTWORK TO REMAIN (TYPICAL).

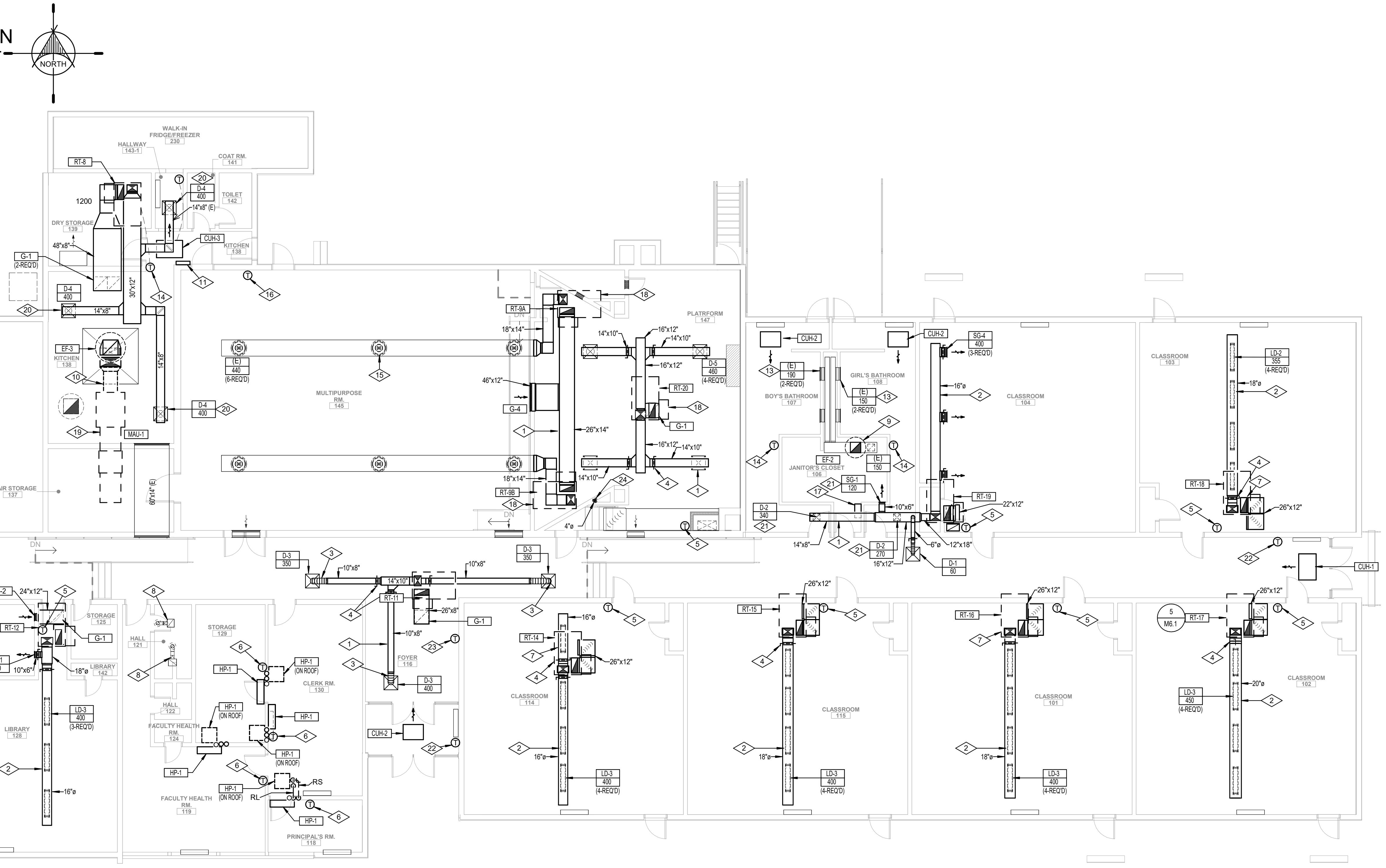
REMOVE EXISTING DUCTWORK TO APPROXIMATELY THIS LOCATION.

# MO.1



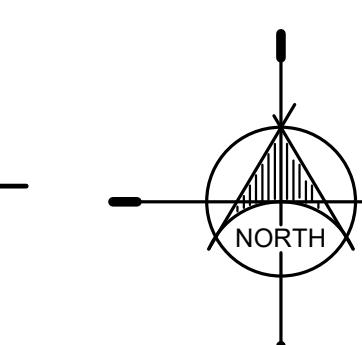
MECHANICAL BASEMENT PLAN

0 4' - 0" 8' - 0" 16' - 0"  
SCALE: 1/8" = 1'-0"



MECHANICAL FLOOR PLAN AREA A

0 4' - 0" 8' - 0" 16' - 0"  
SCALE: 1/8" = 1'-0"



REFERENCE NOTES

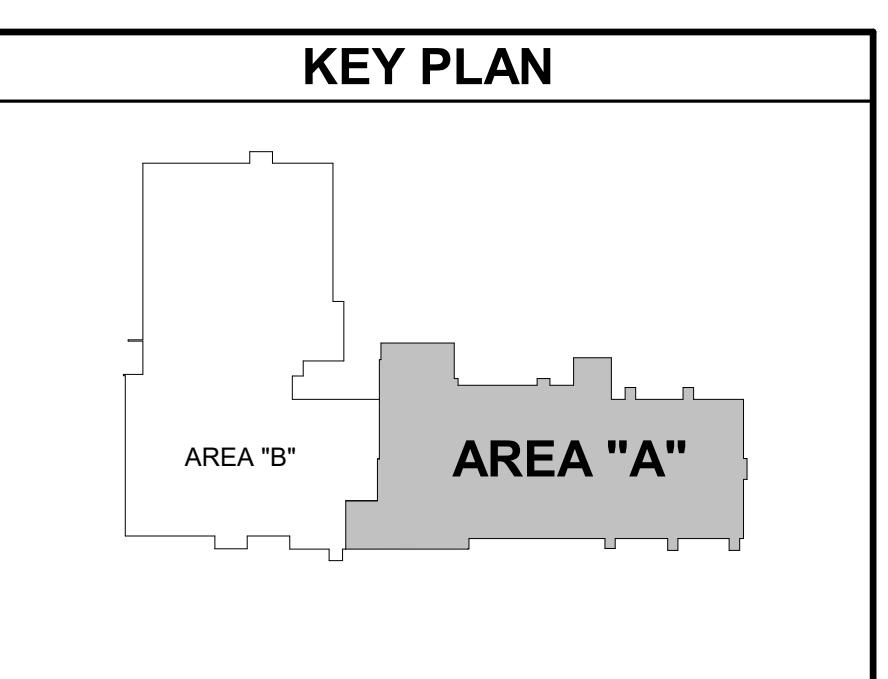
- DUCTWORK TO RUN AS HIGH AS POSSIBLE ABOVE CEILING. COORDINATE ROUTING WITH ALL TRADES (NOTE CEILING SPACE IS 12" OR LESS BELOW JOISTS) (TYPICAL)
- DUCTWORK TO RUN EXPOSED BETWEEN BEAM AND OFFSET FOR LIGHTING. (TYPICAL)
- FLEXIBLE DUCT WORK. MAXIMUM LENGTH 5'-0" (TYPICAL)
- MANUAL VOLUME BALANCING DAMPER. (TYPICAL)
- WALL MOUNTED HEATING/COOLING THERMOSTAT (TYPICAL)
- WALL MOUNTED HARD WIRED, HEATING/COOLING THERMOSTAT TO CONTROL HP-1.
- SUPPLY AND RETURN DUCT DOWN THRU ROOF FROM ROOFTOP UNIT. COORDINATE EXACT LOCATION WITH STRUCTURE AND UNIT PROVIDED.
- EXISTING CEILING EXHAUST FAN TO SWITCH WITH LIGHTS.
- CONNECT NEW EXHAUST FAN TO EXISTING CURB AND DUCTWORK WITH AN ADAPTOR CURB.
- DUCTWORK TO RUN ON ROOF AND DROP TO EXISTING CURB AND HOOD BELOW. COORDINATE WITH EXISTING CONNECTIONS.
- NEW MAU-1 CONTROLS.
- NO DEMOLITION WORK IN THIS AREA. ABANDON EXISTING AIR HANDLER, DUCTWORK, BOILER, MECHANICAL PIPING, ETC IN PLACE.
- REBALANCE EXISTING GRILLE TO CFM SHOWN (TYP).
- NEW WALL MOUNTED HEATING THERMOSTAT.
- REBALANCE EXISTING DIFFUSER TO CFM SHOWN (TYP).
- NEW WALL MOUNTED HEATING/COOLING THERMOSTAT TO SERVE RT-9A AND RT-9B. RT-9B TO RUN ONLY WHEN RT-9A CANNOT MANAGE THE LOAD.
- NEW ATC PANEL, PROVIDE 120/160 POWER.
- KEEP ROOFTOP AIR INTAKES AT LEAST 10' AWAY FROM MECHANICAL EXHAUST.
- CONNECT NEW MAU TO EXISTING WATER AND DRAIN FROM EXISTING UNIT.
- BALANCING DAMPER TO BE ACCESSIBLE FROM FACE OF DIFFUSER. USE PRICE VCR 9 OR EQUIVALENT.
- OPPOSED BLADE DAMPER TO BE ACCESSIBLE FROM FACE OF DIFFUSER OR GRILLE.
- NEW WALL MOUNTED HEATING THERMOSTAT. PROVIDE WIREMOLD FOR CONTROL WIRE SERVING THERMOSTAT ON BLOCK WALL (TYP).
- NEW WALL MOUNTED HEATING/COOLING THERMOSTAT. PROVIDE WIREMOLD FOR CONTROL WIRE SERVING THERMOSTAT ON BLOCK WALL (TYP).
- EXTEND FLUE A MINIMUM OF 2'-0" ABOVE OUTSIDE AIR INTAKE ON RT-9B. PROVIDE WIRE SUPPORTS ANCHORED TO ROOF. FIELD VERIFY FLUE SIZE.



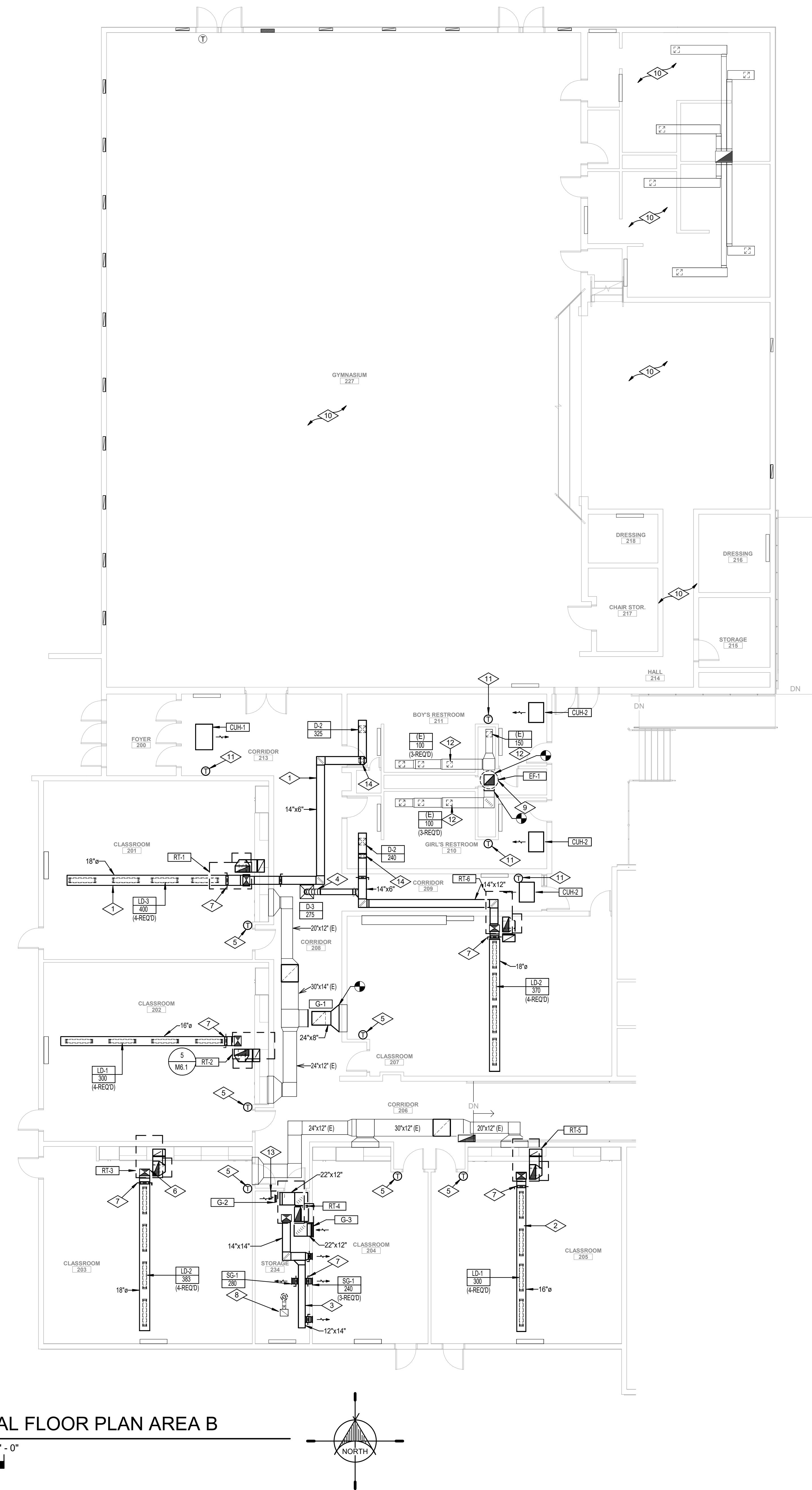
REVISIONS:

EMERY SCHOOL DISTRICT  
COTTONWOOD ELEMENTARY  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

PROJECT TITLE: 55 EAST 200 SOUTH  
DRAWN BY: STAFF  
CHECKED BY: M.T.  
DATE: JAN 2026  
PROJECT #: 176525



M1.1A

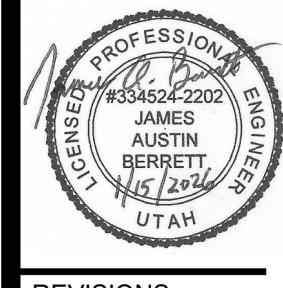


REFERENCE NOTES

- DUCTWORK TO RUN AS HIGH AS POSSIBLE ABOVE CEILING. COORDINATE WITH ALL TRADES.
- DUCTWORK TO RUN EXPOSED BETWEEN BEAM AND OFFSET FOR LIGHTING (TYPICAL).
- DUCTWORK TO RUN BELOW BEAM.
- FLEXIBLE DUCT WORK. MAXIMUM LENGTH 5'-0" (TYPICAL).
- WALL MOUNTED HEATING/COOLING THERMOSTAT (TYPICAL).
- SUPPLY AND RETURN DUCT DOWN THRU ROOF FROM ROOFTOP UNIT. COORDINATE EXACT LOCATION WITH STRUCTURE AND UNIT PROVIDED.
- MANUAL VOLUME BALANCING DAMPER. (TYPICAL).
- EXISTING EXHAUST FAN TO REMAIN.
- CONNECT NEW EXHAUST FAN TO EXISTING CURB AND DUCTWORK WITH AN ADAPTOR CURB.
- NO WORK IN THIS AREA (TYP).
- NEW WALL MOUNTED HEATING THERMOSTAT.
- REBALANCE EXISTING GRILLE TO CFM SHOWN (TYP).
- NEW ATC PANEL, PROVIDE 120/160 POWER.
- DUCT TO DROP BELOW EXISTING BEAM, STAY AS HIGH AS POSSIBLE ABOVE THE CEILING.

170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
WWW.KMAARCHITECTS.COM

**KMA**  
ARCHITECTS



REVISIONS:

PROJECT TITLE: COTTONWOOD ELEMENTARY  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

DRAWN BY: STAFF  
CHECKED BY: M.T.  
DATE: JAN 2026  
PROJECT #: 176525

M1.1B

OLSEN & PETERSON  
consulting engineers, inc.  
11802 South Salt Lake City, UT 84151  
Phone: (801) 467-2521 Fax: (801) 468-4466

11802 South Salt Lake City, UT 84151  
Phone: (801) 467-2521 Fax: (801) 468-4466

## MECHANICAL EQUIPMENT SCHEDULE

HP-1 (INDOOR)	INDOOR UNIT: HEAT PUMP, HIGH WALL MOUNTED, HORIZONTAL DISCHARGE, 441 CFM, 11,750 BTUH TOTAL COOLING CAPACITY AT 95 DEG. F. O.A. TEMP, 80 DEG. F. D.B./67 DEG. F. WB. INDOOR AIR, AND 10,428 BTUH HEATING CAPACITY AT 3 F. O.A. 70 F. INDOOR AIR. UNIT IS POWERED BY OUTDOOR UNIT. UNIT TO BE COMPLETE WITH CLEANABLE FILTER, CHECK & EXPANSION VALVE KIT, PRE-CHARGED LINE SET, DRIP PAN, INTEGRAL PUMP, AND DRAIN CONNECTION OUT BACK SIDE OF UNIT. PROVIDE WALL MOUNTED THERMOSTAT WITH NIGHT SET BACK. THERMOSTAT SHALL BE HARD WIRED TO UNIT															
	UNIT DIM:	8.86" L x 31.30" W x 11.61" H	WEIGHT:	43.00 LBS	MANUFACTURER:	CARRIER	MODEL:	49MAHAQ12X3								
HP-1 (ON ROOF)	OUTDOOR UNIT: AIR COOLED, HORIZONTAL DISCHARGE, INVERTER COMPRESSOR, UNIT TO BE MOUNTED ON HOUSEKEEPING PAD, 11,720 BTUH TOTAL COOLING CAPACITY AT 95 DEG. F. O.A. TEMP, 80 DEG. F. D.B./67 DEG. F. WB, 10,428 BTUH TOTAL HEATING CAPACITY AT 5 DEG. F. O.A. TEMP, MCA=15, 208/160, MOTOR TO BE UL LISTED, UNIT TO BE COMPLETE WITH CRANKCASE HEATER, AMBIENT CONTROL KIT TO 0 DEG. F., AND ALL CONTROLS FOR AUTOMATIC OPERATION. CONTRACTOR TO PROVIDE 4" HOUSE KEEPING PAD ABOVE GROUND LEVEL.															
	UNIT DIM:	12.99" L x 31.69" W x 21.81" H	WEIGHT:	72.75 LBS	SEER/ER:	25.9/13.5	COMP:	3.78	MANUFACTURER:	CARRIER	MODEL:	37MAHAQ12AA3				

SYMBOL	LOCATION	CFM	E.S.P.	MIN. O.A. CFM	DX - COOLING CAPACITY			GAS - HEATING CAPACITY			POWER	MCA	MOPC	RT-SIZE	UNIT WTS. LBS	MAKE & MODEL	NOTES
					DX MBH	DX SENSIBLE MBH	DX EFFICIENCY	GAS MBH INPUT	GAS MBH OUTPUT	GAS EFFICIENCY							
RT-1	CLASSROOM 120 LL	1925	.5	750	53.9	41.7	13.40 SEER 2	88.0	70.4	80.0	208/3/60	31.0	45.0	74.4 L x46.6 W x33.4 H	591	CARRIER	
RT-2	CLASSROOM 120MM	1200	0.5	398	32.5	27.7	13.40 SEER 2	53.6	43.2	81.0	208/3/60	22.0	30.0	74.4 L x46.6 W x33.4 H	517	CARRIER	
RT-3	CLASSROOM 120NN	1535	0.5	401	47.0	37.7	13.40 SEER 2	88.0	70.4	80.0	208/3/60	26.0	30.0	74.4 L x46.6 W x33.4 H	578	CARRIER	
RT-4	CLASSROOM 120OO	1000	0.5	225	31.4	23.2	13.40 SEER 2	53.6	43.2	81.0	208/3/60	22.0	30.0	74.4 L x46.6 W x33.4 H	517	CARRIER	
RT-5	CLASSROOM 120PP	1200	0.5	389	32.6	37.6	13.40 SEER 2	88.0/65.6	70.4/52.0	80.0	208/3/60	22.0	30.0	74.4 L x46.6 W x33.4 H	517	CARRIER	
RT-6	CLASSROOM 120XX	1990	0.5	715	53.9	41.7	13.40 SEER 2	88.0	70.4	80.0	208/3/60	31.0	45.0	74.4 L x46.6 W x33.4 H	591	CARRIER	
RT-7	KINDERGARTEN	1600	0.5	409	47.6	38.6	13.40 SEER 2	88.0	70.4	80.0	208/3/60	26.0	30.0	74.4 L x46.6 W x33.4 H	578	CARRIER	
RT-8	KITCHEN	1200	0.5	131	33.2	23.4	13.40 SEER 2	53.6	43.2	81.0	208/3/60	22.0	30.0	74.4 L x46.6 W x33.4 H	517	CARRIER	
RT-9A	CAFETERIA	1400	0.5	625	45.9	36.7	13.40 SEER 2	88.0	70.4	80.0	208/3/60	26.0	30.0	74.4 L x46.6 W x33.4 H	578	CARRIER	
RT-9B	CAFETERIA	1400	0.5	625	45.9	36.7	13.40 SEER 2	88.0	70.4	80.0	208/3/60	26.0	30.0	74.4 L x46.6 W x33.4 H	578	CARRIER	
RT-10	CLASSROOM 120YY	1600	0.5	413	47.6	38.7	13.40 SEER 2	88.0	70.4	80.0	208/3/60	26.0	30.0	74.4 L x46.6 W x33.4 H	578	CARRIER	
RT-11	CORRIDOR MAIN FLOOR	1100	0.5	192	32.3	23.5	13.40 SEER 2	53.6	43.2	81.0	208/3/60	22.0	30.0	74.4 L x46.6 W x33.4 H	517	CARRIER	
RT-12	LIBRARY	1400	0.5	421	45.9	36.7	13.40 SEER 2	88.0	70.4	80.0	208/3/60	26.0	30.0	74.4 L x46.6 W x33.4 H	578	CARRIER	
RT-14	CLASSROOM 1	1600	0.5	411	47.6	38.6	13.40 SEER 2	88.0	70.4	80.0	208/3/60	26.0	30.0	74.4 L x46.6 W x33.4 H	578	CARRIER	
RT-15	CLASSROOM 2	1600	0.5	413	53.9	41.7	13.40 SEER 2	88.0	70.4	80.0	208/3/60	31.0	45.0	74.4 L x46.6 W x33.4 H	591	CARRIER	
RT-16	CLASSROOM 120SS	1600	0.5	415	47.6	38.7	13.40 SEER 2	88.0	70.4	80.0	208/3/60	26.0	30.0	74.4 L x46.6 W x33.4 H	578	CARRIER	
RT-17	CLASSROOM 4	1800	0.5	414	47.6	38.7	13.40 SEER 2	88.0	70.4	80.0	208/3/60	26.0	30.0	74.4 L x46.6 W x33.4 H	578	CARRIER	
RT-18	CLASSROOM 6	1420	0.5	412	46.1	36.8	13.40 SEER 2	88.0	70.4	80.0	208/3/60	26.0	30.0	74.4 L x46.6 W x33.4 H	578	CARRIER	
RT-19	CORRIDOR AND RR LOWER LVL	1990	0.5	825	58.9	52.1	13.40 SEER 2	120.0/96.0	96.0/76.8	80.0	208/3/60	29.0	40.0	74.4 L x46.6 W x33.4 H	630	48FEFA09R3A5-981C0	
RT-20	COMPUTER LAB	1850	0.5	421	53.9	41.7	13.40 SEER 2	88.0	70.4	80.0	208/3/60	31.0	45.0	74.4 L x46.6 W x33.4 H	591	CARRIER	

NOTES:  
(1) ROOFTOP UNIT TO BE COMPLETE WITH HINGED ACCESS DOORS, 100% OUTDOOR AIR ECONOMIZER PACKAGE WITH BUILT-IN 100% RELIEF AIR, 18" HIGH FACTORY ROOF CURB OR AS REQUIRED FOR 12" MIN ABOVE FINISHED ROOF, UNPOWERED WEATHERPROOF GFI CONVENIENCE OUTLET AND ALL CONTROLS FOR AUTOMATION, INTEGRAL INTEGRATED AND CERTIFIED AS A GATEWAY TO BACNET.

(2) CONTRACTOR TO PROVIDE 2" MERV 8 FILTERS, ABLE TO UPGRADE TO MERV 13 WITH NO CHANGES TO FILTER RACK.

(3) UNITS SHALL BE COMPLETE WITH 2" MERV 8 FILTERS, ABLE TO UPGRADE TO MERV 13 WITH NO CHANGES TO FILTER RACK.

(4) CAPACITIES BASED ON 5675 FT. ELEVATION.

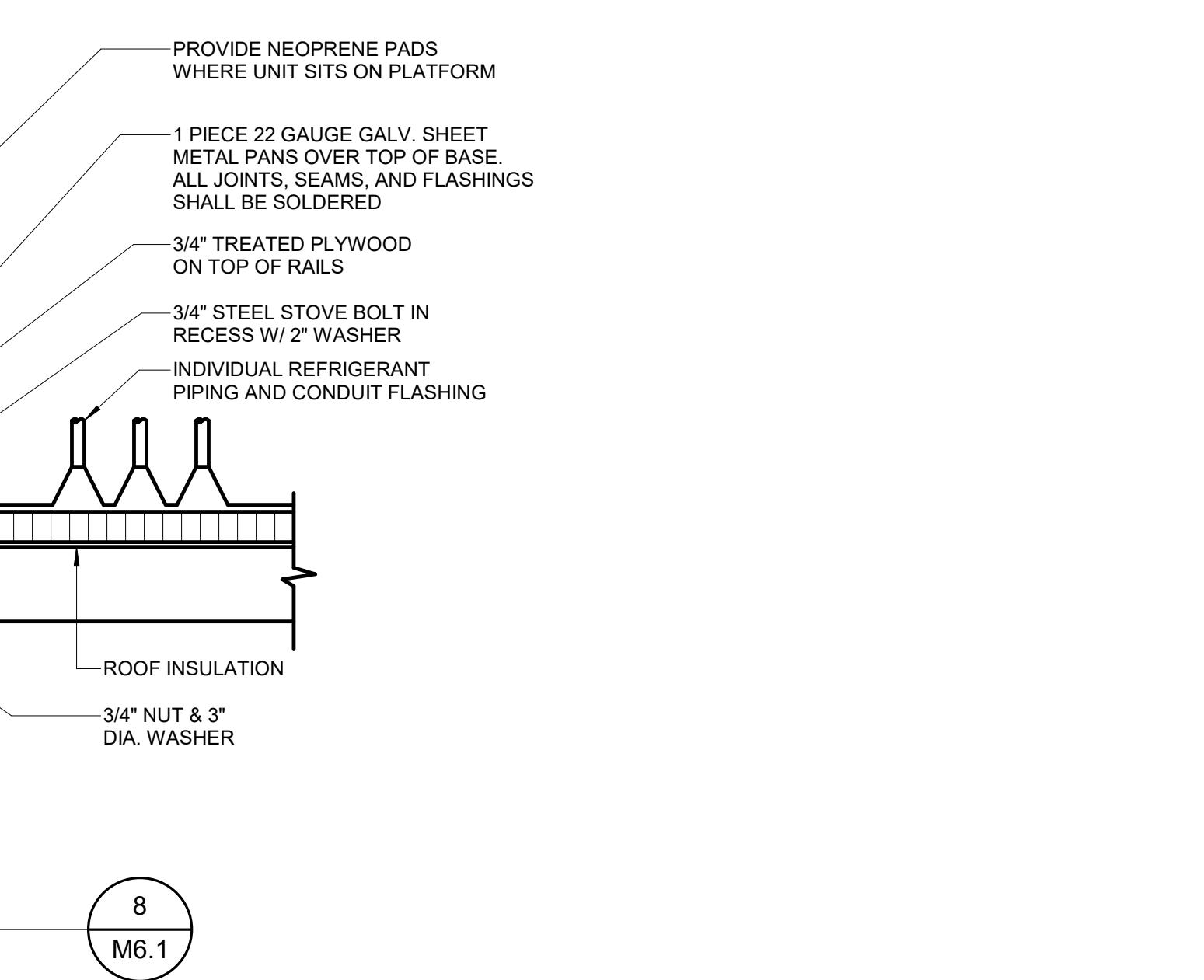
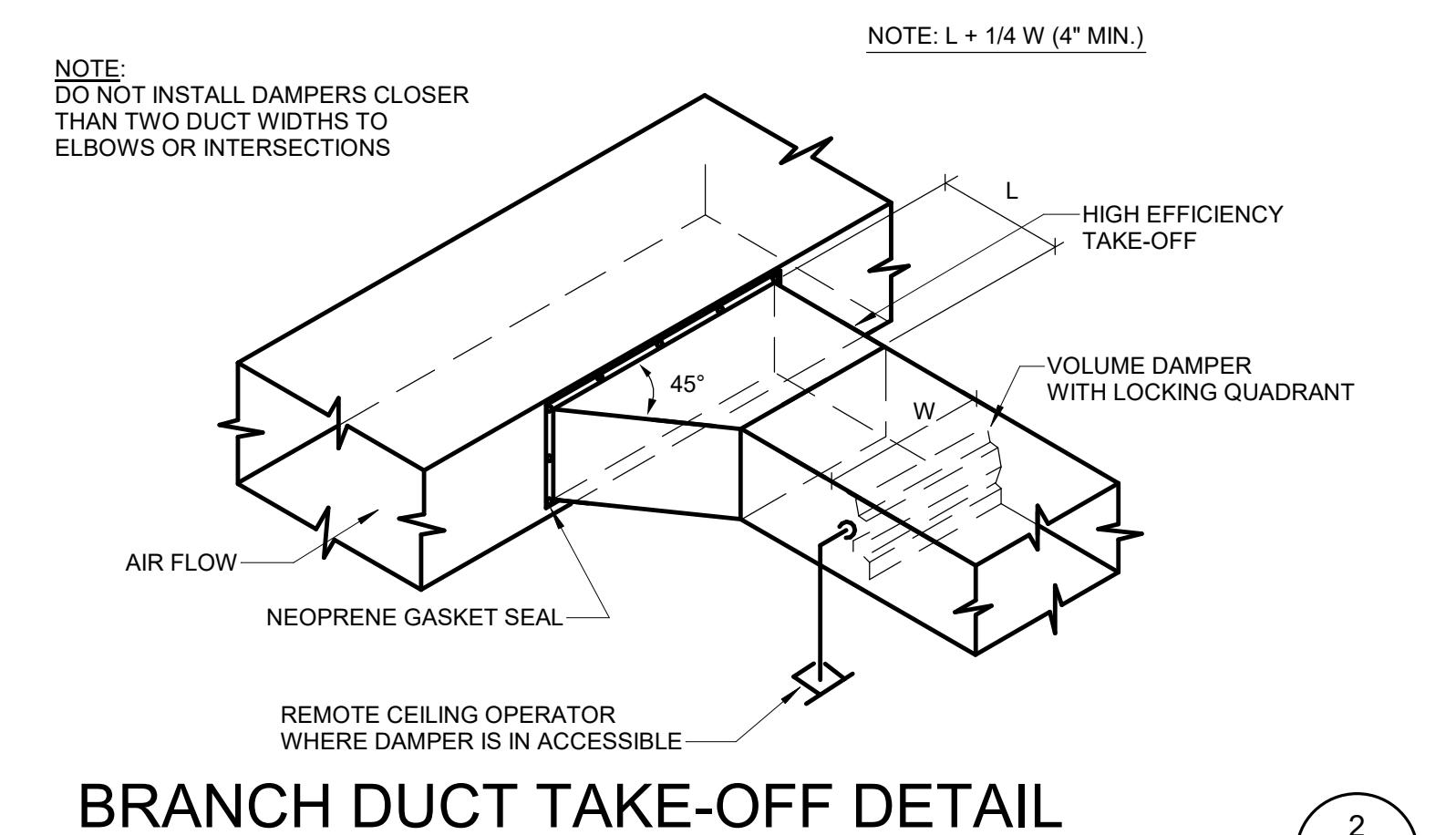
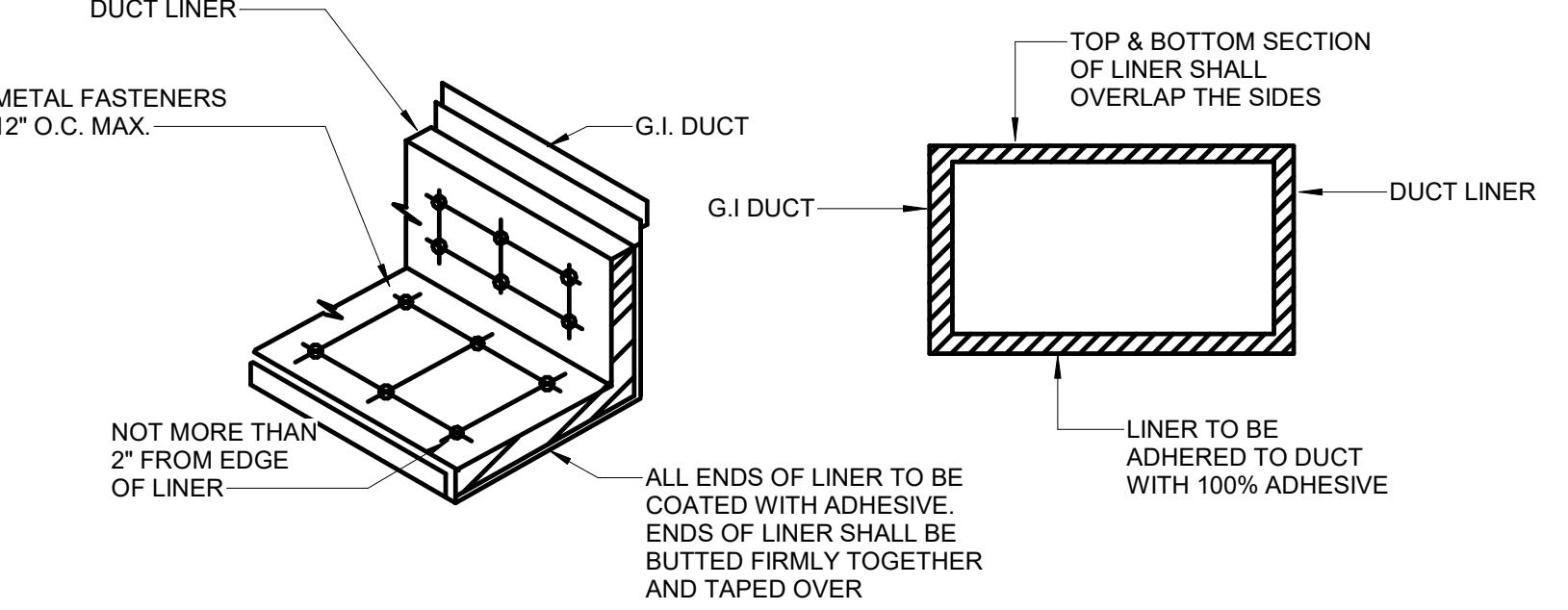
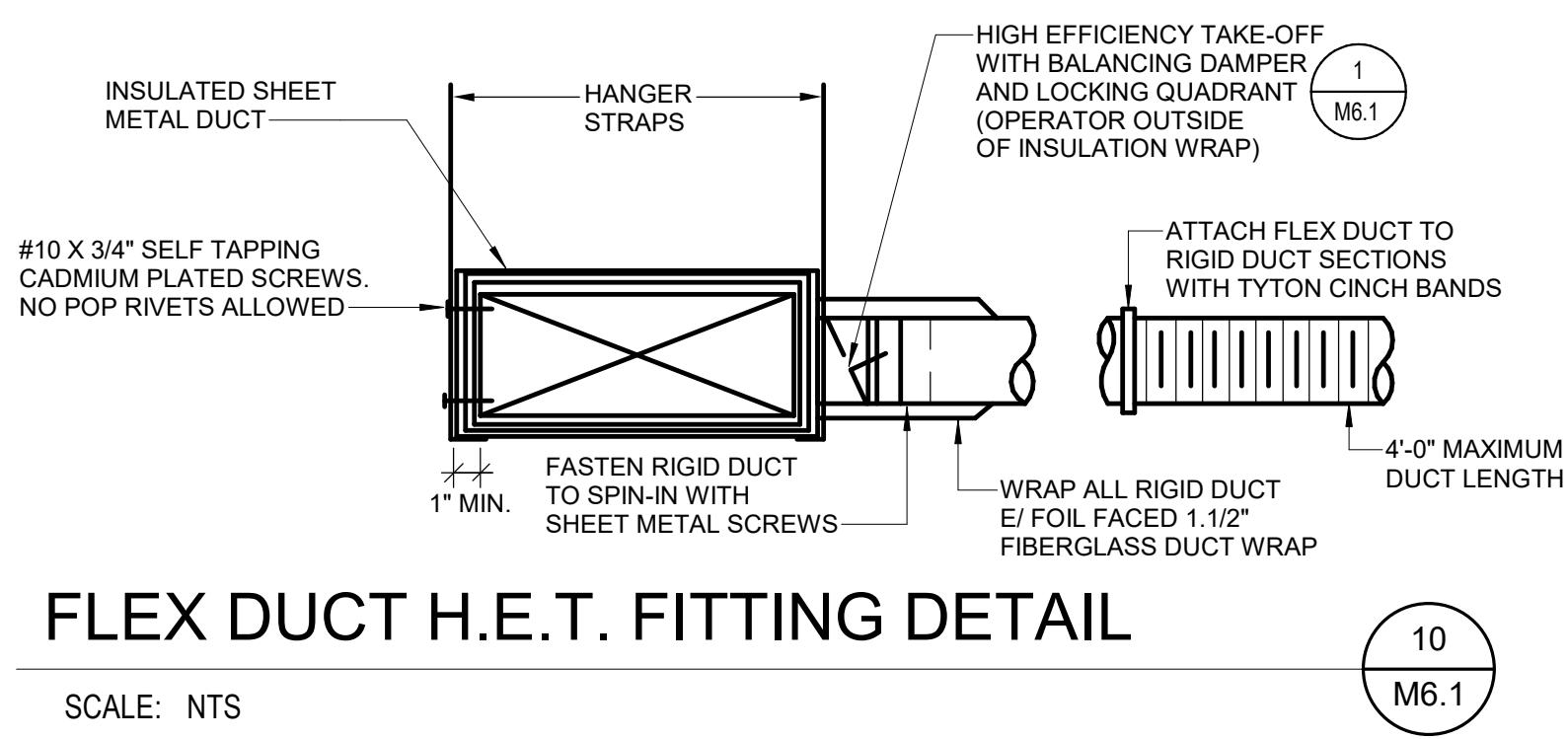
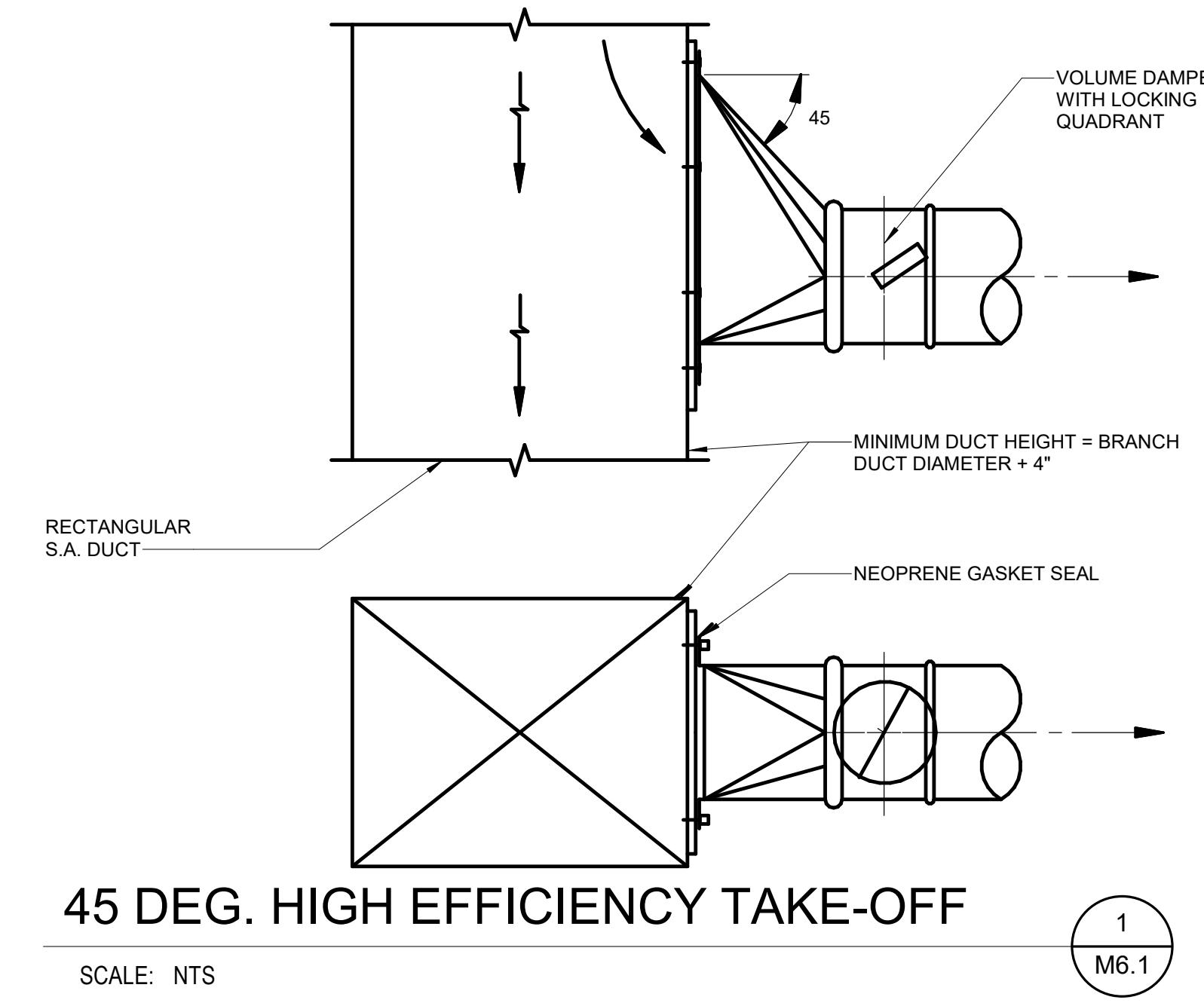
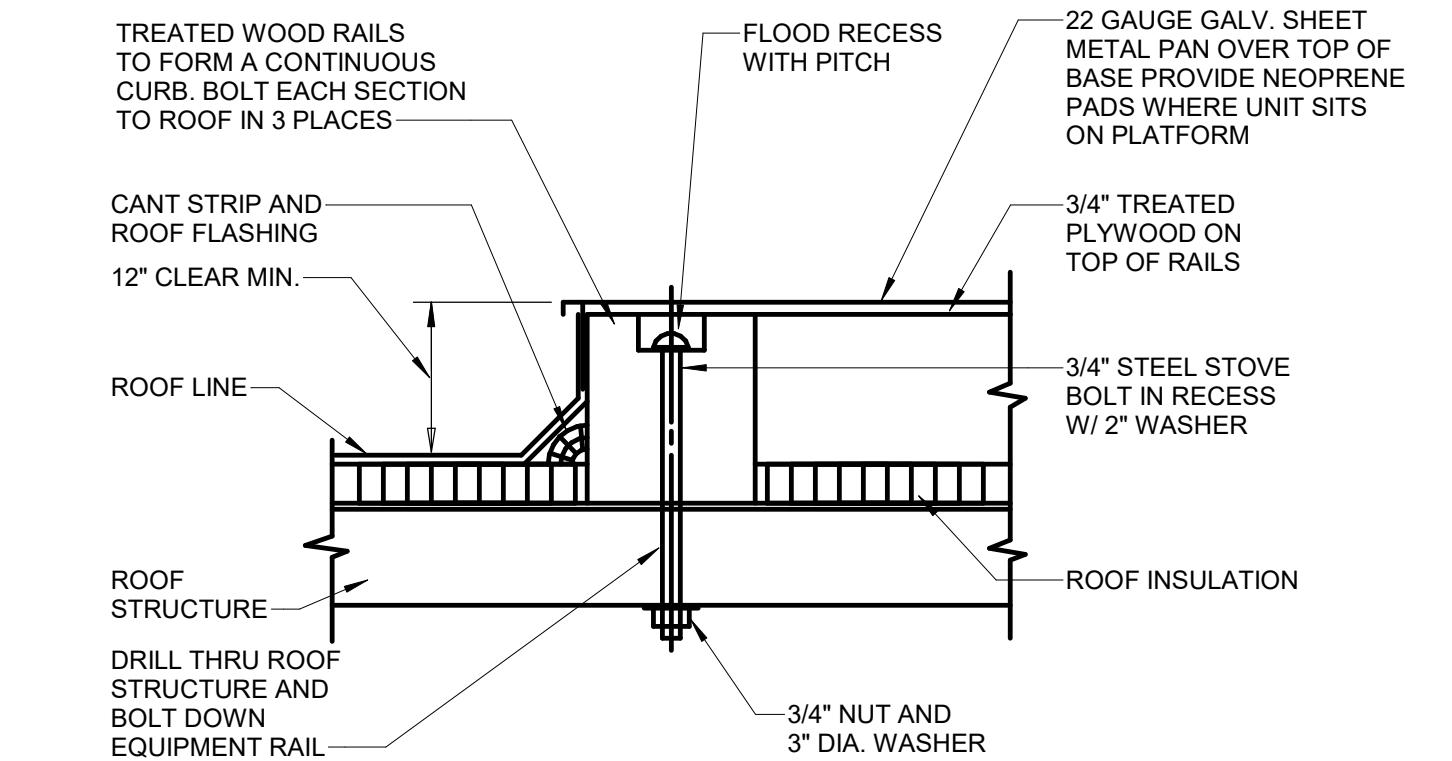
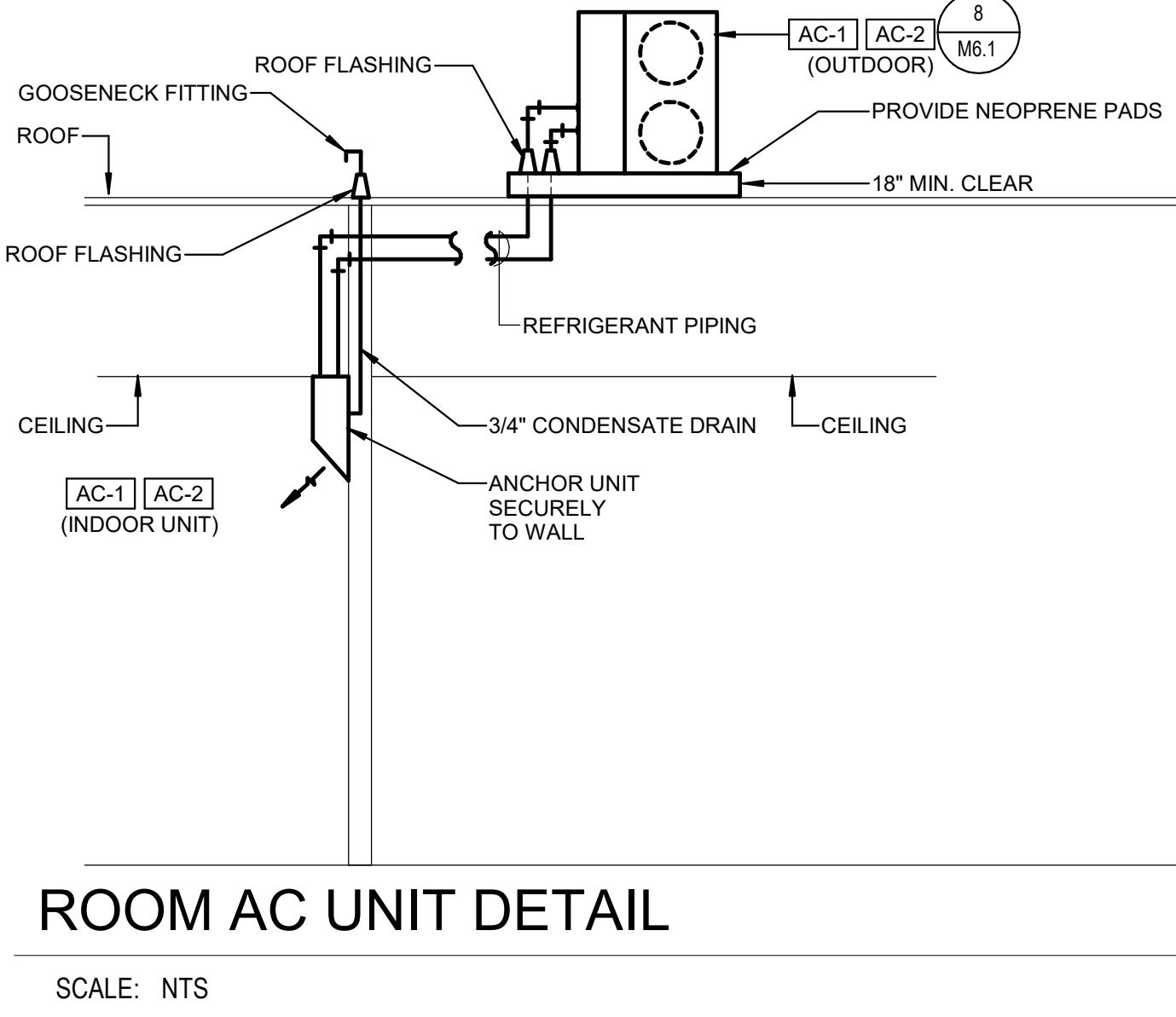
(5) UNITS SHALL USE R-454B.

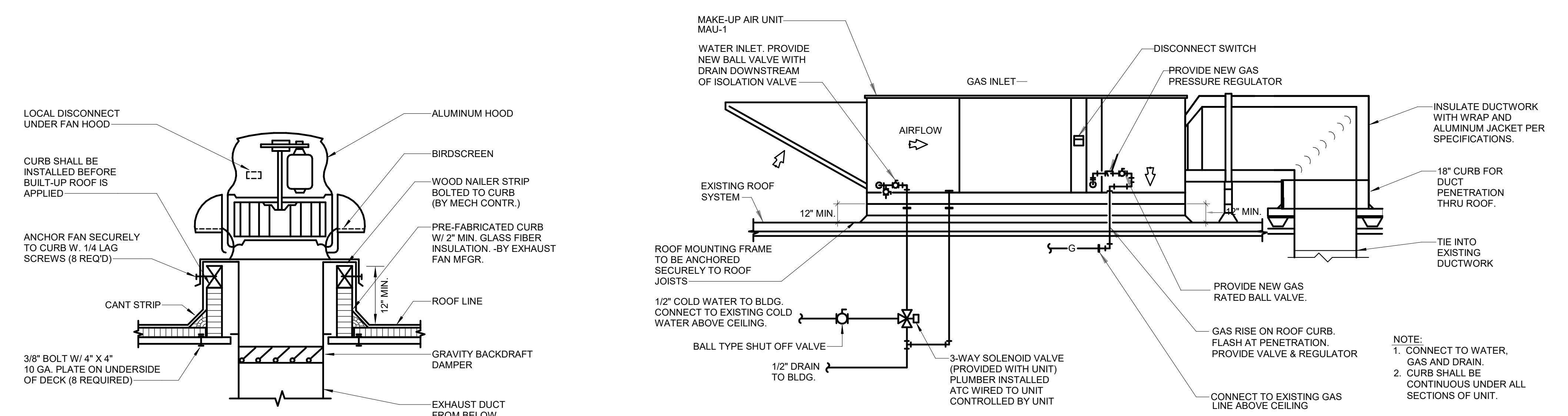
(6) ROOFTOP UNITS TO COME FROM THE FACTORY BACNET COMPATIBLE, UNITS TO CONNECT TO EXISTING DELTA CONTROLS SYSTEM, SEE SPECIFICATIONS.

## MAKE-UP AIR UNIT SCHEDULE

SYMBOL	LOCATION	CFM	E.S.P.	EVAP SECTION	FLOW CONFIG.	NATURAL GAS - HEATING CAPACITY			POWER	MCA	MOP	H.P.	MAKE & MODEL	NOTES
						GAS MBH INPUT	GAS MBH OUTPUT	GAS EFFICIENCY						
MAU-1	KITCHEN	5400	.5	YES	SIDE	353.3	325.0	92	208/3/60	27.6	45	7.5	ECON-AIR EA3-D 500-24D	(1)(2)

NOTES:  
(1) SINGLE POINT POWER CONNECTION WITH STEP DOWN TRANSFORMER FOR EVAP. SECTION, WALL CONTROL PANEL, INLET HOOD, AND 18" FACTORY CURB.  
(2) PROVIDE UNPOWERED CONVENIENCE OUTLET.  
(3) CAPACITIES BASED ON 5675 FT. ELEVATION.





ROOF MOUNTED EXHAUST FAN DETAIL

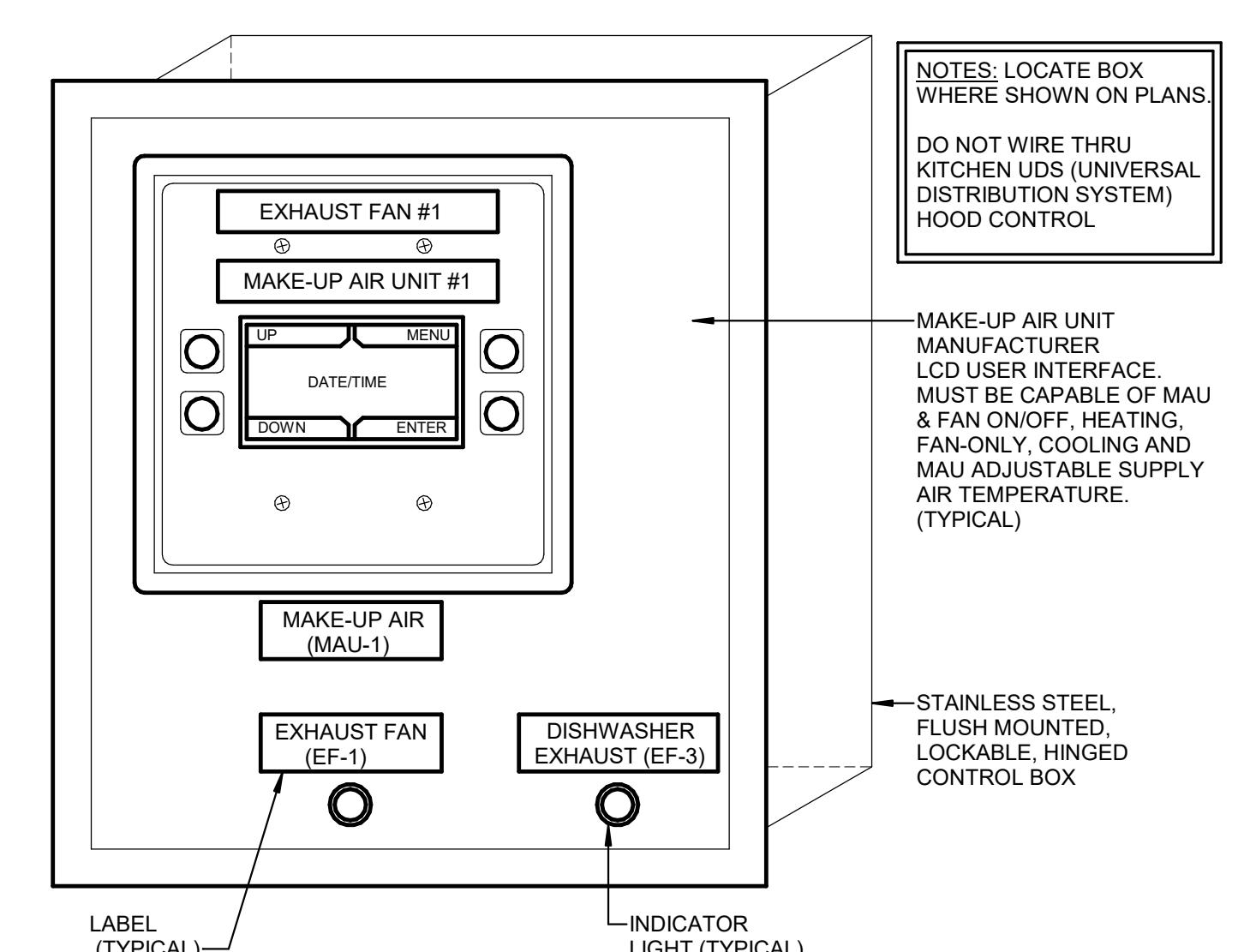
SCALE: NTS

4  
M6.2

MAKE-UP AIR UNIT MAU-1 DETAIL

SCALE: NTS

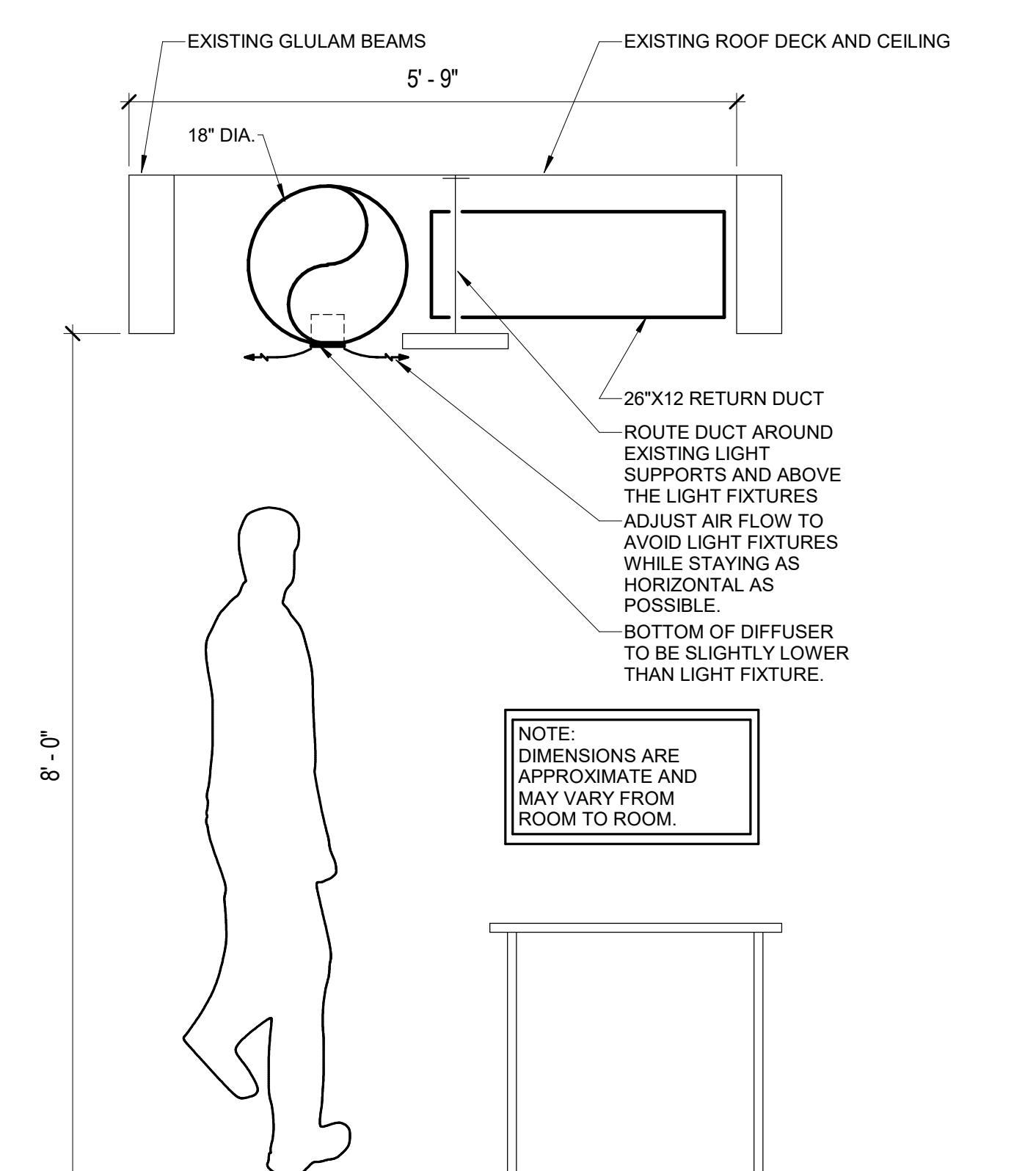
NOTE:  
 1. CONNECT TO WATER.  
 2. CURB SHALL BE  
 CONTINUOUS UNDER ALL  
 SECTIONS OF UNIT.



MAKE-UP AIR UNIT AND KITCHEN  
 EXHAUST CONTROL PANEL DETAIL

SCALE: NTS

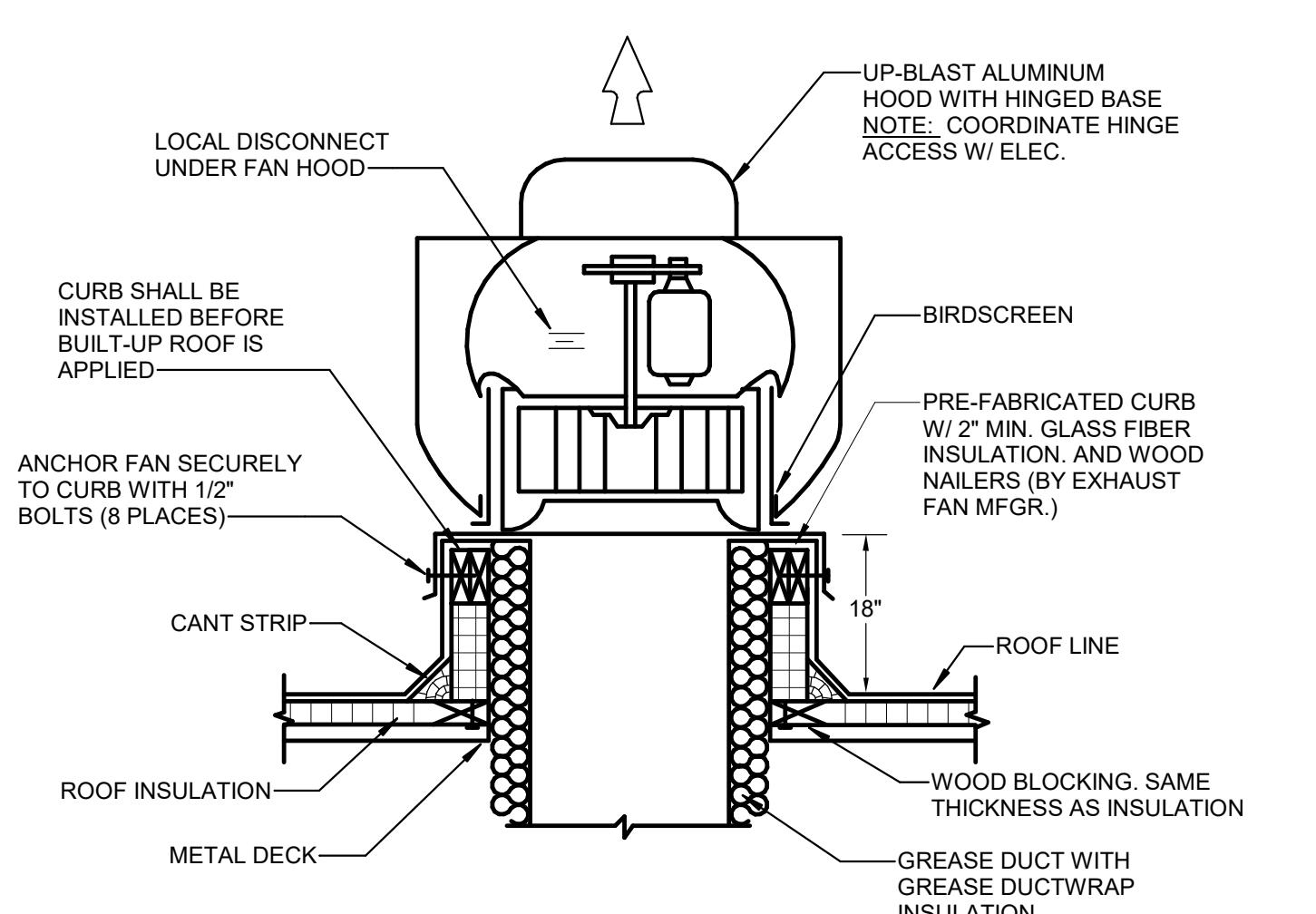
5  
M6.2



TYPICAL CLASSROOM DIFFUSER

SCALE: NTS

2  
M6.2

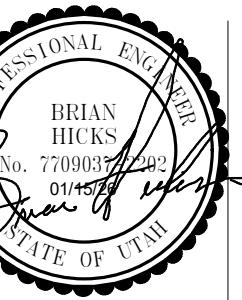


KITCHEN HOOD ROOF MOUNTED  
 EXHAUST FAN

SCALE: NTS

3  
M6.2





## MECHANICAL EQUIPMENT SCHEDULE

RESPONSIBILITY LEGEND:  
EC - ELECTRICAL CONTRACTOR (DIVISION 26)  
MC - MECHANICAL CONTRACTOR (DIVISION 23)  
CC - CONTROL CONTRACTOR

## NOTES:

- NON-FUSED DISCONNECT SWITCH
- FUSED DISCONNECT SWITCH
- BREAKER IN ENCLOSURE
- MANUFACTURED WITH THERMAL OVERLOAD
- MAGNETIC STARTER
- MAGNETIC STARTER/FUSED DISCONNECT COMBINATION
- MAGNETIC STARTER/REVERSE BREAKER COMBINATION
- VARIABLE FREQUENCY DRIVE
- REVERSE TACO STARTER
- DIRECT CONNECTION
- RECEPTACLES/SPECIAL PURPOSE OUTLET/ETC.
- TWO-SPEED STARTER, COORDINATE WITH MOTOR TYPE
- SOLID STATE SOFT-START

A. FURNISHED, INSTALLED AND CONNECTED UNDER DIVISION 26(16)  
B. FURNISHED AND INSTALLED UNDER ANOTHER DIVISION, REQUIRED CONNECTION UNDER DIVISION 26(16)  
C. FURNISHED UNDER ANOTHER DIVISION BUT INSTALLED AND CONNECTED UNDER DIVISION 26(16)  
D. FURNISHED, INSTALLED AND CONNECTED UNDER ANOTHER DIVISION

CB = CIRCUIT BREAKER  
CKW = CHILLER KILOWATTS

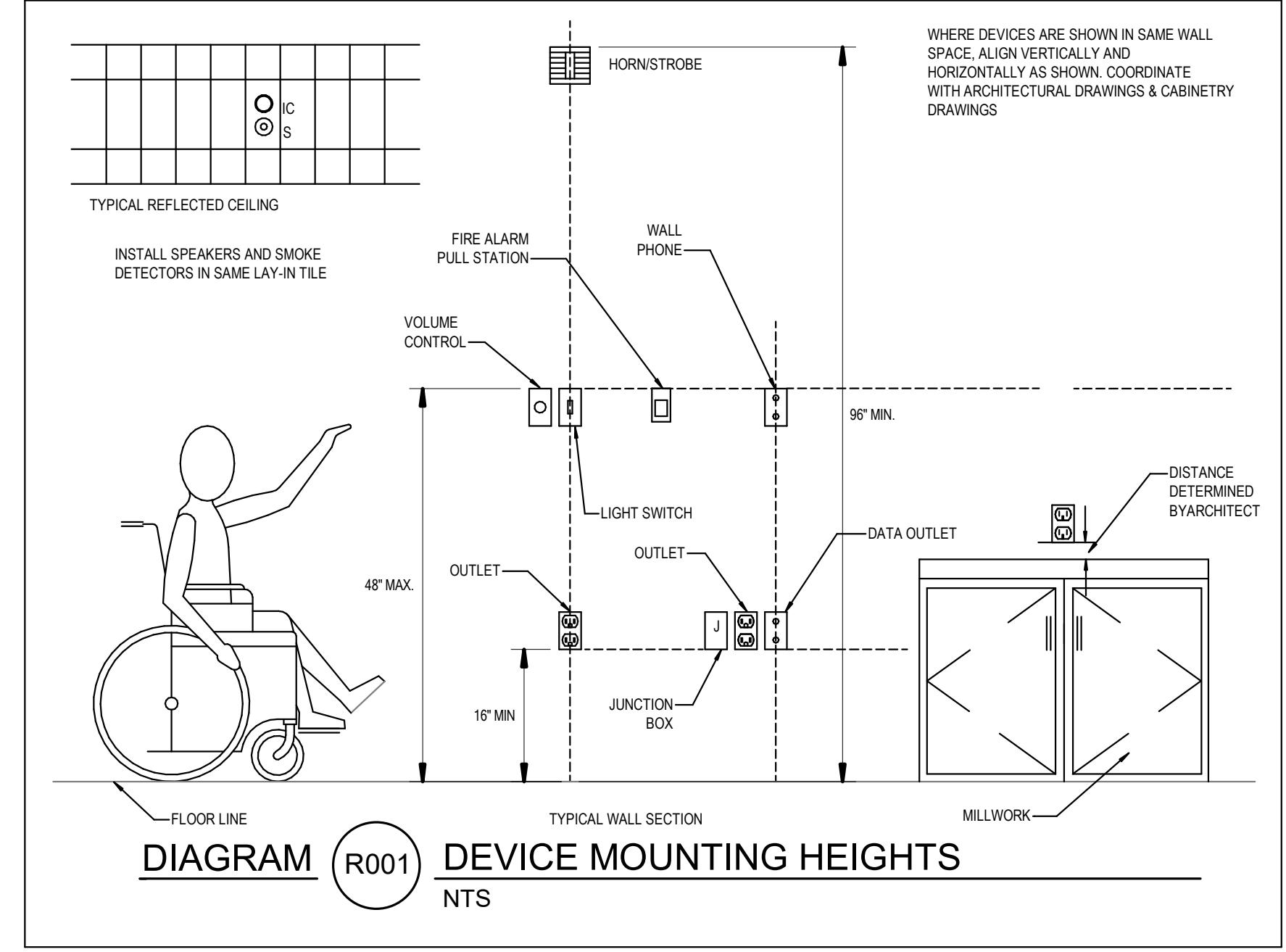
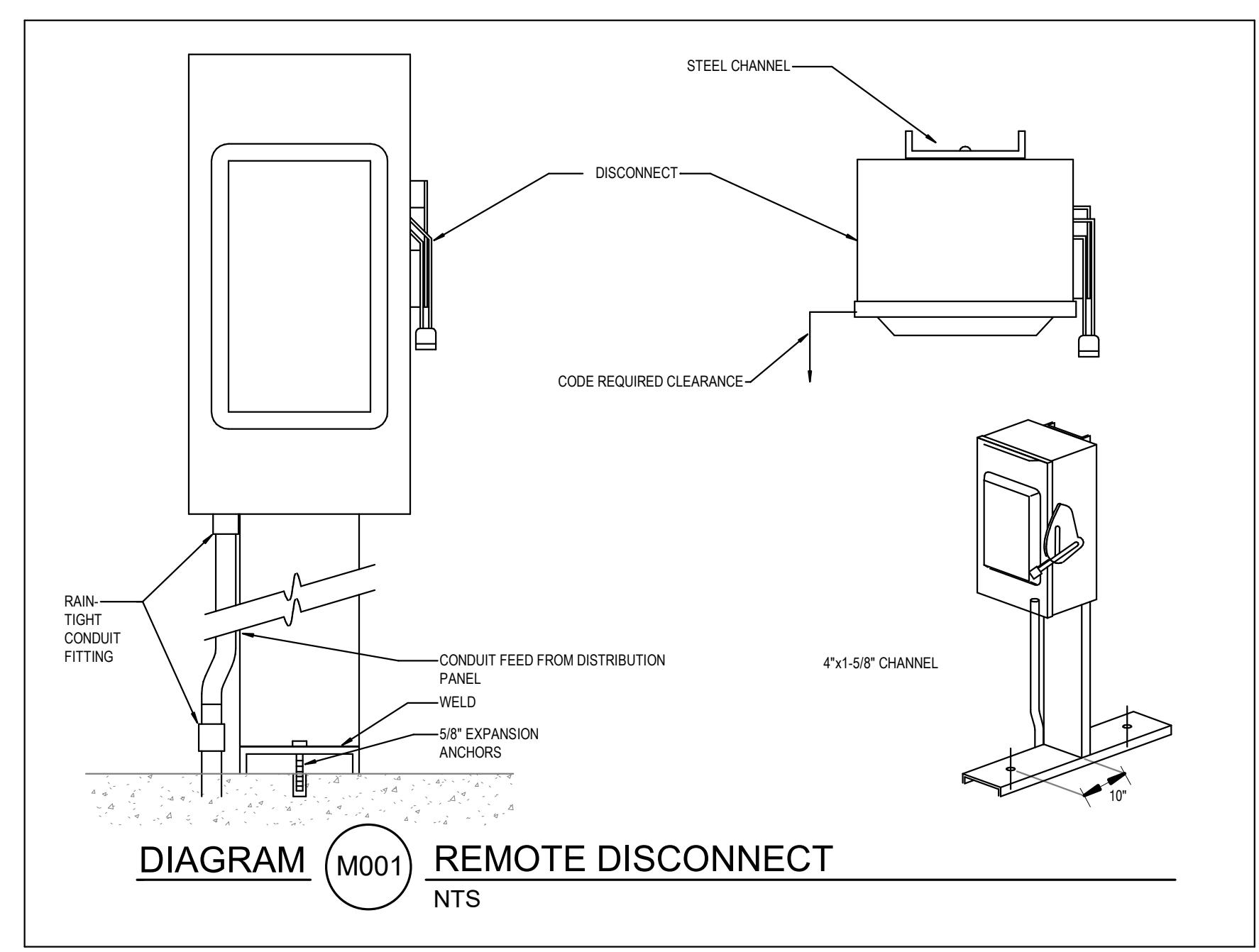
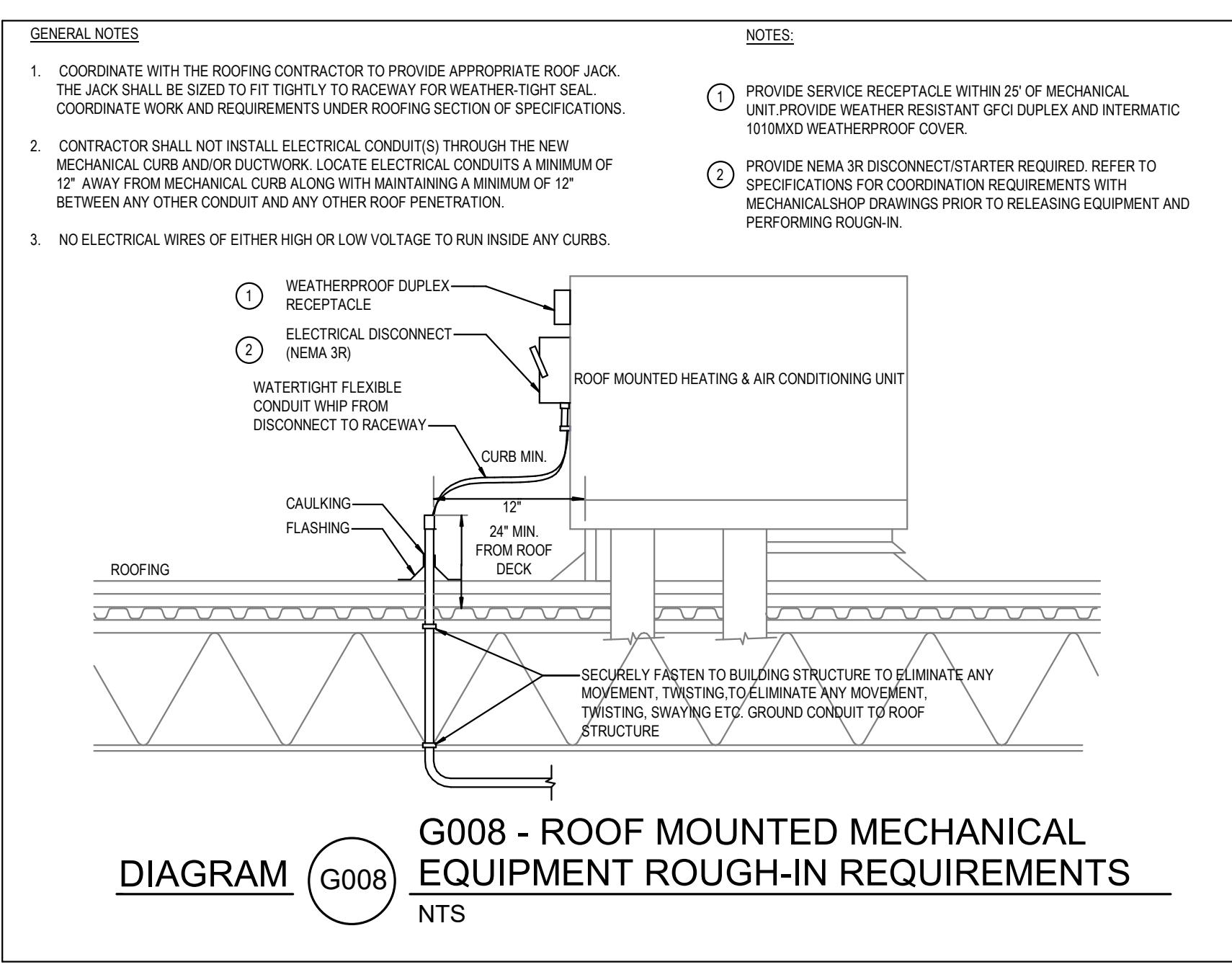
NOTE 1: PER 250.120(A), EQUIPMENT GROUND IS NOT REQUIRED TO BE LARGER THAN THE PHASE CONDUCTOR.  
NOTE 2: OVERCURRENT PROTECTION DEVICE (OCPD) SHOWN IS LOCATED AT POWER PANEL. ALL FUSING TO BE SIZED IN ACCORDANCE WITH FUSE MFR RECOMMENDATION FOR MOTOR NAME PLATE RATING.  
NOTE 3: ALL EQUIPMENT TO BE RATED FOR THE ENVIRONMENT FOR WHICH IT IS INSTALLED.

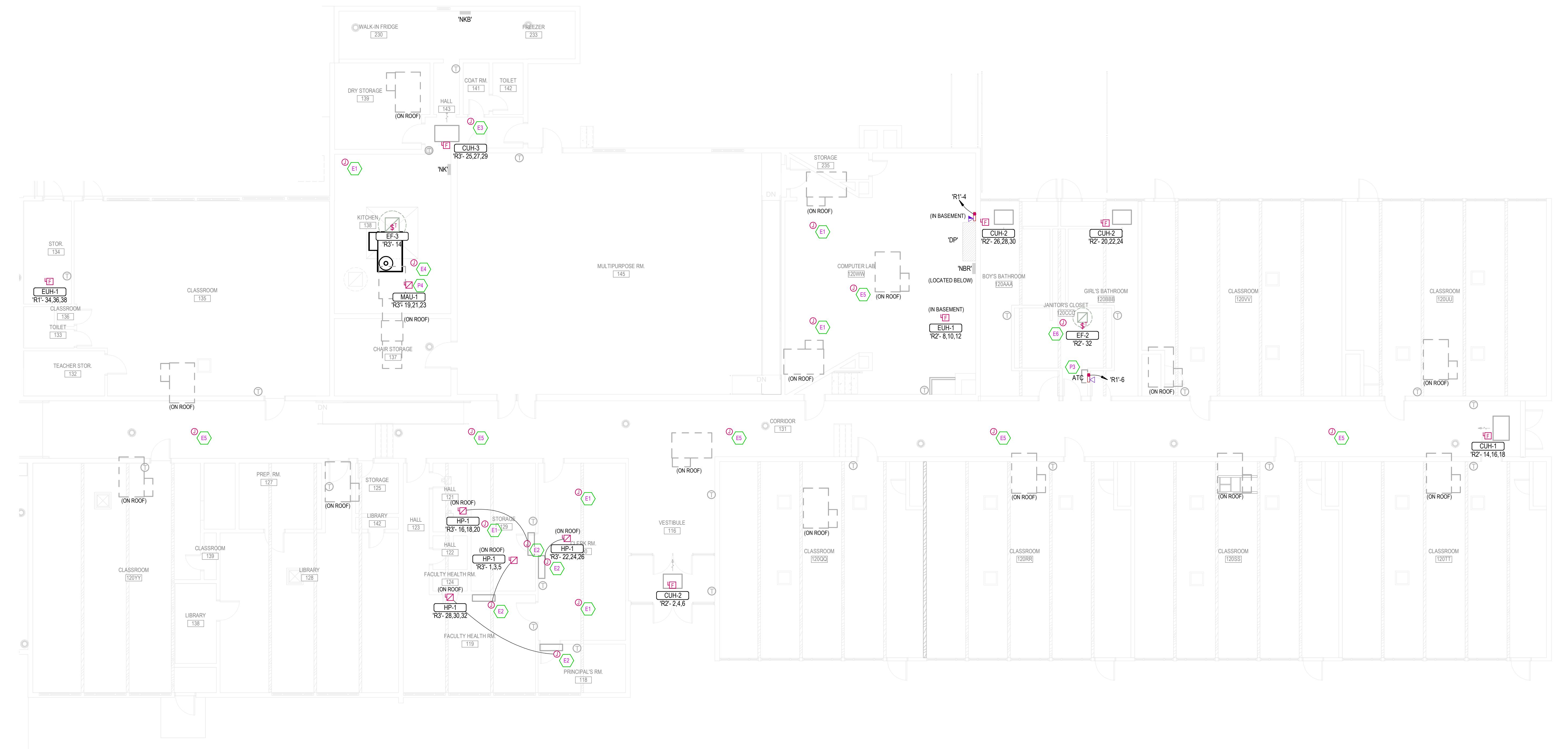
GENERAL NOTES:  
1. PER NEC 230.122(A), EQUIPMENT GROUND IS NOT REQUIRED TO BE LARGER THAN THE PHASE CONDUCTOR.  
2. OVERCURRENT PROTECTION DEVICE (OCPD) SHOWN IS LOCATED AT POWER PANEL. ALL FUSING TO BE SIZED IN ACCORDANCE WITH FUSE MFR RECOMMENDATION FOR MOTOR.  
3. ALL EQUIPMENT TO BE RATED FOR THE ENVIRONMENT FOR WHICH IT IS INSTALLED.  
4. OVERLOAD PROTECTION SHALL BE PROVIDED FOR ALL MOTOR BRANCH CIRCUITS IN COMPLIANCE WITH NEC SECTION 430. SIZE OVERLOAD UNITS BASED ON ACTUAL RUNNING...

TYPE ID	INSTANCE ID	DESCRIPTION	ELECTRICAL				LOAD INFORMATION				OCPD		CIRCUIT INFORMATION						STARTER		CONTROL		DISCONNECT		INTERLOCK	NOTES
			VOLTAGE	PHASE	MOTOR POWER	APPARENT POWER	FLA	MCB	EM POWER	TYPE	OCPD	PHASE CONDUCTORS	NEUTRAL CONDUCTOR	GROUND CONDUCTOR	CONDUT SIZE	TYPE	FURNISH	INSTALL	TYPE	FURNISH	INSTALL	TYPE	FURNISH	INSTALL		
CUH - 1	CABINET UNIT HEATER	208 V 3 0.00 hp	6.51 kVA	5.8 kW	18 A	22.5 A	No	(Motor) Inverse Time Breaker	30 A	1	3	12 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
CUH - 2	CABINET UNIT HEATER	208 V 3 0.00 hp	2.2 kVA	1.9 kW	6 A	7.5 A	No	(Motor) Inverse Time Breaker	15 A	1	3	12 Cu	No	None	12	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
CUH - 3	CABINET UNIT HEATER	208 V 3 0.00 hp	16.4 kVA	9.4 kW	29 A	36.3 A	No	(Motor) Inverse Time Breaker	45 A	1	3	8 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
EUH - 1	ELECTRIC UNIT HEATER	208 V 3 0.00 hp	6.9 kVA	6.2 kW	19.2 A	24 A	No	(Motor) Inverse Time Breaker	30 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
EF - 1	EXHAUST FAN	120 V 1 0.25 hp	0.74 kVA	0.6 kW	1.7 A	2.4 A	No	(Motor) Inverse Time Breaker	15 A	1	1	12 Cu	No	None	12	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
EF - 2	EXHAUST FAN	120 V 1 0.25 hp	0.74 kVA	0.6 kW	3.6 A	7.3 A	No	(Motor) Inverse Time Breaker	15 A	1	1	12 Cu	No	None	12	0	3/4"	4A	EC	EC	MC	MC	4A	EC	EC	
EF - 3	EXHAUST FAN	120 V 1 0.75 hp	1.7 kVA	1.5 kW	13.8 A	17.3 A	No	(Motor) Inverse Time Breaker	25 A	1	1	12 Cu	Yes	12 Cu	10	0	3/4"	7A	EC	EC	MC	MC	7A	EC	EC	
HP - 1	HEAT PUMP	208 V 3 0.00 hp	4.3 kVA	3.9 kW	12 A	15 A	No	(Motor) Inverse Time Breaker	20 A	1	3	12 Cu	7A	EC	EC	MC	MC	7A	EC	EC	MC	MC	7A	EC	EC	
MAU - 1	MECHANICAL UNIT	208 V 3 0.00 hp	6.3 kVA	5.7 kW	20 A	25 A	No	(Motor) Inverse Time Breaker	35 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 1	ROOFTOP UNIT	208 V 3 0.00 hp	5.9 kVA	5.0 kW	24.5 A	31 A	No	(Motor) Inverse Time Breaker	30 A	1	3	8 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 2	ROOFTOP UNIT	208 V 3 0.00 hp	6.3 kVA	5.7 kW	17.6 A	22 A	No	(Motor) Inverse Time Breaker	30 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 3	ROOFTOP UNIT	208 V 3 0.00 hp	7.5 kVA	6.7 kW	20.8 A	26 A	No	(Motor) Inverse Time Breaker	35 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 4	ROOFTOP UNIT	208 V 3 0.00 hp	6.3 kVA	5.7 kW	17.6 A	22 A	No	(Motor) Inverse Time Breaker	30 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 5	ROOFTOP UNIT	208 V 3 0.00 hp	5.1 kVA	5.1 kW	17.6 A	22 A	No	(Motor) Inverse Time Breaker	30 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 6	ROOFTOP UNIT	208 V 3 0.00 hp	8.9 kVA	8.0 kW	24.8 A	31 A	No	(Motor) Inverse Time Breaker	40 A	1	3	8 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 7	ROOFTOP UNIT	208 V 3 0.00 hp	7.5 kVA	6.7 kW	20.8 A	26 A	No	(Motor) Inverse Time Breaker	35 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 8	ROOFTOP UNIT	208 V 3 0.00 hp	6.3 kVA	5.7 kW	17.6 A	22 A	No	(Motor) Inverse Time Breaker	30 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 9A	ROOFTOP UNIT	208 V 3 0.00 hp	7.5 kVA	7.5 kW	20.8 A	26 A	No	(Motor) Inverse Time Breaker	35 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 9B	ROOFTOP UNIT	208 V 3 0.00 hp	7.5 kVA	6.7 kW	20.8 A	26 A	No	(Motor) Inverse Time Breaker	35 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 10	ROOFTOP UNIT	208 V 3 0.00 hp	7.5 kVA	6.7 kW	20.8 A	26 A	No	(Motor) Inverse Time Breaker	35 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 11	ROOFTOP UNIT	208 V 3 0.00 hp	6.3 kVA	5.7 kW	17.6 A	22 A	No	(Motor) Inverse Time Breaker	30 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 12	ROOFTOP UNIT	208 V 3 0.00 hp	6.3 kVA	5.7 kW	17.6 A	22 A	No	(Motor) Inverse Time Breaker	30 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 14	ROOFTOP UNIT	208 V 3 0.00 hp	7.5 kVA	6.7 kW	20.8 A	26 A	No	(Motor) Inverse Time Breaker	35 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 15	ROOFTOP UNIT	208 V 3 0.00 hp	8.9 kVA	8.0 kW	24.8 A	31 A	No	(Motor) Inverse Time Breaker	40 A	1	3	8 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 16	ROOFTOP UNIT	208 V 3 0.00 hp	7.5 kVA	6.7 kW	20.8 A	26 A	No	(Motor) Inverse Time Breaker	35 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 17	ROOFTOP UNIT	208 V 3 0.00 hp	7.5 kVA	6.7 kW	20.8 A	26 A	No	(Motor) Inverse Time Breaker	35 A	1	3	10 Cu	No	None	10	0	3/4"	2A	EC	EC	MC	MC	2A	EC	EC	
RT - 18	ROOFTOP UNIT	208 V 3 0.00 hp	7.5 kVA	6.7 kW	20.8 A	26 A	No	(Motor) Inverse																		









**KEYNOTES**

E1 EXISTING CEILING FAN TO BE DEMOLISHED. DISCONNECT POWER AND MAINTAIN CIRCUIT INTEGRITY.  
E2 INDOOR UNIT FED BY OUTDOOR UNIT.  
E3 EXISTING UNIT TO BE DEMOLISHED. DIV. 26 TO DISCONNECT AND REMOVE CONDUCTORS.  
E4 EXISTING MAKEUP AIR UNIT TO BE DEMOLISHED. DIV. 26 TO DISCONNECT AND REMOVE CONDUCTORS COMPLETELY BACK TO SOURCE. RELABEL BREAKER AS SPARE.  
E5 EXISTING EVAP UNIT TO BE DEMOLISHED. DIV. 26 TO DISCONNECT AND REMOVE CONDUCTORS COMPLETELY BACK TO SOURCE. RELABEL BREAKER AS SPARE.  
E6 NEW EXHAUST FAN TO REPLACE EXISTING. PROVIDE NEW CIRCUIT AS INDICATED. DISCONNECT EXISTING UNIT AND REMOVE EXISTING CONDUCTORS BACK TO SOURCE.  
P3 PROVIDE NEW CIRCUIT AS INDICATED. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ROUTING AND DATA ROOM/RACK LOCATION.  
P4 DIV. 26 TO EXTEND CONDUIT BETWEEN MAU AND MAU CONTROL PANEL. COORDINATE LOCATION WITH HVAC INSTALLER.

**POWER GENERAL SHEET NOTES**

- COORDINATE PLACEMENT OF ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN. WHERE DEVICES ARE SHOWN IN SAME WALL SPACE, ALIGN VERTICALLY AND HORIZONTALLY. NEW DEVICES SHALL BE SHOWN IN SAME WALL SPACE.
- ALL THE LOW VOLTAGE WIRE/CABLE FOR LIGHTING SENSORS, AUDIOVISUAL EQUIPMENT, SOUND AMPLIFICATION, ETC. TO BE ROUTED THROUGH CONDUIT IN EXPOSED AND CLODED CEILING AREAS.
- ALL LOW VOLTAGE WIRE/CABLE FOR LIGHTING SENSORS, AUDIOVISUAL EQUIPMENT, CLASSROOM SOUND AMPLIFICATION, ETC. TO BE PROVIDED SUPPORTED BY THE TELEDATA SUPPORT SYSTEM. SUPPORT SYSTEM AND CABLES AND LOW VOLTAGE CLODED STRUCTURAL LINES. PULLING WIRE DIAGONALLY ACROSS ROOMS IS NOT ALLOWED. USING CEILING SYSTEM OR LIGHT FIXTURE SUPPORT/SEISMIC WIRES FOR SUPPORT IS NOT ALLOWED.
- PROVIDE GFCI PROTECTION ON ALL DEVICES AND EQUIPMENT PER THE NEC REQUIREMENTS. DEVICES SHALL BE READILY ACCESSIBLE. IF ANY OUTLET IS INSTALLED WITHIN 6 FEET OF OUTSIDE EDGE OF SINK, CONTRACTOR SHALL PROVIDE GFCI RECEPTACLE PER NEC, WHETHER SHOWN OR NOT.
- ALL RECEPTACLES LOCATED THROUGHOUT THE BUILDING SHALL BE TAMPER RESISTANT PER NEC.
- ELECTRICAL CONTRACTOR SHALL COORDINATE EXACT LOCATION OF ALL MECHANICAL UNITS WITH MECHANICAL CONTRACTOR. CIRCUITS TO ALL MECHANICAL EQUIPMENT SHALL BE DEDICATED UNLESS NOTED OTHERWISE.
- FOR VAV POWER, PROVIDE A DEDICATED 120/208 CIRCUIT FROM A PANEL LOCATED IN THE ELECTRICAL ROOM OF THE ASSOCIATED QUADRANT. COORDINATE EXACT LOCATION OF ALL VAV BOXES WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- PROVIDE 120V CIRCUIT FROM NEAREST PROVIDED CIRCUIT FOR FIRESMOKE DAMPER RELAYS. PROVIDE FIRE ALARM MODULES AND RELAYS AS NECESSARY FOR ALL FIRESMOKE DAMPERS. PROVIDED ON CONSTRUCTION DRAWINGS. ALL FIRESMOKE DAMPERS SHALL HAVE A MANUAL OVERRIDE SWITCH. PROVIDE DUCT DETECTOR FOR EACH FIRESMOKE DAMPER.
- CONTRACTOR TO COORDINATE ALL LOCATIONS OF FIRESMOKE AND SMOKE DAMPERS WITH MECHANICAL CONTRACTOR. CONTRACTOR TO PROVIDE POWER, MONITOR MODULES, AND RELAYS AS REQUIRED FOR A COMPLETE SYSTEM.
- DIVISION 26 IS RESPONSIBLE TO PROVIDE CONDUIT AND ROUGH-IN FOR ALL THERMOSTAT CONTROLS LOCATED WITHIN WALLS. COORDINATE WITH THE CONTROLS CONTRACTOR AND VERIFY EXACT LOCATION OF ALL THERMOSTATS.

PROJECT TITLE: COTTONWOOD ELEMENTARY SCHOOL  
MECHANICAL UPGRADE  
55 EAST 200 SOUTH  
ORANGEVILLE, UTAH

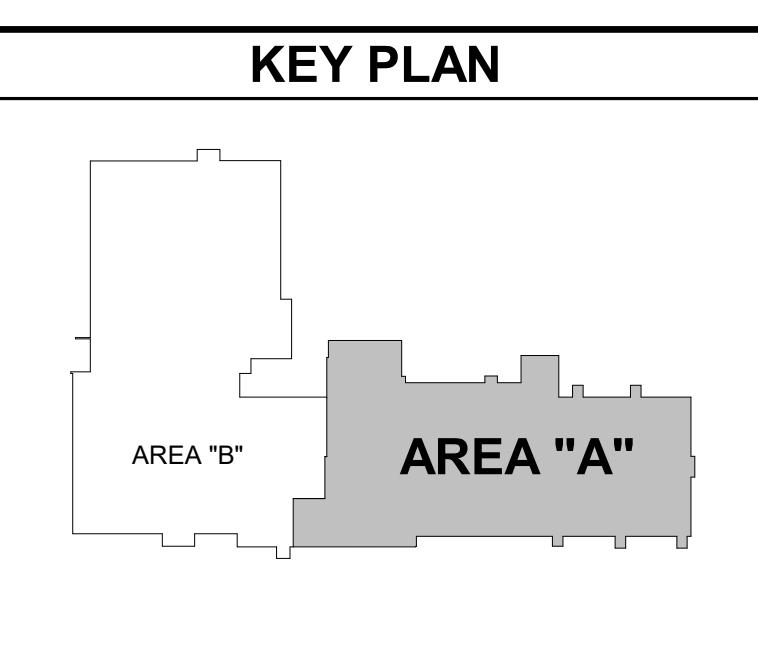
**KMA**  
ARCHITECTS



REVISIONS:

**RESOLUT**  
40 W Cache Valley Blvd., Bldg. 1, Suite B  
info@resolutgroup.com | resolutgroup.com

170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
www.kmaarchitects.com



EP112

THIS PRINT AND ALL INFORMATION THEREON IS THE PROPERTY OF KMA ARCHITECTS AND SHALL NOT BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

100



# MAIN FLOOR POWER PLAN AREA B

SCALE = 1/8" = 1'-0"

 MAIN FLOOR POWER PLAN AREA  
SCALE = 1/8" = 1'-0"

## KEYNOTES

**POWER GENERAL SHEET NOTES**

ACEMENT OF ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN. ARE SHOWN IN SAME WALL SPACE, ALIGN VERTICALLY AND HORIZONTALLY. TH ARCHITECTURAL DRAWINGS, ATHLETIC SAFETY WALL PADDING AND WINGS.

OLTAGE WIRE/CABLE FOR LIGHTING SENSORS, AUDIO/VISUAL EQUIPMENT, CATION, ETC. TO BE ROUTED THROUGH CONDUIT IN EXPOSED AND CLOUDED

GE WIRE/CABLE FOR LIGHTING SENSORS, AUDIO/VISUAL EQUIPMENT, UND AMPLIFICATION, ETC. TO BE PROPERLY SUPPORTED PER THE TELE/DATA 0" INTERVALS AND TO FOLLOW BUILDING STRUCTURAL LINES. PULLING WIRE ROSS ROOMS IS NOT ALLOWED. USING CEILING SYSTEM OR LIGHT FIXTURE IC WIRES FOR SUPPORT IS NOT ALLOWED.

ROTECTION ON ALL DEVICES AND EQUIPMENT PER THE NEC REQUIREMENTS. BE READILY ACCESSIBLE. IF ANY OUTLET IS INSTALLED WITHIN 6 FEET OF SINK, CONTRACTOR SHALL PROVIDE GFCI RECEPTACLE PER NEC, N OR NOT.

ES LOCATED THROUGHOUT THE BUILDING SHALL BE TAMPER RESISTANT PER

TRACTOR SHALL COORDINATE EXACT LOCATION OF ALL MECHANICAL UNITS AL CONTRACTOR. CIRCUITS TO ALL MECHANICAL EQUIPMENT SHALL BE ESS NOTED OTHERWISE.

R, PROVIDE A DEDICATED 120V/20A CIRCUIT FROM A PANEL LOCATED IN THE OM OF THE ASSOCIATED QUADRANT. COORDINATE EXACT LOCATION OF ALL H MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.

CIRCUIT FROM NEAREST PROVIDED CIRCUIT FOR FIRE/SMOKE DAMPER E FIRE ALARM MODULES AND RELAYS AS NECESSARY FOR ALL FIRE/SMOKE N ON DIVISION 23 DRAWINGS. ALL FIRE/SMOKE DAMPERS SHALL HAVE A DE SWITCH. PROVIDE DUCT DETECTOR WITHIN 5 FEET OF EACH FIRE/SMOKE

O COORDINATE ALL LOCATIONS OF FIRE/SMOKE AND SMOKE DAMPERS WITH NTRACTOR, CONTRACTOR TO PROVIDE POWER, MONITOR MODULES, AND IRIED FOR A COMPLETE SYSTEM.

ESPONSIBLE TO PROVIDE CONDUIT AND ROUGH-IN FOR ALL THERMOSTAT ATED WITHIN WALLS. COORDINATE WITH THE CONTROLS CONTRACTOR AND OLOCATION OF ALL THERMOSTATS.

PROJECT TITLE

DRAWN BY:  
CHECKED BY:  
DATE: JAN. 2  
PROJECT #: 176

EP11

# KEY PLAN

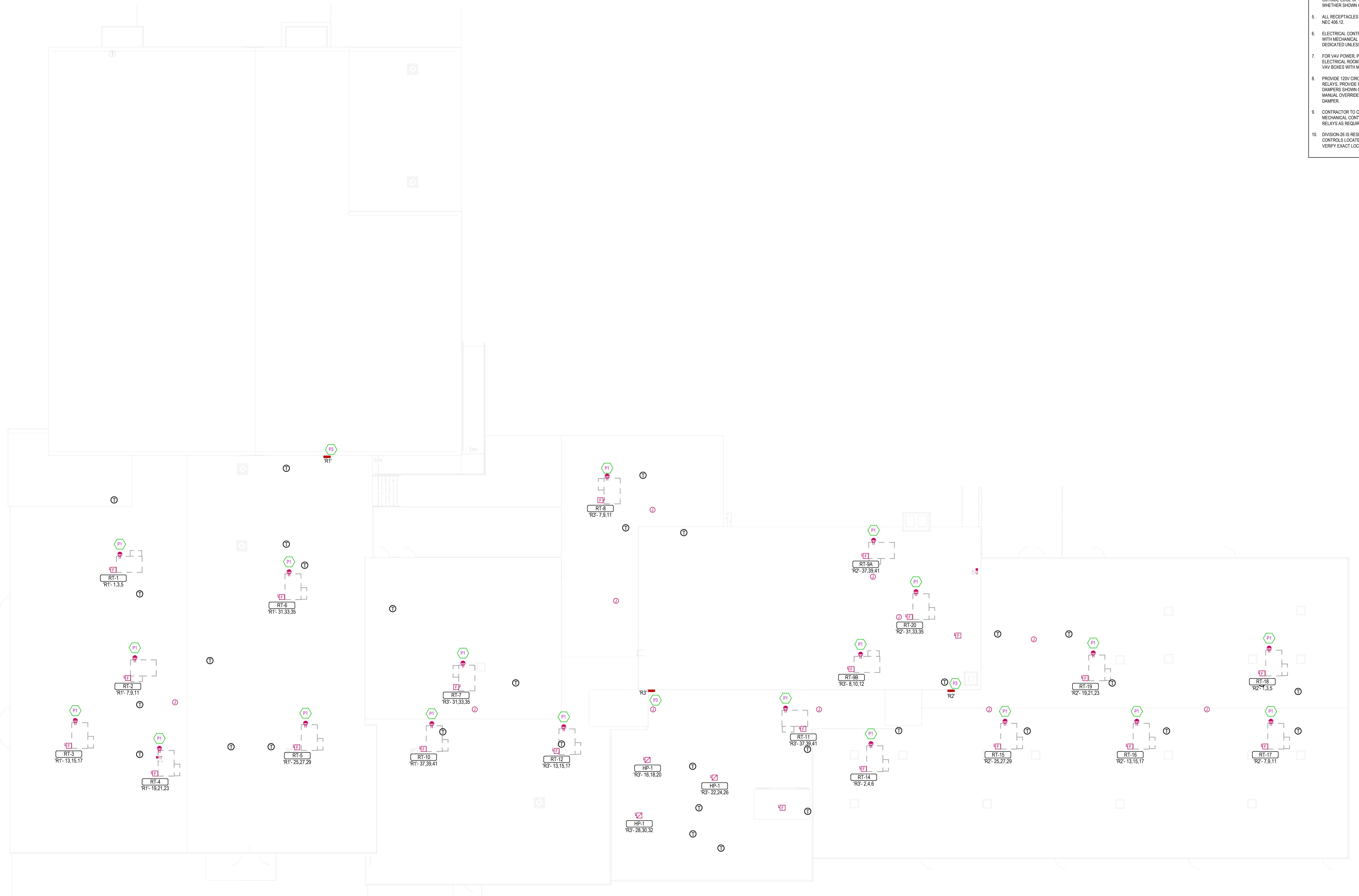
170 NORTH MAIN STREET  
SPANNISH FORK, UTAH 84660

A large, bold, stylized logo consisting of the letters 'K', 'M', and 'W' in black and grey. To the left of the logo is a vertical black bar. Below the logo is a circular seal with a decorative border containing the text 'PROFESSIONAL ENGAGEMENTS'. Inside the seal, the name 'BRIAN HICKS' is written in a serif font, with 'No. 77090374292' and the date '01/15/23' printed below it. A handwritten signature 'Brian Hicks' is written across the bottom of the seal.

## REVISIONS:

THIS PRINT AND ALL INFORMATION HEREON IS THE PROPERTY OF KMA ARCHITECTS AND SHALL NOT BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

100

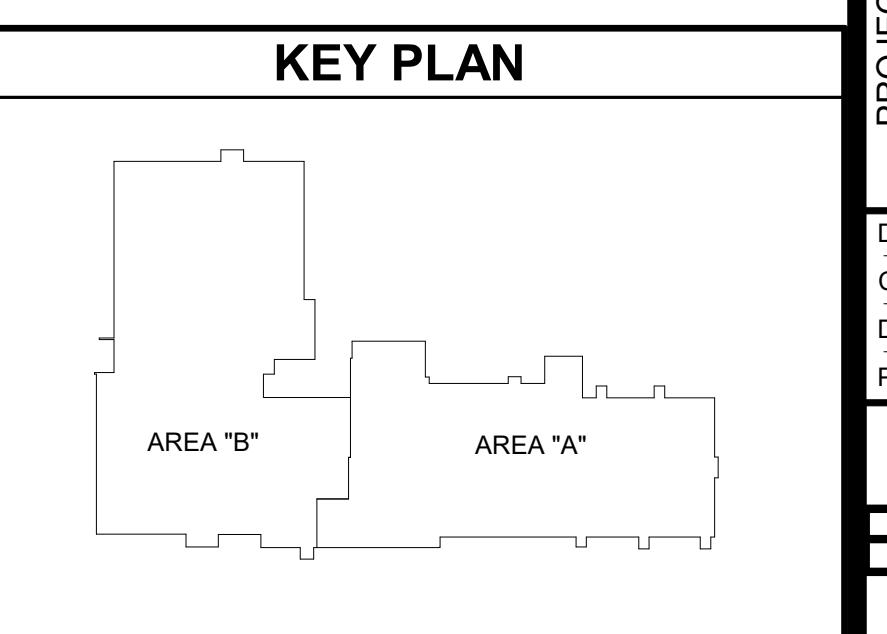




# OVERALL ROOF POWER PLAN

SCALE = 1" = 10'-0"

## KEY PLAN



PROJECT TITLE  
**COTTONWOOD ELEMENTARY SCHOOL**  
ST 200 SOUTH  
MECHANICAL UPGRADE  
EMERY SCHOOL DISTRICT  
ORANGEVILLE, UTAH

170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
[WWW.KMAARCHITECTS.COM](http://WWW.KMAARCHITECTS.COM)

**KMA**  
ARCHITECTS

A circular professional engineer seal. The outer ring contains the text "PROFESSIONAL ENGINEER" at the top and "STATE OF UTAH" at the bottom. The center of the seal contains the name "BRIAN HICKS" above the number "No. 7709037" and the date "01/15/2023". The seal is signed "Brian H. Hicks" across the center.

## REVISIONS.

---

MERRY SCHOOL DISTRICT  
OD ELEMENTARY SCHOOL  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH

# PROJECT TITLE

# COT

# EAST 200 SCD

DRAWN BY: MK  
CHECKED BY: ES  
DATE: JAN. 2026  
PROJECT #: 176525

EP114

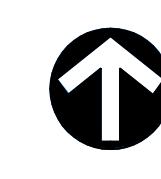
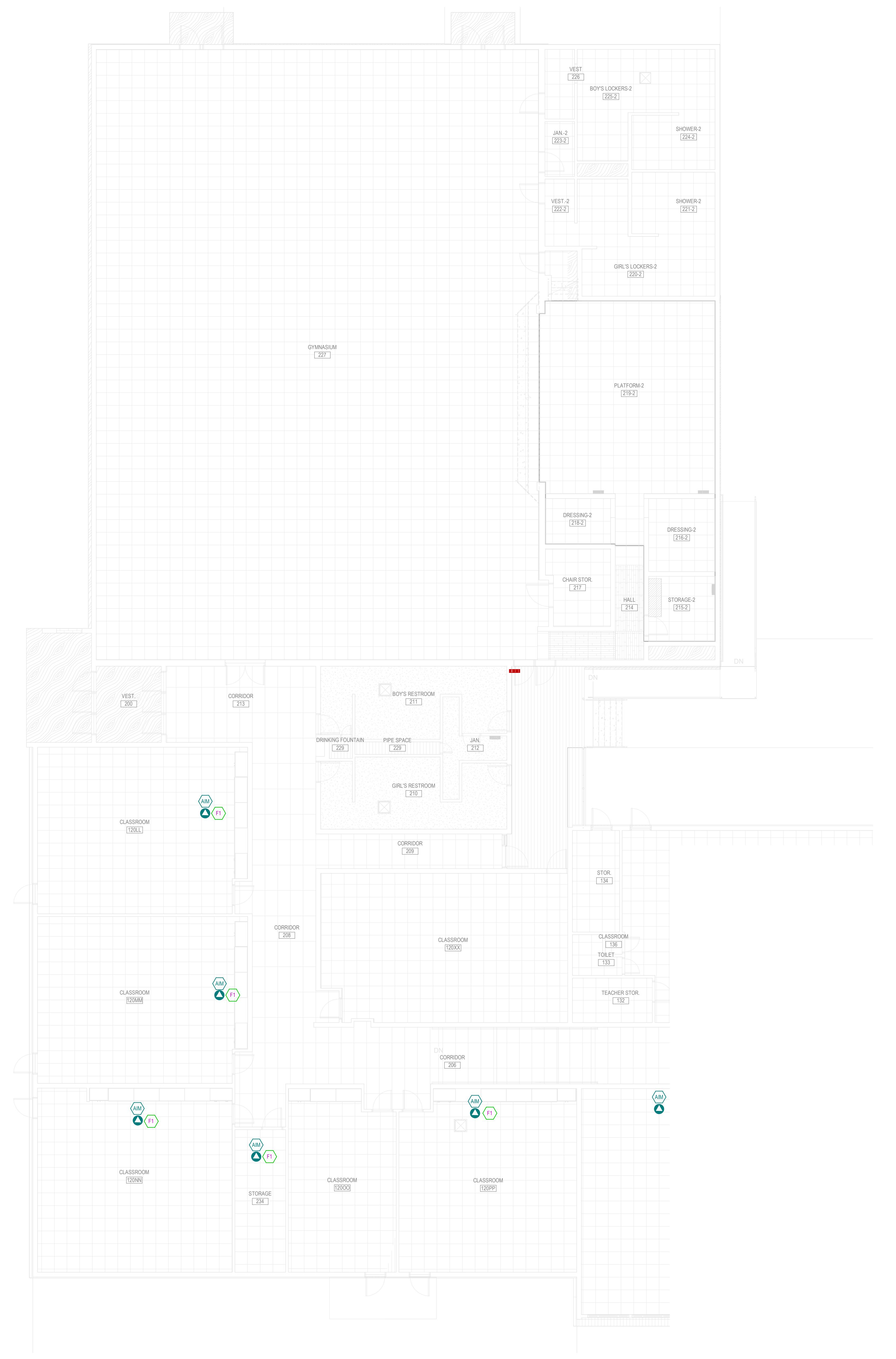


PANELBOARD SCHEDULE														
PANEL: 'R2'	TYPE: Do Not Use...	VOLTS: 208Y/120, 3Ø, 4W	PHASE: 3	WIRES: 4										
LOCATION: NEMA 3R	MAINBUS AMPS: 225					LUGS: Standard								
FED FROM: 'M'	MAIN DISC. TYPE: MLO					DOOR-IN-DOOR								
MOUNTING:	MAIN DISC. TRIP: MLO					20% NEUTRAL								
BUSING: Do Not Use; Use Current Rating	ISO GROUND					SPD								
BRANCH BREAKERS														
ITEM	AMPS	POLE	WIRE SIZE	CIR. NO.	A	B	C	A	B	C	WIRE SIZE	POLE	AMPS	ITEM
HEAT PUMP OUTDOOR UNIT HP-1	20 A	3	#10	3	1,441 VA	1,441 VA	2,498 VA	2,498 VA	4	#6	3	35 A		ROOF TOP UNIT RTU-14
				5		1,441 VA		2,498 VA	6					
				7	2,114 VA		2,498 VA		8					
				11		2,114 VA		2,498 VA	10					
				13	2,498 VA		1,658 VA		14	#8	1	20 A		EXHAUST FAN EF-3
				15		2,498 VA		1,441 VA	16					
				17		2,498 VA		1,441 VA	18	#10	3	20 A		HEAT PUMP HP-1
				19	2,652 VA		1,441 VA		20					
				21	2,652 VA		1,441 VA		22					
				23		2,652 VA		1,441 VA	24	#10	3	20 A		HEAT PUMP HP-1
				25	3,483 VA		1,441 VA		26					
				27		3,483 VA		1,441 VA	28					
				29		3,483 VA		1,441 VA	30	#10	3	20 A		HEAT PUMP HP-1
				31	2,498 VA		1,441 VA		32					
				33		2,498 VA			34					
				35		2,498 VA			36					
				37	2,114 VA				38					
				39		2,114 VA			40					
				41		2,114 VA			42					
2773 26117 26117 TOTAL (VA)										CONNECTED LOAD TOTAL				
2314 A 2176 A 2176 A AMPS/PHASE										80,007 VA				
AIC RATING: 32,000										AMPS RMS SYSM.				
NOTES:														

PANELBOARD SCHEDULE														
PANEL: 'R1'	TYPE: Do Not Use...	VOLTS: 208Y/120, 3Ø, 4W	PHASE: 3	WIRES: 4										
LOCATION: NEMA 3R	MAINBUS AMPS: 225					LUGS: Standard								
FED FROM: 'M'	MAIN DISC. TYPE: MLO					DOOR-IN-DOOR								
MOUNTING:	MAIN DISC. TRIP: MLO					20% NEUTRAL								
BUSING: Do Not Use; Use Current Rating	ISO GROUND					SPD								
BRANCH BREAKERS														
ITEM	AMPS	POLE	WIRE SIZE	CIR. NO.	A	B	C	A	B	C	WIRE SIZE	POLE	AMPS	ITEM
ROOF TOP UNIT RTU-1	40 A	3	#6	1	2,978 VA		500 VA	2	#10	1	20 A			ATC STORAGE 234
				5		2,978 VA		500 VA	6	#10	1	20 A		ATC COMPUTER LAB 120WW
				7	2,114 VA		721 VA	10	#10	3	20 A			AREA B CABINET UNIT HEATER CUH-2
				11		2,114 VA		721 VA	12					
				13	2,498 VA		2,162 VA	14						AREA B CABINET UNIT HEATER CUH-1
				15		2,498 VA		2,162 VA	16	#8	3	30 A		
				19	2,114 VA		721 VA	20						
				21		2,114 VA		721 VA	22	#10	3	20 A		AREA B CABINET UNIT HEATER CUH-2
				23		2,114 VA		721 VA	24					
				25	2,114 VA		721 VA	26						
				27		2,114 VA		721 VA	28	#10	3	20 A		AREA B CABINET UNIT HEATER CUH-2
				31	2,978 VA		696 VA	32	#10	1	20 A			AREA B EXHAUST FAN EF-1
				33		2,978 VA		2,306 VA	34					
				35			2,978 VA	36	#6	3	30 A			AREA B ELECTRIC UNIT HEATER EUH-2
				37	2,498 VA		2,306 VA	38						
				39			2,498 VA	40						
				41			2,498 VA	42						
2616 24422 24422 TOTAL (VA)										CONNECTED LOAD TOTAL				
209.3 A 203.5 A 203.5 A AMPS/PHASE										73,861 VA				
AIC RATING: 32,000										AMPS RMS SYSM.				
NOTES:														

PANELBOARD SCHEDULE									
PANEL: 'R1'	TYPE: Do Not Use...	VOLTS: 208Y/120, 3Ø, 4W	PHASE: 3	WIRES: 4					
LOCATION: NEMA 3R	MAINBUS AMPS: 225					LUGS: Standard			
FED FROM: 'M'	MAIN DISC. TYPE: MLO					DOOR-IN-DOOR			
MOUNTING:	MAIN DISC. TRIP: MLO					20% NEUTRAL	</td		





MAIN FLOOR SYSTEM PLAN AREA B

SCALE = 1/8" = 1'-0"

KEYNOTES	
F1	PROVIDE CONTROL MODULE WITH INTEGRATED DELAY FOR LOCAL CARBON MONOXIDE DETECTOR ACTIVATION. TIE TO LOCAL INITIATION LOOP. LOCATE CARBON MONOXIDE DETECTOR WITHIN THE FIRST ROOM SERVED BY THE DUCT.
1.	ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR WIRING ALL ITEMS SHOWN ON THE DRAWINGS, EXCEPT THOSE SPECIFICALLY LISTED ON SHEET E0.01, GENERAL ELECTRICAL NOTES.
2.	SEE FIRE ALARM ZONE SCHEDULE FOR INITIATING ZONES AND SIGNAL CIRCUITS.
3.	A MAXIMUM OF FOUR (4) INFORMATION OUTLET LOCATIONS PER CONDUIT HOME RUN TO MDF OR IF IT IS PERMITTED, CONDUIT SHALL BE SIZED AS FOLLOWS:
A.	ONE (1) INFORMATION OUTLET: 1/2" CONDUIT
B.	TWO (2) INFORMATION OUTLET LOCATIONS: 1 1/4" CONDUIT
C.	THREE (3) INFORMATION OUTLET LOCATIONS: 1 1/2" CONDUIT
4.	(SELECT AS APPLICABLE PER PROJECT REQUIREMENT) ALL COMMUNICATION CABLES SHALL BE INSTALLED IN CONDUIT, CABLE TRAY, OR SUPPORTED BY CABLE HOOKS. PROVIDE BURNT SILENT END CAPS FOR CABLES THAT ARE NOT SUPPORTED BY CABLE HOOKS OR WHERE DROPPED INTO CABLE TRAYS. PROVIDE CABLE HOOKS ABOVE ACCESSIBLE CEILINGS FOR CABLE INSTALLATION WHERE NOT INSTALLED IN CONDUIT OR CABLE TRAY.
5.	(ALTERNATE NOTE, IF APPLICABLE) ALL COMMUNICATION CABLES SHALL BE INSTALLED IN CONDUIT OR CABLE TRAY.

SYSTEMS SHEET NOTES	
1.	ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR WIRING ALL ITEMS SHOWN ON THE DRAWINGS, EXCEPT THOSE SPECIFICALLY LISTED ON SHEET E0.01, GENERAL ELECTRICAL NOTES.
2.	SEE FIRE ALARM ZONE SCHEDULE FOR INITIATING ZONES AND SIGNAL CIRCUITS.
3.	A MAXIMUM OF FOUR (4) INFORMATION OUTLET LOCATIONS PER CONDUIT HOME RUN TO MDF OR IF IT IS PERMITTED, CONDUIT SHALL BE SIZED AS FOLLOWS:
A.	ONE (1) INFORMATION OUTLET: 1/2" CONDUIT
B.	TWO (2) INFORMATION OUTLET LOCATIONS: 1 1/4" CONDUIT
C.	THREE (3) INFORMATION OUTLET LOCATIONS: 1 1/2" CONDUIT
4.	(SELECT AS APPLICABLE PER PROJECT REQUIREMENT) ALL COMMUNICATION CABLES SHALL BE INSTALLED IN CONDUIT, CABLE TRAY, OR SUPPORTED BY CABLE HOOKS. PROVIDE BURNT SILENT END CAPS FOR CABLES THAT ARE NOT SUPPORTED BY CABLE HOOKS OR WHERE DROPPED INTO CABLE TRAYS. PROVIDE CABLE HOOKS ABOVE ACCESSIBLE CEILINGS FOR CABLE INSTALLATION WHERE NOT INSTALLED IN CONDUIT OR CABLE TRAY.
5.	(ALTERNATE NOTE, IF APPLICABLE) ALL COMMUNICATION CABLES SHALL BE INSTALLED IN CONDUIT OR CABLE TRAY.

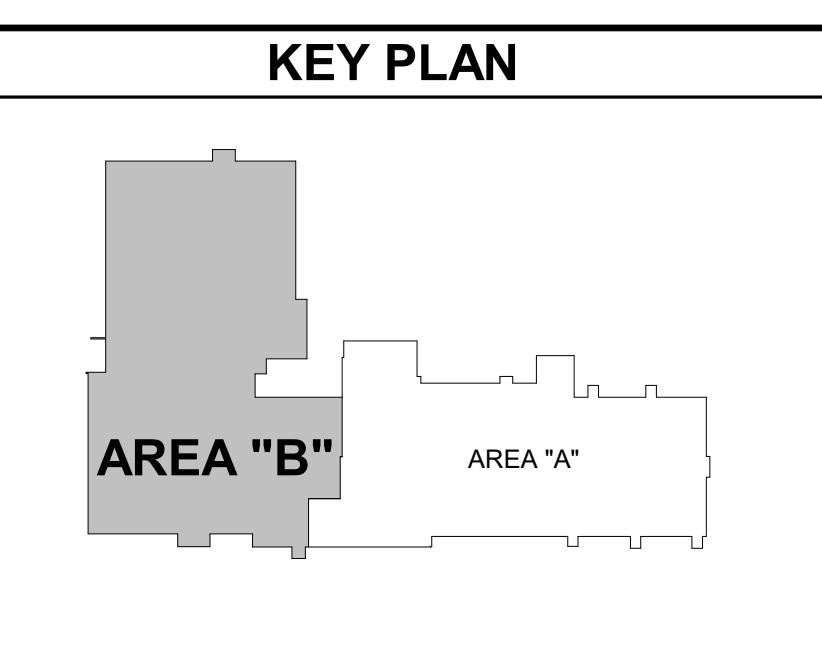
170 NORTH MAIN STREET  
SPANISH FORK, UTAH 84660  
www.kmaarchitects.com



REVISIONS:

PROJECT TITLE: COTTONWOOD ELEMENTARY SCHOOL  
EMERY SCHOOL DISTRICT  
MECHANICAL UPGRADE  
ORANGEVILLE, UTAH  
55 EAST 200 SOUTH

PROJECT TITLE



DRAWN BY: MK  
CHECKED BY: ES  
DATE: JAN. 2026  
PROJECT #: 176525

ES113