

This item has been digitally signed by Derek Bergener on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

May 25, 2022

DR Horton
10541 Six Mile Cypress Parkway
Fort Myers, FL 33966

RE: AUTHORIZATION LETTER FOR MASTER PERMIT 20220103197
Model: Twin Villa 1503 F
Subdivision: Preserve at Babcock Ranch, Lot 2100
43985 Blue Heron Lane, Punta Gorda, Florida 33982

This letter is to authorize DR Horton to obtain a building permit for the above referenced address and master permit number.

If you need any more information, please call me at 239-549-4554.

Sincerely,

Structural Engineer of Record
Derek Bergener, PE 58552



Community Development Department

18400 Murdock Circle, Port Charlotte, FL 33948
Building Phone: 941.743.1201 | Building Fax: 941.764.4907
Zoning Phone: 941.743.1964 | Zoning Fax: 941.743.1598
BuildingSvcs@CharlotteCountyFL.gov
www.CharlotteCountyFL.gov

For Office Use Only

Permit Number

20 _____

Application Date

CSR Initials _____

ONE AND TWO FAMILY DWELLING DATA SUMMARY SHEET

Florida Building Code 7th Edition (2020)

OWNER'S NAME: D R HORTON INC

CONTRACTOR'S NAME: D RHORTON INC

PROJECT ADDRESS: 43985 BLUE HERON LANE

PUNTA GORDA 33982

Number & Street

City, State, & Zipcode

Applicable Codes: Building, Mechanical, Plumbing, Accessibility, & Energy Codes - 7th Edition (2020) Florida Building Code, Residential Volume. Electrical Code - NFPA 70 & NEC 2017

Manufacturer's Product Approvals

Doors: SEE ATTACHED Overhead Doors: SEE ATTACHED Windows: SEE ATTACHED

Mitered Glass: SEE ATTACHED Roof Coverings: SEE ATTACHED

Soffit: SEE ATTACHED Siding: SEE ATTACHED

Protection of Openings:

Shutters: SEE ATTACHED

Method of Design per Florida Building Code (FBC) R301:

☒ Florida Building Code, 7th Ed (2020) ☐ ICC 600 ☐ Other: _____

Designer's Name: Structural Systems of N. florida Inc.

Design Data (Risk Category II):

Basic Wind Speed (Vult) 150 mph (Figure R301.2(4))

Nominal Design Wind Speed (Vasd) 116 m.p.h. Flood Design Data N/A Final Floor Elevation SEE SITE PLAN

Exposure Category Section (R301.2.1.4) ☐ B ☒ C ☐ D Soil Design Load-Bearing Value 2000 PSF

Structural Forces (Section R301.4 / 301.5 / 3601.6)

Floor Design: Live Load 40 p.s.f Dead Load Slab on grade p.s.f

Roof Design: Live Load 20 p.s.f Dead Load TC=20 BC=10 p.s.f Roof Slope 5:12

Window and Door Wind Pressure Design Loading:

Mean roof height 15 ft

Windows +33.5/-44.8 p.s.f Doors +33.5/-44.8 p.s.f Garage Doors +29.4/-33.3 p.s.f

Components and Cladding Design Pressures:

Zone 1: 24.9/-44.8 p.s.f Zone 2: +24.9/61.7 p.s.f Zone 3: +24.9/-61.7 p.s.f Zone 4: 33.5/-36.3 p.s.f Zone 5: 33.5/-44.8 p.s.f

Area Tabulation:

TOTAL (Sq. Ft): 2,057

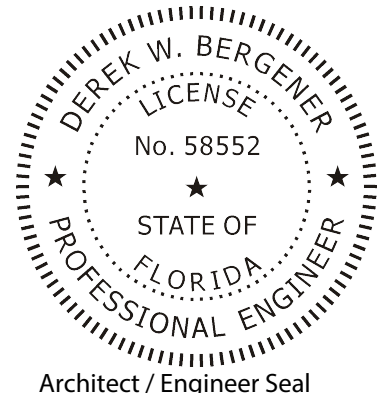
Living (Sq. Ft.) 1,503 Garage (Sq. Ft.) 391 Lanai (Sq. Ft.) 143

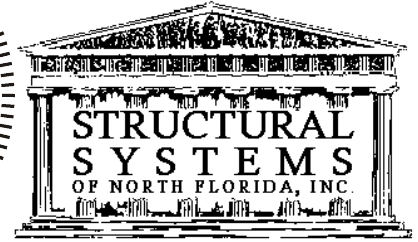
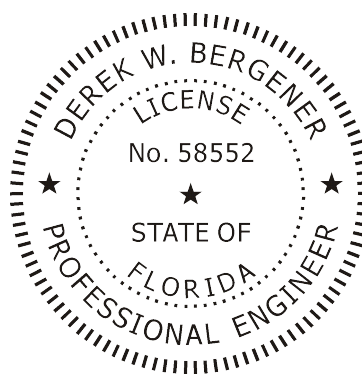
Entry (Sq. Ft.) 20 Storage (Sq. Ft.) Other (Sq. Ft.)

I certify to the best of my knowledge and belief that these plans and specifications have been designed to comply with the structural portion of the Building Code for wind, flood and gravity loads as amended and enforced by the permitting jurisdiction.

Signature: _____ Date: _____

Designer's Printed Name: _____





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May 25, 2022

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10541 Six Mile Cypress Parkway
Fort Myers, FL 33966

RE: AUTHORIZATION LETTER FOR MASTER PERMIT 20220103197
Model: Twin Villa 1503 F
Subdivision: Preserve at Babcock Ranch, Lot 2101
43991 Blue Heron Lane, Punta Gorda, Florida 33982

This letter is to authorize DR Horton to obtain a building permit for the above referenced address and master permit number.

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Permit Number

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Application Date

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Florida Building Code 7th Edition (2020)

OWNER'S NAME: D R HORTON INC

CONTRACTOR'S NAME: D RHORTON INC

PROJECT ADDRESS: 43991 BLUE HERON LANE

PUNTA GORDA 33982

Number & Street

City, State, & Zipcode

Applicable Codes: Building, Mechanical, Plumbing, Accessibility, & Energy Codes - 7th Edition (2020) Florida Building Code, Residential Volume. Electrical Code - NFPA 70 & NEC 2017

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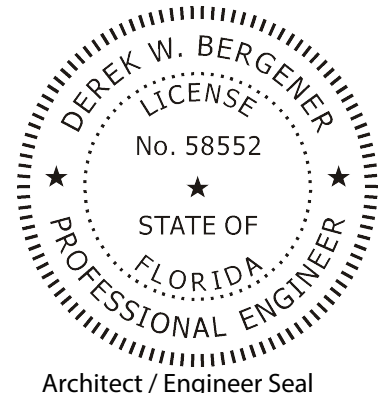
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Signature: _____ Date: _____

Designer's Printed Name: _____





Date Ordered: 05/24/22
Ordered By: WILT, BOBBI J

PLAN ORDER FORM

Buyer		
Lot Address	43985 BLUE HERON LANE PUNTA GORDA, FL 33982	
Subdivision Name	Preserve at Babcock Ranch	
Job Number	547730013	
Lot/Block	2100/	Phase
Legal Description		
JDE Plan/Elevation	1503 / F	Swing: *
JDE Plan Description	CARRINGTON	
Architect Plan Number		

Division Information
D.R. HORTON 10541 BEN C PRATT SIX MILE PKWY, STE 100 FORT MYERS FL 33966
Phone: (239)225-2600
Fax:

Selected Options: 06000001 Add Impact Windows ,Sliders

SPECIAL INSTRUCTIONS: SCOSTA

Digital and summary sheet



Date Ordered: 05/24/22
Ordered By: WILT, BOBBI J

PLAN ORDER FORM

Buyer		
Lot Address	43991 BLUE HERON LANE PUNTA GORDA, FL 33982	
Subdivision Name	Preserve at Babcock Ranch	
Job Number	547730014	
Lot/Block	2101/	Phase
Legal Description		
JDE Plan/Elevation	1503 / F	Swing: *
JDE Plan Description	CARRINGTON	
Architect Plan Number		

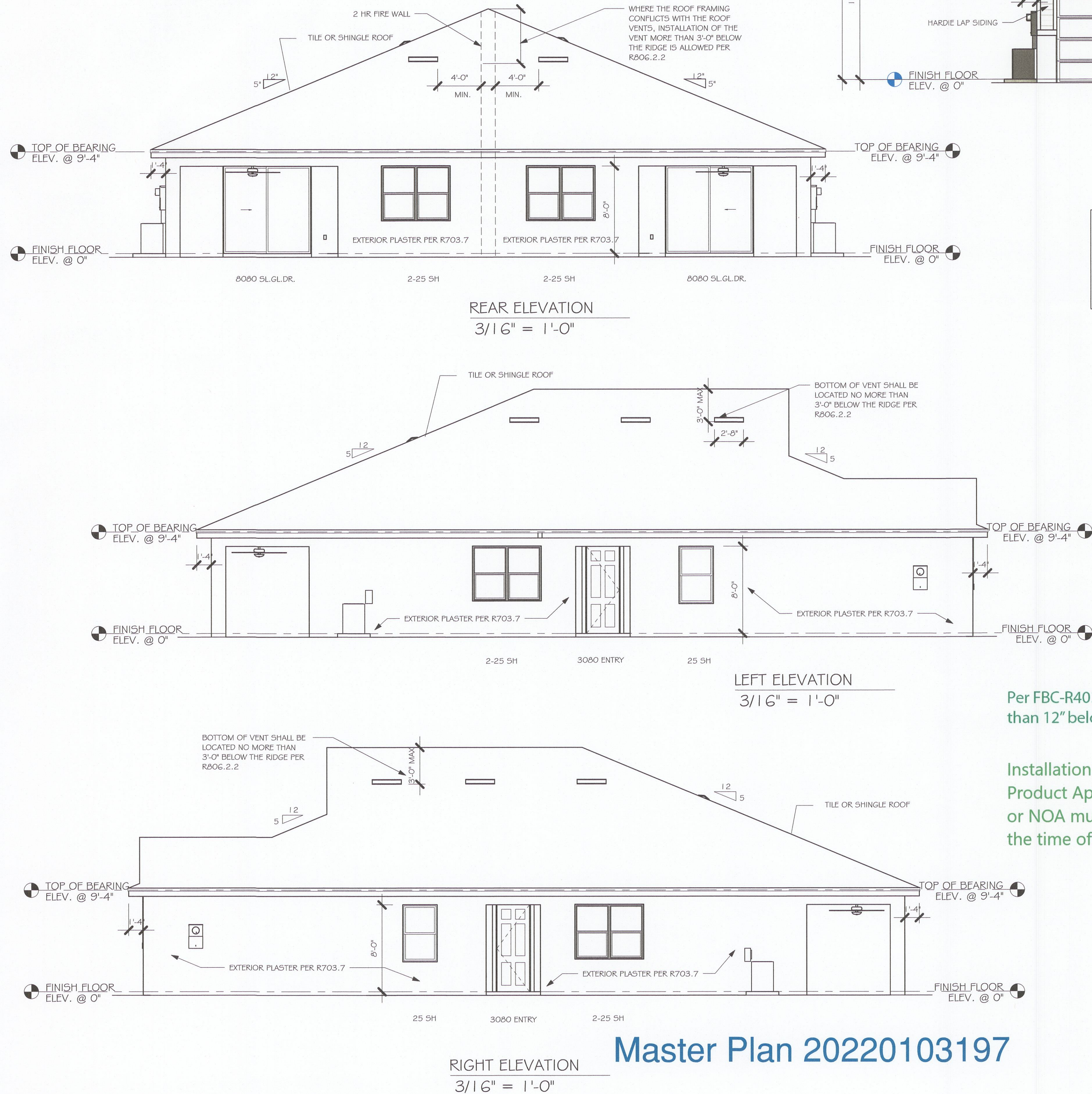
Division Information
D.R. HORTON 10541 BEN C PRATT SIX MILE PKWY, STE 100 FORT MYERS FL 33966
Phone: (239)225-2600
Fax:

2 of 2 DR Job 14360

Selected Options: 06000001 Add Impact Windows ,Sliders

SPECIAL INSTRUCTIONS: SCOSTA

L:\0-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON 2019\MODELS\MASTERED SET\191503 VILLA F 160 C MASTERED\REVIT\1903 VILLA F MASTERED.rvt



ALL ELECTRICAL SHALL COMPLY WITH N.E.C. AND CURRENT COUNTY AMENDMENTS

ALL MECHANICAL SHALL COMPLY WITH FLORIDA MECHANICAL CODE

ALL PLUMBING SHALL COMPLY WITH FLORIDA PLUMBING CODE

VAPOR BARRIER AND TERMITE TREATMENT REQUIRED

Per FBC-R403- Exterior footings shall extend no less than 12" below finish grade of ground surface.

Installation must comply with the applicable Product Approval or NOA. Product Approval or NOA must be available on the jobsite at the time of the inspection.

FLORIDA BUILDING CODE 7TH EDITION

OCCUPANCY: FBC 310.5 RESIDENTIAL GROUP R-3
CONSTRUCTION TYPE: V-B (FIRE RESISTANCE RATING 0 HOURS, NOT SPRINKLED)

CODES TO BE USED BY OTHER DESIGN PROFESSIONALS AND LICENSED CONTRACTORS:
2020 FLORIDA BUILDING CODE, 7TH EDITION; RESIDENTIAL; ACCESSIBILITY; ENERGY CONSERVATION;
PLUMBING; MECHANICAL; AND FUEL GAS.
ELECTRICAL IS CONTAINED BY REFERENCE WITHIN FBC RESIDENTIAL CHAPTER 34: NFPA 70-17 NATIONAL ELECTRICAL CODE.

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2020 - 7TH EDITION

REVIEWED FOR CODE COMPLIANCE

4/14/2022 20220103197

Digitally signed by Derek Bergener
This is a multi-page document
I performed structural engineering only on those pages which contain my seal, Derek Bergener, and company name Structural Systems.



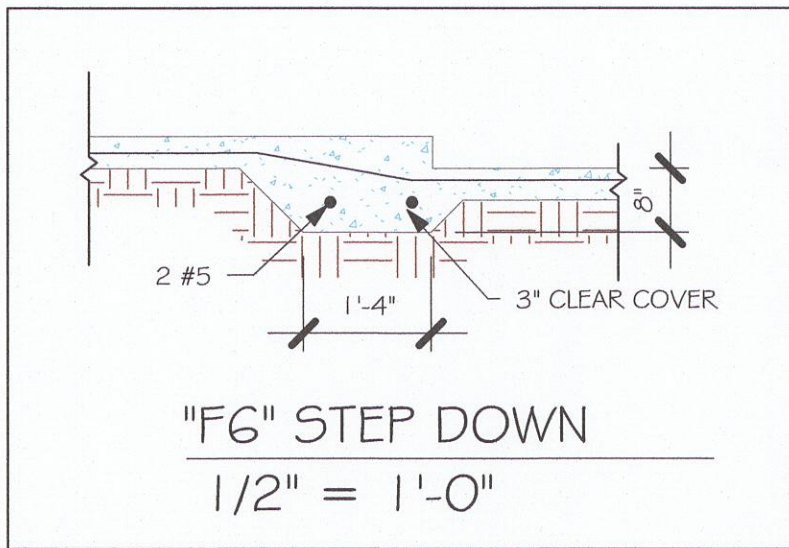
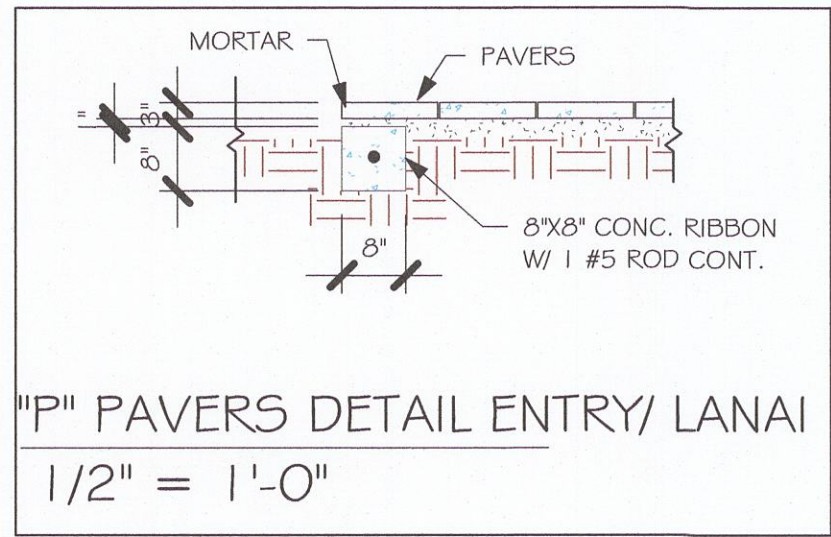
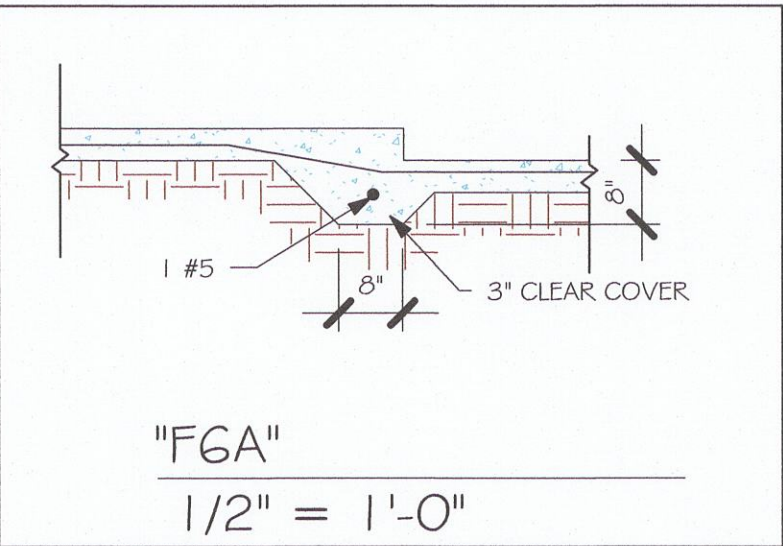
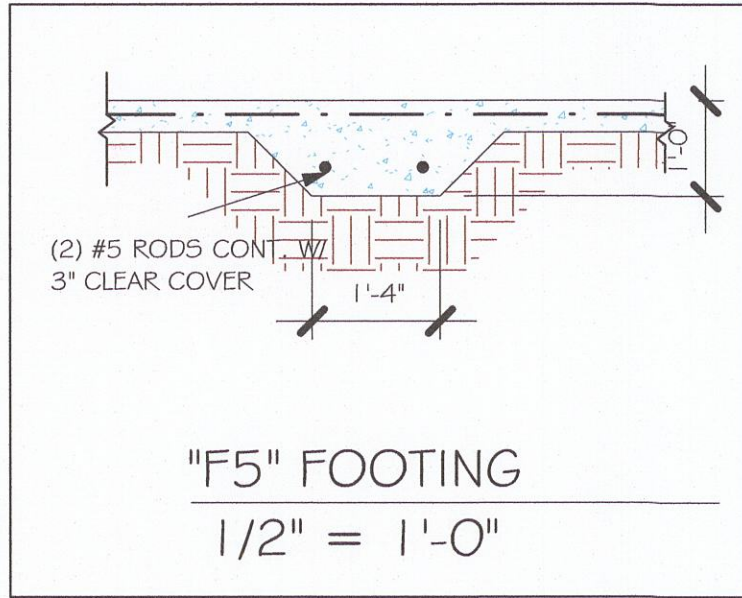
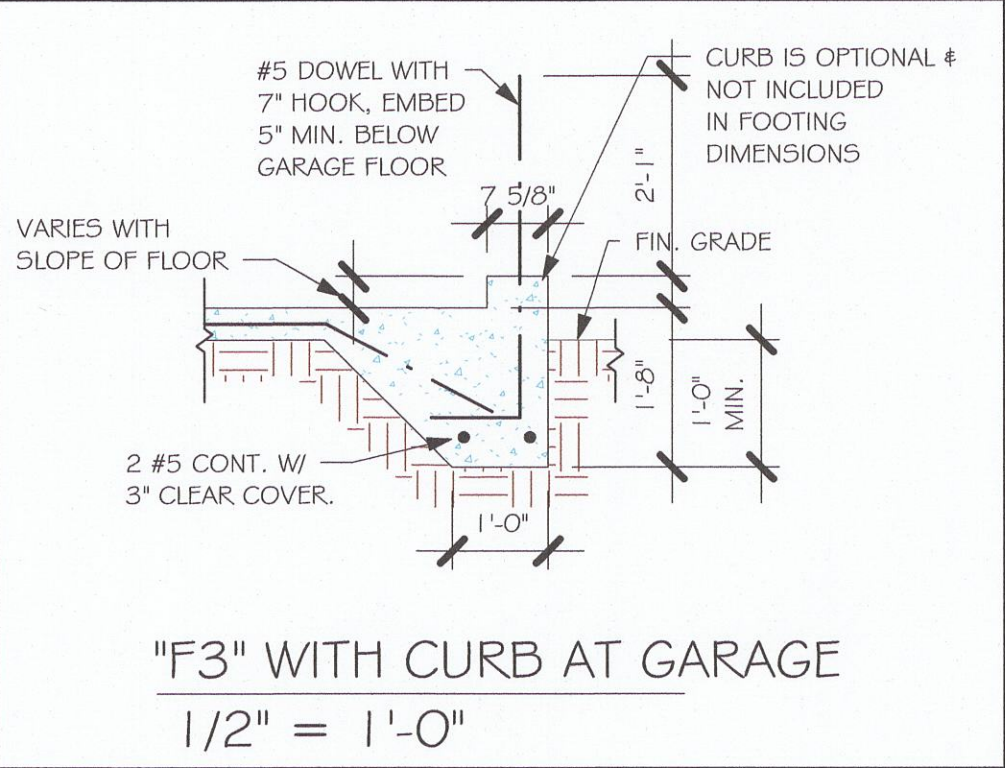
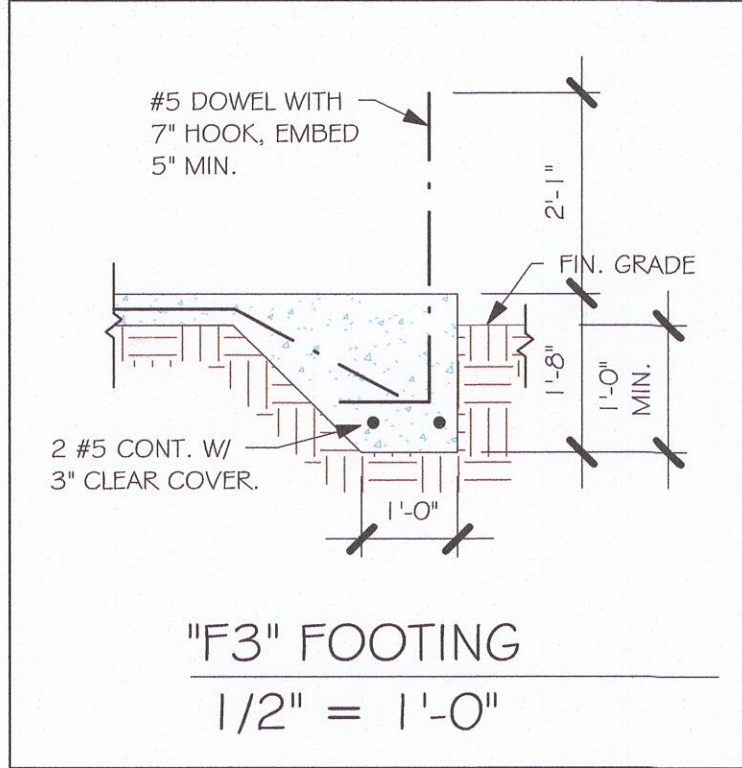
Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-1822
1515 SE 47th ST. CAPE CORAL, FL 33904



MASTERED
VILLA F CHARLOTTE COUNTY
160 MPH EXPOSURE C

DATE:	01/19/22
DRAWN BY:	
CHECKED BY:	JWC
REVISED:	
PLAN:	ELEVATION
SCALE:	As indicated
	A-1

L:\0-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON 2019\MODELS\MASTERED SET\1503 VILLA F 160 MPH\MASTERED\1503-VILLA F MASTERED.rvt



PAD FOOTING SCHEDULE						
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REIN'	REMARKS
	A	2'-6"	2'-6"	1'-0"	3-#5	3-#5
	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5
	C	3'-6"	3'-6"	1'-0"	4-#5	4-#5
	D	4'-0"	4'-0"	1'-2"	5-#5	5-#5
	E	5'-0"	5'-0"	1'-2"	6-#5	6-#5

WALL FOOTING SCHEDULE					
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING
	F1	CONT.	1'-4"	0'-8"	2-#5
	F2	CONT.	1'-8"	0'-10"	2-#5
	F3	CONT.	1'-0"	1'-8"	2-#5
	F4	CONT.	1'-4"	1'-8"	2-#5
	F5	CONT.	1'-4"	1'-0"	2-#5
	F6	CONT.	1'-4"	1'-0"	2-#5
	F6A	CONT.	0'-8"	0'-8"	1-#5
	TE	CONT.	0'-8"	0'-8"	1-#5

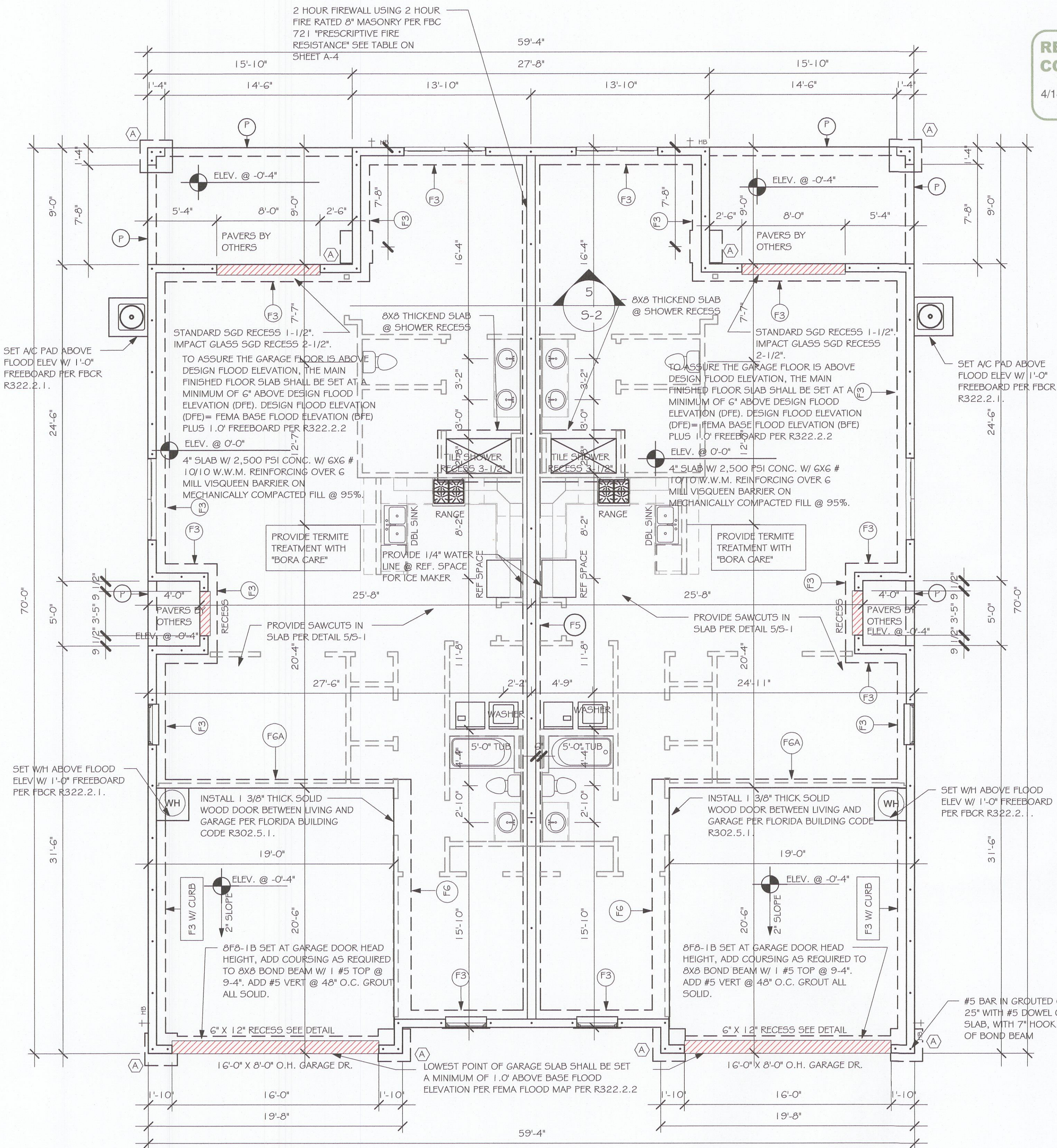
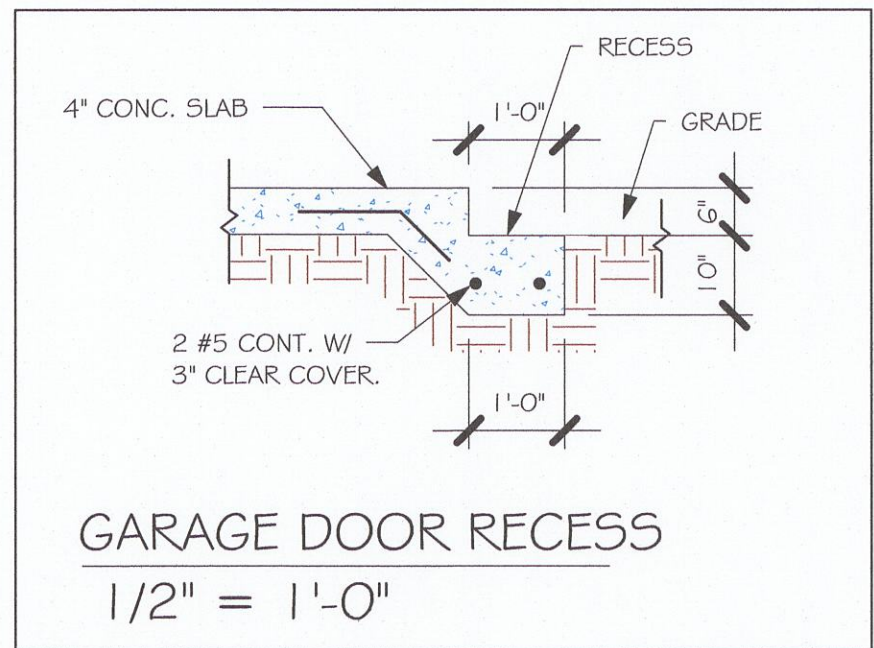
PROVIDE CORNER BARS IN FOOTING PER DETAIL 6/5-1

FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

PLAN NOTES:

- TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0"
- "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
- "P" DENOTES PAD FOOTING AT CONCENTRATED LOADS PER SCHEDULE THIS SHEET.
- PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
- FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/DOOR SUPPLIER.
- PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/8-1.



FOUNDATION PLAN

3/16" = 1'-0"

Master Plan 20220103197

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2020 - 7TH EDITION

REVIEWED FOR CODE COMPLIANCE

4/14/2022 20220103197

Gulf Coast Drafting & Design, Inc. EMAIL: PLANS@GULFCOASTDRAFTING.COM PHONE: 239-540-1822 1515 SE 47th ST. CAPE CORAL, FL 33904

STRUCTURAL SYSTEMS OF NORTH FLORIDA LICENSE NO. 58552 STATE OF FLORIDA PROFESSIONAL ENGINEER

MASTERED VILLA F CHARLOTTE COUNTY 160 MPH EXPOSURE C

DATE: 01/19/22

DRAWN BY:

CHECKED BY: JWC

REVISED:

PLAN: FOUNDATION

SCALE: As indicated

A-2

L:\0-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON 2019\MODELS\MASTERED SET\1503 VILLA F 160 MPH EXPOSURE UNIT 1503 VILLA F MASTERED.rvt

DOOR SCHEDULE							
TYPE MARK	DESCRIPTION	COMMENTS	HEIGHT	WIDTH	ZONE 4	ZONE 5	QTY
1	16080 OHGD	GARAGE DOOR	8'-0"	16'-0"	+28.2/-31.5	+28.2/-31.5	2
2	2-4080 SL. GL. DR.	DISTINCTION	8'-0"	8'-0"	+29.4/-33.3	+29.4/-33.3	2
3	3080 ENTRY	DISTINCTION	8'-0"	3'-0"	+33.5/-36.3	+33.5/-44.8	2

WINDOW SCHEDULE							
MARK	DESCRIPTION	COMMENTS	HEIGHT	WIDTH	ZONE 4	ZONE 5	QTY
A	25 SH		5'-5"	3'-4"	+33.5/-36.3	+33.5/-44.8	4
B	2-25 SH		5'-3"	6'-4"	+33.5/-36.3	+33.5/-44.8	4

WIND PRESSURES PER ASCE7-16 160 MPH, EXPOSURE C AND CONVERTED TO ALLOWABLE STRESS DESIGN PRESSURES USING 0.6W LOAD FACTOR. Vasd= 124 MPH

DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	96 1/2" A.F.F.

- PLAN NOTES
- 1)

VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
- 2)

PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
- 3)

PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
- 4)

NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
- 5)

PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
- 6)

KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.
- 7)

INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS
- 8)

WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. R702.3.5
- 9)

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
- 10)

INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.5.1.
- 11)

ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R312.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PREVENTION DEVICE
- 12)

ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.
- 13)

ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE INSTALLED AT OR ABOVE FLOOD PLUS 1'-0" FREEBOARD.

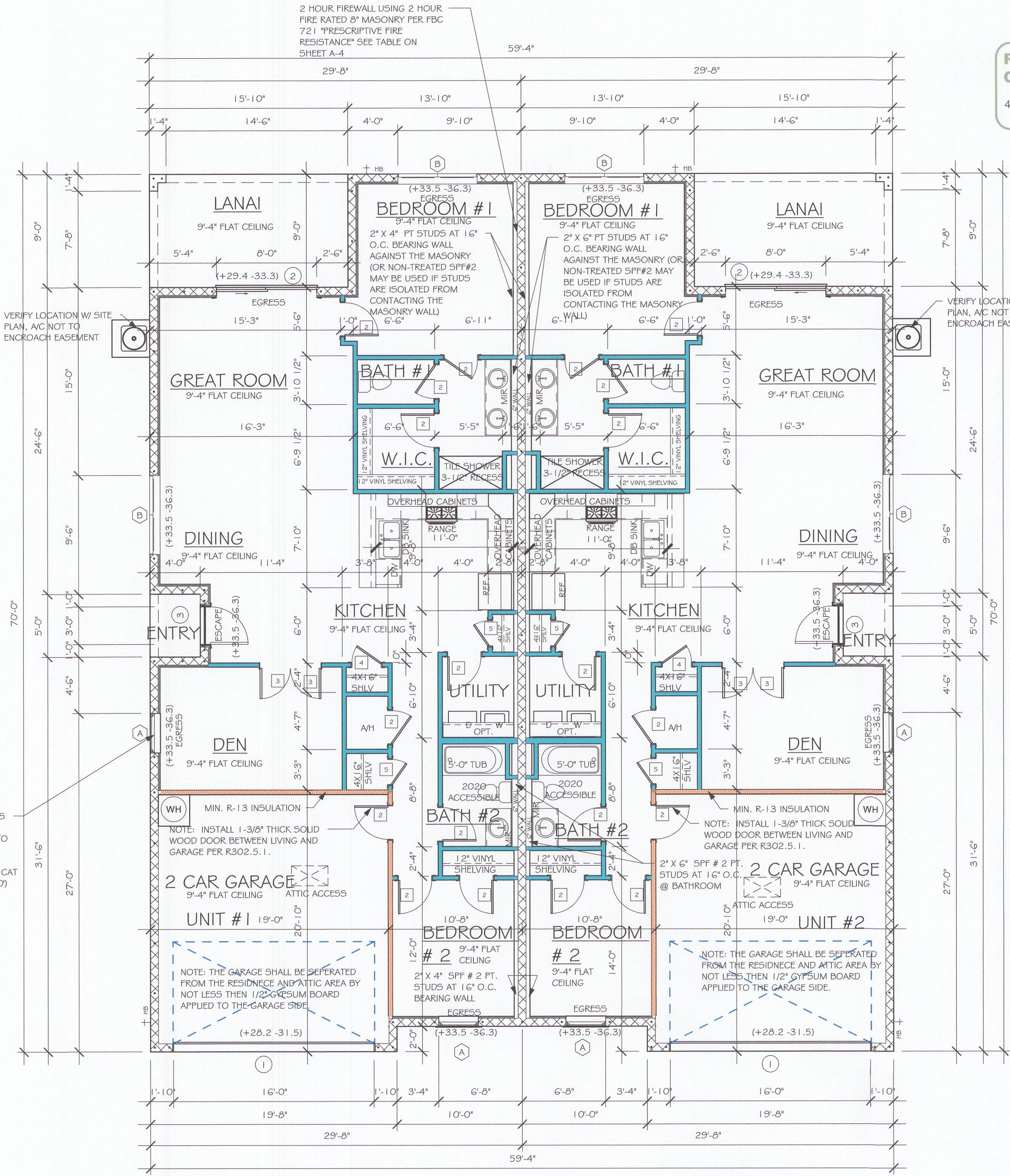
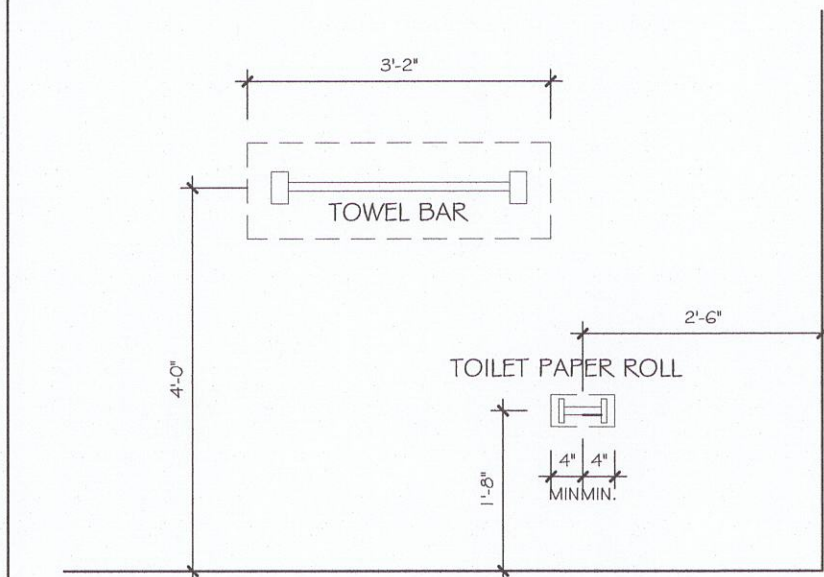
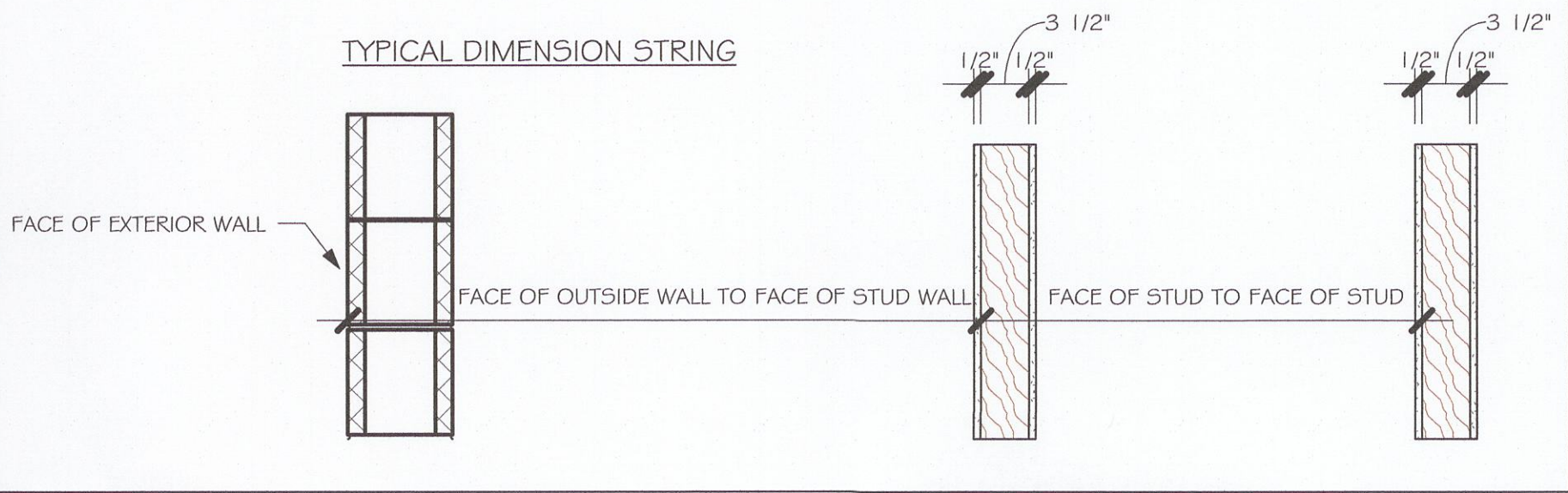
INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	B.F. = BI-FOLD DOOR
3	2'-6"	
4	2'-4"	B.P. = BI-PASS DOOR
5	2'-0"	
6	1'-8"	L.V. = LOUVERED DOOR
7	1'-6"	
8	2'-1 1/4"	

SQUARE FOOTAGE UNIT #1	
LIVING AREA	1,503
GARAGE AREA	391
LANAI AREA	143
FRONT PORCH/ ENTRY AREA	20
TOTAL SQUARE FOOTAGE	2,057

SQUARE FOOTAGE UNIT #2	
LIVING AREA	1,503
GARAGE AREA	391
LANAI AREA	143
FRONT PORCH/ ENTRY AREA	20
TOTAL SQUARE FOOTAGE	2,057

CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE

BATHROOM NOTES	
TB TOWEL BAR	ALL TUB DECKS @ 21" A.F.F
TP TOILET PAPER	ALL BLOCKING TO BE PT IN SHOWERS



FLOOR PLAN
3/16" = 1'-0"

Master Plan 20220103197

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2020 - 7TH EDITION

REVIEWED FOR CODE COMPLIANCE

4/14/2022 20220103197

Gulf Coast Drafting & Design, Inc. EMAIL: PLANS@GULFCOASTDRAFTING.COM PHONE: 239-540-1822 1515 SE 47th ST. CAPE CORAL, FL 33904

STRUCTURAL SYSTEMS OF NORTH FLORIDA ENGINEER No. 58552 STATE OF FLORIDA PROFESSIONAL SEAL

MASTERED VILLA F CHARLOTTE COUNTY 160 MPH EXPOSURE C

DATE: 01/19/22 DRAWN BY: CHECKED BY: JWC REVISED: PLAN: FLOOR SCALE: As indicated

A-3

NOTES:

1. PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP ON CENTERLINE OF WALL.
2. ANY OF THE VALID LENGTHS SHOWN MAY BE USED IN PLACE OF THE LENGTH SPECIFIED ON PLAN.
3. CONNECTORS ARE SIMPSON STRONG TIE. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SIMPSON PRINTED INSTRUCTIONS. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.
4. WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL RETROFIT STRAP PER 10Q5-3, PER UPLIFT IN TRUSS ENGINEERING.

SIMPSON CATALOG C-C- 2019 A

Diagram illustrating the Bevelled Blocking assembly:

- ROOF SHEATHING
- Ød RING SHANK @ 6" O.C.
- 1Ød NAIL @ 6" O.C.
- 2" X () BLOCKING W/ BEVEL CUT TOP
- ROOF TRUSS

BEVELLED BLOCKING

$$1/2" = 1'-0"$$

2 HOUR FIREWALL USING 2" MASONRY PER FBC 721 "PRESCRIPTIVE FIRE RESISTANCE"				
F.B.C. TABLE 722.3.2				
MINIMUM EQUIVALENT THICKNESS ¹ (IN) BEARING OR NON-BEARING CONCRETE MASONRY WALLS		FIRE - RESISTANCE RATING (HOURS)		
TYPE OF AGGREGATE				
		2	HR	
1. PUMICE OR EXPANDED SLAG			3.2"	
2. EXPANDED SHALE, CLAY OR SLATE			3.6"	
3. LIMESTONE, CINDERS, OR UNEXPANDED SLAG			4.0"	
4. CALCAREOUS OR SILICEOUS GRAVEL			4.2"	

FOR THE 2 HOUR FIREWALL, PURCHASE ONLY BLOCK WITH 2 HOUR FIRE
RATED MARKING, LABEL OR DOCUMENTATION.

FIRE RESISTANCE RATINGS - ANSI/UL 263 (XVU)

Design No. U301

Bearing Wall Rating
2 HR.

Finish Rating
66 Min.

1. Nailheads - Exposed or covered with joint finisher.
2. Joints - Exposed or covered with filler tape and joint finisher. As an alternate, nominal 1/32 in. thick, gypsum board plaster should be applied to the entire surface of Classified veneer baseboard, joints reinforced.
3. Nails - 6d cement coated nails 1-7/8 in. long, 0.015 in. shank diam. 1/4 in. diam. heads, and 5d cement coated nails 2-3/8 in. long, 0.113 in. shank diam. 9/32 in. diam. heads.
4. Gypsum Board - 5/8 in. thick, two layers applied either horizontally or vertically, inner layer attached to studs with the 1-7/8 in. nails spaced 6" o.c. Outer layer attached to studs over inner layer with the 2-3/8 in. long nails spaced 8" o.c. Vertical joints located over studs. All joints in layers staggered with joints in base layers. Joints of each base layer offset with joints of base layer on opposite side. When used in widths other than 48 in., gypsum board to be installed horizontally. When Steel Framing Members (Item 5) are used, base layer attached to furring channels with 1 in. long Type S 3/8" long steel screws spaced max. 24 in. o.c.; face layer attached with 1-3/8 in. long Type S 3/8" long steel screws spaced max. 12 in. o.c.

AMERICAN GYPSUM CO. - Types AG-C, AGX-11, AGX-C.

BEIJING NEW BUILDING MATERIALS CO. LTD. - Type DBX-1.

CERTANTITEED GYPSUM, INC. - Types 1, FRPC, EGRC, ProRoC Type C or ProRoC Type X.

CERTANTITEED GYPSUM CANADA, INC. - ProRoC Type C, ProRoC Type X, ProRoC Type Abuse-Resistant.

CANADIAN GYPSUM COMPANY - Types AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, WRC, WRX.

G-P GYPSUM CORP. SUB OF

GEORGIA-PACIFIC CORP. - Types S, Q, C, DAP, DM, DA, DGO, DS, GPX-58,

LAFARE NORTH AMERICA INC. - Types LGFC-C, LGFC2, LGFC2A, LGFC8, LGFC9A, LGFC-CA.

NATIONAL GYPSUM CO. - Types FSX, FSX-C, FSX-G, FSW, FSW-3, FSW-C, FSW-G.

PACCO GYPSUM, DIV OF

PACIFIC COAST BUILDING PRODUCTS INC. - Types C, PG-2, PG-3, PG-3W, PG-4, PG-5, PG-5W, PG-5WS, PG-9 or PG-C.

TEMPLE-INLAND FOREST PRODUCTS CORP. - Type TG-C.

SIAM GYPSUM INDUSTRY (SARABURU) CO. LTD. - Type EX-1.

STANDARD GYPSUM I. L. C. - Types SGC, SG-C or SG-G.

UNITED STATES GYPSUM CO. - Types AR, C, FDX-C, IP-AR, IP-X1, IP-X2,

IP-AR, SCX, SHX, WRC, WRX.

USG MEXICO S A DE C V - Types AR, C, IP-AR, IP-X1, IP-X2, IP-AR, SCX, SHX, WRC, WRX.

4A. Gypsum Board* - (As an alternate to Item 4) - Nom. 3/4 in. thick, installed as described in Item 4.

CANADIAN GYPSUM COMPANY - Types AR, IP-AR.

UNITED STATES GYPSUM CO. - Types AR, IP-AR.

USG MEXICO S A DE C V - Types AR, IP-AR.

4B. Gypsum Board* - (As an alternate to Items 4 and 4A) - 5/8 in. thick, 2 ft. wide, tongue and groove edge, applied horizontally as the outer layer to one side of the assembly. Secured as described in Item 4. Joint covering (Item 2) not required.

CANADIAN GYPSUM COMPANY - Types SHX.

UNITED STATES GYPSUM CO. - Types SHX.

USG MEXICO S A DE C V - Types SHX.

5. Molded Plaster* - Not shown. Optional - Solid vinyl siding mechanically secured over the outer layer to framing members in accordance with manufacturer's recommended installation details.

ASSOCIATED MATERIALS INC.

ALSIDIE, DIV OF

GENTEK BUILDING PRODUCTS LTD

HEARTLAND BUILDING PRODUCTS INC

VYTEC CORP.

NEBRASKA PLASTICS INC

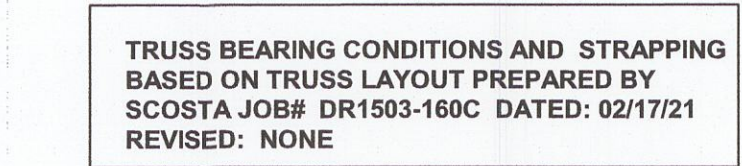
6. Steel Framing Members* - (Optional. Not shown)* - Furring channels and resilient sound isolation clip as described below:

- A. Furring Channels - Formed of No. 25 MSG galv. steel - 2-3/8 in. wide by 7/8 in. deep, spaced 24 in. o.c. perpendicular to studs. Channels secured to studs as described in Item 8. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv. steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 8 in. and secured together with two self-tapping #6 framing screws, min. 7/16 in. long at the midpoint of the overlap, with one screw on each flange of each channel. Wallboard attached to furring channels as described in Item 4.

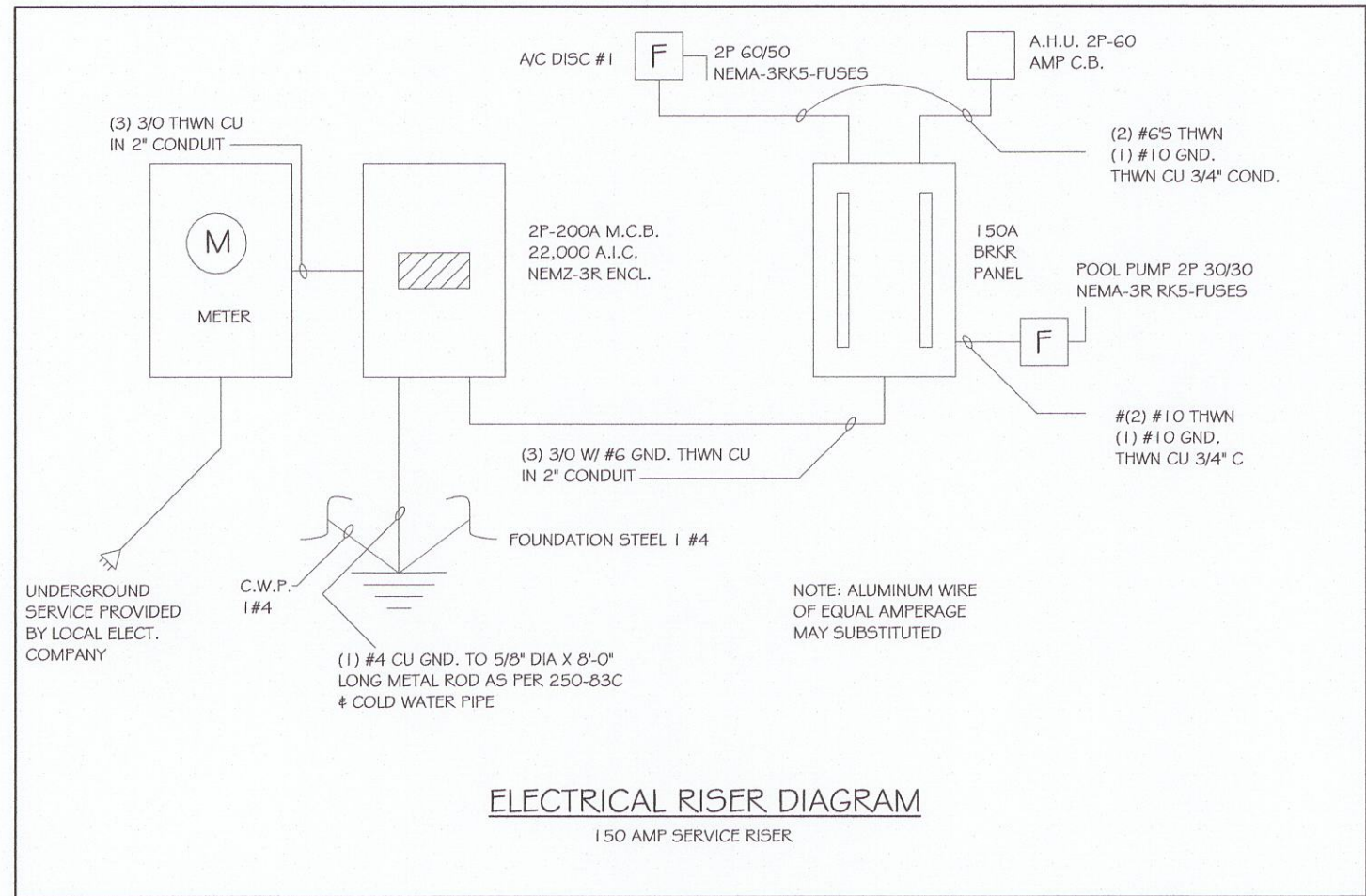
- B. Steel Framing Members* - Resilient sound isolation clip used to attach furring channels (Item 6A) to studs. Clips spaced 48 in. o.c. and secured to studs with No. 8 x 1-1/2 in. coarse drywall screw through the center grommet. Furring channels are friction fitted into clips.

PAC INTERNATIONAL INC. - Type RSIC-1.

*Bearing the UL Classification Mark



ELECTRICAL LEGEND	
	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE AT ELEV. A.F.F.
	DUPLEX RECEPTACLE - ABOVE COUNTER
	SINGLE POLE SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	MOTION SENSOR SWITCH
	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES. PER RULE 9B-3.04.72 SD (SMOKE DETECTOR) SCD (CARBON MONOXIDE/ SMOKE DETECTOR)
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	FLUSH MOUNTED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	A/C DISCONNECT
	PUSH BUTTON (PB) / DOOR BELL (DB)
	INTERCOM
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT
NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.	
ELECTRICAL NOTES:	
ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER RESISTANT RECEPTACLES SHALL BE INSTALLED IN DWELLING UNITS PER N.E.C 210.12 AND 406.11	
ALL ELECTRIC, ELECTRICAL EQUIPMENT AND APPLIANCES TO BE SET AT OR ABOVE BASE FLOOD ELEVATION PLUS 1'-0" FREEBOARD.	
ALL OUTLETS IN WET AREAS AND ALL EXTERIOR OUTLETS TO BE GFI'S.	
INSTALL PHONE AND T.V. PER CONTRACT.	
INSTALL ALL ELECTRICAL PER NEC 2017	



AIR CONDITIONING COORDINATION REQUIRED. PRIOR TO ORDERING ROOF TRUSSES, THE CONTRACTOR SHALL WORK WITH THE AIR CONDITIONING SUB CONTRACTOR TO DESIGN/PLAN AND LAYOUT THE LOCATION OF AIR HANDLING EQUIPMENT, AIR DUCT SIZE AND LOCATION AND COORDINATE THAT DESIGN WITH THE TRUSSES FOR SPACE, CONNECTIVITY, AND POSITION REQUIREMENTS. THE CONTRACTOR MUST ADVISE THE TRUSS COMPANY PRIOR TO ANY CONSTRUCTION OF TRUSSES OF THE AIR CONDITIONING/HANDLING EQUIPMENT'S SIZE AND WEIGHT AND DUCT LAYOUT CONCERNS OR REQUIREMENTS THAT MAY HAVE THE POTENTIAL TO CHANGE OR MODIFY THE TRUSSES TO ACCOMMODATE THE SAME. THE CONTRACTOR SHALL COORDINATE CONDENSATION DISCHARGE LINE LOCATION, AND ELECTRICAL SERVICE TO AIR EQUIPMENT, AND PROVIDE ANY LOCAL DISCONNECTS, LIGHTS AND SERVICE PLATFORMS THAT MAY BE REQUIRED.

ELECTRICAL NOTES FOR FIRE RATED WALLS

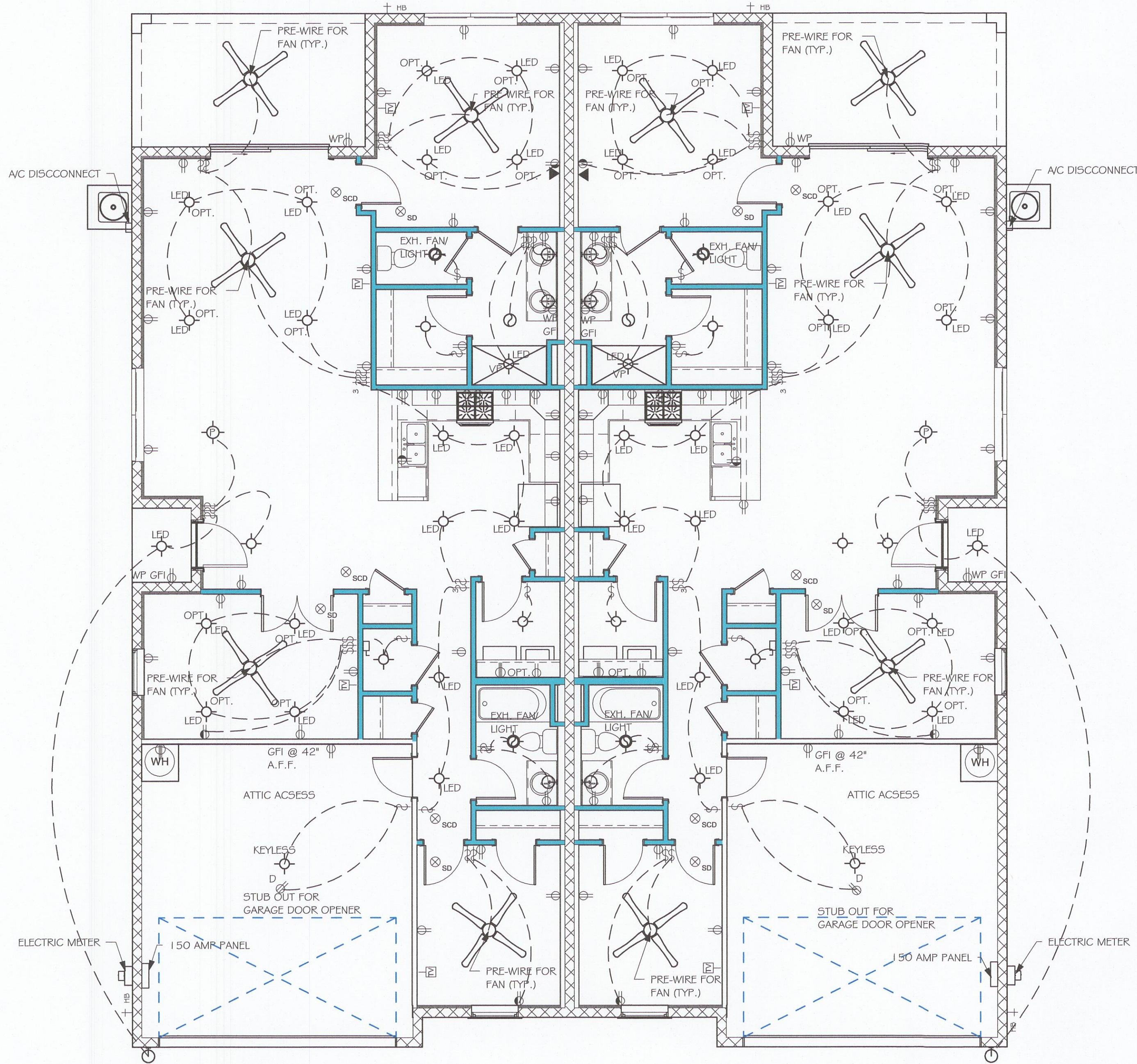
ELECTRICAL OUTLETS PLACED IN FIRE RATED WALLS SHALL BE IN CONFORMANCE WITH THE UNDERWRITERS LABORATORIES, INC., FIRE RESISTANCE DIRECTORY, CURRENT EDITION. THESE REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING SPECIFIC ITEMS:

A) INDIVIDUAL OUTLET/SWITCH BOXES SHALL NOT EXCEED (16) SQUARE INCHES IN AREA.

B) AGGREGATE AREA OF OUTLET/SWITCH BOXES SHALL NOT EXCEED (100) SQUARE INCHES WITHIN (100) SQUARE FEET OF WALL AREA.

C) OUTLET/SWITCH BOXES LOCATED ON OPPOSITE SIDE OF THE SAME WALL SHALL BE SEPERATED BY A MINIMUM OF (24) INCHES.

D) ALL OUTLET/SWITCH BOXES SHALL BE SECURELY ATTACHED TO THE STUDS AND THE OPENING IN THE WALL BOARD FACING SHALL BE CUT SO THAT THE CLEARANCE BETWEEN THE BOX AND THE WALLBOARD DOES NOT EXCEED 1/8 INCH.



ELECTRICAL PLAN
3/16" = 1'-0"

Master Plan 20220103197

REVIEWED FOR CODE COMPLIANCE

4/14/2022 20220103197



Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-8222
1515 SE 47th ST. CAPE CORAL, FL 33904

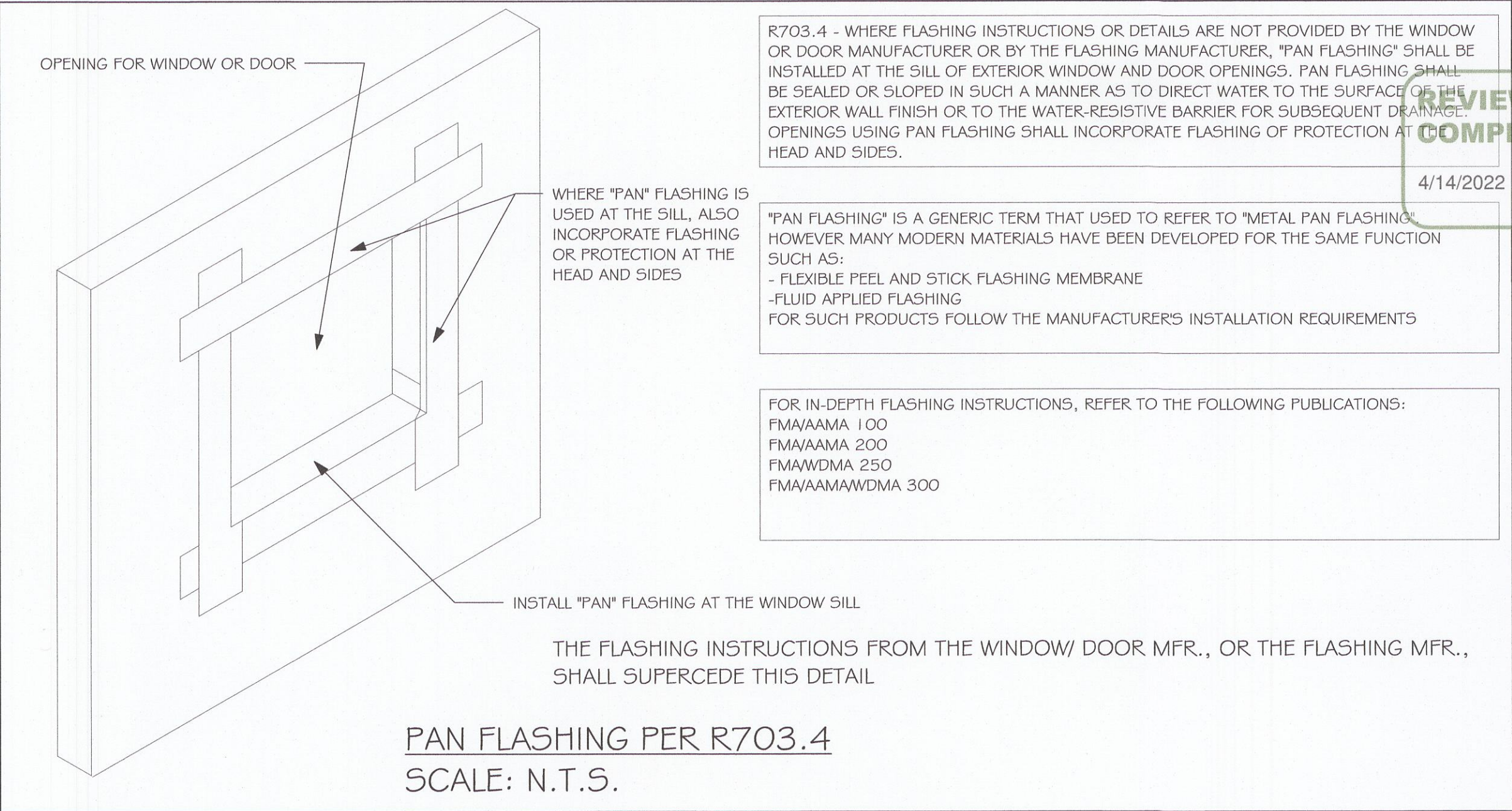
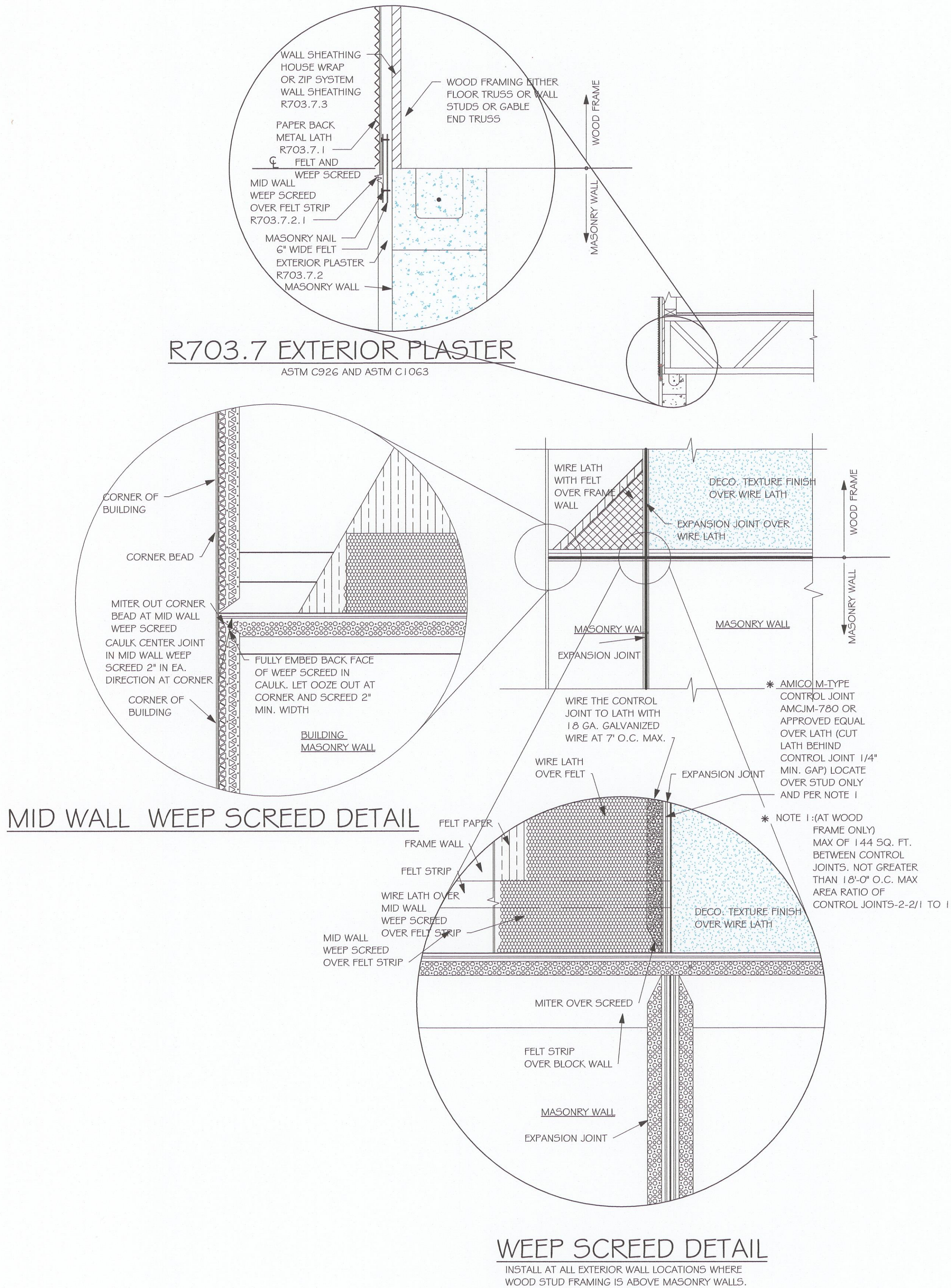
MASTERED
VILLA F CHARLOTTE COUNTY
160 MPH EXPOSURE C

DATE: 01/13/22
DRAWN BY:
CHECKED BY: JWC
REVISED:
PLAN: ELECTRICAL
SCALE: As indicated

A-5

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2020 - 7TH EDITION

L:\0-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON 2019\MODELS\MASTERED
SECTION\503 VILLA F\160 C MASTERED\REVIT\503 VILLA F MASTERED.rvt



Master Plan 20220103197

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2020 - 7TH EDITION



Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-1822
1515 SE 47th ST. CAPE CORAL, FL 33904

MASTERED
VILLA F CHARLOTTE COUNTY
160 MPH EXPOSURE C

DATE:	01/13/22
DRAWN BY:	
CHECKED BY:	JWC
REVISED:	
PLAN:	INTERIOR WALL SECTIONS
SCALE:	As indicated
A-7	

A diagram of a typical house plan showing the placement of edge nail to blocking at ridge/valley/hip and stagger joints at sheathing panels. The diagram includes a roofline with a ridge, valley, and hip. The text 'TYPICAL HOUSE PLAN' is written across the roof. The text 'EDGE NAIL TO BLOCKING AT RIDGE/VALLEY/HIP' is written below the roofline, with an arrow pointing to the ridge. The text 'STAGGER JOINTS AT SHEATHING PANELS' is written below the roofline, with an arrow pointing to the staggered joints of the sheathing panels.

NAIL SPACING (TABLE R803.2.3.1) WIND SPEED / EXPOSURE	
<u>160/B, 160/C, 170/B</u>	<u>170/C</u>
NAIL SPACING:	NAIL SPACING:
6" O.C. EDGE	4" O.C. EDGE
6" O.C. FIELD	4" O.C. FIELD

2 1/2" x 0.131" RING SHANK OR
3" x 0.120" RING SHANK
(PER ASTM F1667 RSR-03 & 04)

A) EDGE

DOWEL TO MATCH WALL REINFORCING, LAP 30"

FINISHED GRADE, SEE SITE PLAN

MONOLITHIC FOOTING, SEE PLAN

MIN 12"

EMBED DOWELS 5" WITH 10" STD HOOK

3" CLEAR COVER TO REINFORCING

W

D

B) STEPDOWN

VARIES

W

D

C) GARAGE

W

D

D) GARAGE

W

D

BUCK FASTENING

8" CMU WALLS

2x4 or 2x6 P.T. BUCK @ FLANGED WINDOWS (SEE NOTE)

1/4" x 3 3/4" TAPCON @ 24" OC, 3 SCREWS MIN. (SEE NOTE)

WINDOW/DOOR ROUGH OPENING

GARAGE DOOR

8" CMU, SEE PLAN FOR REINFORCING

DOOR

2x8 OR 2x6 P.T. SYP #2

2x2x1/8" WASHER

1/2" Ø EXPANSION BOLT, 4" MIN. EMBEDMENT, SPACE 24" OC AND 12" FROM TOP & BOT.

RETROFIT STRAPS TO CONCRETE/MASONRY		
TRUSS UPLIFT (LBS) @ 24" OC	CONNECTOR	
TO 840	1-MTSM16 or 20	7-10dx1 1/2", 4-1/4x2 1/4" TITEN
TO 1045	1-HTSM16 or 20	8-10dx1 1/2", 4-1/4x2 1/4" TITEN
TO 2090	2-HTSM16 or 20	8-10dx1 1/2", 4-1/4x2 1/4" TITEN
TO 4300	2-LGT2	16-16d, 7-1/4"x2 1/4" TITEN
TO 3480	HTT16	18-16d, 5/8"ø ALLTHREAD, DRILL & EPOXY 10" EMBED w/ SIMPSON SET.
TO 10530	HGT-2/3	TWO 3/4"ø ALTHREAD, DRILL & EPOXY 12" EMBED WITH SIMPSON SET.

10 RETROFIT UPLIFT CONNECTOR SCHEDULE

NOTE: EXTERIOR CEILINGS SPECIFIED ABOVE MEET THE DESIGN WIND PRESSURES PER R703.1.2

5 SLAB SAWCUT DETAIL

8 CORNER BAR DETAIL IN BOND BEAMS



(SEE PLAN FOR OTHER SPECIFIC PRESSURES)

1) TABLE MAY BE USED FOR ANY SIZE WINDOW OR DOOR IN ANY TYPE.

2) USE "INTERIOR ZONE 4" PRESSURES UNLESS WINDOW OR DOOR IS LOCATED WITHIN THE "END ZONE 5" (SEE DIAGRAM BELOW), THEN USE THE HIGHER PRESSURES UNDER THE "END ZONE 5" COLUMN.

3) ALL GLASS WINDOW SHALL BE IMPACT RATED OR USE IMPACT RATED SHUTTERS.

4) SUBMIT PRODUCT APPROVALS TO THE BUILDING DEPARTMENT AS REQUIRED BY THE LOCAL JURISDICTION.

5) MANUFACTURED SOFFIT PRODUCTS SHALL BE INSTALLED PER MFR ENGINEERING SPEC SHEETS.

* ON IRREGULAR SHAPED BUILDINGS, THERE IS NO GUIDANCE IN THE CODE FOR HOW FAR A CORNER MUST PROTRUDE FROM THE MAIN BUILDING TO BE CONSIDERED "ZONE 5". WE HAVE CHOSEN '>15', THIS IS SUBJECT TO JUDGEMENT CALL BY THE AUTHORITY HAVING JURISDICTION.

IN ZONE 5, MANUFACTURED SOFFIT PRODUCTS MAY REQUIRE ADDITIONAL BATONS OR FASTENING PER MFR ENGINEERING SPEC SHEETS TO MEET THE PRESSURE REQUIREMENTS.

END ZONE 5 PRESSURE AT "PRIMARY" OUTSIDE OF BUILDING (BOLD LINE)

INTERIOR ZONE 4 PRESSURES

TYPICAL HOUSE PLAN

END ZONE 5 PRESSURE WIDTH = $4' - 0"$ MEASURE FACE OF (FIG R301.2.7))

Technical drawing of a masonry wall cross-section showing a window opening. The drawing includes labels for various components:

- LINTEL AT LANAI OR ENTRY, '8F16-1B/1T' (8"x16" FILLED SOLID, 1#5 BOTTOM, 1-#5 TOP)
- 8"x8" BOND BEAM w/ 1-#5
- 7" STANDARD HOOK INTO TOP OF BOND BEAM (MAY USE 7"x25" BENT BAR)
- #5 VERT. AT INTERSECTION OF BOND BEAM w/ 7" HOOK AT TOP
- MASONRY WALL
- #5 VERTICAL IN GROUTED CELL AT DOT LOCATIONS ON PLAN
- TRUSS BEARING

Diagram illustrating the elevation view of a **DROPPED GABLE TRUSS**. The structure shows the truss members, roof sheathing, and various connections and bracing details.

Key Components and Connections:

- Roof Sheathing:** 2x6 (MIN) SPF #2 w/ 3-16d TO EACH TRUSS.
- Truss Top Chord:** 2x4 OUTLOOKER H2.5A CLIP @ EA. OUTLOOKER TO TRUSS.
- Truss Vertical Members:** BRACE VERTICAL MEMBERS PER TRUSS MFR DETAILS.
- Mid Wall Weep Scribed:** MID WALL WEEP SCREED.
- Truss Bottom Chord to Sill:** 12d NAILS AT TRUSS BOTTOM CHORD TO SILL @ 8" O.C.
- Masonry Wall:** MASONRY WALL.
- Truss Blocking:** 2x4 BLOCKING.
- Truss Toe Nails:** 3-12d TOE NAILS.
- Truss Sill:** 2x6 PT SILL w/ 1/2" x 6" ANCHOR BOLTS @ 32" O.C. w/ 2" WASHER.
- Truss Toe Nails (Bottom):** 2x4 BLOCK w/ 4-12d TOENAILS EACH END.
- Truss Toe Nails (Top):** 2x4 BLOCK w/ 4-12d TOE NAILS EACH END.
- Truss Bracing:** 2x4 BRACE AT LOCATIONS SHOWN ON PLAN.
- Truss Nails:** 4-16d NAILS.
- Truss Joint:** 2x4 BLOCK AT SHEATHING JOINT.

[illegible]

9. SHOP DRAWINGS: SHOP DRAWINGS SHALL BE PREPARED AND SUBMITTED TO THE ENGINEER FOR REVIEW FOR ALL STRUCTURAL ELEMENTS UTILIZING PREFABRICATED COMPONENTS. ONE SET OF SIGNED & SEALED TRUSS ENGINEERING SHALL BE DELIVERED TO THE ENGINEER OF RECORD FOR THE STRUCTURE PER FLORIDA ADMINISTRATIVE CODE 61G15-30.005 AND 61G15-31.003.

For Stud Walls and Gable Ends
 Sheathing, apply plaster over
 on over water resistive barrier as

R703.7.2: 3-coat 7/8" thick
 cement based plaster per ASTM

R703.7.1: Self furring paper
 5lb diamond mesh metal lath
 C847, 660 galvanized, fastened
 C1063 with 1-1/2" long, 11
 ss with 7/16" head (roofing nails)
 or 1-1/2" long, 16 gage staples
 into the framing members (ie,
 or staples must align with and
 3/4" into the framing studs).

Water Resistive Barrier (WRB) R703.7.3:
 1) plastic vapor-permeable barrier
 performance at least equivalent to
 of Grade D paper. The individual
 shall be installed independently. An
 house wrap may be used for the
 and metal lath with approved
 blocking may be the 2nd layer
 P wall sheathing with seam tape
 as the first layer).

2x4 BLOCK AT
 SHEATHING JOINT

3-12d
 TOE
 NAILS

2x4 BLOCKING

ROOF SHEATHING
 SEE SCHEDULE

2x6 (MIN.)
 EACH TRUSS

#2 w/ 3-
 1/2" DIA.

2x4 OUTLOOKER
 H2.5A CLIP @ EA.
 OUTLOOKER TO
 TRUSS TOP
 CHORD,
 DROP 3 1/2"

DROPPED GABLE TRUSS

STRUCTURAL ENGINEERING:

**STRUCTURAL
SYSTEMS
OF NORTH FLORIDA**

1834 S.E. 47th STREET, SUITE #3
CAPE CORAL, FL 33904
(239) 549-4554

CA# 8829

A circular professional engineer seal for the State of Florida. The outer ring contains the text "DEREK W. BERGENER" on the left and "PROFESSIONAL ENGINEER" on the right, separated by three stars. The inner circle contains the text "LICENSE" on the left and "STATE OF FLORIDA" on the right, also separated by three stars. In the center of the seal is the license number "No. 58552".

BUILDER:

D.R.HORTON • RHI
NYSE

America's Builder

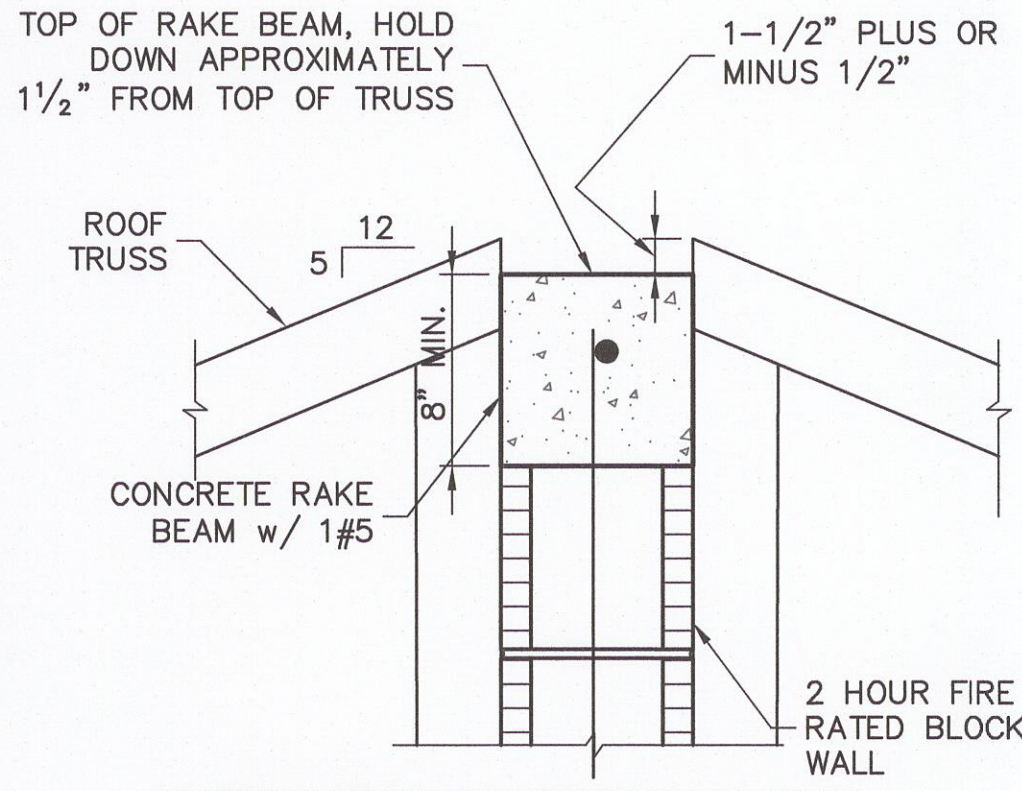
STRUCTURAL DETAILS
MODEL 1503 F TWIN VILLA
MASTER PERMIT
160 MPH, EXPOSURE C
FLORIDA

DESIGN/DRAWN DWB/DWB
CHECKED DWB
DATE 1/17/22
SCALE AS NOTED
JOB NO. DR 14065
SHEET

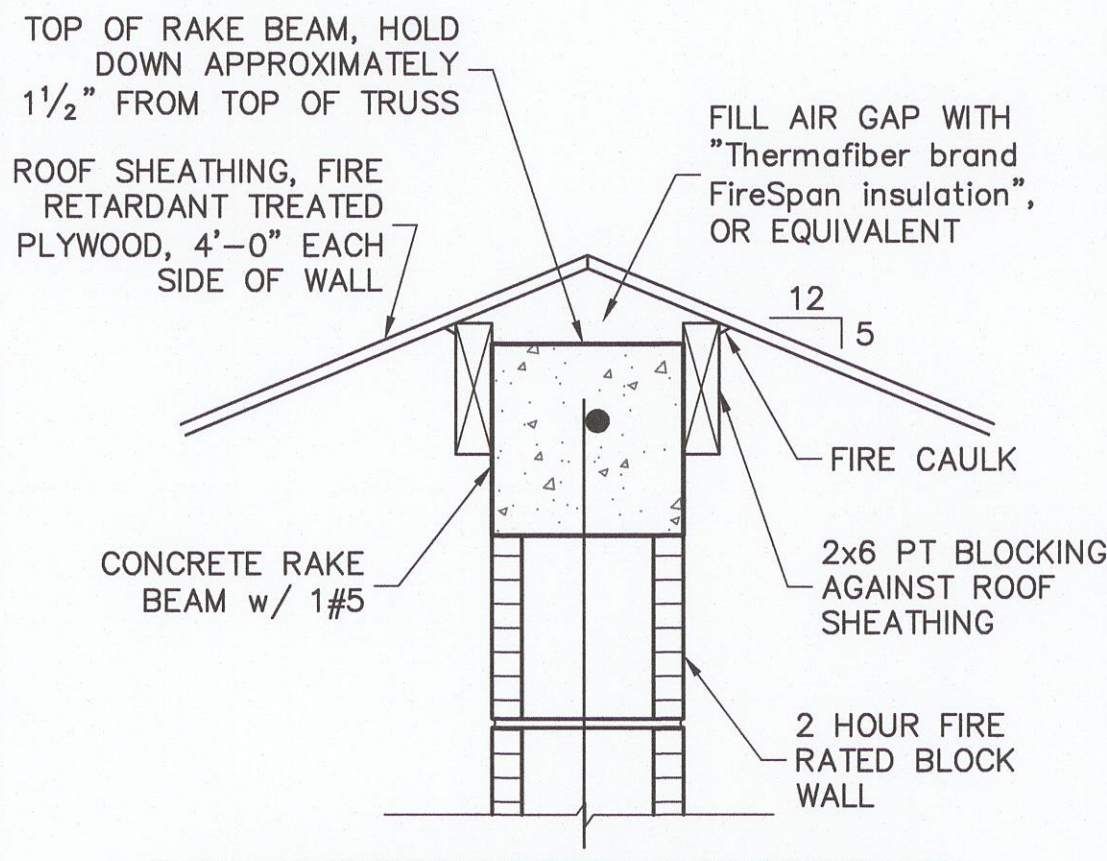
S-1

SHEET 1 OF 2

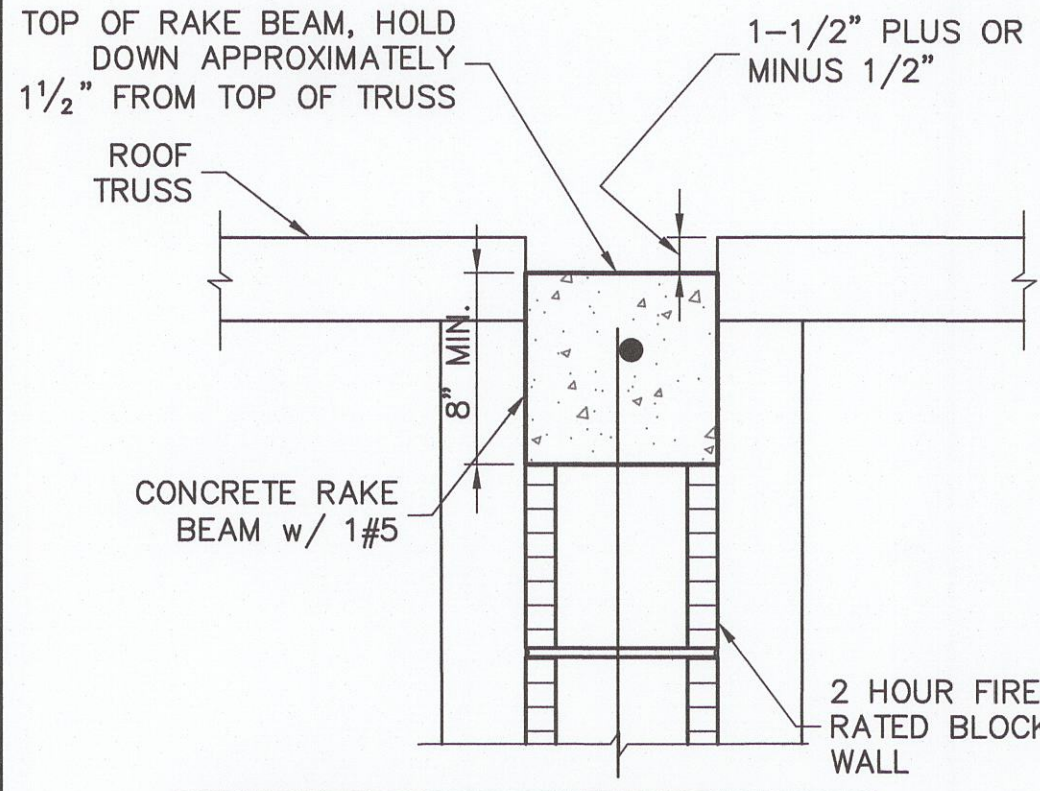
FOR SCOSTA TRUSSES, MODEL 1503 JOB # DR1503-160C, DATED 02/17/21. REVISED: NONE



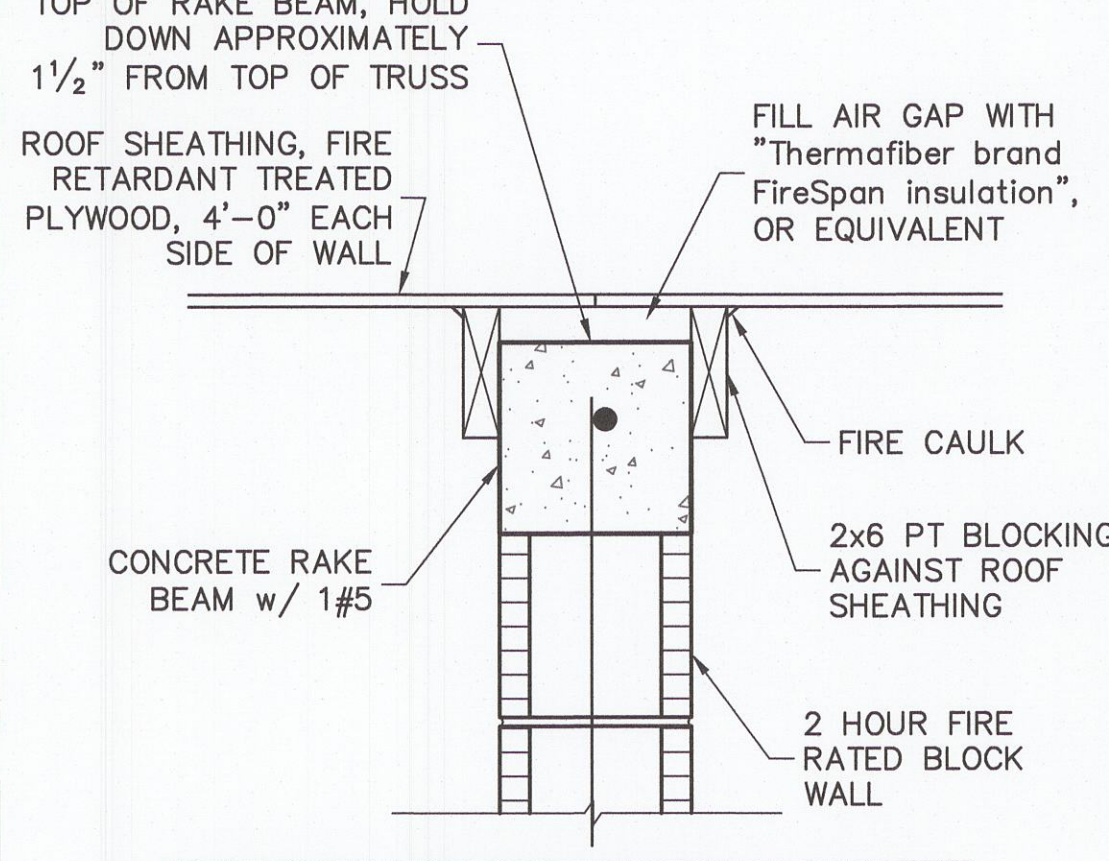
1A TOP OF FIREWALL
SCALE: 1-1/2" = 1'-0"



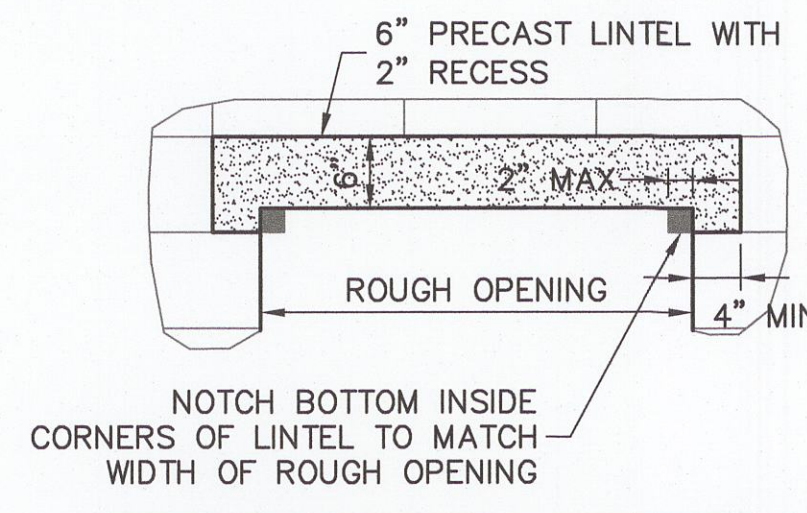
1B TOP OF FIREWALL
SCALE: 1-1/2" = 1'-0"



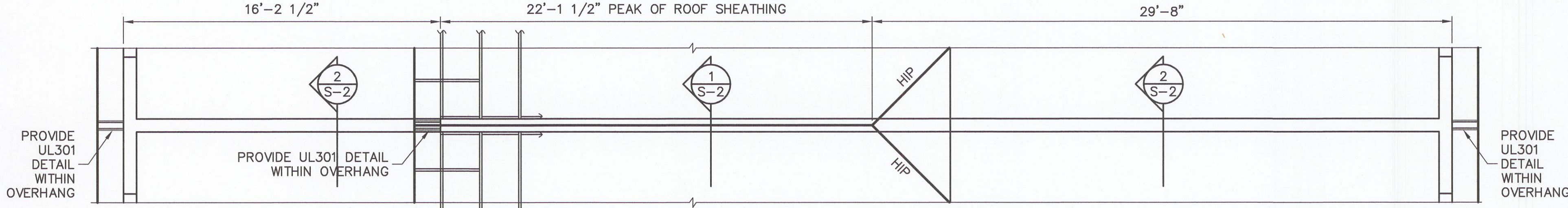
2A TOP OF FIREWALL
SCALE: 1-1/2" = 1'-0"



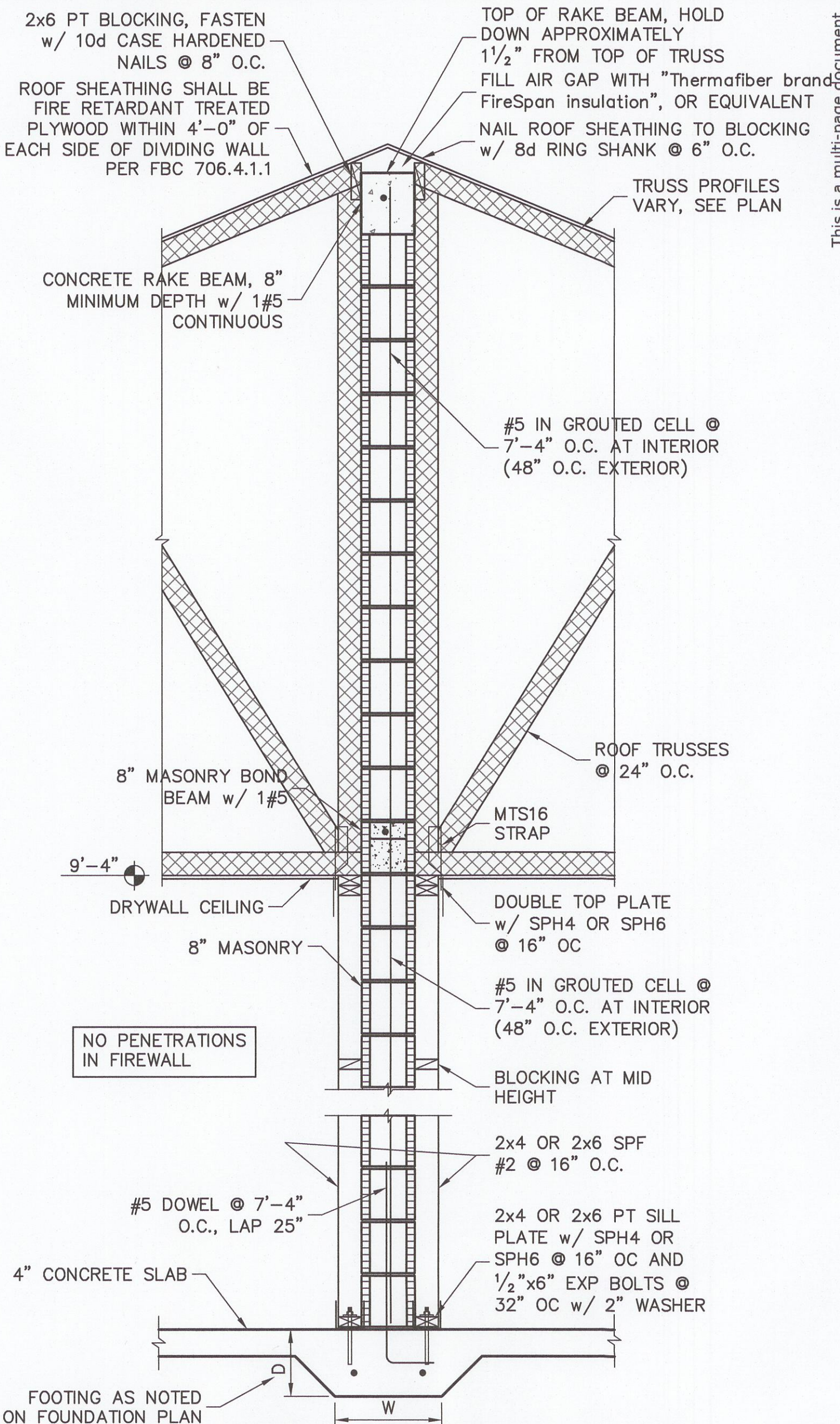
2B TOP OF FIREWALL
SCALE: 1-1/2" = 1'-0"



3 6" PRECAST LINTEL WITH 2" RECESS
SCALE: 3/4" = 1'-0"



SECTION FOR 1503 VILLA FOR 5:12 ROOF PITCH
SCALE: 1/4" = 1'-0"



5 2 HOUR FIREWALL AT LIVING AREA
SCALE: 3/4" = 1'-0"