



Community Development Department

18400 Murdock Circle, Port Charlotte, FL 33948
Building Phone: 941.743.1201 | Building Fax: 941.764.4907
Zoning Phone: 941.743.1964 | Zoning Fax: 941.743.1598
BuildingSvcs@CharlotteCountyFL.gov
www.CharlotteCountyFL.gov

For Office Use Only

Permit Number

20 _____

Application Date

CSR Initials _____

ONE AND TWO FAMILY DWELLING DATA SUMMARY SHEET

Florida Building Code 7th Edition (2020)

OWNER'S NAME: D. R. Horton, Inc CONTRACTOR'S NAME: D. R. Horton, Inc

PROJECT ADDRESS: 631 CHAMBER ST PORT CHARLOTTE 33948
Number & Street City, State, & Zipcode

Applicable Codes: Building, Mechanical, Plumbing, Accessibility, & Energy Codes - 7th Edition (2020) Florida Building Code, Residential Volume. Electrical Code - NFPA 70 & NEC 2017

Manufacturer's Product Approvals

Doors: See Attached Overhead Doors: See Attached Windows: See Attached

Mitered Glass: See Attached Roof Coverings: See Attached **Protection of Openings:**

Soffit: See Attached Siding: See Attached Shutters: See Attached

Method of Design per Florida Building Code (FBC) R301:

☒ Florida Building Code, 7th Ed (2020) ☐ ICC 600 ☐ Other: _____

Designer's Name: Structural Systems of N. Florida Inc.

Design Data (Risk Category II):

Basic Wind Speed (Vult) 160 mph (Figure R301.2(4))

Nominal Design Wind Speed (Vasd) 124 m.p.h. Flood Design Data N/A Final Floor Elevation See Site Plan

Exposure Category Section (R301.2.1.4) ☐ B ☒ C ☐ D Soil Design Load-Bearing Value 2000 PSF

Structural Forces (Section R301.4 / 301.5 / 3601.6)

Floor Design: Live Load 40 p.s.f. Dead Load Slab on Grade p.s.f.

Roof Design: Live Load 20 p.s.f. Dead Load TC=20 BC=10 p.s.f. Roof Slope 5:12

Window and Door Wind Pressure Design Loading:

Mean roof height 15 ft Pressures are worst case only. See plan for actual.
Windows +33.5/-44.8 p.s.f. Doors +33.5/-44.8 p.s.f. Garage Doors +29.4/-33.3 p.s.f.

Components and Cladding Design Pressures: hip roof

Zone 1: 24.9/-44.8 p.s.f. Zone 2: +24.9/-61.7 p.s.f. Zone 3: +24.9/-61.7 p.s.f. Zone 4: 33.5/-36.3 p.s.f. Zone 5: 33.5/-44.8 p.s.f.

Area Tabulation: TOTAL (Sq. Ft): 1,900

Living (Sq. Ft.) 1,499 Garage (Sq. Ft.) 385 Lanai (Sq. Ft.) _____

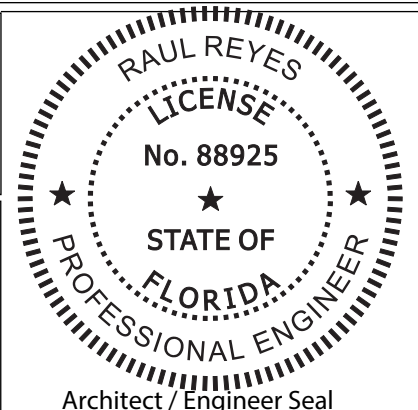
Entry (Sq. Ft.) 16 Storage (Sq. Ft.) _____ Other (Sq. Ft.) _____

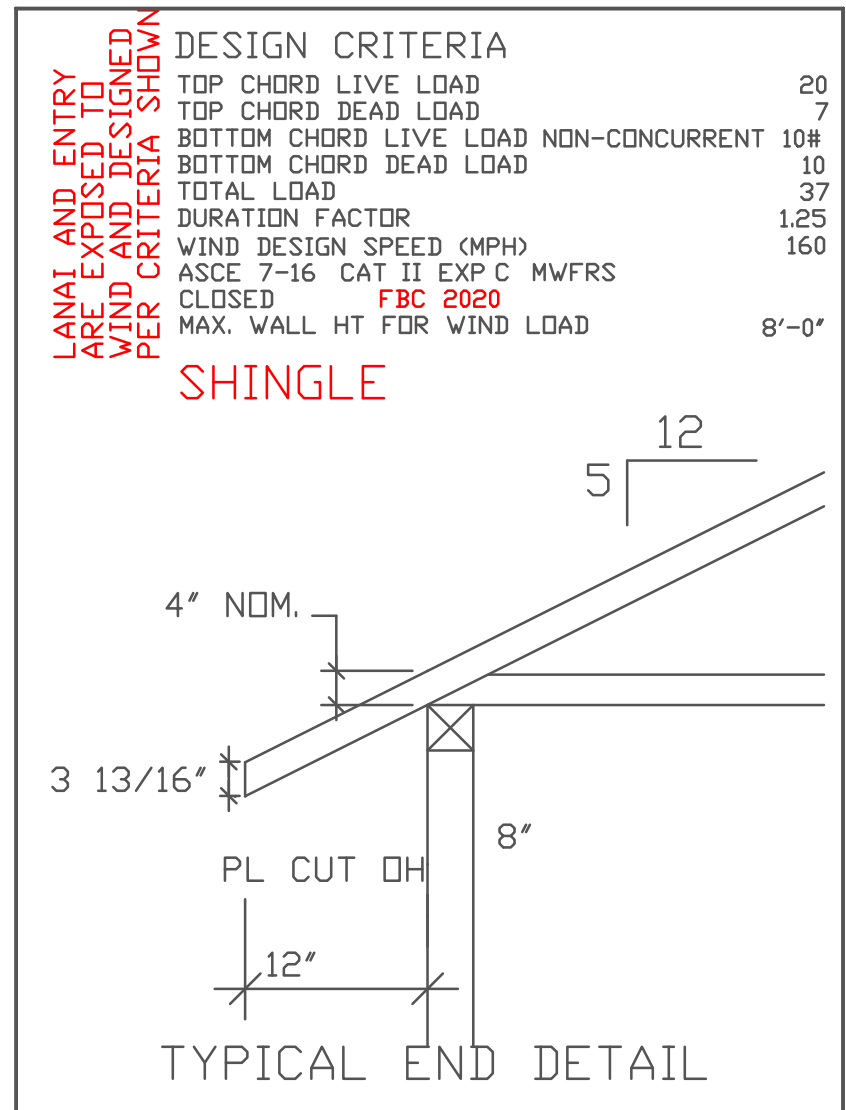
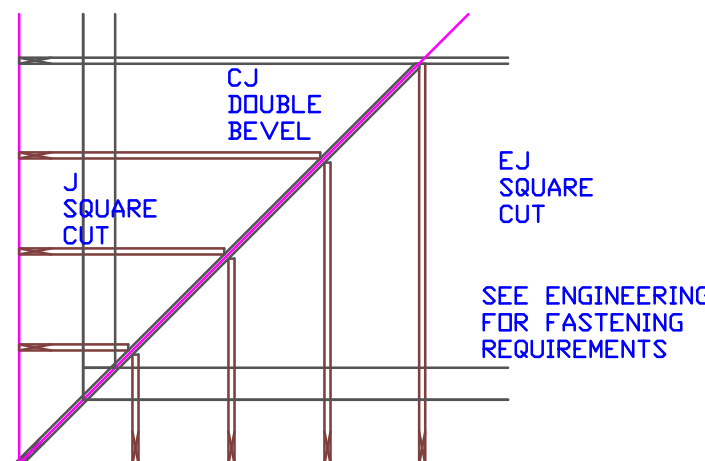
I certify to the best of my knowledge and belief that these plans and specifications have been designed to comply with the structural portion of the Building Code for wind, flood and gravity loads as amended and enforced by the permitting jurisdiction.

Signature: _____ Date: _____

Designer's Printed Name: _____

This item has been digitally signed by Raul Reyes on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be validated on any electronic copies.





UNLESS NOTED
 REACTION VALUES ARE UNDER 5000#
 UPLIFT VALUES ARE UNDER 1000#

ALL TRUSSES 24'o.c. UNLESS NOTED OTHERWISE

*****CAUTION*****








DO NOT ATTEMPT TO ERECT TRUSSES WITHOUT REFERRING TO THE ENGINEERING DWGS

IT IS NECESSARY TO REFER TO THE ENGINEERING
DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION
ORIENTATION AND WEB BRACING

REFER TO WTCA/TPI BSCI-B1 SUMMARY
SHEET FOR HANDLING METHODS & TEMPORARY
BRACING, WHICH IS ALWAYS REQUIRED

BEARING HEIGHTS BASED ON PLANS PROVIDED TO
STA CORP. '+/-' BEARING DIFFERENCES SHOWN ARE
TICAL. IF ANY HEIGHTS DEVIATE - INFORM SCOSTA
CORP.

BEARING WALL & BEAM HEIGHTS

	$0^\circ - 0^\circ$	ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.

TYPICAL HANGER SCHEDULE

C	SIMPSON HUS 26	M	SIMPSON HGUS 28-3
F	SIMPSON HUS 28	N	SIMPSON HHUS 48
H	SIMPSON HGUS 28	P	SIMPSON LUS 24
I	SIMPSON HGUS 28-2	B	SIMPSON THA 422
W	SIMPSON THJA26	X	

HANGER VALUES HAVE BEEN BASED ON 16D
COMMON NAILS EXCEPT THE FOLLOWING
US24 - 10D COMMON THJA26 - 10D x 1-1/2

*****ATTENTION*****

APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY
BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS,
NOTCHES, OVERHANGS, ELEVATIONS, CEILING &
BEARING CONDITIONS. SCOSTA CORPORATION IS
RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH
PLANS AND/OR INFORMATION PROVIDED BY
CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN.
CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF
DIMENSIONS AND PLANS PROVIDED TO SCOSTA
CORPORATION, AND TO VERIFY CONFORMANCE TO
FIELD CONDITIONS, AND/OR OWNER CHANGES.
TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE
APPROVED LAYOUT.

APPROVED BY: _____
DATE: _____ REQUESTED DELIVERY DATE: _____
JOBSITE CONTACT NAME: _____
PHONE #: _____
E-MAIL: _____

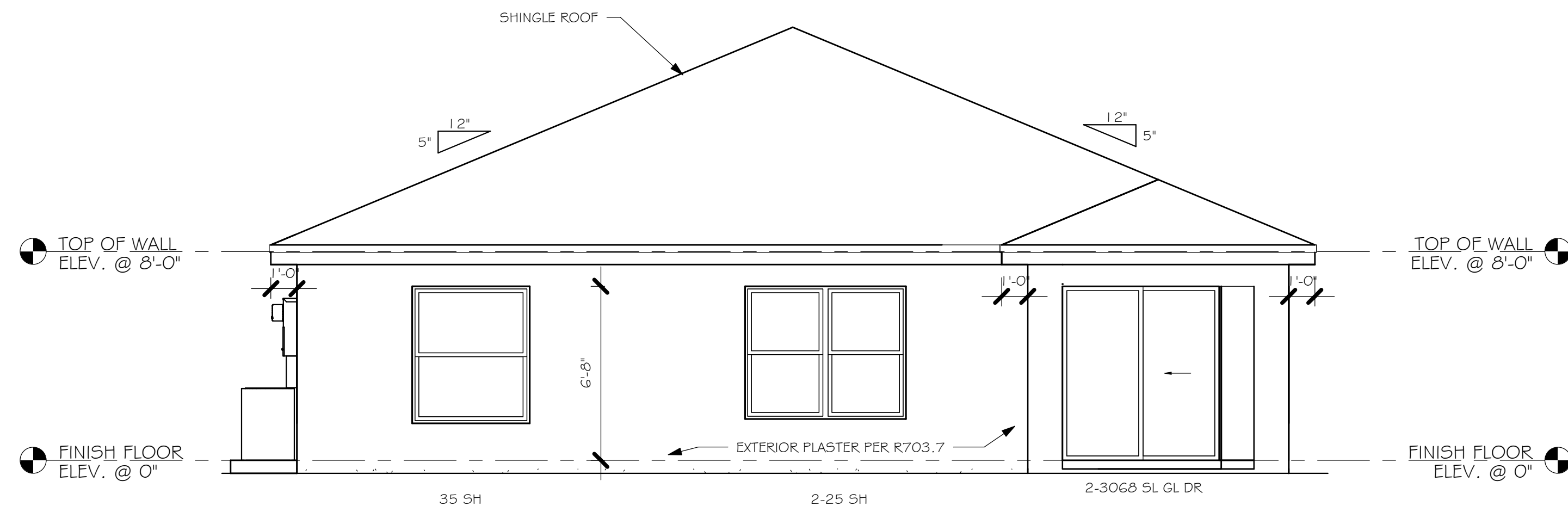
SCOSTA CORP.			
SCALE: 1/4"=1'-0"	DATE: 11/30/20	REVISED BY:	DRAWN BY: KCD
JOB ADDRESS: 1499 A W/ LANAI GARAGE RIGHT LEE		1 OF 1	
CUSTOMER: D.R. HORTON		JOB #: DR1499L	

Engineer of Record for the Structure
Structural Systems of N. Fl, Inc.
Raul Reyes, PE 88925
1634 SE 47th Street #3
Cape Coral, FL 33904

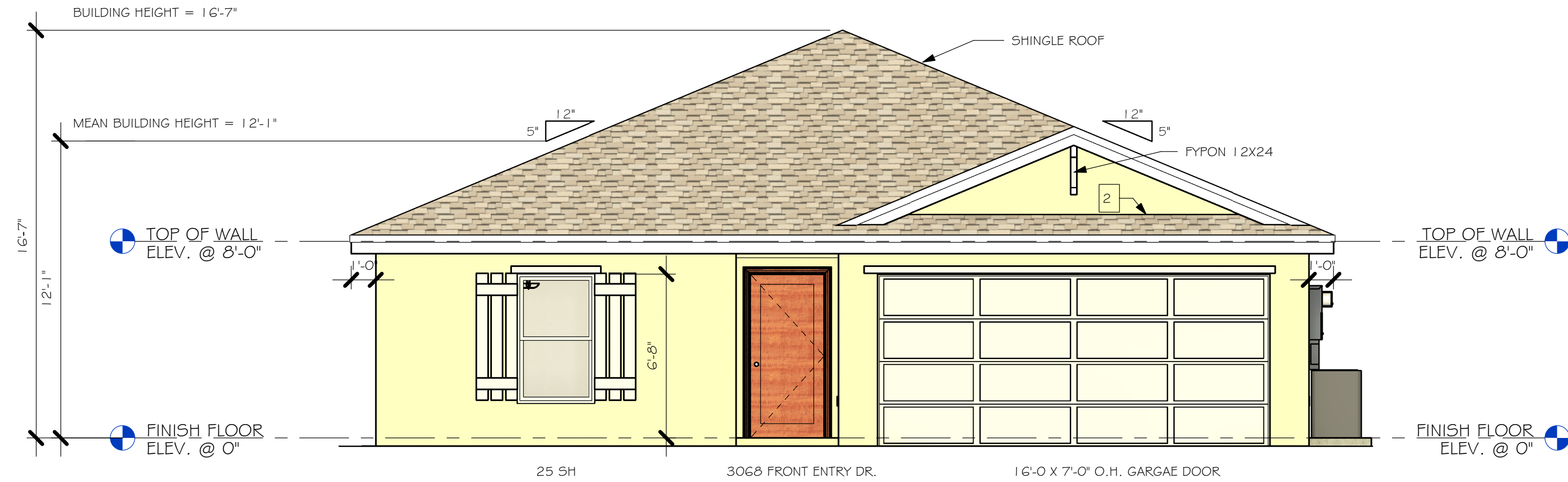
This document has been reviewed for conformance with the design intent of the structure and specified design criteria.

☒ Accepted As-Is ☐ Accepted As Noted ☐ Revise and Resubmit

Y:\O-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON
2019\SUBDIVISIONS\PEACHLAND SPOT LOTS\13439 LOT 17 BLK 159 1499
ARREV\13439 1499 AR.rvt

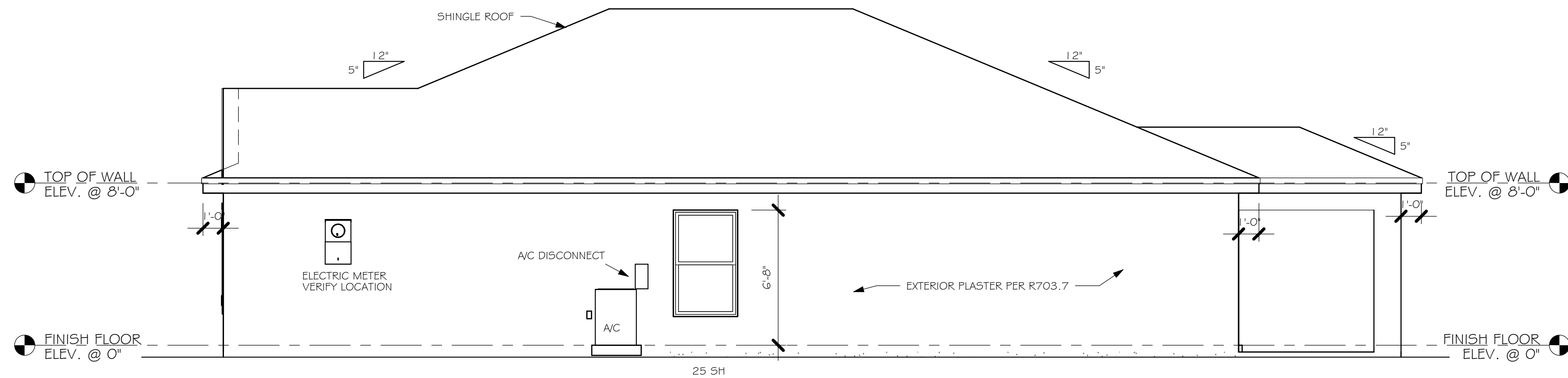


REAR ELEVATION
1/4" = 1'-0"

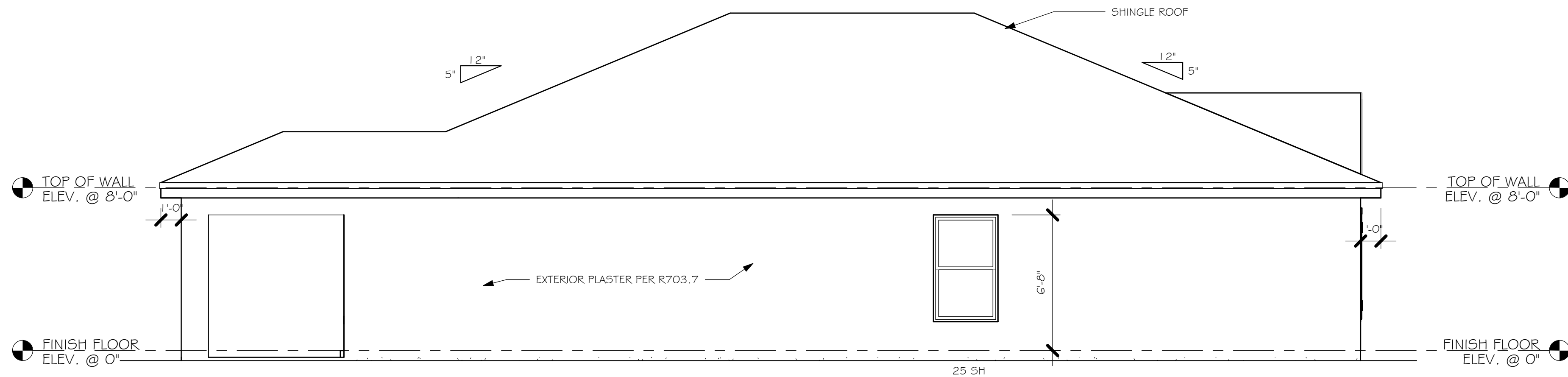


FRONT ELEVATION
1/4" = 1'-0"

- 1 MID-WALL WEEP SCREED AT WOOD MASONRY INTERFACE. INSTALL STRICTLY PER MFG. INSTRUCTIONS
- 2 ROOF / WALL SCREED INSTALL STRICTLY PER MFG. INSTRUCTIONS



RIGHT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

FLORIDA BUILDING CODE 7TH EDITION

OCCUPANCY: FBC 310.5 RESIDENTIAL GROUP R-3
CONSTRUCTION TYPE: V-B (FIRE RESISTANCE RATING 0 HOURS, NOT SPRINKLED)

CODES TO BE USED BY OTHER DESIGN PROFESSIONALS AND LICENSED CONTRACTORS:
2020 FLORIDA BUILDING CODE, 7TH EDITION: RESIDENTIAL; ACCESSIBILITY; ENERGY CONSERVATION;
PLUMBING; MECHANICAL; AND FUEL GAS.
ELECTRICAL IS CONTAINED BY REFERENCE WITHIN FBC RESIDENTIAL CHAPTER 34: NFPA 70-17
NATIONAL ELECTRICAL CODE.

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2020 - 7TH EDITION



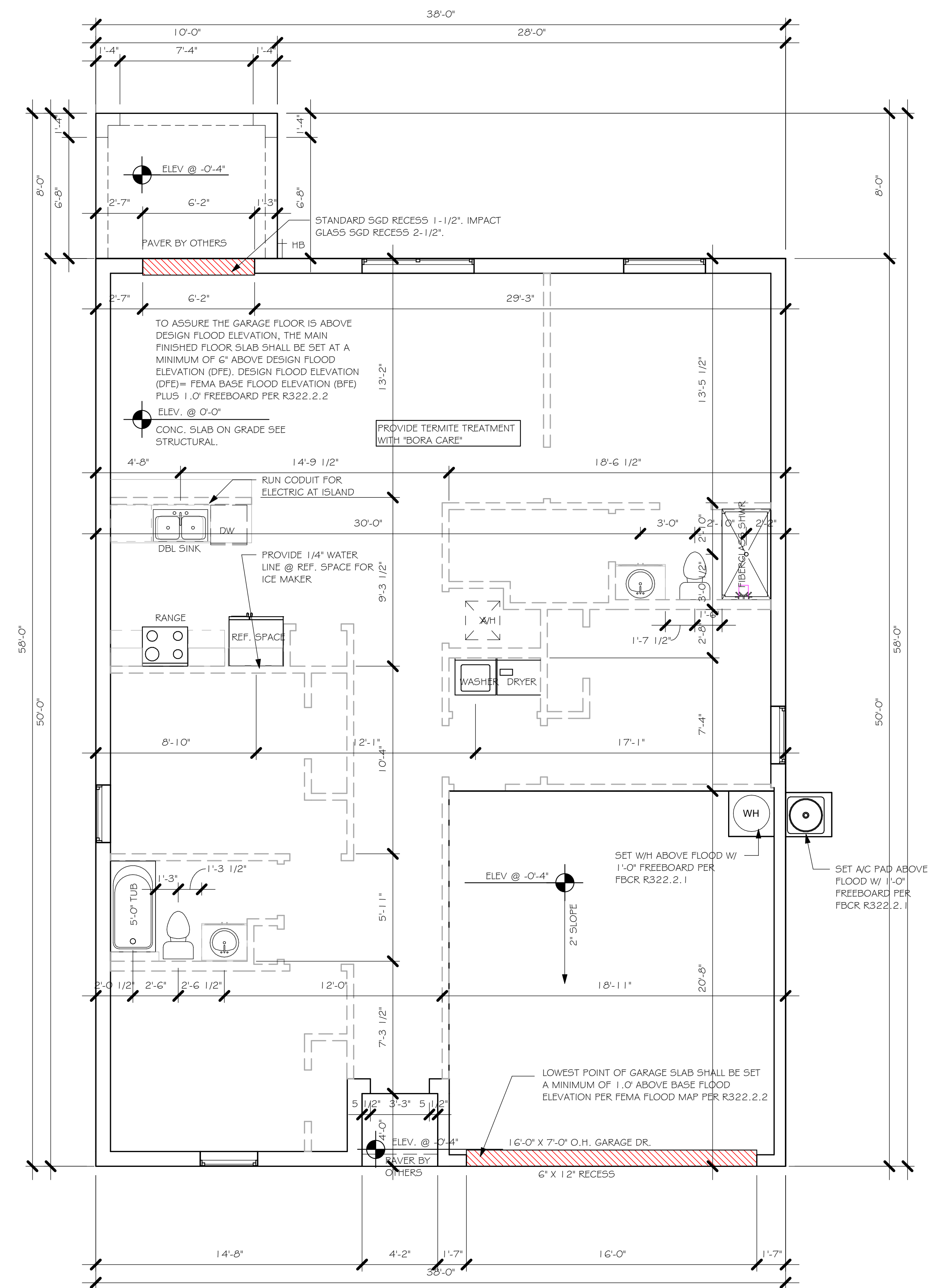
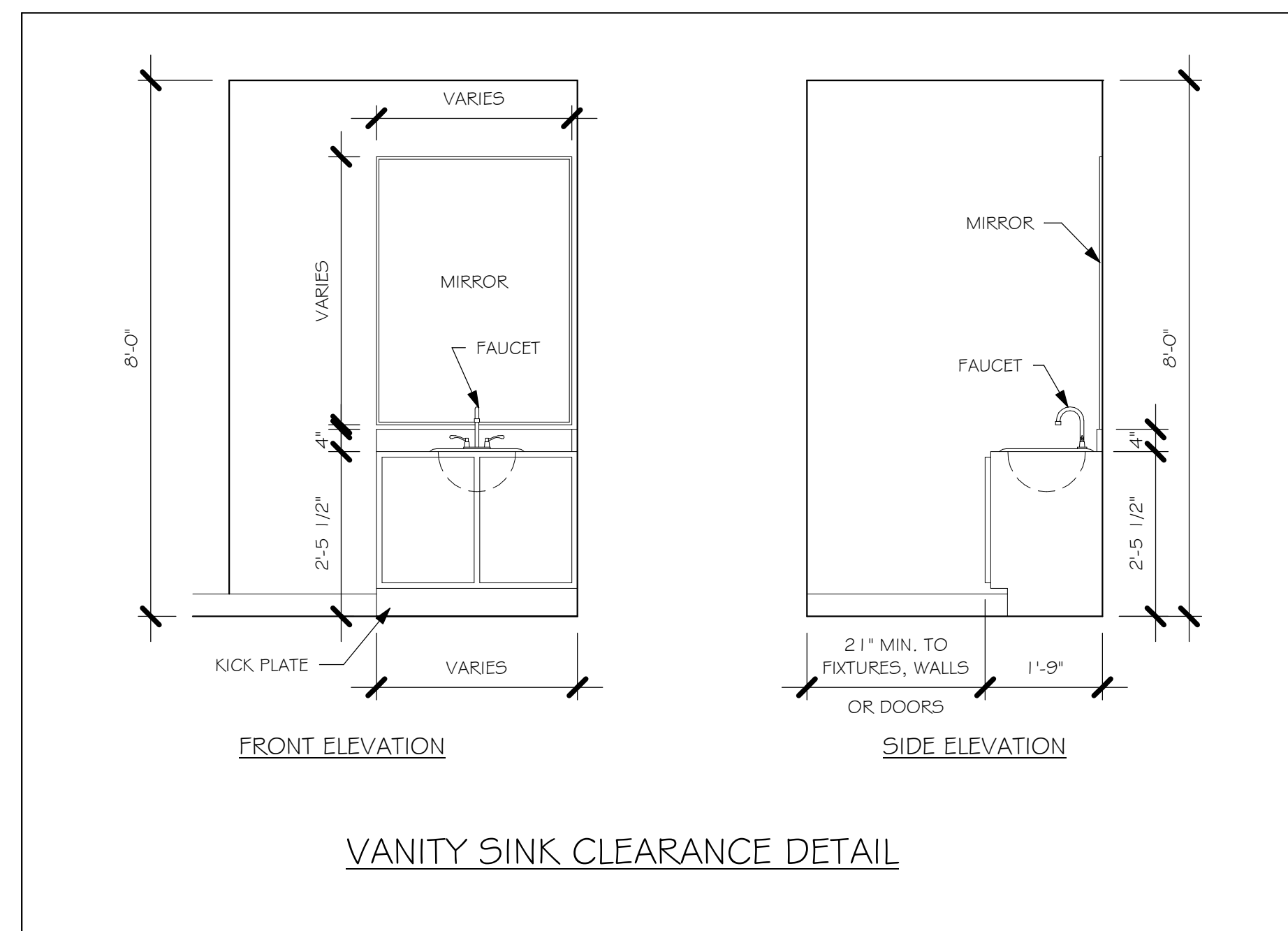
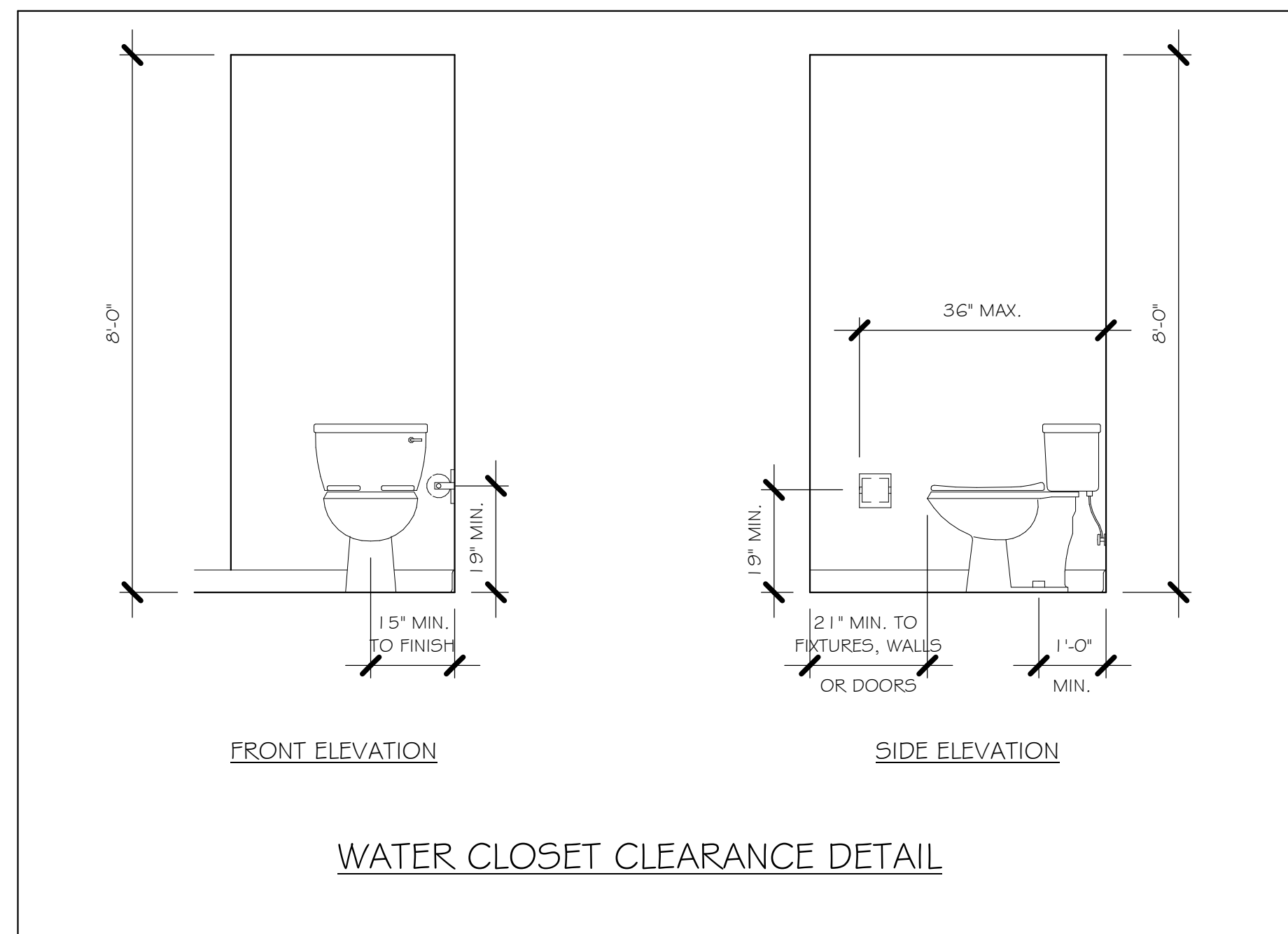
Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-822
1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 17 BLOCK: 159
SUBDIVISION: PEACHLAND SPOT LOTS
ADDRESS: 631 CHAMBER STREET NW
D.R.H. #: 578410135

MODEL
#1499 A
GCD JOB # 13439

DATE: 9/15/21
DRAWN BY: CWL
CHECKED BY: JWC
REVISED:
PLAN: ELEVATION
SCALE: As indicated

A-1



DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2020 - 7TH EDITION

Y:\0-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON
2019\5\DIVISIONS\PEACHLAND SPOT LOTS\13439 LOT 17 BLK 159 1499
ARREV\13439 1499 AR.rvt

DOOR SCHEDULE					
TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COUNT
1	3068 ENTRY	DISTINCTION	6'-8"	3'-0"	1
2	2-3068 SL. GL. DR.	DISTINCTION	6'-8"	6'-0"	1
3	16080 OHGD	GARAGE	7'-0"	16'-0"	1

WINDOW SCHEDULE				
MARK	DESCRIPTION	HEIGHT	WIDTH	COUNT
A	2-25 SH	5'-3"	6'-4"	1
B	25 SH	5'-5"	3'-4"	3
C	35 SH	5'-5"	4'-8"	1

DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

- PLAN NOTES
- 1)

VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
- 2)

PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
- 3)

PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
- 4)

NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
- 5)

PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
- 6)

KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.
- 7)

INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS
- 8)

WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" 5/8" RESISTANT PER SEC. R702.3.5
- 9)

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSOM BOARD OR EQUIVALENT
- 10)

INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.5.1.
- 11)

ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R612.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PRVENTION DEVICE
- 12)

ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.
- 13)

ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE INSTALLED AT OR ABOVE FLOOD PLUS 1'-0" FREEBOARD.

INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	B.F. = BI-FOLD DOOR
3	2'-6"	B.P. = BI-PASS DOOR
4	2'-4"	
5	2'-0"	L.V. = LOUVERED DOOR
6	1'-8"	
7	1'-6"	
8	2'-11"	

SQUARE FOOTAGE	
LIVING AREA	1499
GARAGE AREA	385
LANAI AREA	80
FRONT PORCH/ ENTRY AREA	16
TOTAL SQUARE FOOTAGE	1,980

BATHROOM NOTES	
TB TOWEL BAR	ALL TUB DECKS @ 21" A.F.F
TP TOILET PAPER	ALL BLOCKING TO BE PT IN SHOWERS

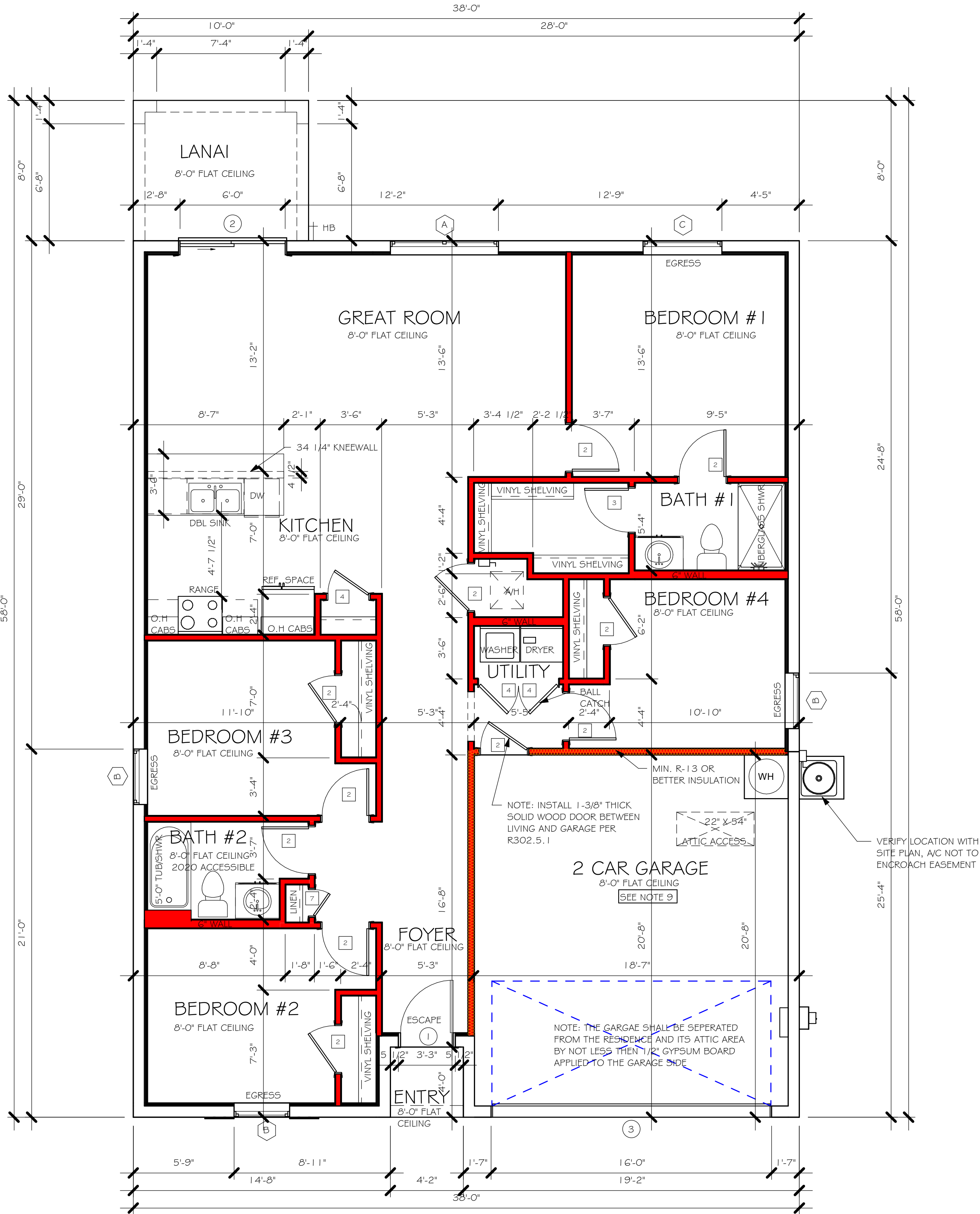
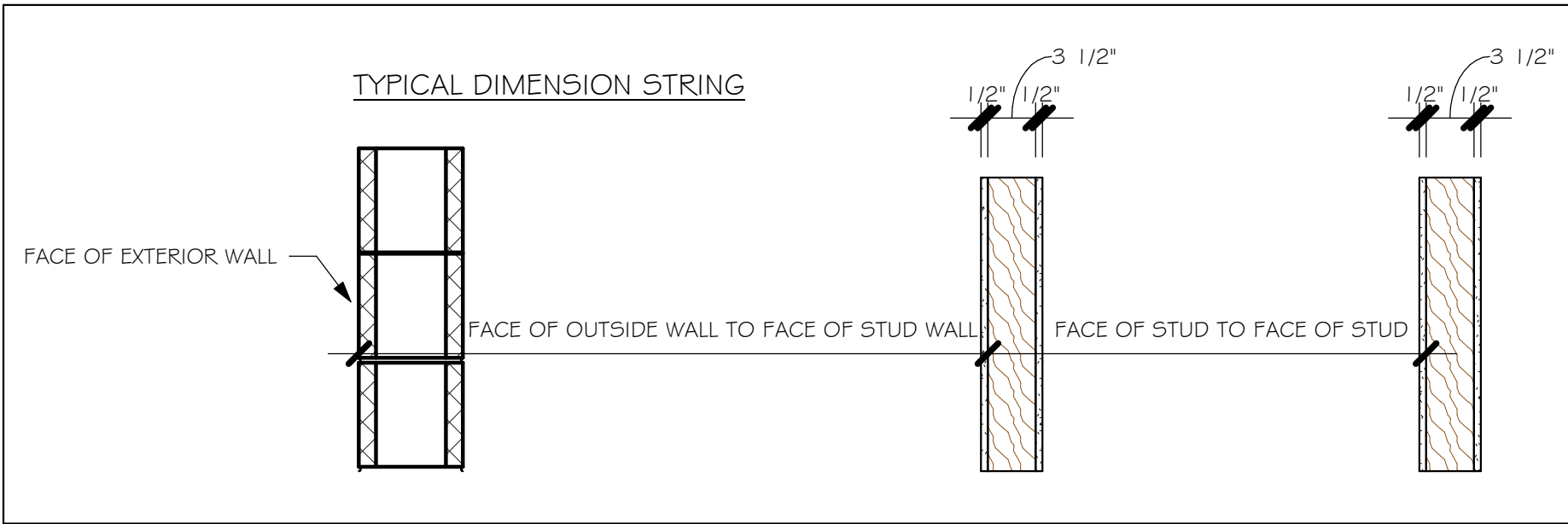
3'-2"

TOWEL BAR

4'-0"

TOILET PAPER ROLL

CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE



FLOOR PLAN
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2020 - 7TH EDITION



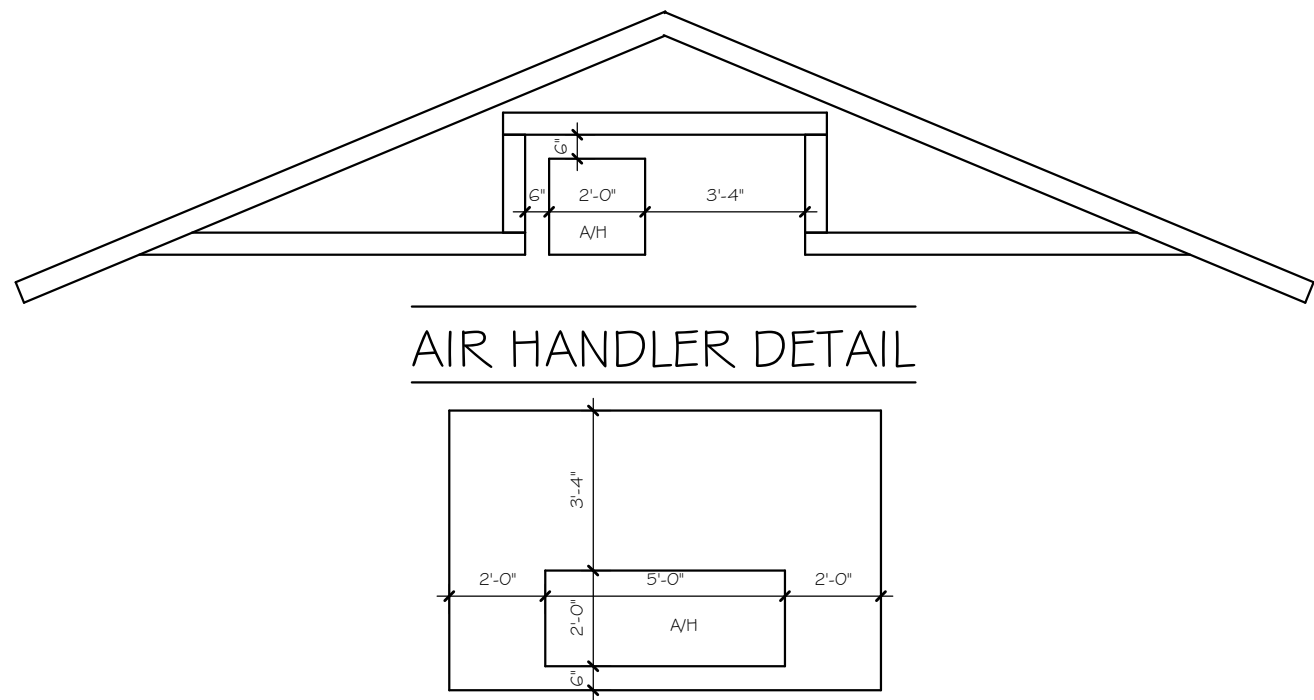
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EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-8822
1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 17 BLOCK: 159
SUBDIVISION: PEACHLAND SPOT LOTS
ADDRESS: 631 CHAMBER STREET NW
D.R.H. #: 578410135

MODEL
1499 A
GCD JOB # 13439

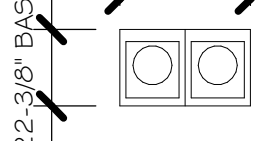
DATE: 9/15/21
DRAWN BY: CWL
CHECKED BY: JWC
REVISED:
PLAN: FLOOR
SCALE: As indicated
A-3

Y:\O-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON
2019\SUBDIVISIONS\PEACHLAND SPOT LOTS\13439 LOT 17 BLK 159 1499
ARREV\13439 1499 AR.rvt



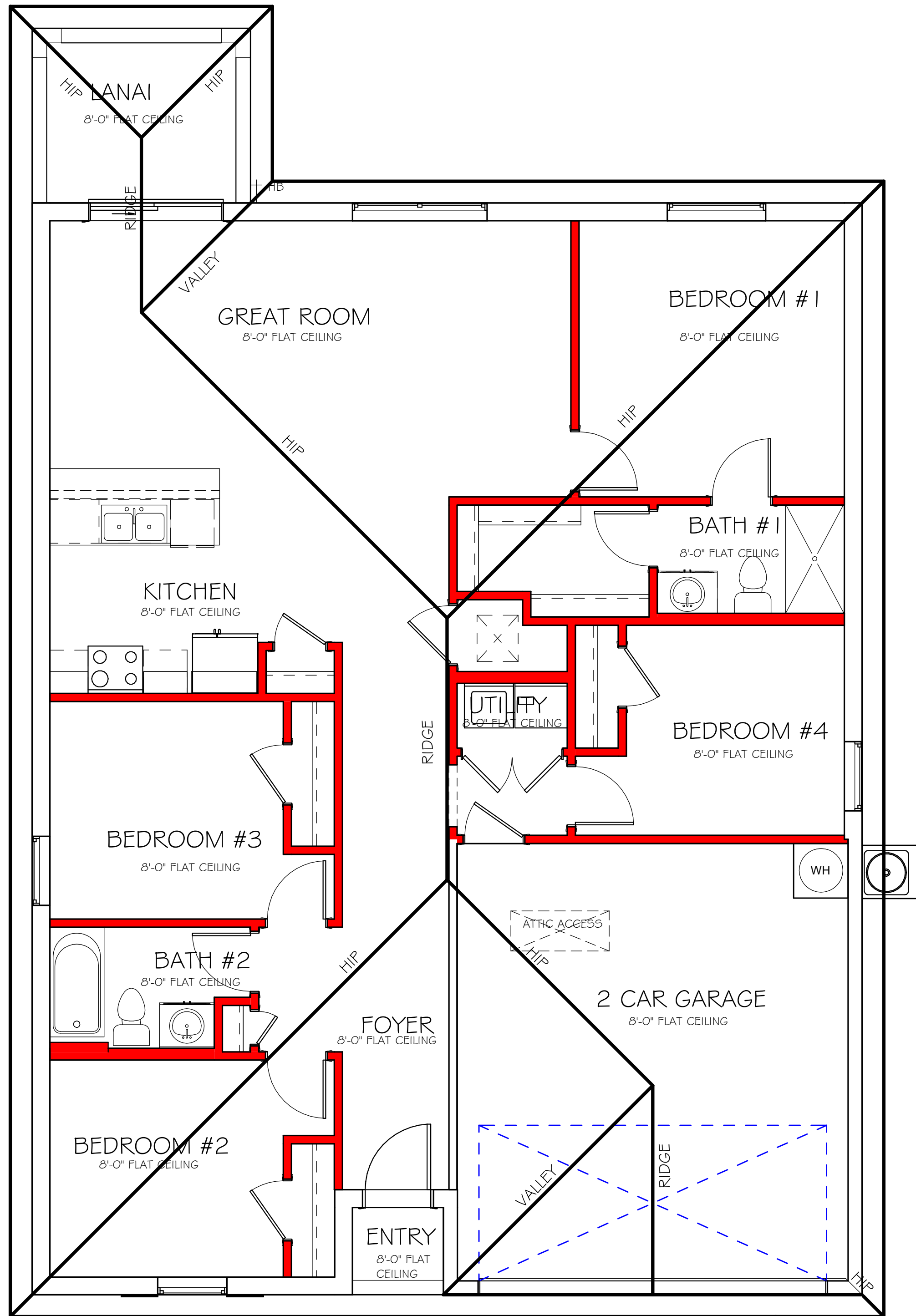
MODEL 1499 A: ATTIC VENTILATION FBCR R806

COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS

AREAS (SQ. FT.)			SOFFIT ONLY (1/150) (NO ROOF VENTS)			WITH ROOF VENTS (1/300) (R.V.)		
ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED		
MARK	ATTIC	SOFFIT	ATTIC AREA/150	REQ'D AIR FLOW OF SOFFIT	QUAD 4 SOFFIT HAS	ATTIC AREA/300	QUANTITY OF ROOF VENTS	MIN AIR FLOW OF SOFFIT
1st STORY	2080.0 SQ. FT.	180.0 SQ. FT.	13.87 SQ. FT.	7.71%	8.15%	--- SQ. FT.	-	---%
			SOFFIT ONLY QUALIFIES			ROOF VENTS ARE NOT REQUIRED		
			SOFFIT MODEL ACM QUAD 4, FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW			ROOF VENT MODEL 32" BASE  LOMANCO 770-D 0.97 SQ. FT. FREE AIR		

WALL HEIGHT

 = WALL @ 8'-0"



ROOF PLAN

1/4" = 1'-0"

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MODEL
#1499 A

GCD JOB # 13439

DATE: 9/15/21

DRAWN BY: CWL

CHECKED BY: JWC

REVISED:

PLAN: ROOF

SCALE: As indicated

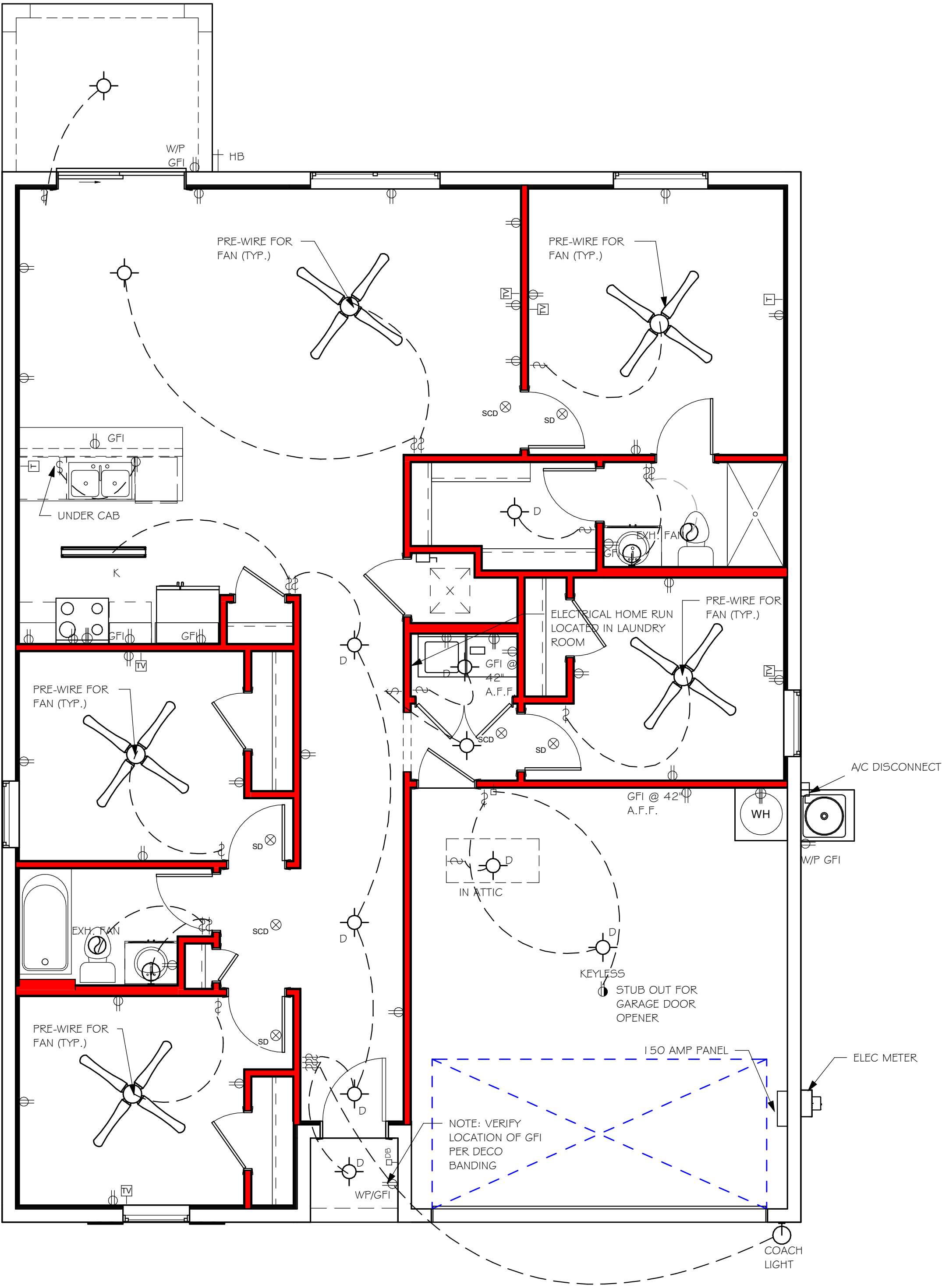
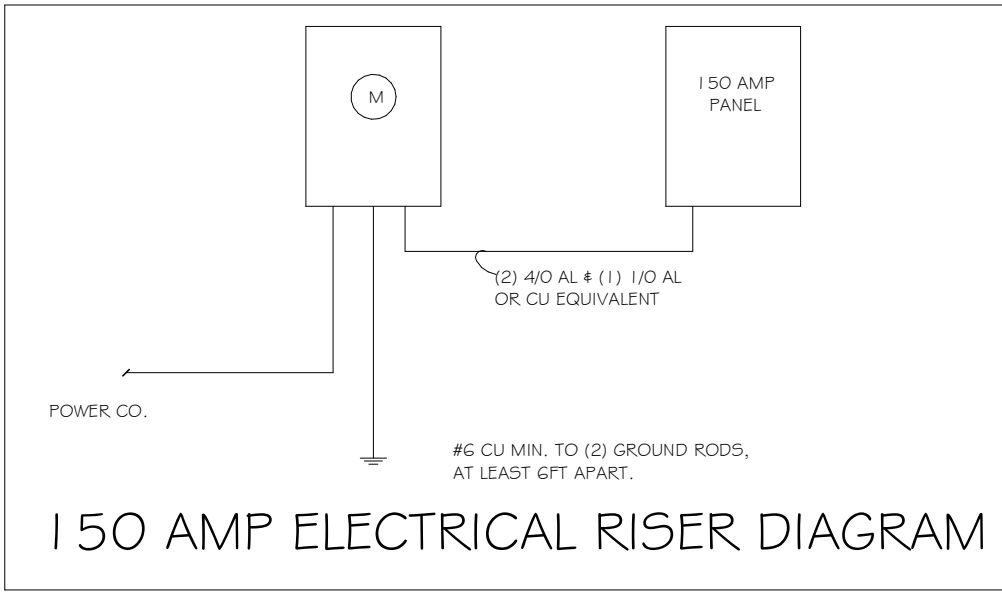
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Y:\0-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON
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ELECTRICAL LEGEND	
	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE AT ELEV. A.F.F.
	DUPLEX RECEPTACLE - ABOVE COUNTER
	SINGLE POLE SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	MOTION SENSOR SWITCH
	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES. PER RULE 9B-3.04.72 SD (SMOKE DETECTOR) SCD (CARBON MONOXIDE/ SMOKE DETECTOR)
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	FLUSH MOUNTED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	A/C DISCONNECT
	PUSH BUTTON (FB) / DOOR BELL (DB)
	INTERCOM
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT
NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.	
ELECTRICAL NOTES: ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER RESISTANT RECEPTACLES SHALL BE INSTALLED IN DWELLING UNITS PER N.E.C 210.12 AND 406.1.1 ALL ELECTRIC, ELECTRICAL EQUIPMENT AND APPLIANCES TO BE SET AT OR ABOVE BASE FLOOD ELEVATIONS PLUS 1'-0" FREEBOARD. ALL OUTLETS IN WET AREAS AND ALL EXTERIOR OUTLETS TO BE GFI'S. INSTALL PHONE AND T.V. PER CONTRACT. INSTALL ALL ELECTRICAL PER NEC 2017	

ELECTRICAL PLAN

150 AMP SERVICE		
TAG	QUANTITY	PRODUCT
A	(X)	(FLUSH MOUNTED LT)
B	(X)	(VAPORS)
C	(X)	(PENDANT LIGHT)
D	(9)	(10" MUSHROOMS)
E	(2)	(24" S LT)
F	(X)	(36" LT)
G	(X)	(NOT USED)
H	(2)	(COACH LIGHTS)
I	(X)	
J	(X)	(J BOX)
K	(1)	(4' FLUORESCENT)
L	(X)	(2' FLUORESCENT)
M	(X)	(SLT CHANDELIER)
N	(X)	(3 LT.)
O	(X)	(PENDANT/ NOOK)
P	(X)	(X)
Q	(X)	(X)



ELECTRICAL PLAN

1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2020 - 7TH EDITION



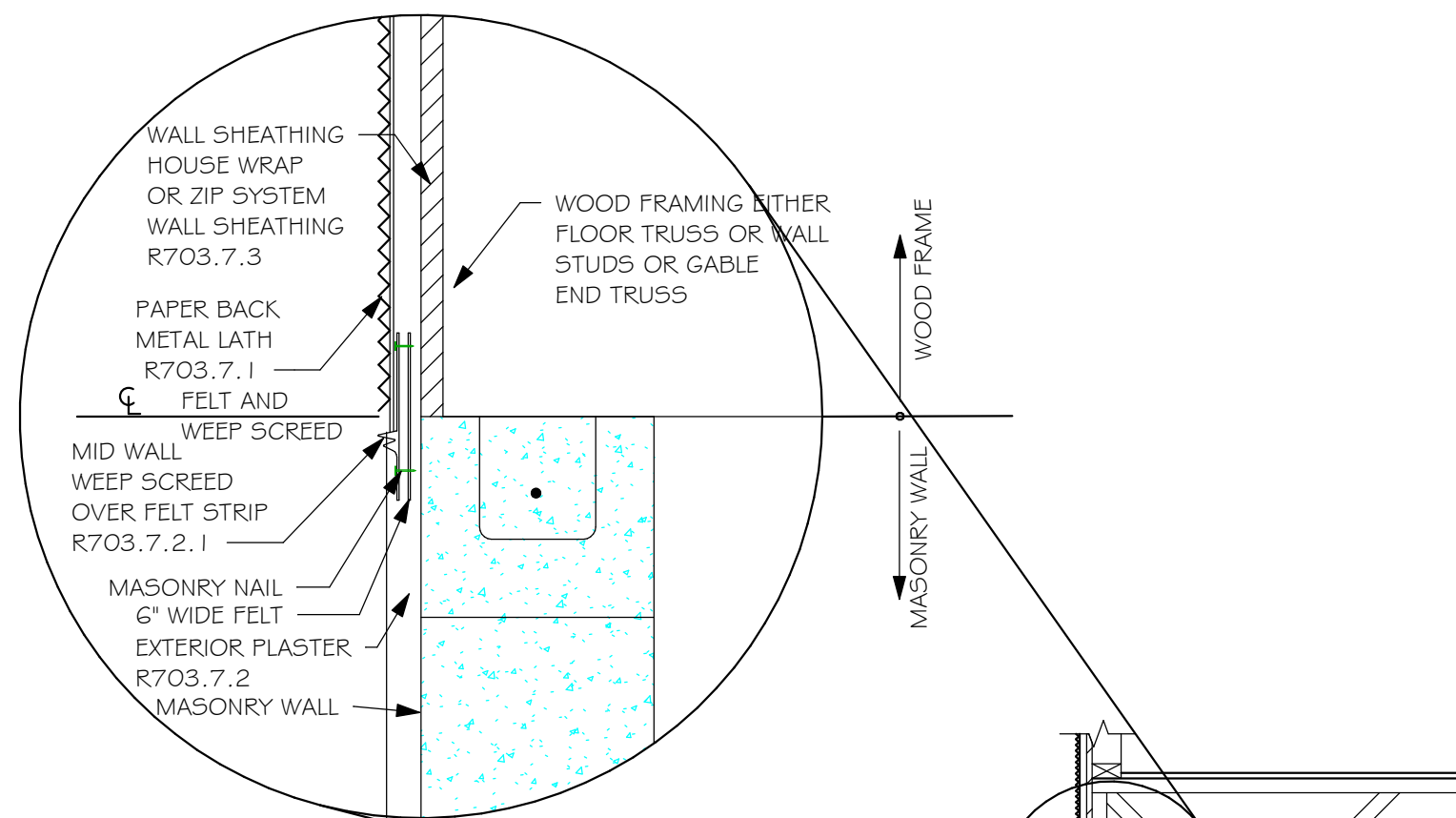
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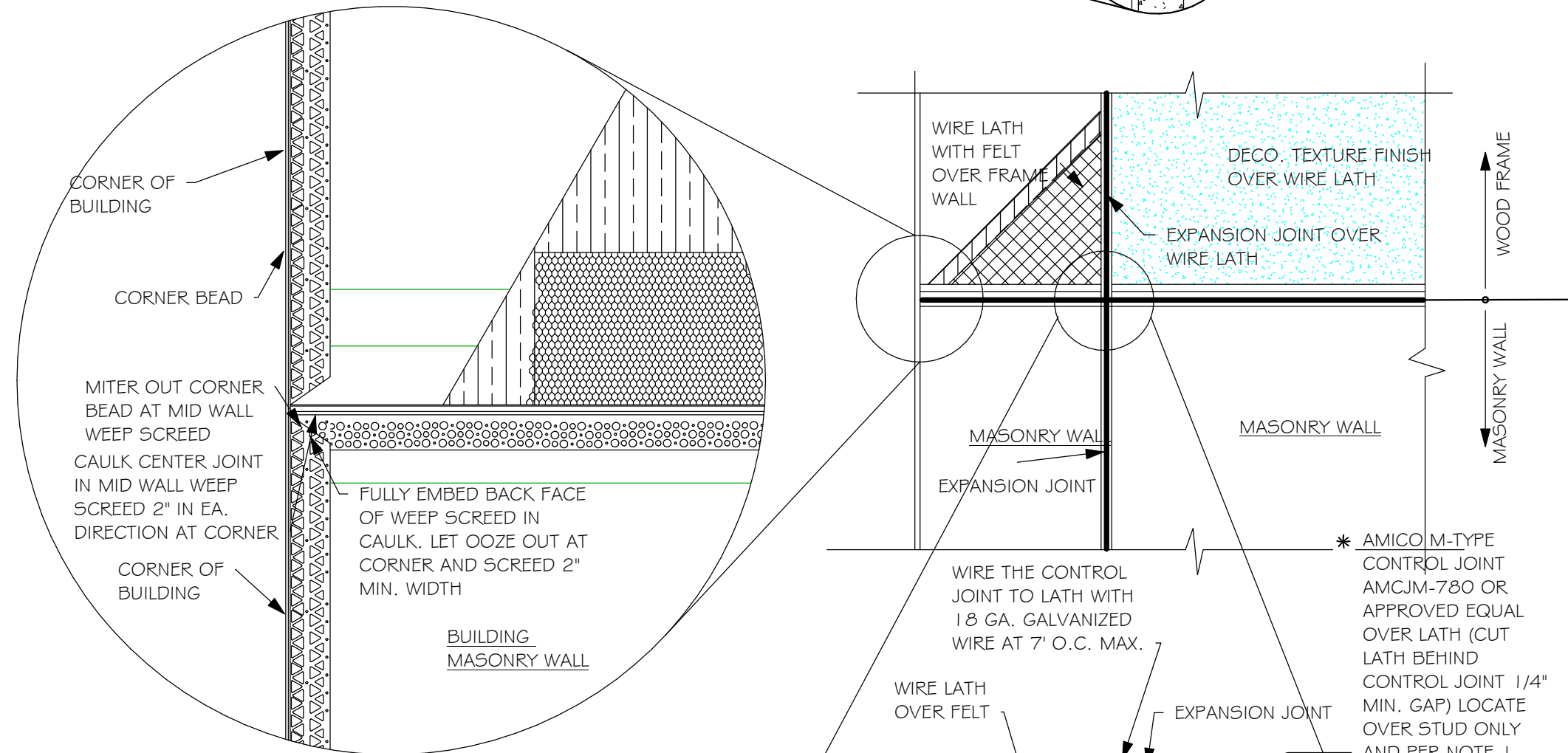
MODEL
#1499 A
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DATE: 9/15/21
DRAWN BY: CWL
CHECKED BY: JWC
REVISED:
PLAN: ELECTRICAL
SCALE: As indicated

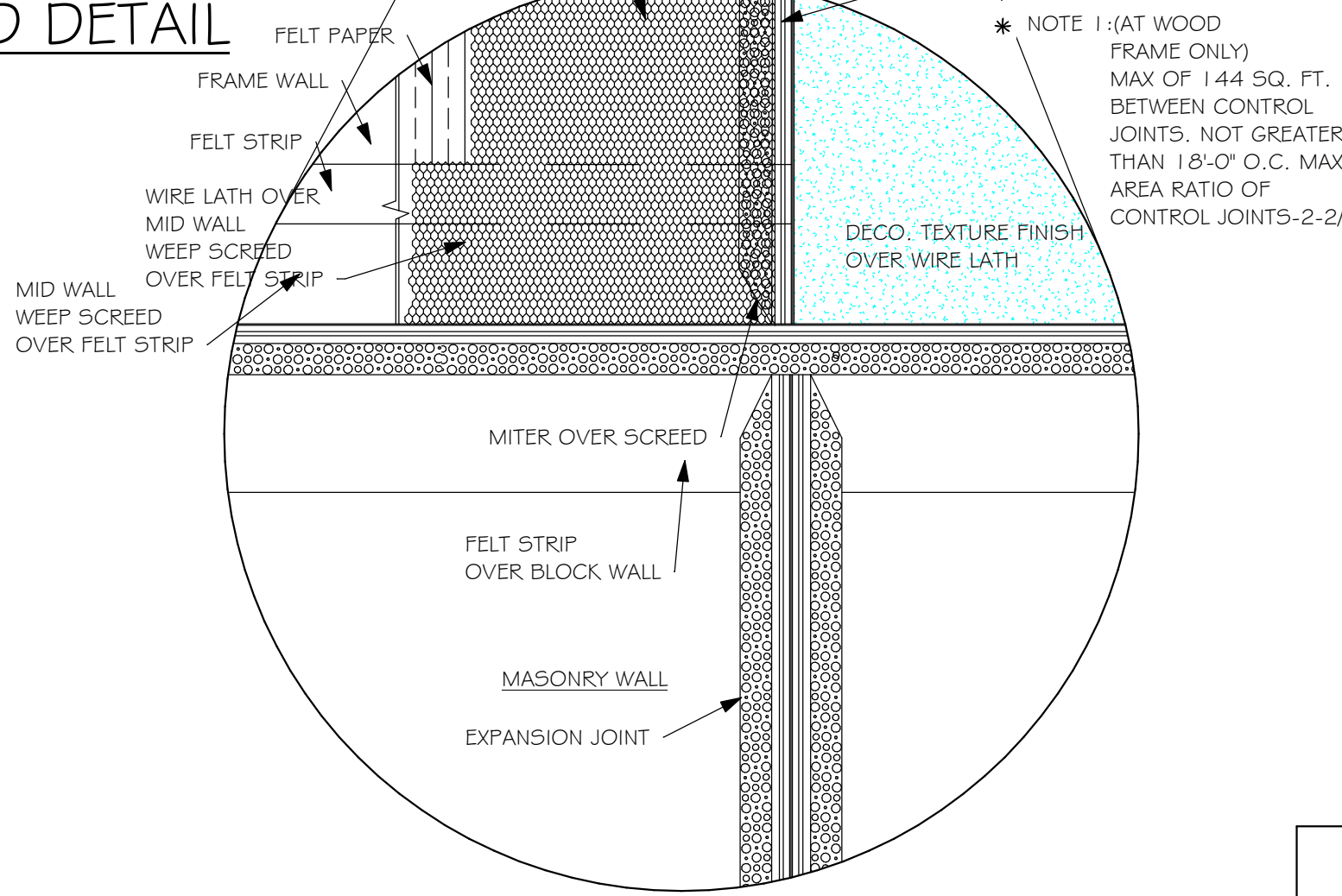
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2019\5\DIVISIONS\PEACHLAND SPOT LOTS\13439 LOT 17 BLK 159 1499
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R703.7 EXTERIOR PLASTER
ASTM C926 AND ASTM C1063



MID WALL WEEP SCREED DETAIL



WEEP SCREED DETAIL
INSTALL AT ALL EXTERIOR WALL LOCATIONS WHERE
WOOD STUD FRAMING IS ABOVE MASONRY WALLS.

RESIDENTIAL SPECIFICATIONS

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
3. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
4. FOR REQUIRED SOIL BEARING, SEE STRUCTURAL. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
5. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS, CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
6. ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING. THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT. ALL BOLTS, NUTS, WASHERS, STRAPS AND FASTENERS INCLUDING NAILS, SHALL BE HOT MOPED DIPPED GALVANIZED OR STAINLESS STEEL. CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES, WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS AND CONNECTORS AS SPECIFIED HEREIN.
7. TREATED WOOD REQUIREMENTS:- ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
8. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS.
9. CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
10. LANAI CEILINGS & COVERED ENTRY CEILINGS 1X4 STRIPPING @ 16" O.C. FASTENED WITH 2-8d NAILS TO EACH TRUSS. 5/8" EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD.

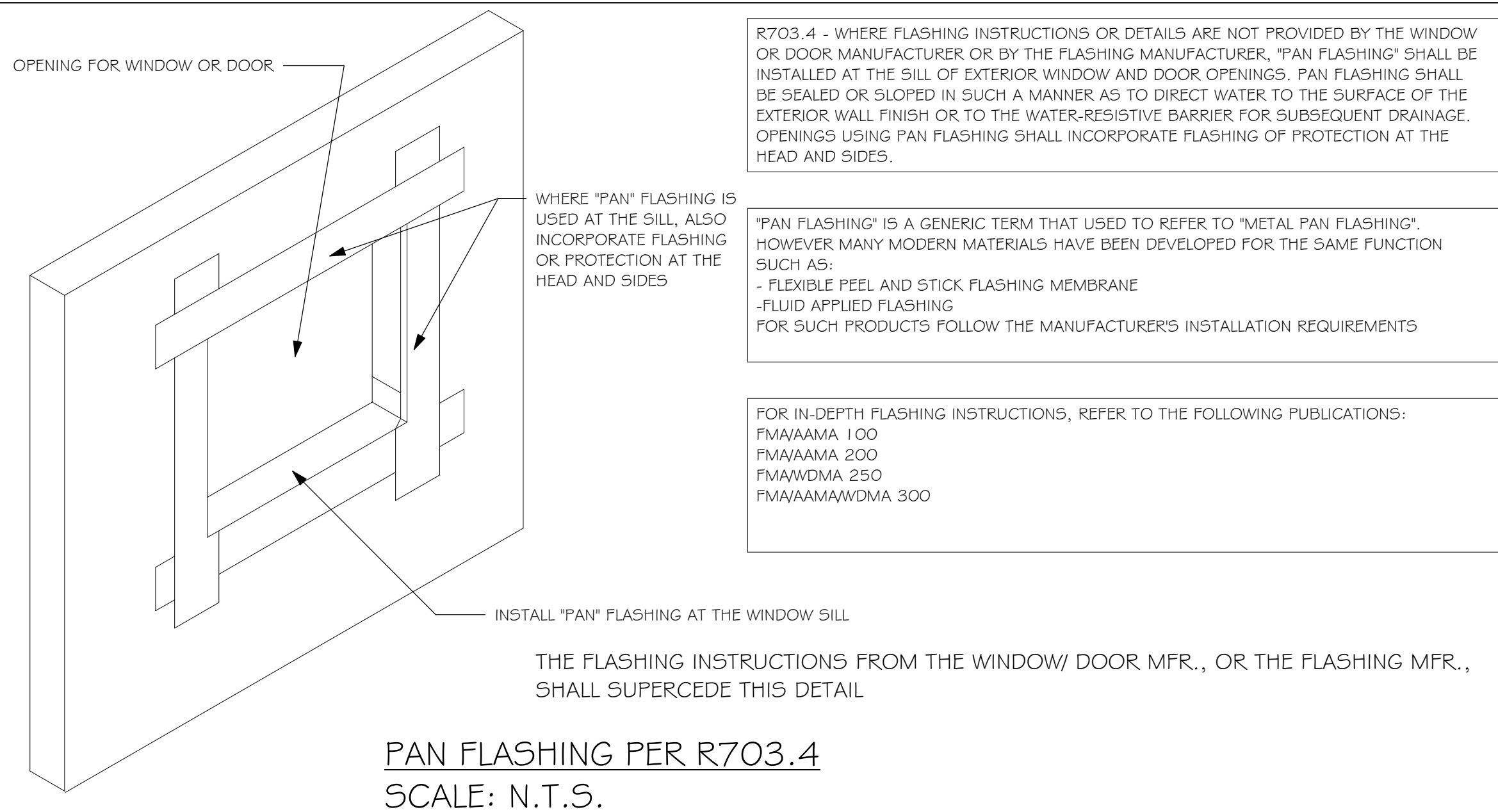
DOOR AND WINDOW ANCHORAGE

ANCHORAGE REQUIREMENTS- ALL PASS AND SLIDING GLASS DOORS AND ALL WINDOW ASSEMBLIES SHALL BE ANCHORED TO THE MAIN WIND FORCE RESISTING SYSTEM IN A MANNER SPECIFIED BY THE PUBLISHED MANUFACTURER'S LITERATURE. THERE SHALL BE NO SUBSTITUTION OF ALTERNATE FASTENINGS UNLESS PROVIDED BY THE MANUFACTURER AND APPROVED BY THE BUILDING DESIGN ENGINEER.

MASONRY OPENING
WHERE WINDOW FRAME IS DESIGN TO FASTEN WITH SCREWS THROUGH THE FRAME AND INTO THE MASONRY, THE BUCK MATERIAL IS SIMPLY A SPACER. THE BUCK MAY BE FASTENED WITH THE T NAILS OR ANY SUITABLE FASTENER TO TACK IT INTO POSITION PRIOR TO WINDOW INSTALLATION. FASTEN WINDOW FRAME PER MFR INSTRUCTIONS. A WINDOW FASTENER SHALL PENETRATE MASONRY BY 2 1/4" MIN.

WHERE WINDOW FRAME IS DESIGNED TO FASTEN ONLY TO THE WOOD BUCK (IE, FLANGED FRAME WITH WOOD SCREWS) THE BUCKS SHALL BE 2X WOOD WITH STRUCTURAL FASTENING TO THE MASONRY WITH 1/4 X 3 3/4 MASONRY SCREWS @ 24" OC AND 6" FROM EACH END.

WOOD FRAMED OPENING- ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO THE PUBLISHED MANUFACTURER'S LITERATURE OF THE ASSEMBLY BEING INSTALLED TO THE ROUGH SUBSTRATE OPENING. SHIMS SHALL BE MADE OF MATERIALS CAPABLE OF RESISTING THE APPLIED LOADS AND SHALL BE LOCATED NEAR EACH FRAME FASTENER TO MINIMIZE DISTORTION OF THE FRAME AS THE FASTENERS ARE TIGHTENED.



R703.4 - WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED BY THE WINDOW OR DOOR MANUFACTURER OR BY THE FLASHING MANUFACTURER, "PAN FLASHING" SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OF PROTECTION AT THE HEAD AND SIDES.

"PAN FLASHING" IS A GENERIC TERM THAT USED TO REFER TO "METAL PAN FLASHING". HOWEVER MANY MODERN MATERIALS HAVE BEEN DEVELOPED FOR THE SAME FUNCTION SUCH AS:
- FLEXIBLE PEEL AND STICK FLASHING MEMBRANE
- FLUID APPLIED FLASHING
FOR SUCH PRODUCTS FOLLOW THE MANUFACTURER'S INSTALLATION REQUIREMENTS

FOR IN-DEPTH FLASHING INSTRUCTIONS, REFER TO THE FOLLOWING PUBLICATIONS:
FMA/AAMA 100
FMA/AAMA 200
FMA/WDMA 250
FMA/AAMAWDMA 300

GENERAL ROOF ASSEMBLY

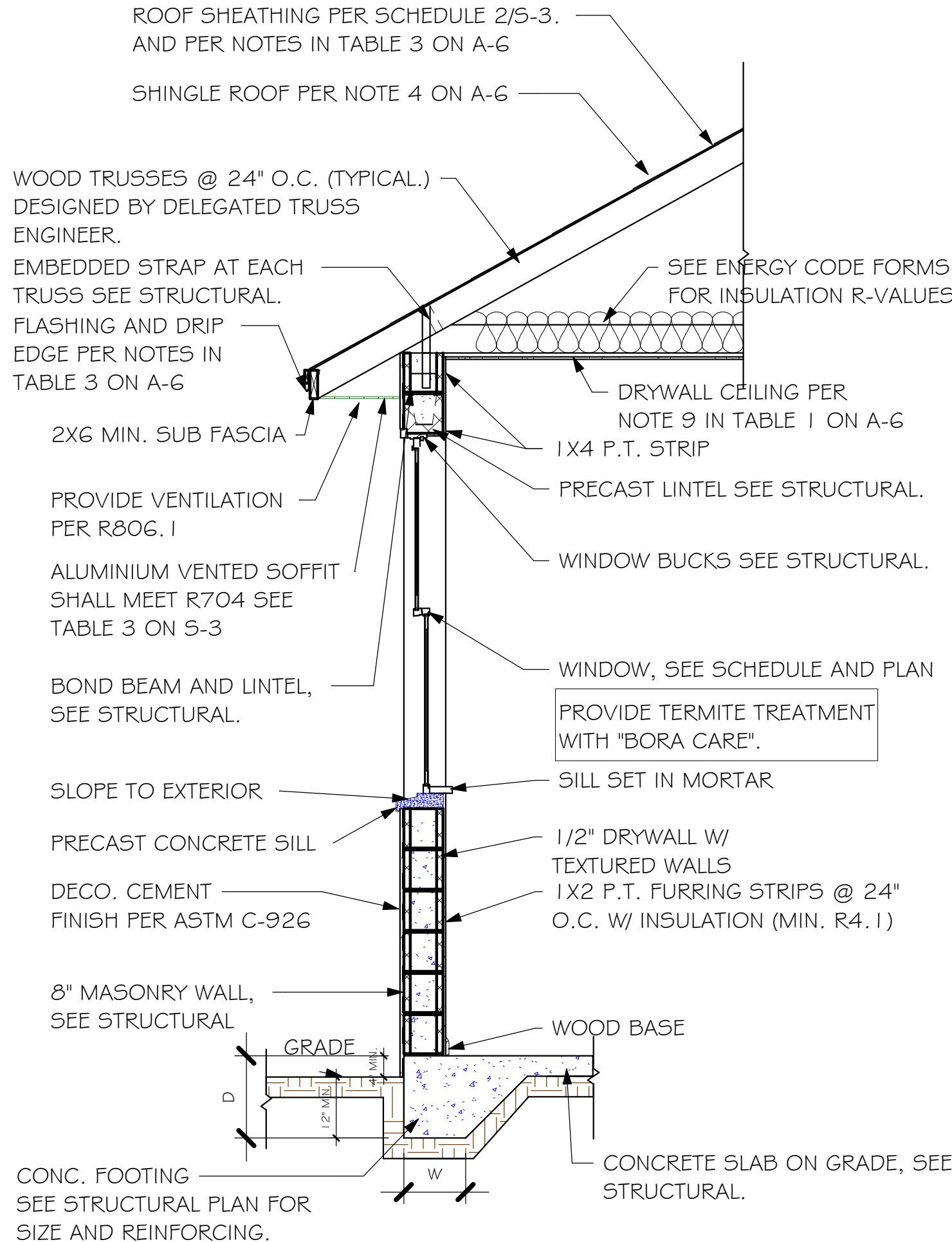
ROOF SHEATHING PER R703.2.2 SHALL BE 1/2" APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 40/20 OR BETTER. INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED. INSTALL "H" CLIPS AT UNSUPPORTED PANEL EDGES. FOR FASTENING, SEE STRUCTURAL.

FLASHING
FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, 26 GAUGE AZ50 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G90. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURER'S PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R905.2.8 (1 TO 5).

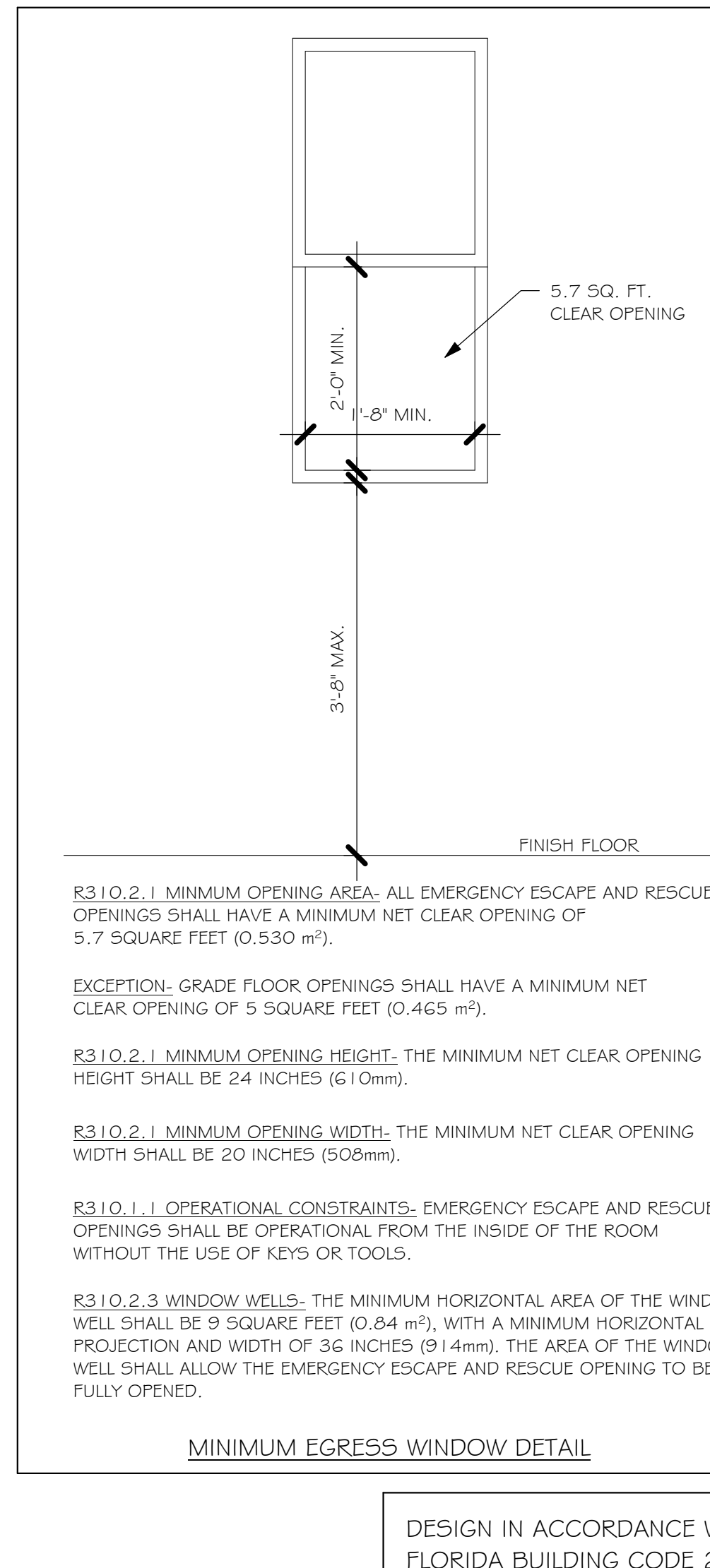
D RIP EDGE
D RIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS, LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". D RIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS. THERE SHALL BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE D RIP EDGE FLANGE.

ASPHALT SHINGLE ROOF SPEC'S

SHINGLES
30# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL ASPHALT SHINGLES SHALL HAVE SELF-SEALING STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462. FOR FASTENING, SEE STRUCTURAL. INSTALLATION SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161.



TYPICAL WALL SECTION



R310.2.1 MINIMUM OPENING AREA- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 m²).

EXCEPTION- GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (0.465 m²).

R310.2.1 MINIMUM OPENING HEIGHT- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610mm).

R310.2.1 MINIMUM OPENING WIDTH- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508mm).

R310.1.1 OPERATIONAL CONSTRAINTS- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

R310.2.3 WINDOW WELLS- THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQUARE FEET (0.84 m²), WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES (914mm). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2020 - 7TH EDITION

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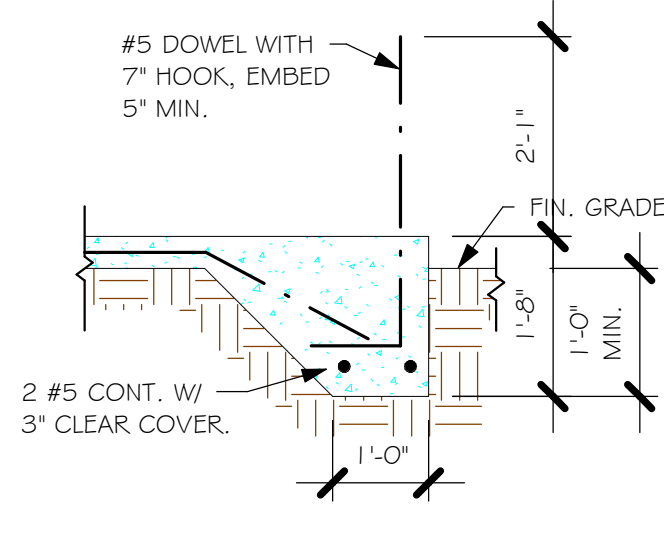
LOT: 17
SUBDIVISION: PEACHLAND SPOT LOTS
ADDRESS: 631 CHAMBER STREET NW
D.R.H. #: 578410135
GCD JOB # 13439

MODEL
1499 A

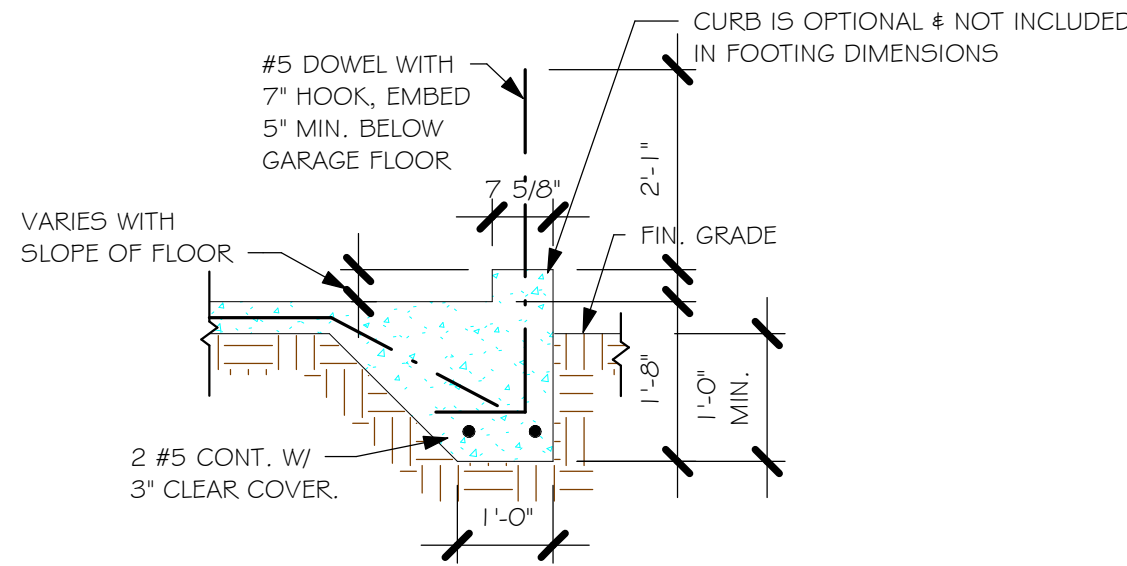
DATE: 9/15/21
DRAWN BY: CWL
CHECKED BY: JWC
REVISED:
PLAN: SECTIONS
SCALE: As indicated

A-6

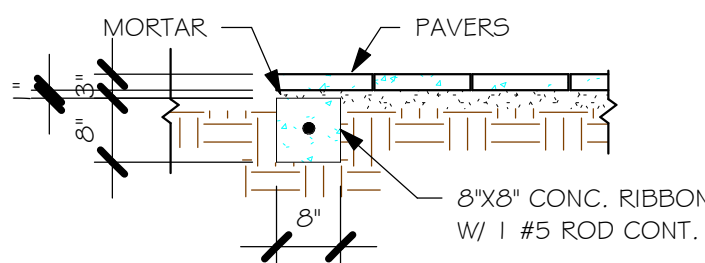
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2019\5\BID\DIVISIONS\PEACHLAND SPOT LOTS\13439 LOT 17 BLK 159 1499
ARREV\13439 1499 AR.rvt



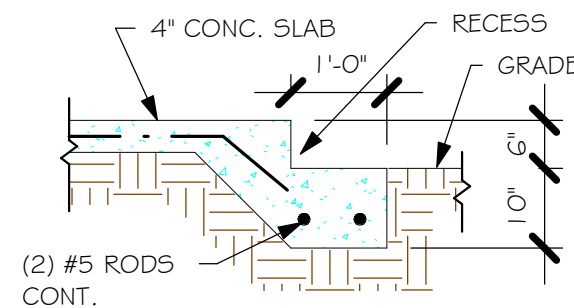
"F3" FOOTING
1/2" = 1'-0"



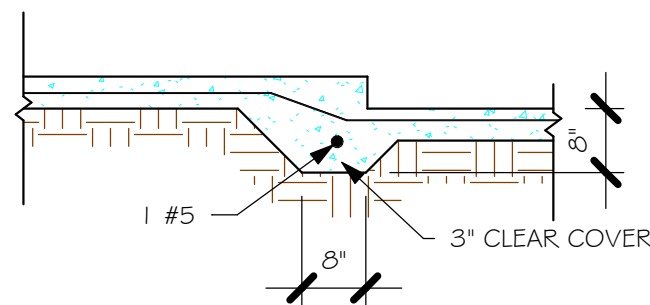
"F3" WITH CURB AT GARAGE
1/2" = 1'-0"



"P" PAVERS DETAIL ENTRY/ LANAI
1/2" = 1'-0"



GARAGE DOOR RECESS
1/2" = 1'-0"



"F6A" STEP DOWN
1/2" = 1'-0"

PAD FOOTING SCHEDULE							
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINF.		REMARKS
					LONG WAY	SHORT WAY	
X	A	2'-6"	2'-6"	1'-0"	3-#5	3-#5	-
	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5	-
	C	3'-6"	3'-6"	1'-0"	4-#5	4-#5	-
	D	4'-0"	4'-0"	1'-2"	5-#5	5-#5	-
	E	5'-0"	5'-0"	1'-2"	6-#5	6-#5	-

WALL FOOTING SCHEDULE					
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING
X	F1	CONT.	1'-4"	0'-8"	2-#5
X	F2	CONT.	1'-8"	0'-10"	2-#5
X	F3	CONT.	1'-0"	1'-8"	2-#5
X	F4	CONT.	1'-4"	1'-8"	2-#5
X	F5	CONT.	1'-4"	1'-0"	2-#5
X	F6	CONT.	1'-4"	1'-0"	2-#5
X	F6A	CONT.	0'-8"	0'-8"	1-#5
X	TE	CONT.	0'-8"	0'-8"	1-#5

PROVIDE CORNER BARS PER 6/5-3

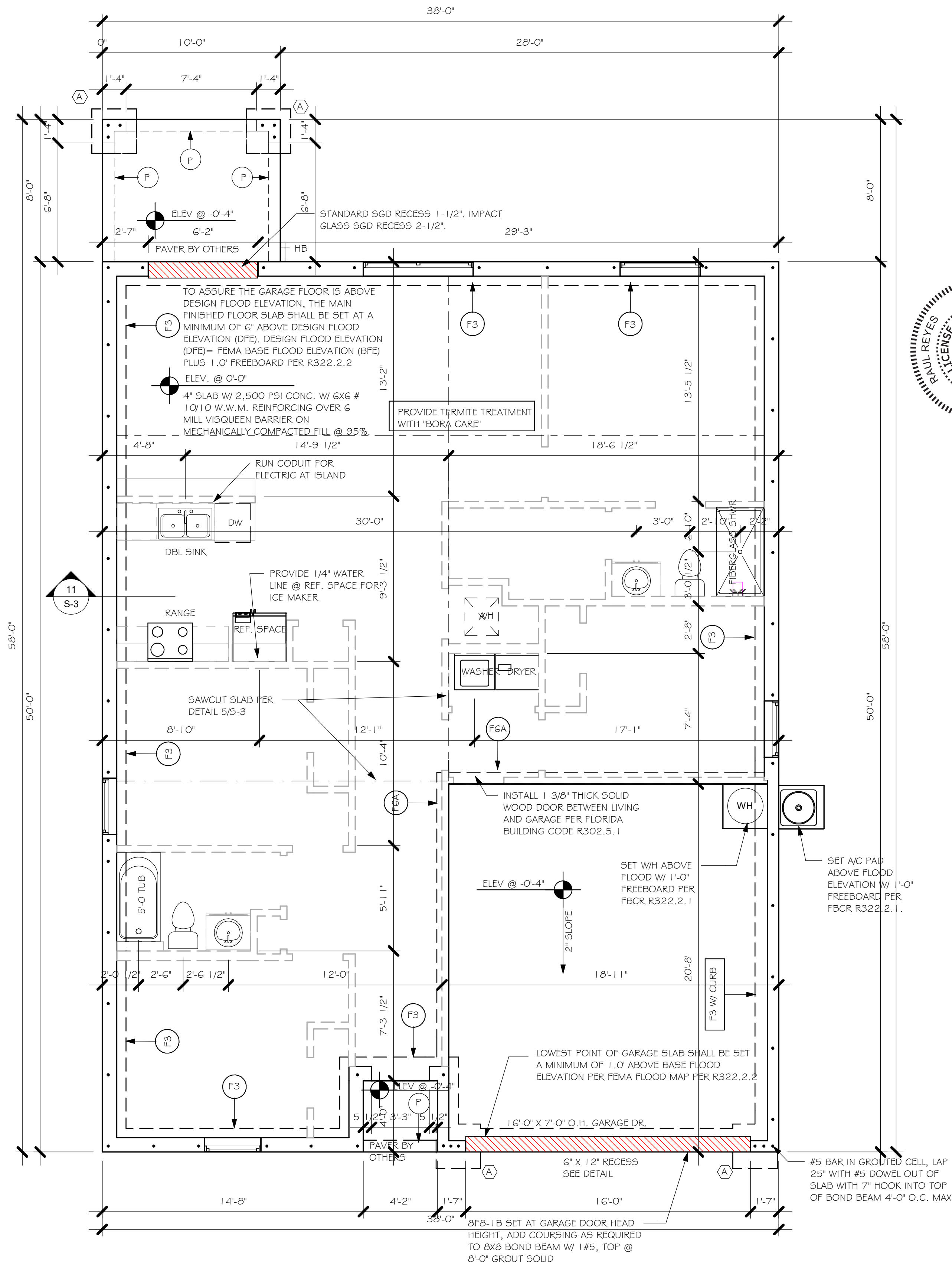
ADD CURB TO GARAGE, SEE DETAIL.

FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

PLAN NOTES:

- TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0".
- "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
- # DENOTES PAD FOOTING AT CONCENTRATED LOADS PER SCHEDULE THIS SHEET.
- PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
- FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/DOOR SUPPLIER.
- PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.



FOUNDATION
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
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This item has been digitally signed by Raul Reyes on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be validated on any electronic copies.

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D.R.H. #: 578410135

MODEL
1499 A
GCD JOB # 13439

DATE: 9/15/21
DRAWN BY: CWL
CHECKED BY: JWC
REVISED:
PLAN: FOUNDATION PLAN
SCALE: As indicated

S-1

Express HOMES

Gulf Coast Drafting & Design, Inc.
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PHONE: 239-540-1622
1515 SE 47th ST. CAPE CORAL, FL 33904

NOTES:

1. PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP ON CENTERLINE OF WALL.
2. ANY OF THE VALID LENGTHS SHOWN MAY BE USED IN PLACE OF THE LENGTH SPECIFIED ON PLAN.
3. CONNECTORS ARE SIMPSON STRONG TIE. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SIMPSON PRINTED INSTRUCTIONS. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE DESIGNER.
4. WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL RETROFIT STRAP PER I/O5-3, PER UPLIFT IN TRUSS ENGINEERING.

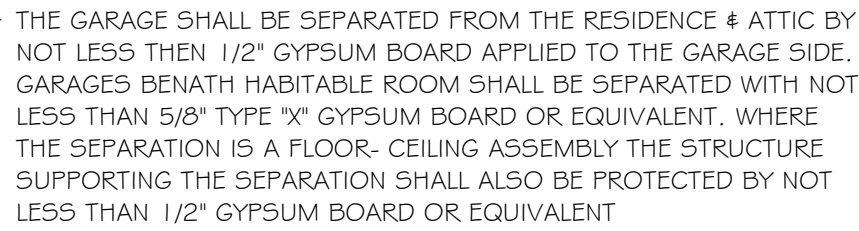
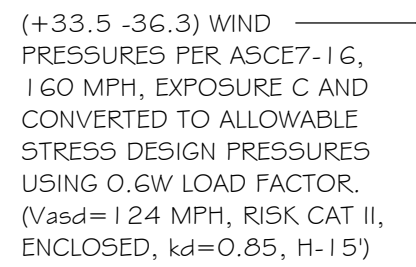


AT SWING DOORS, USE 2" RECESS STYLE
LINTEL IF NEEDED FOR ROUGH OPENING.
LINTELS BEAR 4" MIN. EACH END

1. ROOF TRUSS BEARING 8'-0", SEE LEGEND.
2. ROOF FRAMING SHALL BE WOOD TRUSSES DESIGNED BY A DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET 5-3.
3. PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS SHEET.
4. FOR NAILING OF ROOF AND FLOOR DECK, SEE I AND ON 5-3.
5. GF-BW etc., DENOTES PRECAST UNTEL ABOVE DOOR/WINDOW OPENING PER SCHEDULE THIS SHEET.
6. AT TRUSS BEARING, PROVIDE Ø6x MASONRY BOND BEAM W/ #5 CONTINUOUS, SEE DETAIL I/5-3.



TRUSS BEARING CONDITIONS AND
STRAPPING IS BASED ON TRUSS LAYOUT
PREPARED BY SCOSTA JOB# DR1499L
DATED: 11/30/20 REVISED: NONE



ROOF FRAMING PLAN
1/4" = 1'-0"

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