



## Community Development Department

18400 Murdock Circle, Port Charlotte, FL 33948  
Building Phone: 941.743.1201 | Building Fax: 941.764.4907  
Zoning Phone: 941.743.1964 | Zoning Fax: 941.743.1598  
BuildingSvcs@CharlotteCountyFL.gov  
www.CharlotteCountyFL.gov

For Office Use Only

Permit Number

20 \_\_\_\_\_

Application Date

CSR Initials \_\_\_\_\_

### ONE AND TWO FAMILY DWELLING DATA SUMMARY SHEET

Florida Building Code 7th Edition (2020)

OWNER'S NAME: D. R. Horton, Inc CONTRACTOR'S NAME: D. R. Horton, Inc

PROJECT ADDRESS: TBD TARR TERRACE LOT 4 BLK 1728 PORT CHARLOTTE 33981  
Number & Street City, State, & Zipcode

**Applicable Codes: Building, Mechanical, Plumbing, Accessibility, & Energy Codes - 7th Edition (2020) Florida Building Code, Residential Volume. Electrical Code - NFPA 70 & NEC 2017**

#### Manufacturer's Product Approvals

Doors: See Attached Overhead Doors: See Attached Windows: See Attached

Mitered Glass: See Attached Roof Coverings: See Attached **Protection of Openings:**

Soffit: See Attached Siding: See Attached Shutters: See Attached

#### Method of Design per Florida Building Code (FBC) R301:

☒ Florida Building Code, 7th Ed (2020) ☐ ICC 600 ☐ Other: \_\_\_\_\_

Designer's Name: Structural Systems of N. Florida Inc.

#### Design Data (Risk Category II):

Basic Wind Speed (Vult) 160 mph (Figure R301.2(4))

Nominal Design Wind Speed (Vasd) 124 m.p.h. Flood Design Data N/A Final Floor Elevation See Site Plan

Exposure Category Section (R301.2.1.4) ☐ B ☒ C ☐ D Soil Design Load-Bearing Value 2000 PSF

#### Structural Forces (Section R301.4 / 301.5 / 3601.6)

Floor Design: Live Load 40 p.s.f. Dead Load Slab on Grade p.s.f.

Roof Design: Live Load 20 p.s.f. Dead Load TC=20 BC=10 p.s.f. Roof Slope 5:12

Window and Door Wind Pressure Design Loading: Mean roof height 15 ft Pressures are worst case only. See plan for actual.

Windows +33.5/-44.8 p.s.f. Doors +33.5/-44.8 p.s.f. Garage Doors +29.4/-33.3 p.s.f.

#### Components and Cladding Design Pressures: Hip Roof

Zone 1: 24.9/-44.8 p.s.f. Zone 2: +24.9/-61.7 p.s.f. Zone 3: +24.9/-61.7 p.s.f. Zone 4: 33.5/-36.3 p.s.f. Zone 5: 33.5/-44.8 p.s.f.

Area Tabulation: TOTAL (Sq. Ft.): 1,824

Living (Sq. Ft.) 1,389 Garage (Sq. Ft.) 419 Lanai (Sq. Ft.) \_\_\_\_\_

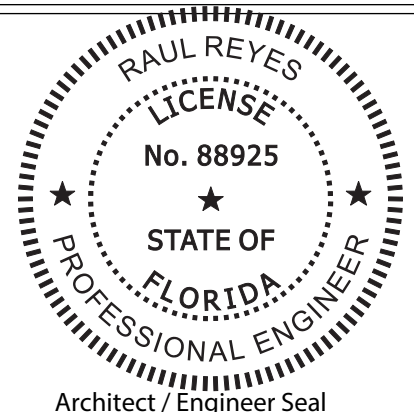
Entry (Sq. Ft.) 16 Storage (Sq. Ft.) \_\_\_\_\_ Other (Sq. Ft.) \_\_\_\_\_

I certify to the best of my knowledge and belief that these plans and specifications have been designed to comply with the structural portion of the Building Code for wind, flood and gravity loads as amended and enforced by the permitting jurisdiction.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Designer's Printed Name: \_\_\_\_\_

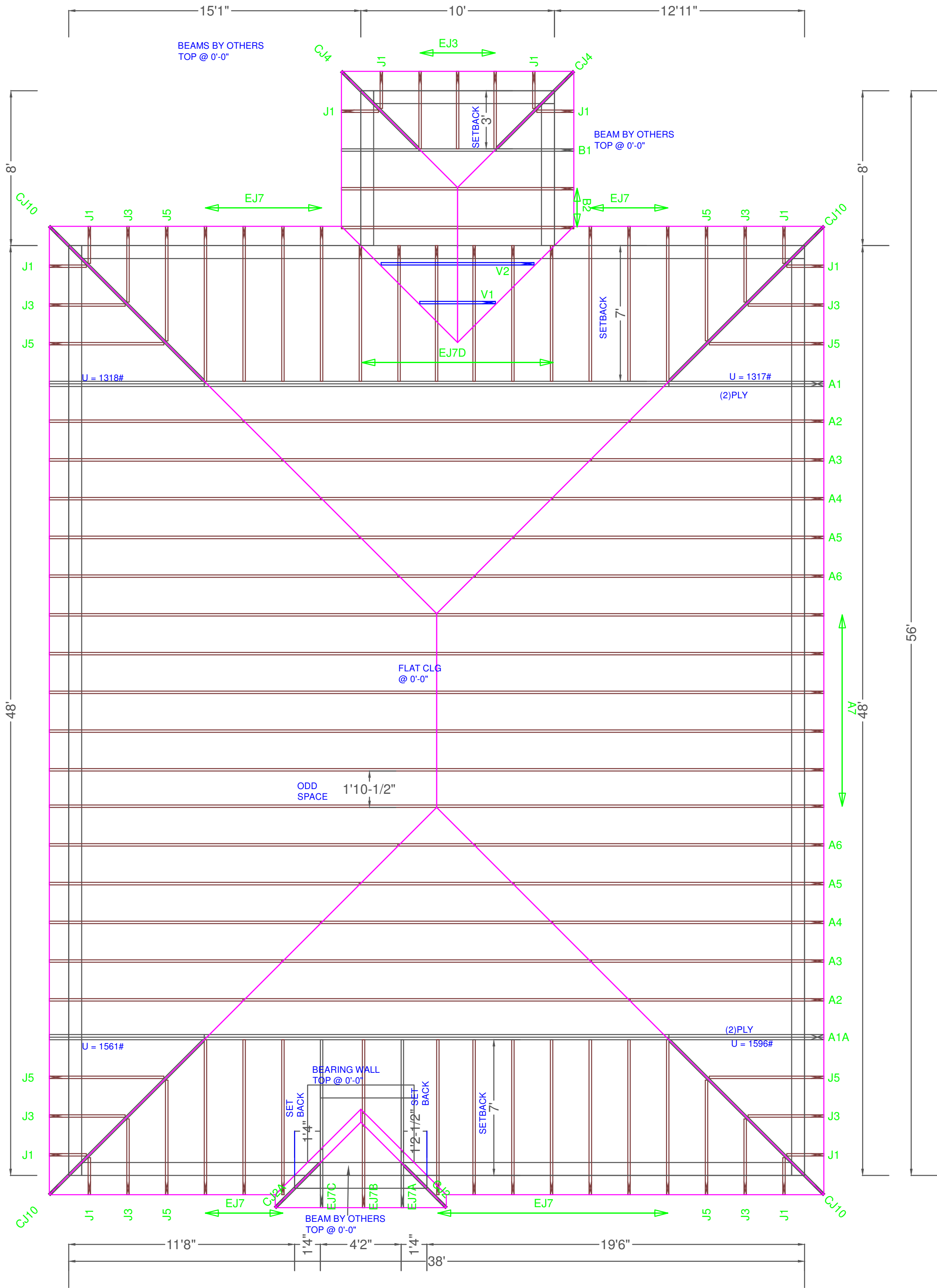
This item has been digitally signed by Raul Reyes on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be validated on any electronic copies.



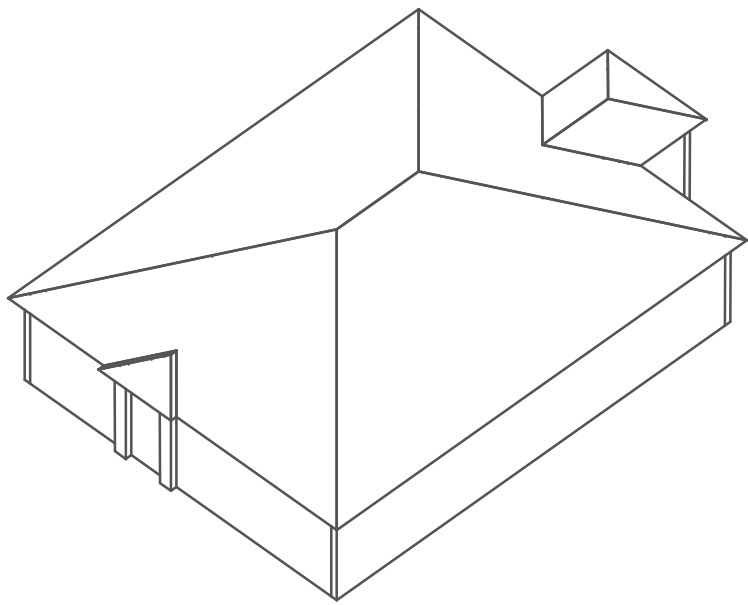
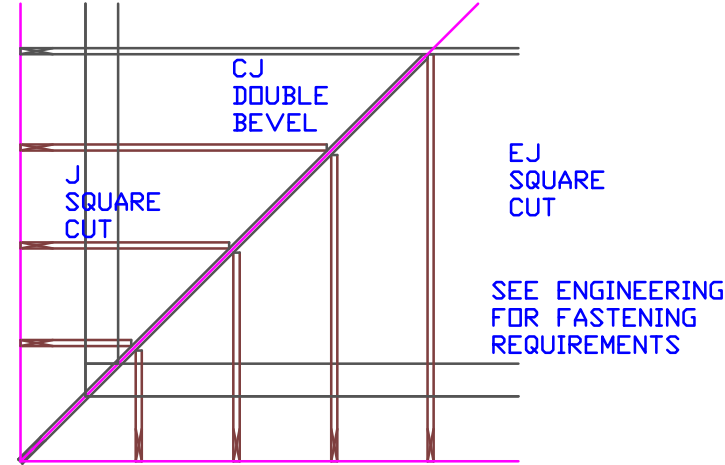
Engineer of Record for the Structure  
Structural Systems of N. Fl, Inc.  
Raul Reyes, PE 88925  
1634 SE 47th Street #3  
Cape Coral, FL 33904

This document has been reviewed for  
conformance with the design intent of the  
structure and specified design criteria.

☒ Accepted  
As-Is    ☐ Accepted  
As Noted    ☐ Revise and  
Resubmit



TYPICAL JACK CUTS



DESIGN CRITERIA

TOP CHORD LIVE LOAD	20
TOP CHORD DEAD LOAD	7
BOTTOM CHORD LIVE LOAD NON-CONCURRENT	10#
BOTTOM CHORD DEAD LOAD	10
TOTAL LOAD	37
DURATION FACTOR	1.25
WIND DESIGN SPEED (MPH)	160
ASCE 7-16 CAT II EXP C MWFRS	CLOSED
FBC 7th Ed. 2020 Res.	8'-0"
MAX. WALL HT FOR WIND LOAD	

LANAI AND ENTRY ARE EXPOSED TO WIND AND DESIGNED PER CRITERIA SHOWN

SHINGLE

**\*\*UNLESS NOTED\*\***

REACTION VALUES ARE UNDER 5000#

UPLIFT VALUES ARE UNDER 1000#

ALL TRUSSES 24"o.c. UNLESS NOTED OTHERWISE

**\*\*\*\*\*CAUTION\*\*\*\*\***

DO NOT ATTEMPT TO ERECT TRUSSES WITHOUT REFERRING TO THE ENGINEERING DWGS.

IT IS NECESSARY TO REFER TO THE ENGINEERING DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION, ORIENTATION AND WEB BRACING

REFER TO WTCA/TPI BSCI-B1 SUMMARY SHEET FOR HANDLING METHODS & TEMPORARY BRACING, WHICH IS ALWAYS REQUIRED

BEARING HEIGHTS BASED ON PLANS PROVIDED TO SCOSTA CORP. +/- BEARING DIFFERENCES SHOWN ARE CRITICAL. IF ANY HEIGHTS DEViate - INFORM SCOSTA CORP.

BEARING WALL & BEAM HEIGHTS

	0'-0"	ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.

TYPICAL HANGER SCHEDULE

(C) SIMPSON HUS 26	(M) SIMPSON HGUS 28-3
(F) SIMPSON HUS 28	(N) SIMPSON HHUS 48
(H) SIMPSON HGUS 28	(P) SIMPSON LUS 24
(I) SIMPSON HGUS 28-2	(B) SIMPSON THA 422
(W) SIMPSON THJA26	(X)

HANGER VALUES HAVE BEEN BASED ON 16D COMMON NAILS EXCEPT THE FOLLOWING

LUS24 - 10D COMMON THJA26 - 10D x 1-1/2

**\*\*\*\*\*ATTENTION\*\*\*\*\***

APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS, PITCHES, OVERHANGS, ELEVATIONS, CEILING & BEARING CONDITIONS. SCOSTA CORPORATION IS RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH PLANS AND/OR INFORMATION PROVIDED BY CUSTOMER. WITH ANY DEVIATIONS NOTED HEREIN, CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF INFORMATION AND PLANS PROVIDED TO SCOSTA CORPORATION, AND TO VERIFY CONFORMANCE TO FIELD CONDITIONS, AND/OR OWNER CHANGES. TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE APPROVED LAYOUT.

APPROVED BY: \_\_\_\_\_

DATE: \_\_\_\_\_ REQUESTED DELIVERY DATE: \_\_\_\_\_

JOB SITE CONTACT NAME: \_\_\_\_\_

PHONE #: \_\_\_\_\_

E-MAIL: \_\_\_\_\_

SCOSTA CORP.

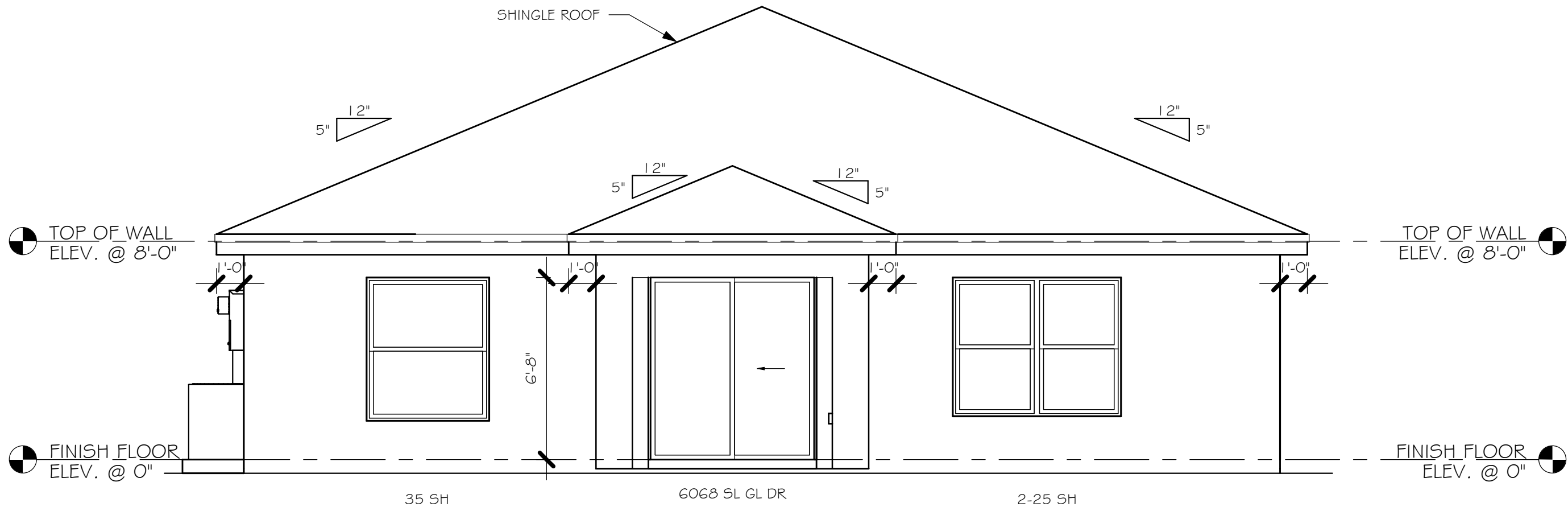
WOOD, STEEL OR TIMBER  
ROOF & FLOOR TRUSSES

3670 COMMERCE CENTER DRIVE  
SEBRING, FL 33870  
(863) 385-8242

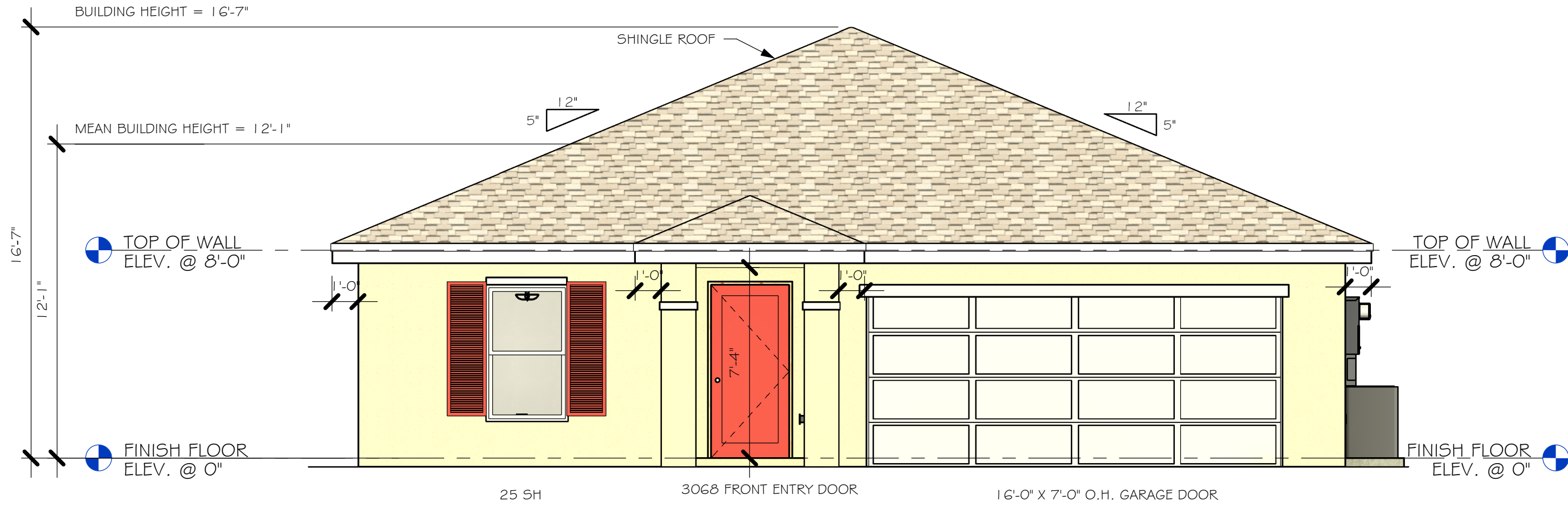
SCALE: 1/4"=1'-0"	DATE: 11/30/20	REVISED BY:	DRAWN BY: KJC
JOB ADDRESS: 1389 B W/ LANAI GARAGE RIGHT LEE		1 OF 1	
CUSTOMER: D.R. HORTON		JOB #: DR1389BL	



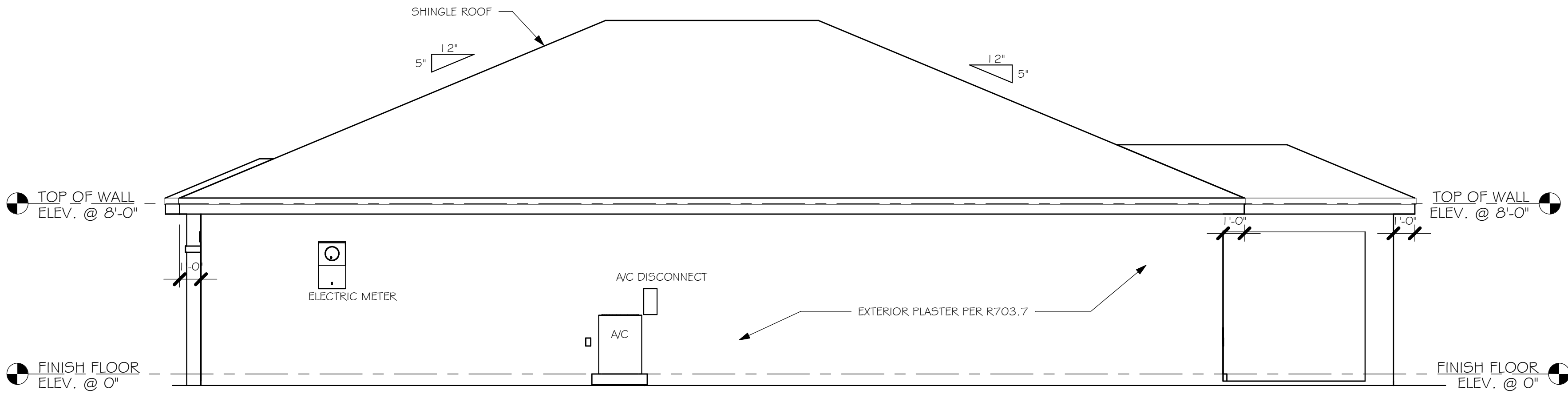
Y:\O-New Data\1 -MASTER 2019\2019-BUILDERS\DR HORTON 2019\SUBDIVISIONS\GULF COVE SPOT LOTS\13002 LOT 4 BLK 1728 - 1389 BRREV\13002 1389 BR.rvt



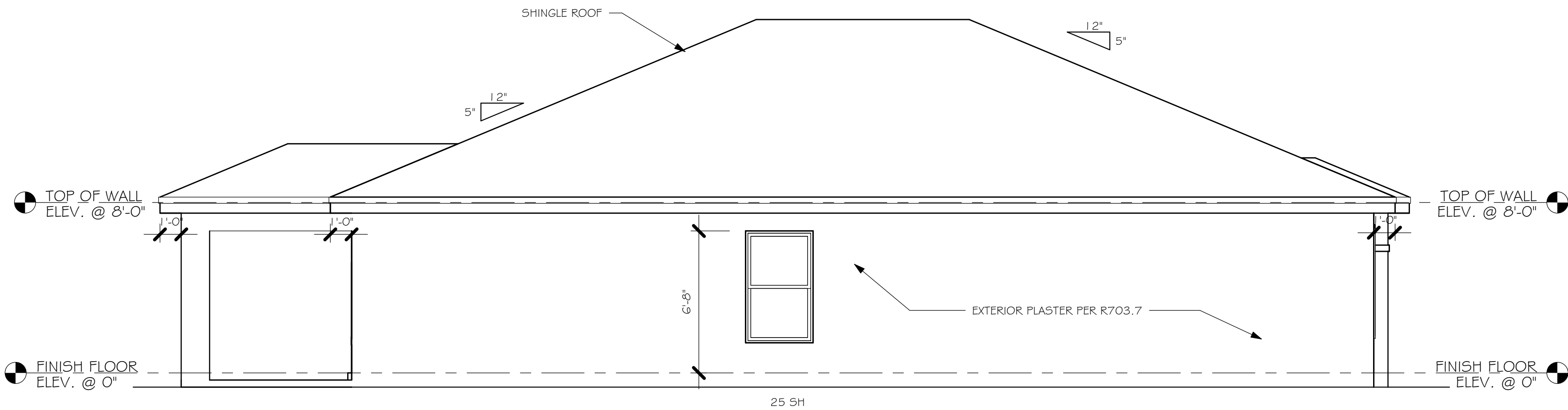
REAR ELEVATION  
1/4" = 1'-0"



FRONT ELEVATION  
1/4" = 1'-0"



RIGHT ELEVATION  
1/4" = 1'-0"



LEFT ELEVATION  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
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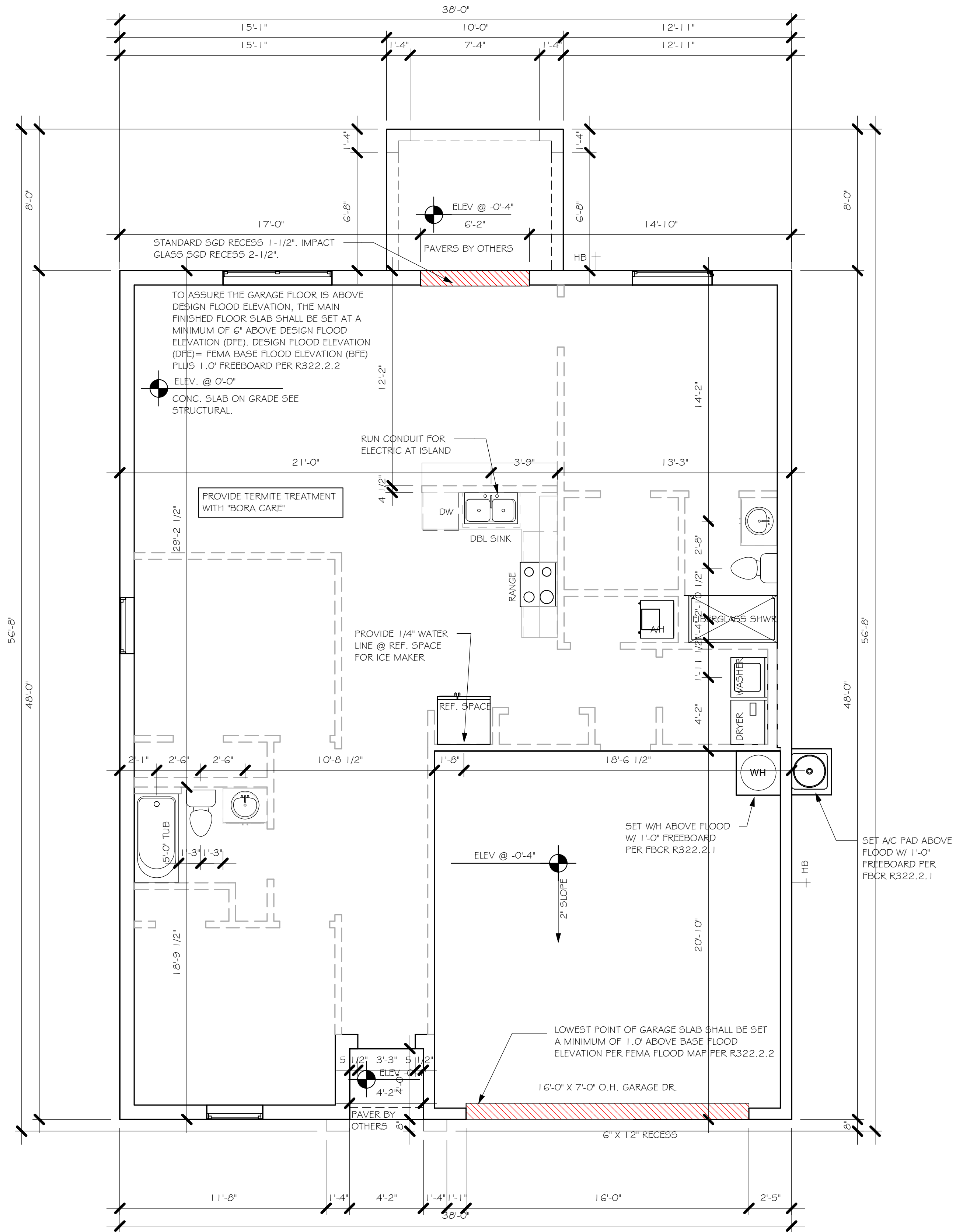
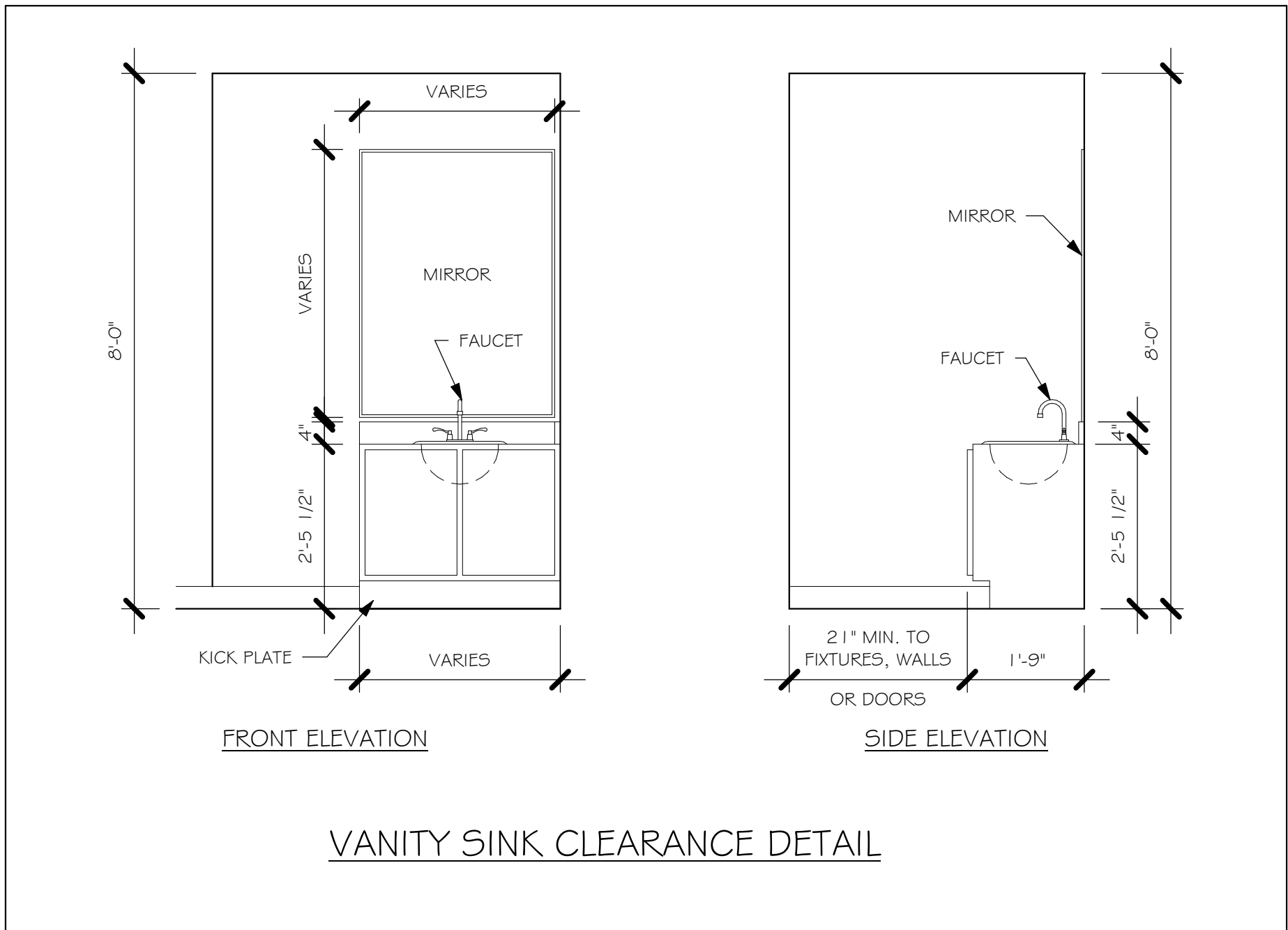
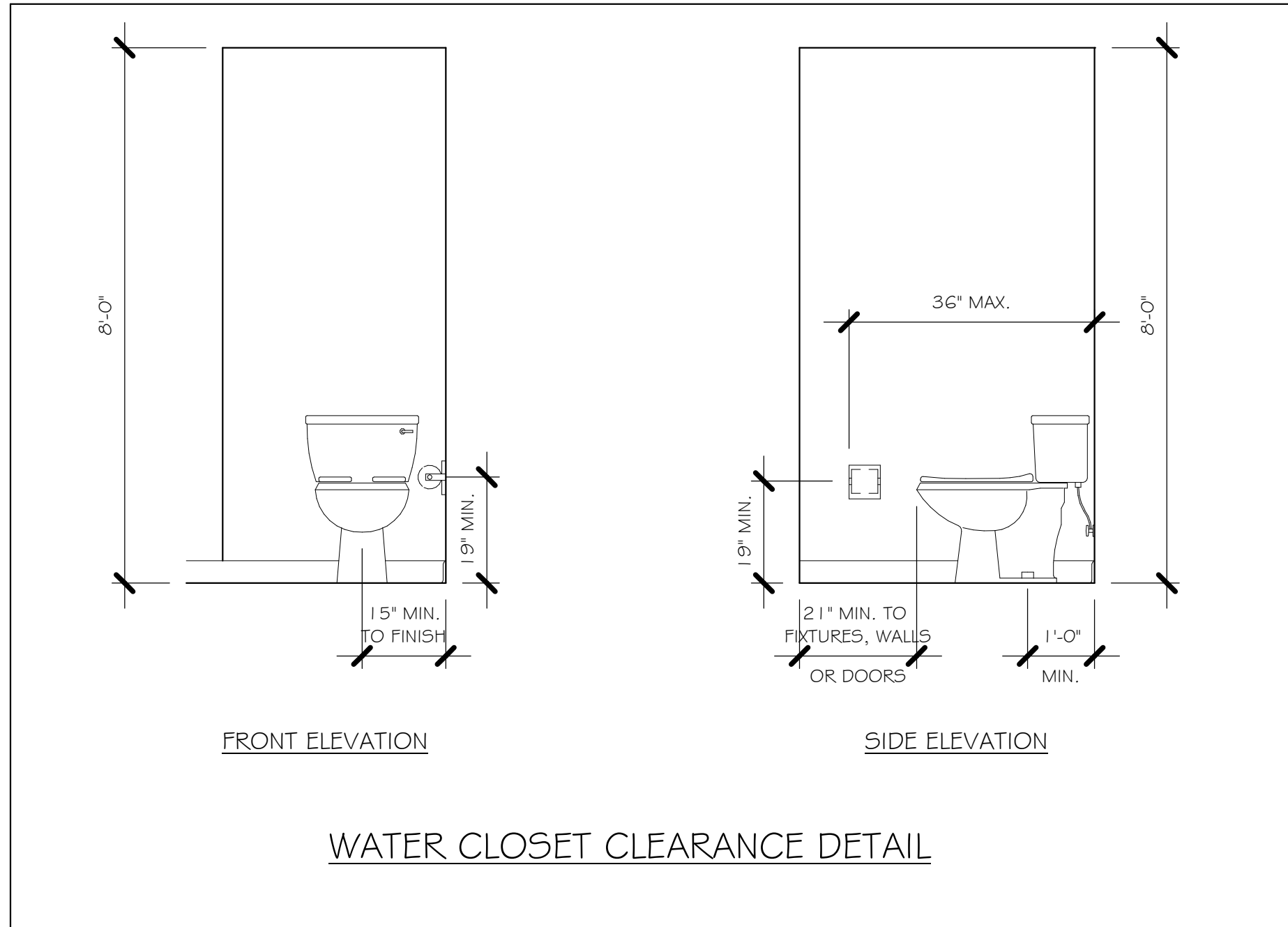
Gulf Coast  
Drafting & Design, Inc.  
EMAIL: PLANS@GULFCOASTDRAFTING.COM  
PHONE: 239-540-822  
1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 4	BLOCK: 1728
SUBDIVISION: GULF COVE SPOT LOTS	
ADDRESS: TARR TERRACE	
D.R.H. #: 579500090	

MODEL # 1389 B	GCD JOB # 13002
-------------------	-----------------

DATE:	06/21/21
DRAWN BY:	CWL
CHECKED BY:	JWC
REVISED:	
PLAN:	ELEVATION
SCALE:	1/4" = 1'-0"

A-1



SLAB & PLUMBING  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2020 - 7TH EDITION



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DOOR SCHEDULE					
TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COUNT
1	3068 ENTRY	DISTINCTION	6'-8"	3'-0"	1
2	2-3068 SL. GL. DR.	DISTINCTION	6'-8"	6'-0"	1
3	16070 OHGD	GARAGE DOOR	7'-0"	16'-0"	1

WINDOW SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COUNT
A	2-25 SH		5'-3"	6'-4"	1
B	25 SH		5'-5"	3'-4"	2
C	35 SH		5'-5"	4'-8"	1

DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

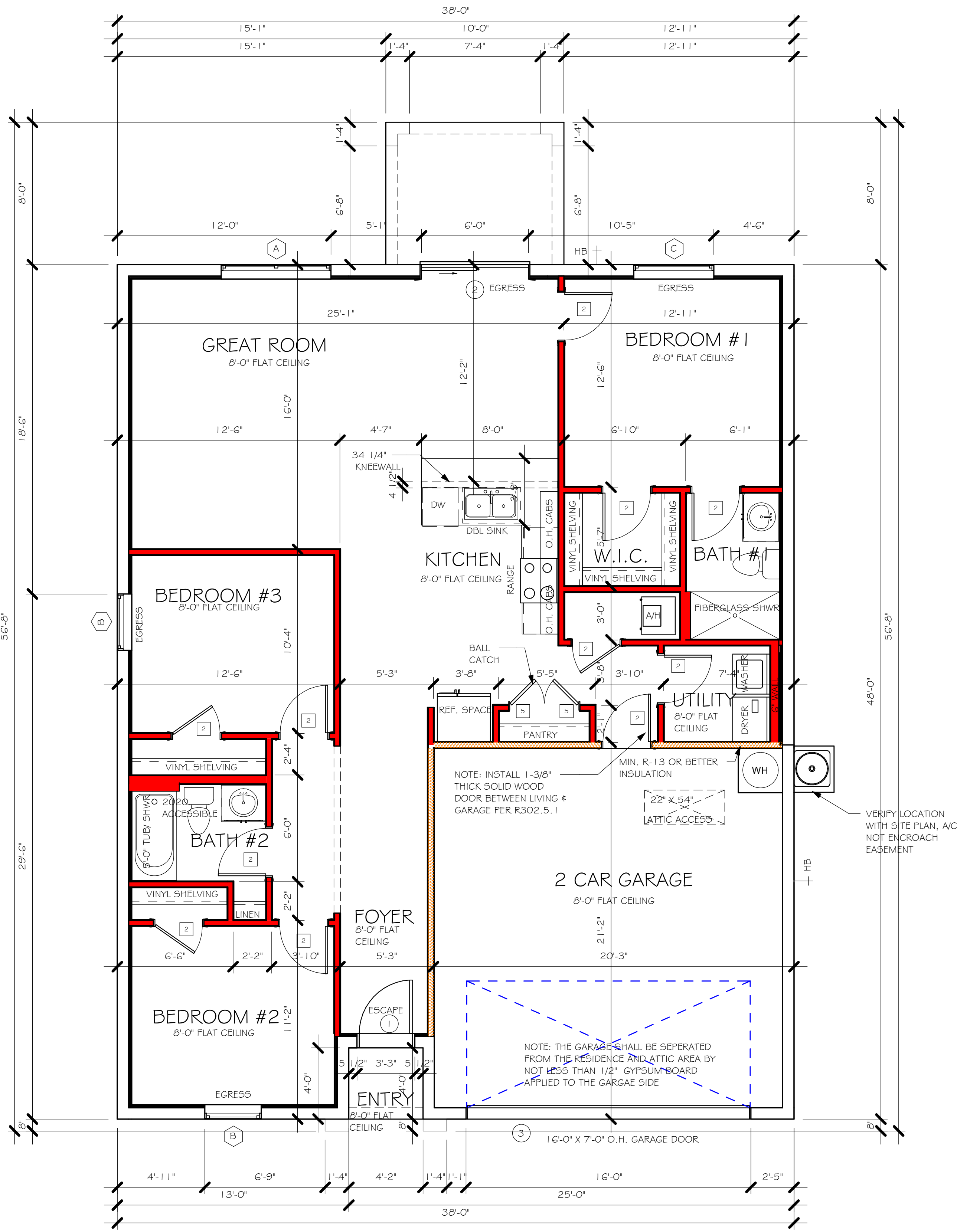
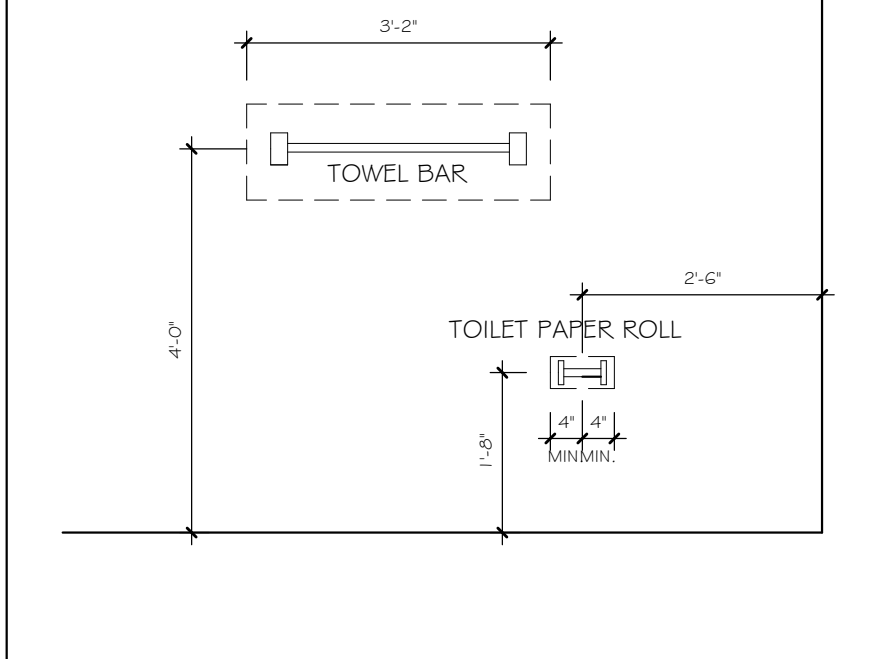
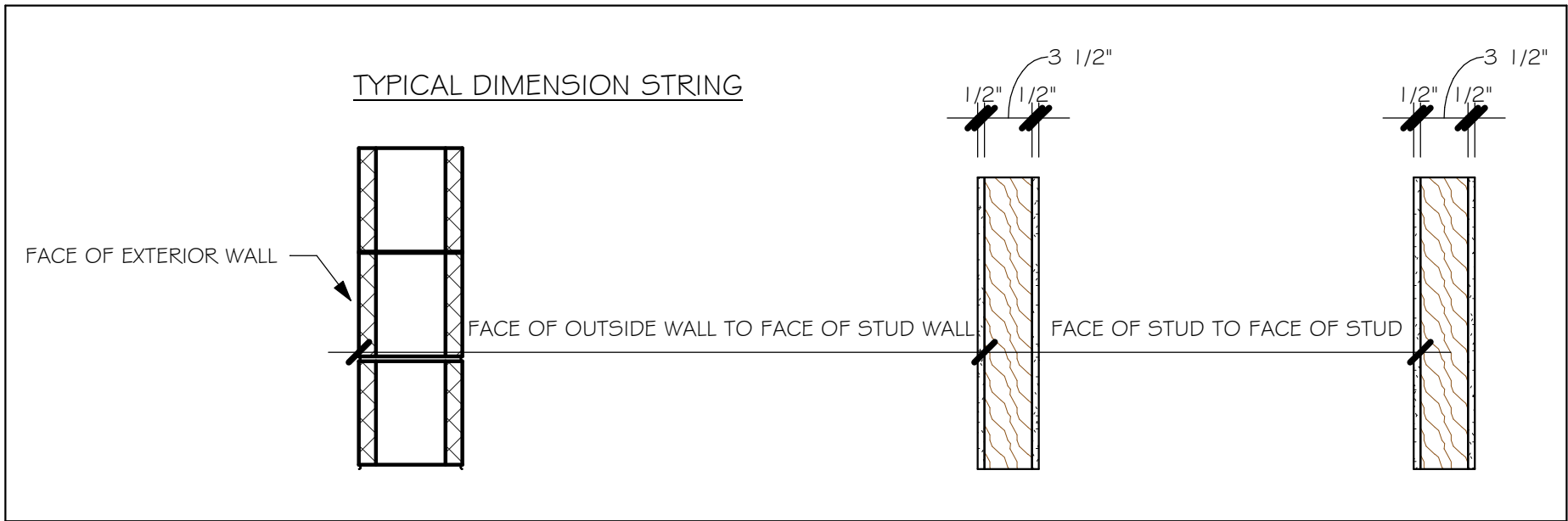
PLAN NOTES	
1)	VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
2)	PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
3)	PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
4)	NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
5)	PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
6)	KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.
7)	INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS
8)	WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. R702.3.5
9)	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSOM BOARD OR EQUIVALENT
10)	INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.5.1.
11)	ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R312.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PREVENTION DEVICE
12)	ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.
13)	ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE INSTALLED AT OR ABOVE FLOOD PLUS 1'-0" FREEBOARD.

INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	B.F. = BI-FOLD DOOR
3	2'-6"	B.P. = BI-PASS DOOR
4	2'-4"	
5	2'-0"	L.V. = LOUVERED DOOR
6	1'-8"	
7	1'-6"	
8	2'-11"	

SQUARE FOOTAGE	
LIVING AREA	1,389
GARAGE AREA	419
LANAI AREA	80
FRONT PORCH/ ENTRY AREA	16
TOTAL SQUARE FOOTAGE	1,904

CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE

BATHROOM NOTES	
TB TOWEL BAR	ALL TUB DECKS @ 21" A.F.F
TP TOILET PAPER	ALL BLOCKING TO BE PT IN SHOWERS



FLOOR PLAN  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2020 - 7TH EDITION



**Gulf Coast**  
Drafting & Design, Inc.  
EMAIL: PLANS@GULFCOASTDRAFTING.COM  
PHONE: 239-540-8822  
1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 4	BLOCK: 1728
SUBDIVISION: GULF COVE SPOT LOTS	
ADDRES: TARR TERRACE	
D.R.H. #: 579500090	

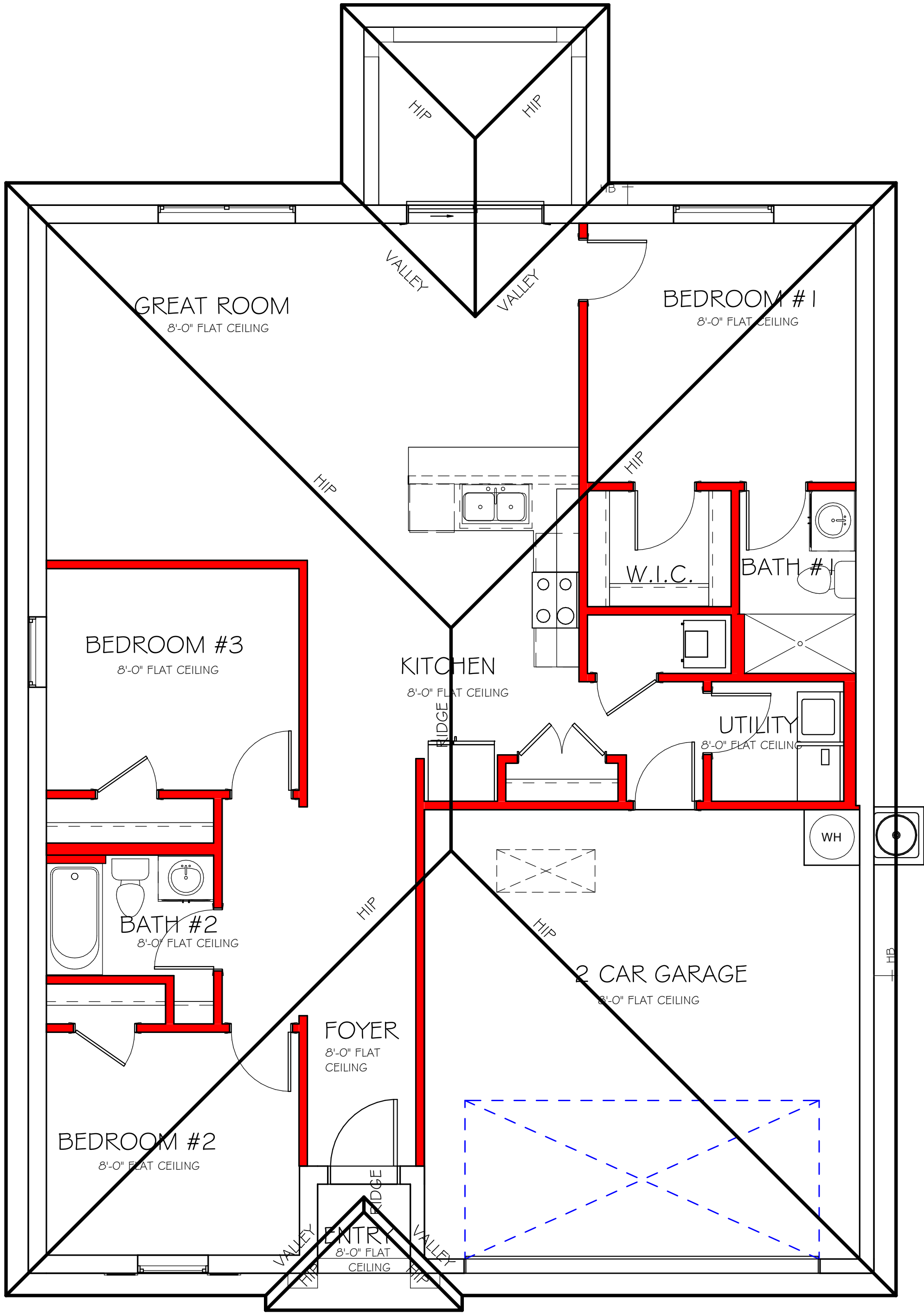
MODEL	# 1389 B
GCD JOB #	13002

DATE:	06/21/21
DRAWN BY:	CWL
CHECKED BY:	JWC
REVISED:	
PLAN:	FLOOR
SCALE:	As indicated

Y:\O-New Data\1 -MASTER 2019\2019-BUILDERS\DR HORTON 2019\SUBDIVISIONS\GULF COVE SPOT LOTS\13002 LOT 4 BLK 1728 1389 BRREV\13002 1389 BR.rvt

MODEL 1389 B: ATTIC VENTILATION FBCR R806									
COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS									
AREAS (SQ. FT.)			SOFFIT ONLY (1/150) (NO ROOF VENTS)			WITH ROOF VENTS (1/300) (R.V.)			
ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED			
MARK	ATTIC	SOFFIT	ATTIC AREA/150	REQD AIR FLOW OF SOFFIT	QUAD 4 SOFFIT HAS	ATTIC AREA/300	QUANTITY OF ROOF VENTS	MIN AIR FLOW OF SOFFIT	
1st STORY	2000.0 SQ. FT.	176.0 SQ. FT.	13.33 SQ. FT.	7.57%	8.15%	--- SQ. FT.	-	---%	
			"SOFFIT ONLY" QUALIFIES			ROOF VENTS ARE NOT REQUIRED			
			SOFFIT MODEL			ROOF VENT MODEL			
			ACM QUAD 4, FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW			32" BASE 22-3/8" BASE LOMANCO 770-D 0.97 SQ. FT. FREE AIR			

WALL HEIGHT	
<div></div>	= WALL @ 8'-0"



ROOF PLAN  
1/4" = 1'-0"

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EMAIL: PLANS@GULFCOASTDRAFTING.COM  
PHONE: 239-540-1822  
1515 SE 47th ST. CAPE CORAL, FL 33904

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SUBDIVISION: GULF COVE SPOT LOTS	
ADDRS: TARR TERRACE	
D.R.H. #: 579500090	

MODEL # 1389 B	GCD JOB # 13002
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DATE:	06/21/21
DRAWN BY:	CWL
CHECKED BY:	JWC
REVISED:	
PLAN:	ROOF
SCALE:	As indicated



Y:\O-New Data\1 -MASTER 2019\2019-BUILDERS\DR HORTON 2019\SUBDIVISIONS\GULF COVE SPOT LOTS\13002 LOT 4 BLK 1728 1389 BRREV\13002 1389 BR.MXD

ELECTRICAL METER

ELECTRICAL PANEL

120 V JUNCTION BOX

SINGLE RECEPTACLE OUTLET

220 V RECEPTACLE OUTLET

4-PLEX RECEPTACLE OUTLET

DUPLEX RECEPTACLE OUTLET

1/2 SWITCHED DUPLEX OUTLET

DUPLEX RECEPTACLE AT ELEV. A.F.F.

DUPLEX RECEPTACLE - ABOVE COUNTER

SINGLE POLE SWITCH

3 WAY SWITCH

DIMMER SWITCH

MOTION SENSOR SWITCH

AG/DC SMOKE DETECTOR  
TO BE INTERCONNECTED  
ANY RESIDENT HAVING A FOSSIL-BURNING  
HEATER OR APPLIANCE, A FIREPLACE, OR  
AN ATTACHED GARAGE SHALL HAVE AN  
OPERATIONAL CARBON MONOXIDE ALARM  
INSTALLED WITHIN 10 FEET OF EACH  
ROOM USED FOR SLEEPING PERPOSES.  
PER RULE 9B-3.04.72  
SD (SMOKE DETECTOR)  
SCD (CARBON MONOXIDE/ SMOKE  
DETECTOR)

TELEPHONE OUTLET

TELEVISION RECEPTION OUTLET

SURFACE MOUNTED CEILING LIGHT

FLUSH MOUNTED LIGHT

WALL MTD. BRACKET LIGHT

DUPLEX FLOOD LIGHT

EXHAUST FAN

TRACK MTD. LIGHTS

A/C DISCONNECT

PUSH BUTTON (PB) / DOOR BELL (DB)

INTERCOM

KEYPAD

4' FLUORESCENT LIGHT

2' UNDER COUNTER LIGHT

NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.

ELECTRICAL NOTES:  
ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER  
RESISTANT RECEPTACLES SHALL BE INSTALLED  
IN DWELLING UNITS PER N.E.C 210.12 AND 406.11  
ALL ELECTRIC, ELECTRICAL EQUIPMENT AND APPLIANCES TO BE SET AT  
OR ABOVE BASE FLOOD ELEVATION PLUS 1'-0" FREEBOARD.  
ALL OUTLETS IN WET AREAS AND ALL  
EXTERIOR OUTLETS TO BE GFI'S.  
INSTALL PHONE AND T.V PER CONTRACT.  
INSTALL ALL ELECTRICAL PER NEC 2014

ELECTRICAL PLAN 1389		
200 AMP SERVICE		
TAG	QUANTITY	PRODUCT
A	(X)	(FLUSH MOUNTED LT)
B	(X)	(VAPORS)
C	(X)	(PENDANT LIGHT
D	(10)	(10" MUSHROOMS)
E	(2)	(24" 3 LT)
F	(X)	(36" 4 LT)
G	(X)	(NOT USED)
H	(2)	(COACH LIGHTS)
I	(X)	(COACH LIGHTS)
J	(X)	(J BOX)
K	(1)	(4' FLUORESCENT)
L	(X)	(2' FLUORESCENT)
M	(X)	(5LT CHANDELIER)
N	(X)	(3 LT.)
O	(X)	(PENDANT/ NOOK)
P	(X)	(X)
Q	(X)	(X)

M

150 AMP PANEL

POWER CO.

(2) 40 AL 4 (1) 1/0 AL  
OR CU EQUIVALENT

#6 CU MIN. TO (2) GROUND RODS,  
AT LEAST 6FT APART.

150 AMP ELECTRICAL RISER DIAGRAM

The diagram is a detailed electrical floor plan for a residential unit. It shows the layout of rooms including a living area, kitchen, two bedrooms, a bathroom, and a laundry room. Key features include: 

- Lighting:** Various light fixtures are indicated with tags (A, B, C, D, E, F, G, H, I, J, K, L, M, N, O) and notes like 'PRE-WIRE FOR FAN (TYP.)' and 'KEYLESS'.
- Outlets and Switches:** Numerous outlets (single, duplex, 4-plex) and switches (single pole, 3-way, dimmer, motion sensor) are shown throughout the unit.
- Equipment:** Locations for a television, telephone, and intercom are marked.
- Specialty Features:** Includes 'UNDER CAB' lighting, 'WH' (water heater), and 'ELEC METER' (electrical meter).
- Notes:** A note specifies to 'VERIFY LOCATION OF GFI PER DECO BANDING'. Another note mentions 'ELECTRICAL HOME RUN LOCATED BEHIND LAUNDRY ROOM DOOR'.
- Dimensions:** A dashed blue rectangle indicates a '150 AMP PANEL' area.

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2020 - 7TH EDITION

Express

HOMES

Gulf Coast

Drafting & Design, Inc.

EMAIL: PLANS@GULFCOASTDRAFTING.COM

PHONE: 239-540-8822

1515 SE 47TH ST. CAPE CORAL, FL 33904

LOT: 4

BLOCK: 1728

SUBDIVISION: GULF COVE SPOT LOTS

ADDRESS: TARR TERRACE

MODEL

# 1389 B

GCD JOB # 13002

D.R.H. #: 579500090

DATE: 06/21/21

DRAWN BY: CWL

CHECKED BY: JWC

REVISED:

PLAN: ELECTRIC

SCALE: As indicated

A-5





INSTALL AT ALL EXTERIOR WALL LOCATIONS WHERE  
WOOD STUD FRAMING IS ABOVE MASONRY WALLS

2. DOOR AND WINDOW ANCHORAGE

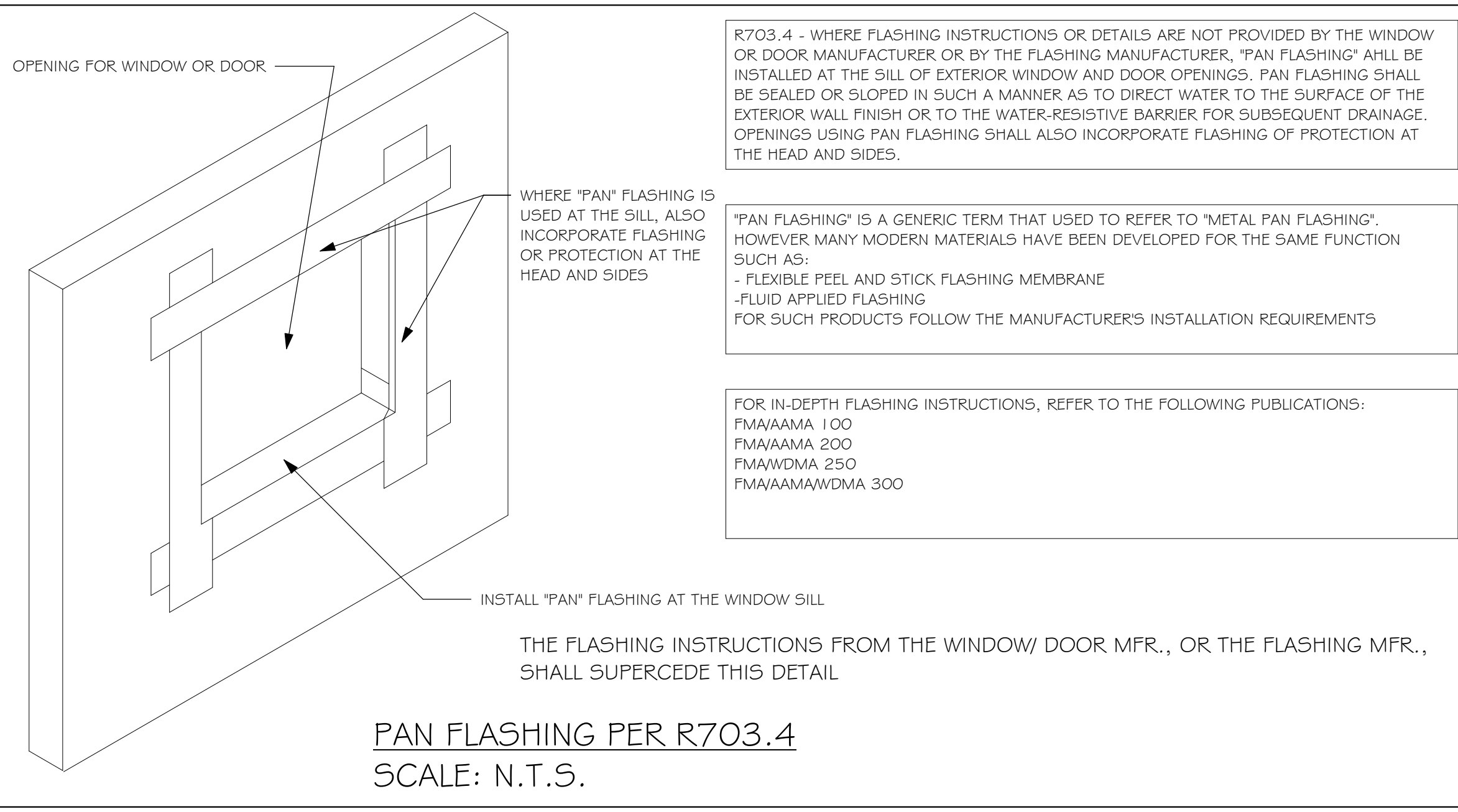
ANCHORAGE REQUIREMENTS- ALL PASSG AND SLIDING GLASS DOORS AND ALL WINDOW ASSEMBLIES SHALL BE ANCHORED TO THE MAIN WIND FORCE RESISTING SYSTEM IN A MANNER SPECIFIED BY THE PUBLISHED MANUFACTURERS LITERATURE. THERE SHALL BE NO SUBSTITUTION OF ALTERNATE FASTENINGS UNLESS PROVIDED BY THE MANUFACTURER AND APPROVED BY THE BUILDING DESIGN ENGINEER.

MASONRY OPENING

WHERE WINDOW FRAME IS DESIGN TO FASTEN WITH SCREWS THROUGH THE FRAME AND INTO THE MASONRY, THE BUCK MATERIAL IS SIMPLY A SPACER. THE BUCK MAY BE FASTENED WITH THE T NAILS OR ANY SUITABLE FASTENER TO TACK IT INTO POSITION PRIOR TO WINDOW INSTALLATION. FASTEN WINDOW FRAME PER MFR INSTRUCTIONS. A WINDOW FASTENER SHALL PENETRATE MASONRY BY 2 1/4" MIN.

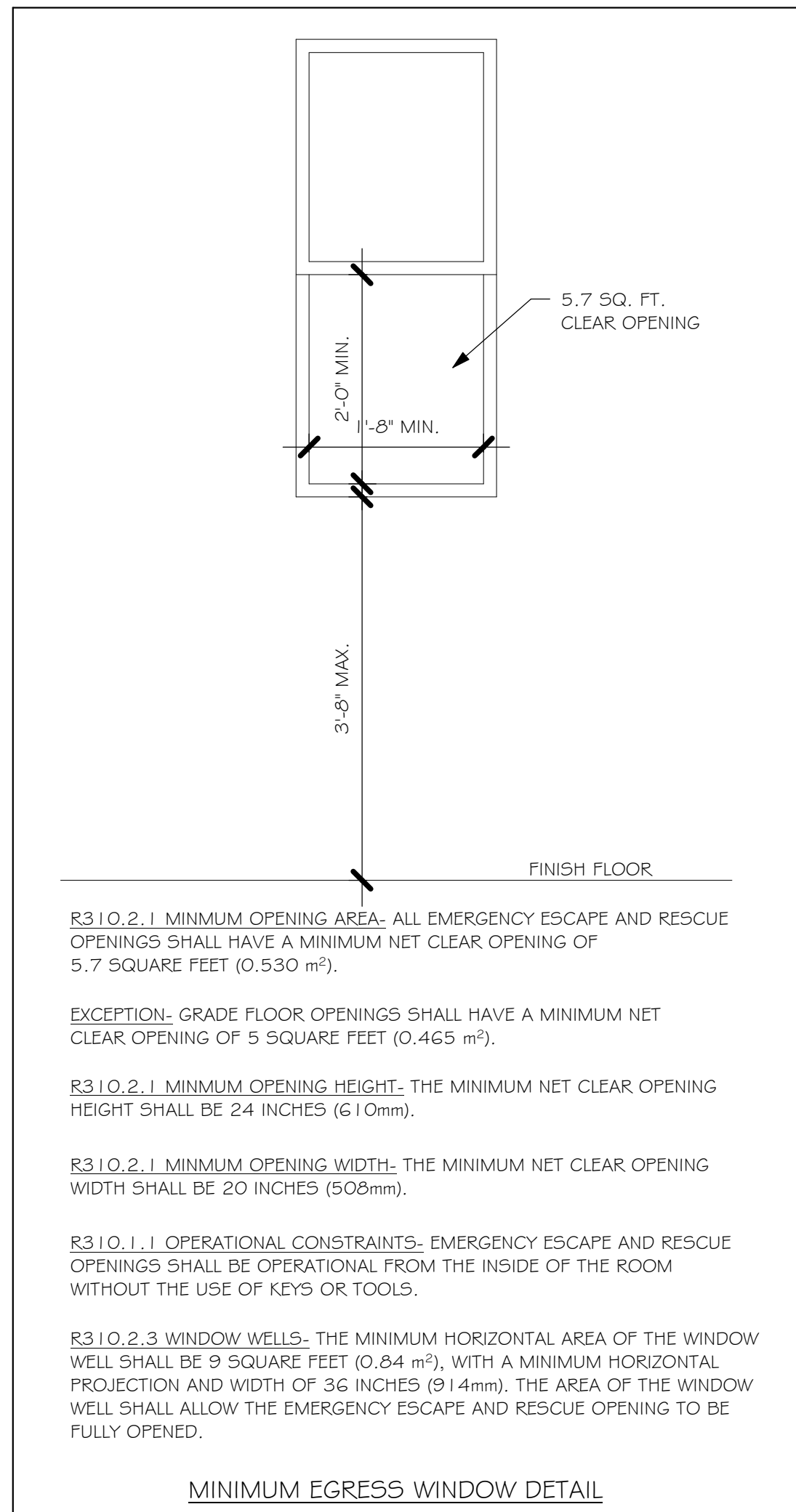
WHERE WINDOW FRAME IS DESIGNED TO FASTEN ONLY TO THE WOOD BUCK (IE, FLANGED FRAME WITH WOOD SCREWS) THE BUCKS SHALL BE 2X WOOD WITH STRUCTURAL FASTENING TO THE MASONRY WITH 1/4 X 3 3/4 MASONRY SCREWS @ 24" OC AND 6" FROM EACH END.

WOOD FRAMED OPENING- ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO THE PUBLISHED MANUFACTURERS LITERATURE OF THE ASSEMBLY BEING INSTALLED TO THE ROUGH SUBSTRATE OPENING. SHIMS SHALL BE MADE OF MATERIALS CAPABLE OF RESISTING THE APPLIED LOADS AND SHALL BE LOCATED NEAR EACH FRAME FASTENER TO MINIMIZE DISTORTION OF THE FRAME AS THE FASTENERS ARE TIGHTENED .



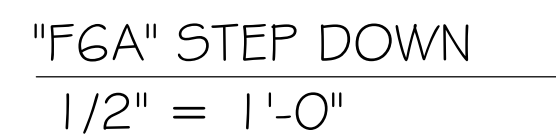
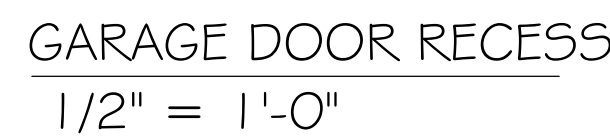
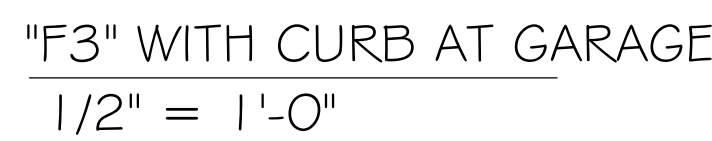
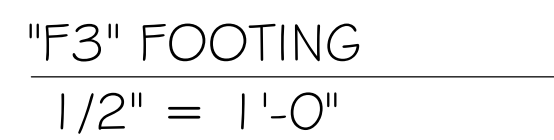
- 
- ROOF SHEATHING PER SCHEDULE 2/5-3.  
AND PER NOTES IN TABLE 3 ON A-6
- SHINGLE ROOF PER NOTE 4 ON A-6
- WOOD TRUSSES @ 24" O.C. (TYPICAL.)  
DESIGNED BY DELEGATED TRUSS  
ENGINEER.
- EMBEDDED STRAP AT EACH  
TRUSS SEE STRUCTURAL.
- FLASHING AND DRIP  
EDGE PER NOTES IN  
TABLE 2 ON A-6
- 2X6 MIN. SUB FASCIA
- PROVIDE VENTILATION  
PER R206.1
- ALUMINIUM VENTED  
SOFFIT SHALL MEET R704  
SEE TABLE 3 ON S-3
- BOND BEAM AND LINTEL,  
SEE STRUCTURAL.
- SLOPE TO EXTERIOR
- PRECAST CONCRETE SILL
- DECO. CEMENT  
FINISH PER ASTM C-926
- 8" MASONRY WALL,  
SEE STRUCTURAL.
- SEE ENERGY CODE FORMS FOR  
INSULATION R-VALUES
- DRYWALL CEILING PER  
NOTE 9 IN TABLE 1 ON A-6
- 1X4 P.T. STRIP
- PRECAST LINTEL, SEE STRUCTURAL.
- WINDOW BUCKS, SEE STRUCTURAL.
- WINDOW, SEE SCHEDULE AND PLAN
- PROVIDE TERMITE TREATMENT  
WITH "BORA CARE".
- SILL SET IN MORTAR
- 1/2" DRYWALL W/  
TEXTURED WALLS
- 1X2 P.T. FURRING STRIPS @ 24"  
O.C. W/ INSULATION (MIN. R4.1)
- WOOD BASE
- GRADE
- CONC. FOOTING  
SEE STRUCTURAL PLAN  
FOR SIZE AND  
REINFORCING.
- CONCRETE SLAB ON GRADE, SEE  
STRUCTURAL.

## TYPICAL WALL SECTION











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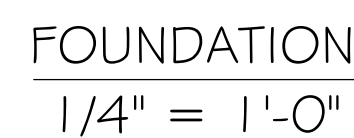


## WALL FOOTING SCHEDULE

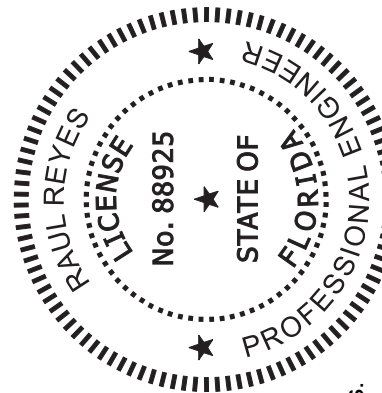
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING	SHAPE
	F1	CONT.	1'-4"	0'-8"	2#5	
	F2	CONT.	1'-8"	0'-10"	2#5	
X	F3	CONT.	1'-0"	1'-8"	2#5	
	F4	CONT.	1'-4"	1'-8"	2#5	
	F5	CONT.	1'-4"	1'-0"	2#5	
	F6	CONT.	1'-4"	1'-0"	2#5	
X	F&A	CONT.	0'-8"	0'-8"	1#5	
TE	TE	CONT.	0'-8"	0'-8"	1#5	

## FOUNDATION PLAN

3. PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
4. ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
5. FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/DOOR SUPPLIER.
6. PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.



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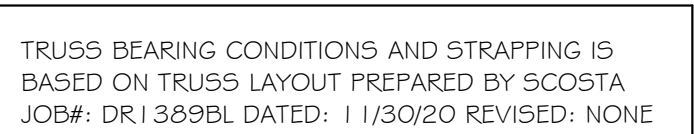
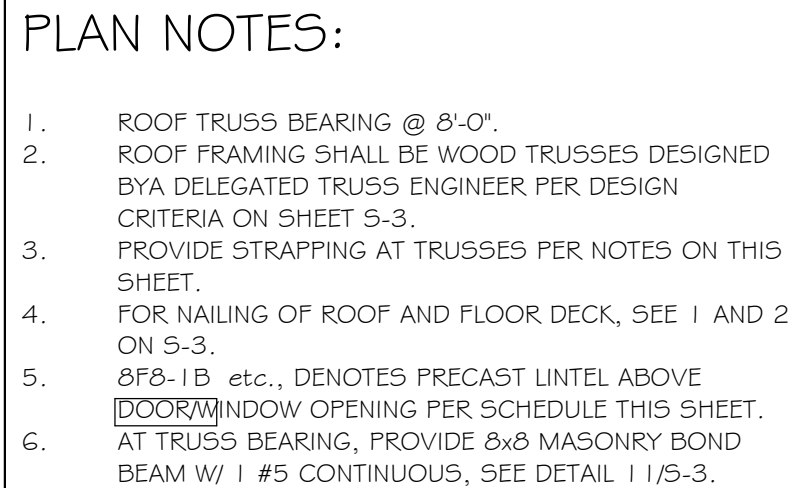


This item has been digitally signed by Raul Reyes on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be validated on any electronic copies.



NOTES:

1. PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP ON CENTERLINE OF WALL.
2. ANY OF THE VALID LENGTHS SHOWN MAY BE USED IN PLACE OF THE LENGTH SPECIFIED ON PLAN.
3. CONNECTORS ARE SIMPSON STRONG TIE. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SIMPSON PRINTED INSTRUCTIONS. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE DESIGNER.
4. WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL RETROFIT STRAP PER IQS-3, PER UPLIFT IN TRUSS ENGINEERING.



= BEARING @ 8'-0"



$$1/4'' = 1'-0''$$

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