



Home Inspection Report

123 Sample Report Dr
Raleigh, NC 27606

Inspected By: Stephen Pait, CMI- Lic # 4329 &
Septic Lic #72451

Prepared For: Melissa Meekins & John
Thompson III

Inspected on Thu, Jan 2, 2025 at 8:00 AM

Pait Home Inspections of North Carolina, LLC

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paitinspections.com

Inspector's Signature

A handwritten signature in black ink, consisting of a series of loops and a long horizontal stroke.

Property Type

Single Family

Year Built

Age based on listing, 2002

Occupied

Yes

Stories

Two

Weather

Sunny

Temperature

40 degrees

Soil Condition

Damp

Utilities On During Inspection

Electric Service, Water Service, LP Gas Service

People Present

Client, Buyer's Agent

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading

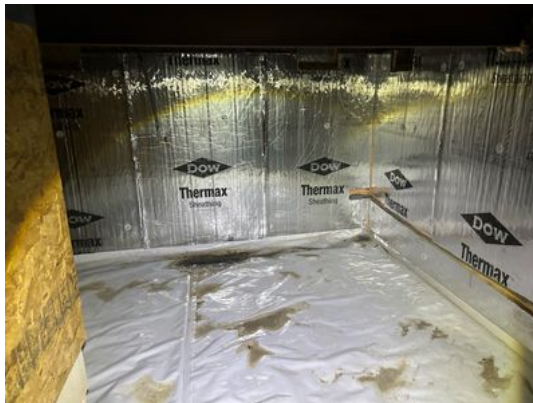
Inspected

Condition: Item of Improvement

Comment 1

Deficiency

The site grading in multiple areas slopes toward the home or is not properly sloped away from the foundation. It is required that grading slopes away from the foundation 6 inches in the first 10 feet where possible. This will help reduce water intrusion into the foundation and deterioration of materials, as well as help reduce the promotion of foundation settlement . Raising the grade or sloping these areas is recommended.



Vegetation

Inspected

Condition: Satisfactory

Driveway

Inspected

Condition: Item of Improvement

Comment 2

Deficiency

The driveway has a significant number of stress or settlement cracks. Over time these cracks could lead to lifting or settling of the driveway which will create walking hazards and issues with driving. Repairing any damaged areas is recommended by a qualified concrete contractor.



Walkways

Inspected

Condition: Satisfactory

Steps/Stoops

Inspected

Condition: Satisfactory

Patios

Inspected

Condition: Satisfactory

Balconies

Inspected

Condition: Item In Need Of Repair/Replacement

Comment 3

Deficiency

Multiple sections of the floating balcony deck were loose/lifted which creates a trip hazard. Repair is recommended by a qualified professional.



Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering

Brick

Condition: Satisfactory

Exterior Trim Material

Composite

Condition: Satisfactory

Windows

Inspected

Condition: Item In Need Of Repair/Replacement

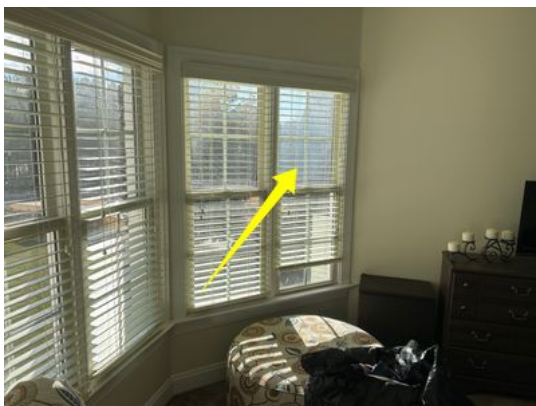
Comment 4 Information

Inspecting hermetic seals between window panes is beyond the scope of a NC home inspector and any comments are provided at a courtesy.

Comment 5 Deficiency

Hazing and moisture was observed in between multiple window panes. This is likely caused by deterioration of the low-e film and hermetic seal in between the window panes. Low-E is a film applied to the windows to help reduce solar heat gain. This condition may result in increased solar heat gain. It is recommended to consult with a qualified window repair professional to evaluate this condition and perform and necessary repairs or replacements.





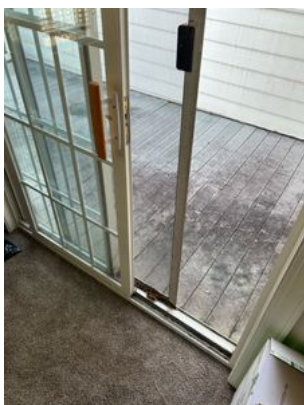
Entry Doors

Inspected

Condition: Satisfactory

Comment 6 Information

Screen door would not function. (Debris)



Fence

Aluminum

Condition: Satisfactory

Comment 7
Information

Inspection of fencing is beyond the scope of a NC home inspector and therefore is done as a courtesy.

Fixed Exterior Light By Entry Door

Present

Condition: Satisfactory

Porch Column Type

Wood, Composite

Condition: Satisfactory

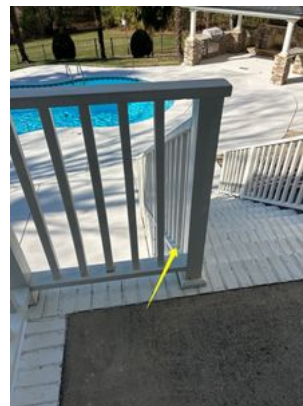
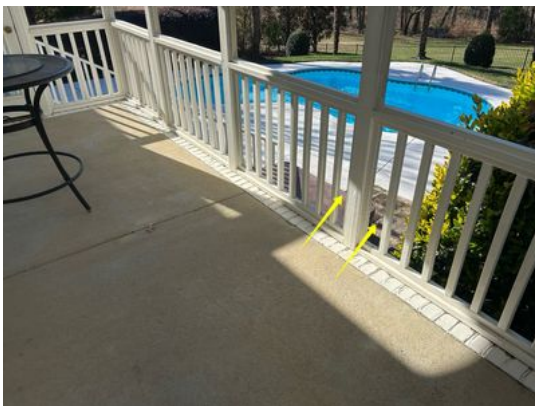
Porches

Inspected

Condition: Further Evaluation Required

Comment 8
Deficiency

At several areas on the back porch, the spindle spacing does not meet current requirements. A 4" sphere should not pass between two spindles. This is considered a fall safety hazard. A qualified professional is recommended to repair the railing where needed. (Photos are not all inclusive)



Comment 9
Deficiency

A qualified concrete contractor is recommended to evaluate the back porch concrete slab and corrugated form panels. The slab has settlement at a control joint which appears to promote water entry at the home's rim joist. This has led to deterioration of the metal forms and the concrete was brittle and breaking apart. (See video). Over time, this could lead to possible deterioration of the framing in this location.

Video link: <https://youtube.com/shorts/AbGz2k2YDfI?si=TZEqk3uT6yK-pqAh>



Outdoor Patio

Comment 10 Information

Outdoor kitchens are beyond the scope of a NC Home inspector. Therefore any comments are made at a courtesy.





Garage

Door Opener

Inspected

Condition: Satisfactory

Opener Safety Feature

Photo-electric sensor, Force Sensitive

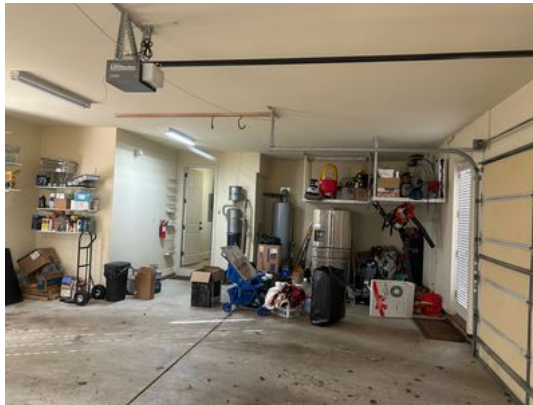
Condition: Satisfactory

Garage Comments

Comment 11

Information

General Garage Picture(s)



Comment 12

Information

Portions of the garage components were unable to be inspected due to the owner's personal belongings blocking access or other restrictions.

Comment 13

Information

Central vacuum system (CVS): Testing the CVS is beyond the scope of a NC home inspector

Installing a cap on the back right exterior vent of the CVS is recommended to prevent possible pest entry.



Garage- Apt

Door Opener

Inspected

Condition: Satisfactory

Opener Safety Feature

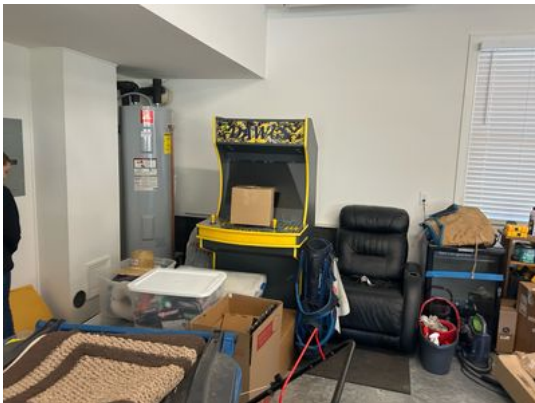
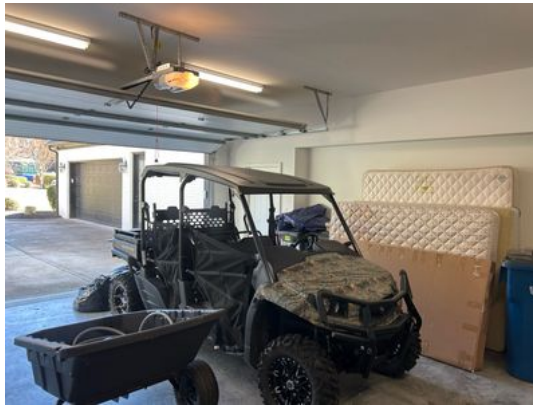
Photo-electric sensor, Force Sensitive

Condition: Satisfactory

Garage- Apt Comments

Comment 14 Information

General Garage Picture(s)- Apt



The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method

Droned

Roof Covering

Dimensional/Architectural Asphalt Composite

Condition: Satisfactory

Approximate Roof Age

0-2 yrs

Ventilation Present

Soffit and ridge vents on Garage Apt, No ventilation in main home attic

Condition: Item of Improvement

Comment 15

Deficiency

The attic is insulated with Icynene spray foam insulation. A conditioned air vent should be installed in the attic with this application. The inspector did not observe an air vent at the time of inspection. Consult the local building authority or HVAC contractor to determine if a conditioned air vent is recommended.

Vent Stack Flashing

Metal, Neoprene boots

Condition: Satisfactory

Chimney

Metal

Condition: Satisfactory

Sky Lights

Not Present

Flashings

Metal

Condition: Satisfactory

Soffit and Fascia

Composite

Condition: Cosmetic Defect

Comment 16

Deficiency

Paint was peeling at several locations on the front fascia. A qualified painting professional is recommended for repair to prevent further peeling and to ensure the material is properly sealed. Improperly sealed composite material can lead to premature deterioration.



Gutters & Downspouts

Metal

Condition: Item of Improvement

Comment 17

Information

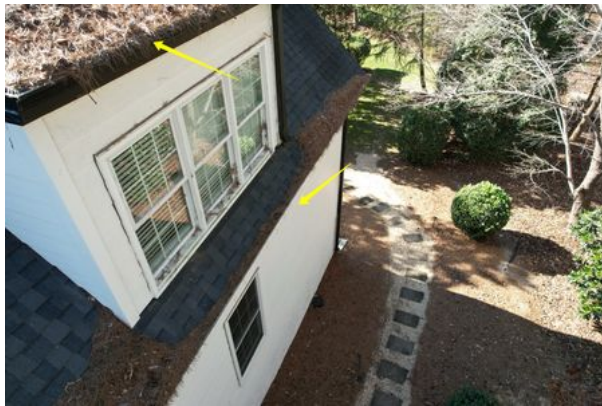
Gutter downspouts should direct water away from the foundation at least 6 feet to reduce the risk of water intrusion, soil erosion or foundation settlement/deterioration. If not currently installed, or if the grading does not promote proper runoff, adding corrugated extensions to the downspouts is recommended.

Comment 18

Deficiency

The gutters, in multiple locations, were filled with debris which will prevent water from exiting into the downspouts. This could cause water runoff in areas and present moisture related problems and lead to premature deterioration of the composite fascia. Ensure all gutter downspouts are properly connected to the corrugated drain lines and discharging away from the home. A qualified professional is recommended for repair. (Photos may not be all inclusive)



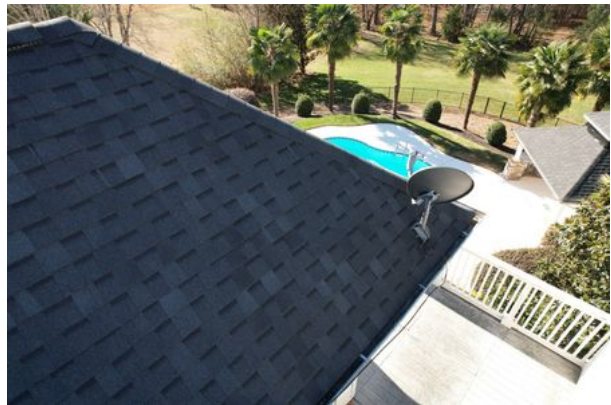
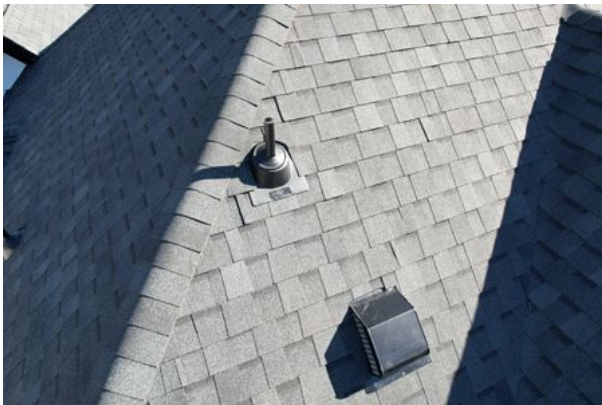


Roofing Comments

Comment 19 Information

General Roof Photo(s)







Comment 20

Deficiency

There was debris from trees and surrounding vegetation on the roof. This can allow water to back up under the roofing materials and could lead to water entry and damage to surrounding components. Removal of the debris is recommended.



Comment 21

Information

The roof covering below the balcony deck was unable to be inspected.



The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types

Crawl Space

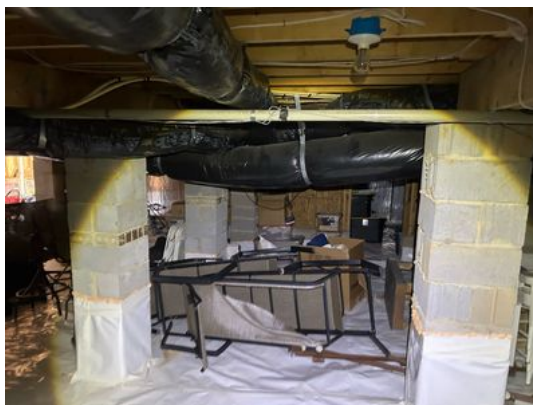
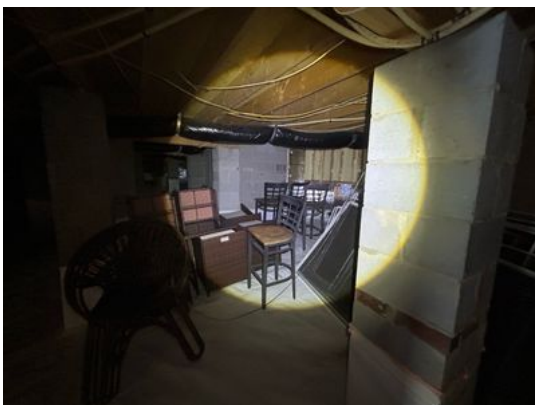
Foundation Material

Poured Concrete, Concrete Block

Condition: Satisfactory

Comment 22 Information

This home has a sealed/encapsulated crawlspace which reduces the visibility of the foundation walls and piers. Additionally, portions of the foundation stem wall were not visible due to items being stored in the crawlspace.





Signs of Water Penetration

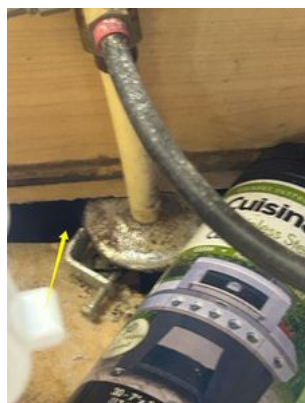
Stains, Standing water

Condition: Item of Improvement

Comment 23

Deficiency

The subfloor at multiple hvac discharge boots was discolored and showed evidence of previous high moisture. Many times the air vents directly under the cabinet and is not in a chase or duct. The cool conditioned air leaves moisture under the cabinet base and this causes staining to the subfloor/base cabinet and sometimes damage to the base cabinet bottom panel. The subfloor was structurally sound in this location and moisture levels were normal at the time of inspection. The kitchen sink base cabinet was damaged and warm air was discharging inside the cabinet. A qualified contractor is recommended to evaluate the air discharge and repair the kitchen base cabinet to prevent further damage.



Floor Structure

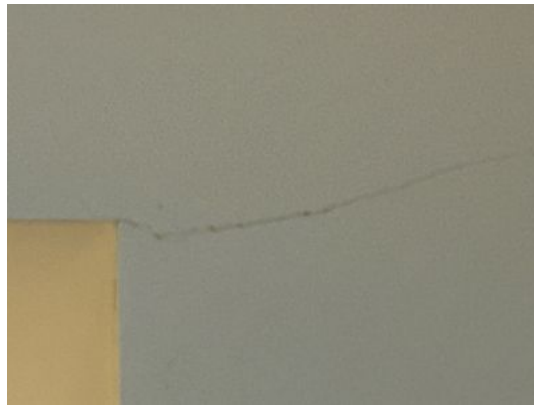
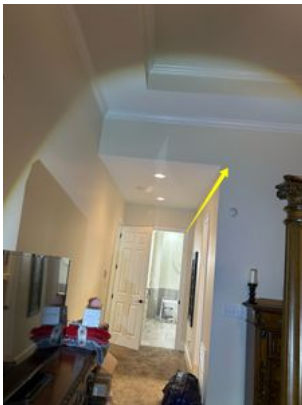
Wood Frame

Condition: Satisfactory

Comment 24 Information

There is a diagonal crack in the sheetrock at a master bedroom wall. This type of crack is typically due to settlement. There were no signs of additional settlement to ceilings/floors/foundations below these locations. The crawlspace foundation was intact and in contact with the floor structure. This is most likely due to typical settlement.

As for what the cause of settlement here is from the from, that is unable to be determined and it is beyond the scope of a NC Licensed Home Inspector. To determine conclusively the causes or whether movement is progressive in nature or old and no longer occurring, such determination, if desired, would be provided by a licensed structural engineer.



Subflooring

Oriented Strand Board

Condition: Satisfactory

Wall Structure

Not visible

Condition: Unable to Inspect

Ceiling Structure

Ceiling/floor structure between levels of the home was unable to be inspected.

Condition: Unable to Inspect

Attic

Attic Entry

Inspected

Condition: Item of Improvement

Comment 25 Information

The clearance height above the garage apartment attic access ladder may make it difficult for replacement of the HVAC air handler if needed. There was not 30" of headroom.



Roof Framing Type

Joist and Rafters

Condition: Satisfactory

Comment 26 Information

The roof decking, portions of the attic framing and other components were unable to be inspected due to spray foam insulation being applied.

Roof Deck Material

Oriented Strand Board

Condition: Satisfactory

Vent Risers

Metal, PVC, Plastic Flex

Condition: Satisfactory

Insulation

Fiberglass Batts, Spray Foam

Condition: Satisfactory

Attic Inspected

Walked/climbed through attic

Fixed Light And Receptacle

Yes

Condition: Satisfactory

Maintenance Platform

Yes

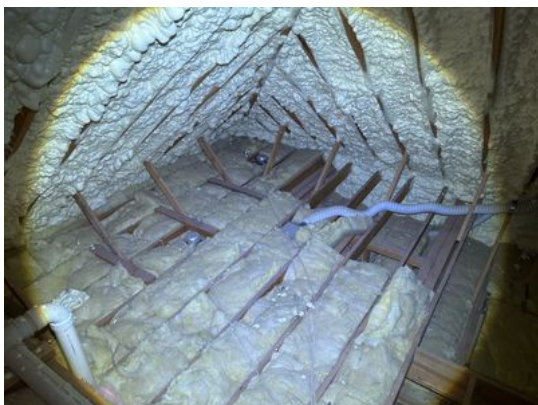
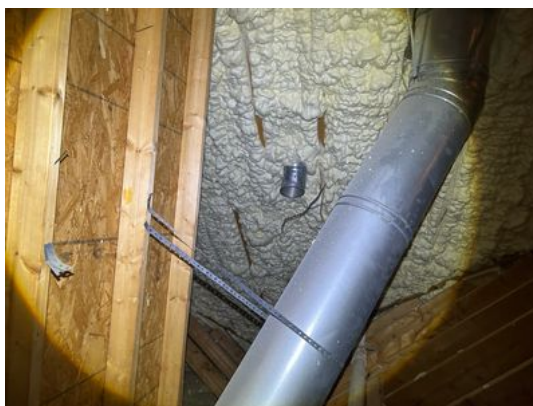
Condition: Satisfactory

Attic Comments

Comment 27

Information

General Attic Photo(s)





Comment 28
Information

Apt-General Attic Photo(s)



Comment 29
Information

Portions of the attic were unable to be inspected due to access restrictions due to mechanical equipment, roof geometry or personal belongings hindering visibility.



Crawlspace

Inspection Method

Walked/crawled through crawlspace

Vapor Retarder

Installed

Condition: Satisfactory

Underfloor Insulation

Rigid Foam, Spray Foam

Condition: Satisfactory

Ventilation Present

Yes

Condition: Satisfactory

Comment 30 Information

There was a crawlspace dehumidifier. It is beyond the scope of a NC Licensed Home Inspector to determine if a dehumidifier is properly functioning. There was no water/condensation inside the condensate pump at the time of inspection but the system was on and running.





Comment 31
Information

Previous crawlspace vent no longer in use.



Moisture Condition

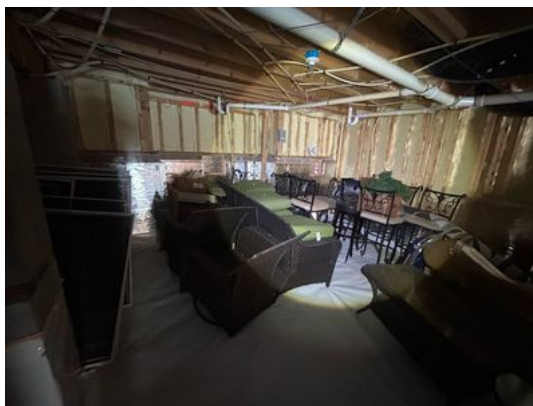
Dry

Condition: Satisfactory

Crawlspace Comments

Comment 32
Information

General Crawlspace Photo(s)





Comment 33
Information

Scrap wood and other organic materials have been left in the crawlspace. These items attract WDO (wood destroying organisms such as termites). Remove all excess debris from the crawlspace.



Comment 34
Information

There was a ground water water sump pump located in the crawlspace that was unable to be manually tested due to being covered with the vapor barrier. The final discharge location was not confirmed.



The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service

Underground

Main Disconnect Location

Generator panels

Service Panel Location

Exterior

Service Panel Manufacturer

Generac

Condition: Satisfactory

Comment 35 Information

Generators, their electrical panels, components and their installation are beyond the scope of the North Carolina home inspector. For a complete inspection of the system, contact a licensed electrician.



Service Entrance Material

Not visible

Condition: Unable to Inspect

Service Voltage

240 volts

Service Amperage

2-200 amps

Service Panel Ground

Ground Rod

Branch Circuit Wiring

Stranded Aluminum

Condition: Satisfactory

Overcurrent Protection

Breakers

Condition: Satisfactory

Smoke Detectors

Hard Wired Interconnected

Condition: Further Evaluation Required

Comment 36 Information

Smoke detectors should be replaced every 10 years and tested monthly.

Comment 37 Deficiency

Hardwired smoke alarms are required to be connected to the home's electrical system and should set off every alarm in the home when tested. The garage apartment smoke alarms, when tested, did not set off the other alarms in the home which is a safety hazard. Additionally, multiple alarms in this home were past their useful life expectancy. Alarms should be replaced every 10 years. Further evaluation by licensed electrician is recommended.



Carbon Monoxide Detectors

Yes

Condition: Satisfactory

Electrical Comments

Comment 38

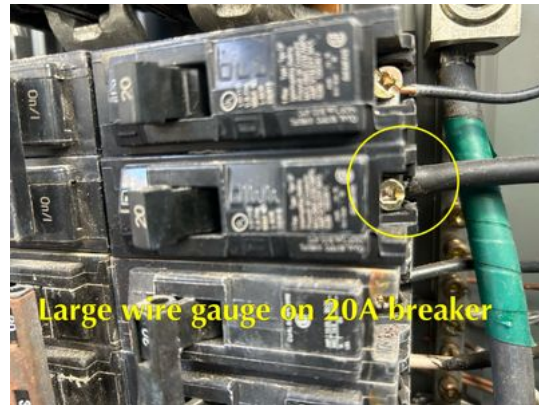
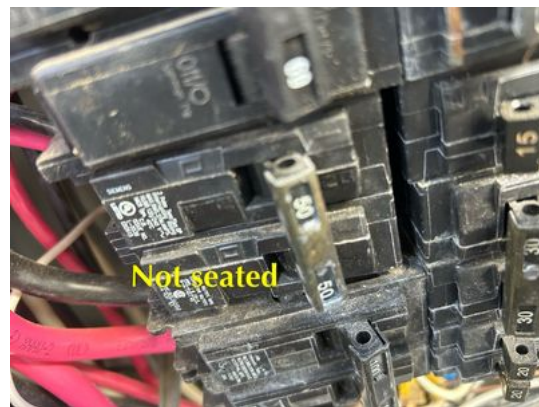
Deficiency

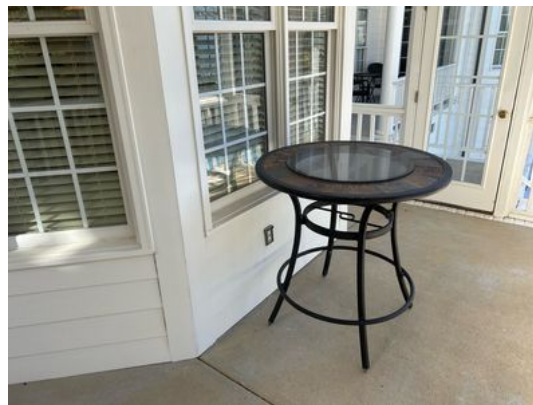
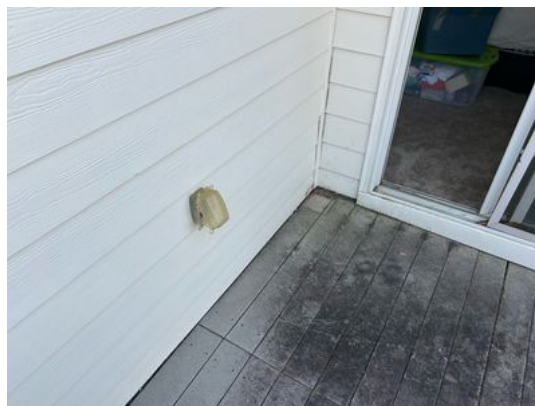
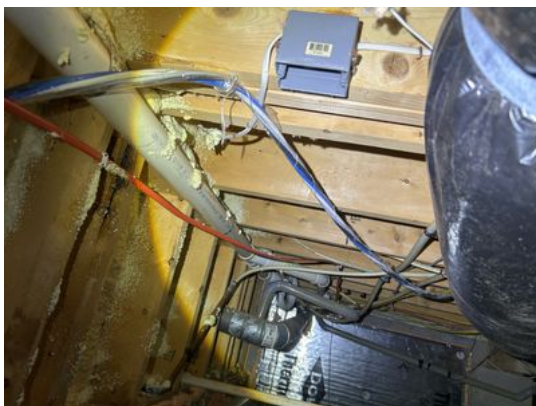
There were multiple deficiencies in the electrical system that should be evaluated/repair by a licensed electrician.

Issues include but may not be limited to:

- An AFCI breaker failed to trip when tested in the laundry room sub panel. AFCI helps protect against potential fire hazards.
- A breaker was not properly seated on the bus bar in the exterior sub panel. This is a safety hazard that could lead to potential arcing or fire safety hazard.
- All electrical breakers are required to be properly identified on the legend attached to the panel. There were missing identifications on the exterior sub panel. This is a safety hazard.
- A large gauge conductor was installed in a 20A breaker in the exterior sub panel. A conductor too large to properly fit under a breaker terminal screw could lead to improper fit or needing to be modified to fit. Modified or improperly secured conductors can be a fire safety hazard. The max size wire gauge is typically stated by the manufacturer. The inspector was unable to confirm if the conductor had been modified. Typically a split bolt or wire nut is used in this application to downsize the conductor to fit the breaker.
- Electrical guidelines require grounds and neutrals to be isolated in an electrical sub panel. This allows separate paths back to the main panel in the event of a ground fault and helps reduce the risk of electrical shock. The grounds and neutrals are bonded at the exterior sub panel. When a generator is installed, the generator panels become the main disconnect and the grounds and neutrals are bonded in the generator panel.
- The exterior sub panel has a mismatching breaker. All breakers installed are required to be of the same type and manufacturer of the service panel. There are however some breakers that are suitable for replacement of certain breakers in certain panelboards. This information is provided by the breaker manufacturer. Improperly installed breakers can lead to voided warranty, failure or even fires.
- Any unused/abandoned or deleted branch circuits should be removed back to its original source location if possible. At a minimum it should be housed inside a junction box to avoid accidental energizing and electrocution. There was a disconnected/abandoned circuit in the front left of the crawlspace.
- The GFCI receptacle to the right of the cooktop had no power and would not reset. Therefore, all receptacles on this circuit were unable to be tested. (Breakfast nook as well)

- The receptacle to the left of the kitchen sink was loose and should be properly secured to prevent possible loosening of the electrical conductor connections. Improperly/loosely connected wiring could result in arcing which can lead to possible fires. (Cover plate also broken)
- There was an open electrical junction box located in the right side of the crawlspace. All junction boxes should have a blank plate cover installed to prevent access to the electrical conductors.
- Replacing the missing exterior receptacle's weatherproof cover on the back side of the home and damaged cover on the balcony is recommended to prevent possible moisture entry which could lead to nuisance tripping of the GFCI receptacle and premature deterioration of the electrical components.





Comment 39
Information

General Electrical Service Panel Picture(s)



Electrical Fixtures

Receptacles

Inspected

Condition: Satisfactory

Lights/fans

Inspected

Condition: Further Evaluation Required

Comment 40
Deficiency

Multiple light fixtures would not illuminate using standard operating controls/switches. Replace the lightbulb and if issues continue, further evaluation by a licensed electrician is required. (Photos may not be all inclusive). Multiple fixtures has at least one bulb not functional.



GFCI Exterior/Garage Receptacles

Inspected

Condition: Satisfactory

Exterior GFCI reset Location(s)

Garage

GFCI Interior Receptacles

Inspected

Condition: Item In Need Of Repair/Replacement

Comment 41
Information

See Kitchen GFCI

Interior/Bathroom GFCI Reset Location(s)

Powder Room/Half Bath

Electrical Sub Panel-Main Exterior

Sub Panel Location

Exterior

Sub Panel Manufacturer

Siemens

Condition: Satisfactory

Sub Panel Feeder Material

Stranded Aluminum

Condition: Satisfactory

Sub Panel Amperage

200 amps

Branch Circuit Wiring

Non-Metallic Shielded Copper, Stranded Copper, Stranded Aluminum

Condition: Satisfactory

Overcurrent Protection

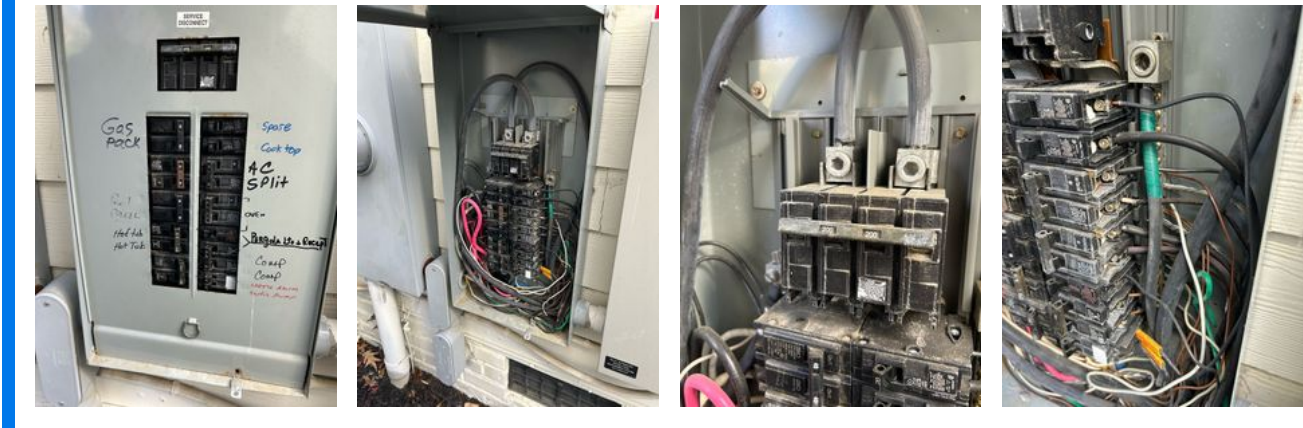
Breakers

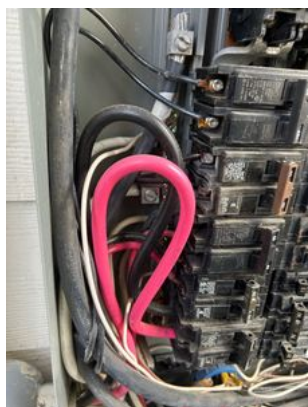
Condition: Item In Need Of Repair/Replacement

Electrical Sub Panel-Main Exterior Comments

Comment 42
Information

General Photo(s) of the Sub Panel(s)





Electrical Sub Panel-Apt

Sub Panel Location

Apt Garage

Sub Panel Manufacturer

EATON

Condition: Satisfactory

Sub Panel Feeder Material

Stranded Aluminum

Condition: Satisfactory

Sub Panel Amperage

Unknown, feeder breaker not labeled.

Branch Circuit Wiring

Non-Metallic Shielded Copper, Stranded Copper

Condition: Satisfactory

Overcurrent Protection

Breakers

Condition: Satisfactory

AFCI Breakers

Yes

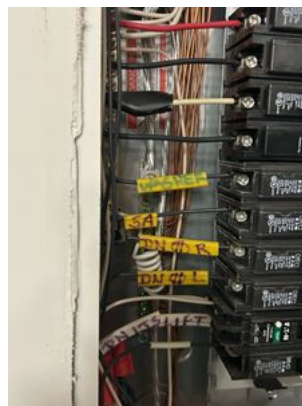
Condition: Satisfactory

Electrical Sub Panel-Apt Comments

Comment 43

Information

General Photo(s) of the Sub Panel(s)-Apt



Electrical Sub Panel

Sub Panel Location

Laundry Room

Sub Panel Manufacturer

Siemens

Condition: Satisfactory

Sub Panel Feeder Material

Stranded Aluminum

Condition: Satisfactory

Sub Panel Amperage

200 amps

Branch Circuit Wiring

Non-Metallic Shielded Copper, Stranded Copper

Condition: Satisfactory

Overcurrent Protection

Breakers

Condition: Satisfactory

AFCI Breakers

Partial

Condition: Item In Need Of Repair/Replacement

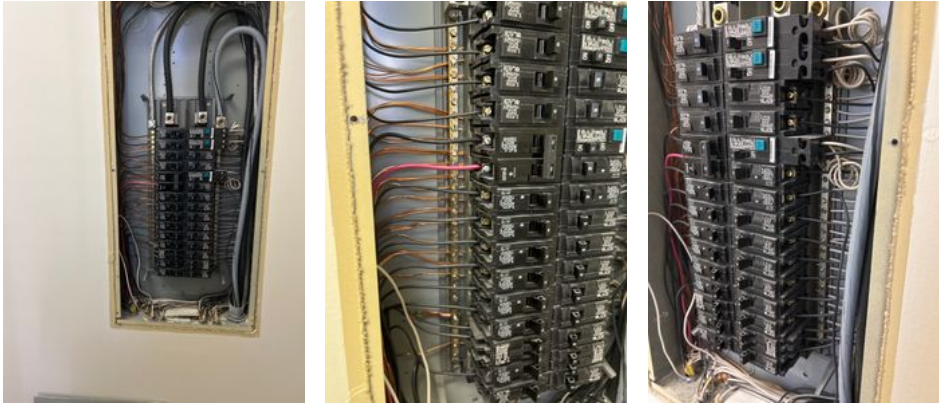
Comment 44 Information

Bedroom only: AFCI breakers are required by current guidelines for ALL branch circuits in habitable rooms, excluding wet areas which require GFCI protection. AFCI breakers were only required in bedroom lighting circuits when this home was constructed, but do provide protection against arcing currents that have the potential to initiate electrical fires. Consult a licensed electrician about installing AFCI circuit breakers as required.

Electrical Sub Panel Comments

Comment 45 **Information**

General Photo(s) of the Sub Panel(s)



The heating and cooling components in this home's HVAC system are tested using normal operating controls and visual methods. However, due to their concealment, all portions of the heat exchanger, evaporator coil, coil drain pan, outdoor condenser components and interior insulation liner are unable to be fully inspected. A licensed mechanical contractor is the only person that can perform disassembly which would be needed to evaluate the condition and function of all components.

HVAC System Type

Central Split System

Thermostat

Inspected

Condition: Satisfactory

Heating And Cooling In Each Habitable Room

Yes

Condition: Satisfactory

Air Filter

Disposable

Condition: Item of Improvement

Comment 46 Information

The air filter needs replacement. A clogged/dirty filter will reduce efficiency, overwork the HVAC units and could lead to damage to the HVAC equipment. Replacing the air filters regularly is required.

Air Filter Location(s)

At Return Register

Number Of Units

Three

Shutoff

Within sight and sized correctly

Condition: Satisfactory

Type Of Distribution

Metal Ductwork, Flex Ductwork

Condition: Satisfactory

Comment 47 Information

Ductwork within wall cavities, under insulation or other concealed areas are unable to be inspected.

Comment 48

Deficiency

Secure the loose return register in the movie theatre room to prevent detachment.



HVAC Comments

Comment 49

Information

The HVAC system was being inspected and tested by a licensed HVAC contractor at the time of inspection. Therefore, the function was not tested by the home inspector. See the separate report supplied by the HVAC company for detailed information regarding the function of the system(s).

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. Furnace heat exchangers can fail at any time. A licensed HVAC contractor should be consulted if in question.

Location

Attic, Exterior

Type of Equipment

Forced Air, Heat Pump, Natural Gas/LP Furnace

Heating Fuel

Electric, LP Gas

Condition: Satisfactory

Heating Inspection Method

Panels removed

Heating System Function

Not Inspected

Heating Comments

Comment 50 Information

General Furnace Photos: 2nd floor

Furnace 5/2017

Carrier



Comment 51 Information

General Heat Pump/air handler Photos: apartment

4/2015

Carrier

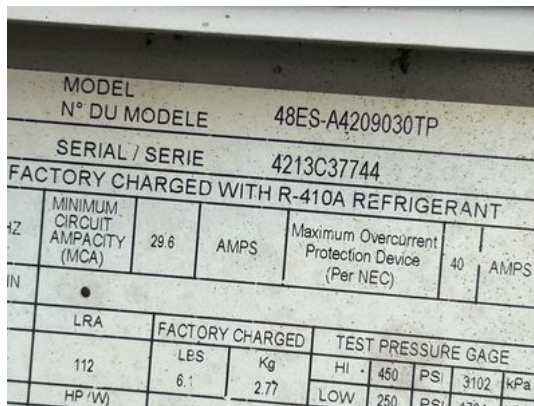


Comment 52
Information

General Furnace Photos: 1st floor

9/2013

Carrier



Furnaces over 10 years old are recommended to be serviced annually by a licensed contractor.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source

Electric

Type of Equipment

Split System

Condensate Drainage

To Exterior

Condition: Item of Improvement

Comment 53

Deficiency

The HVAC condensate drain line should not be concealed underneath grade. The line should drain 6" +/- above grade to prevent it from being clogged which could lead to backups and leaking at the unit or nuisance shutoffs. Raise the drain line as needed to prevent blockage.



Cooling System Function

Not Inspected

Cooling Comments

Comment 54

Information

Condenser photo(s): 1st floor

9/2013
Carrier



MODEL		N° DU MODELE		48ES-A4209030TP	
SERIAL / SERIE		4213C37744			
FACTORY CHARGED WITH R-410A REFRIGERANT					
MINIMUM CIRCUIT AMPACITY (MCA)	29.6	AMPS	Maximum Overcurrent Protection Device (Per NEC)	40	AMPS
LRA		FACTORY CHARGED		TEST PRESSURE GAGE	
112	LES	Kg	HI	450	PSI 3102 kPa
HP (W)	6.1	2.77	LOW	250	PSI 1724 kPa

Comment 55
Information
Condenser photo(s): 2nd Floor

5/2017
Carrier



SERIAL		E171835432	
MODEL		N4H436KG101	
METERING TXV		49 PISTON	
FACTORY CHARGED		R410A	
INDOOR TON SUB COOLING		10 °F	
POWER SUPPLY		208-230 VOLTS AC	
PERMISSIBLE VOLTAGE AT UNIT		60 HZ	
SUITABLE FOR OUTDOOR USE		197 MIN	
COMPRESSOR		208/230 VOLTS AC	
FAN MOTOR		208/230 VOLTS AC	
DESIGN/TEST PRESSURE GAGE		1.40 FLA	
HI		450 PSI 3103 kPa	
LO		250 PSI 1724 kPa	
MAX DESIGN/WORKING PRESSURE		4825 kPa	
MAX FUSE		10.5	
MAX CBT-BKR		30 A	

Comment 56
Information
Condenser photo(s): Garage Apt

5/2015

Carrier



Air conditioners over 10 years old and heat pumps over 5 years old are recommended to be serviced annually by a licensed contractor.

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Supply Pipe Material

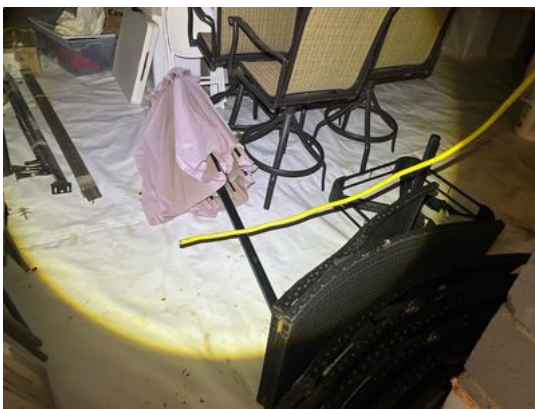
Copper, PEX, CSST (Gas), Steel (Gas)

Condition: Item In Need Of Repair/Replacement

Comment 57

Deficiency

There was a disconnected/abandoned gas supply line in the crawlspace that should be properly capped or removed by a qualified professional. The inspector was unable to confirm if the line was disconnected at both ends. This could lead to possible gas leaks if the line is still active and a valve is opened. (Back left of crawlspace)



Location of Main Water Shutoff

Crawlspace



Waste Pipe Material

PVC

Condition: Satisfactory

Fixtures

Inspected

Condition: Item In Need Of Repair/Replacement

Comment 58 **Information**

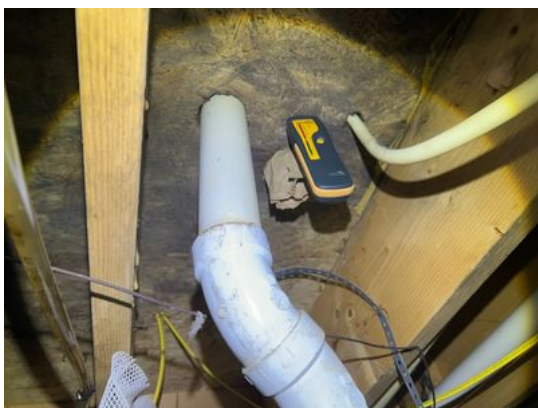
Multiple pop up stoppers in bathroom lavatories will not hold water. Repair or replace to function as desired. (Photos are not all inclusive)



Comment 59 **Information**

There are signs of previous water stains to the subfloor and floor framing below the kitchen sink. There appears to be no active leak at the time of the inspection as all visible areas tested normal for moisture. If you have concerns, consult a licensed plumbing contractor.

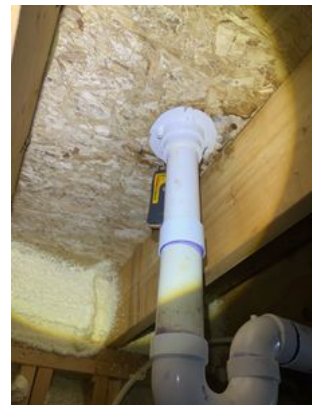
When building components have surface discolorations and decay typical of fungal growths, such as mold, mildew, and wood destroying fungi, the home inspection focuses only on moisture concerns and evidence of wood damage. Health issues related to the presence of mold are beyond the scope of the home inspection. If the client has concerns beyond the scope of the home inspection, a certified professional such as an industrial hygienist should be consulted prior to purchasing the home.





Comment 60
Information

The subfloor below the master shower showed signs of a previous leak and repairs to the shower floor. There were no signs of a leak at the time of the inspection. Consult the owner on any previous repairs and if you have concerns, further evaluation is recommended by a licensed plumbing contractor.



Comment 61 **Information**

Seal the master shower glass seam to prevent water from leaking onto the bathroom floor.



Comment 62 **Information**

A sink drain line showed signs of a previous leak. No visible active leaks were noticed during the inspection.



Comment 63 **Information**

The 2nd floor hallway shower valve handle was loose.



Hose Bibs

Inspected

Condition: Item of Improvement

Comment 64

Deficiency

The left hose bib leaks at the valve stem when the valve is opened. Repair is recommended to prevent excess water loss and to prevent the leak from becoming greater.



Fuel Storage Location

Right Exterior

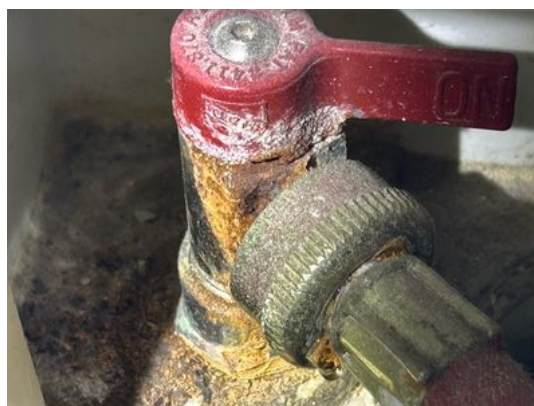
Condition: Satisfactory

Plumbing Comments

Comment 65

Deficiency

Corrosion and active leaking was observed on the hot water supply angle stop at the main house washer box. Replacement is recommended by qualified professional to prevent further deterioration or damage to surrounding components.



Buildings that are unoccupied or minimally occupied can have sewage issues arise due to blockage that may not be observed at the time of the inspection. Once solids are routinely deposited into the sewer system, roots or other blockages may become evident. If the home has been minimally occupied/vacant, having the sewer lines scoped is recommended. Hidden blockages are difficult to diagnose even with all fixtures being tested.

Water Heater

Manufacturer

State

Fuel

Natural Gas

Capacity

50 gal

Approximate Age

20 yrs

**Comment 66
Information**

Water heaters typically have a useful life of 12 to 15 years. While age in and of itself is not a defect, the appliance is beyond its useful life and evaluation by a licensed plumber is recommended.

Temp & Pressure Relief Valve

Present With Blow Off Leg

Condition: Satisfactory

Fuel Disconnect

Within Sight of Equipment

Approximate Hot Water Temperature

Water Heater Location

Garage

Water Heater Comments

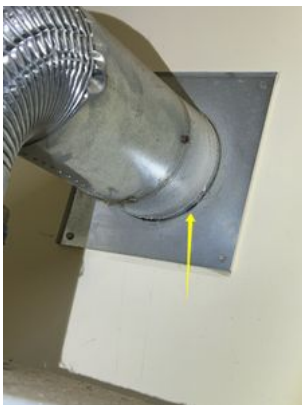
Comment 67 Information

General Water Heater Photo(s)



Comment 68 Deficiency

Fire caulking is required be installed at any location where the water heater vent stack protrudes through the garage sidewall/ceiling. This helps to prevent the possible spreading of a fire. Sealing the penetration is recommended with the appropriately rated sealant.



Water Heater- Apt

Manufacturer

State

Fuel

Electric

Capacity

40 gal

Approximate Age

9/2015

Temp & Pressure Relief Valve

Present With Blow Off Leg

Condition: Satisfactory

Fuel Disconnect

Within Sight of Equipment

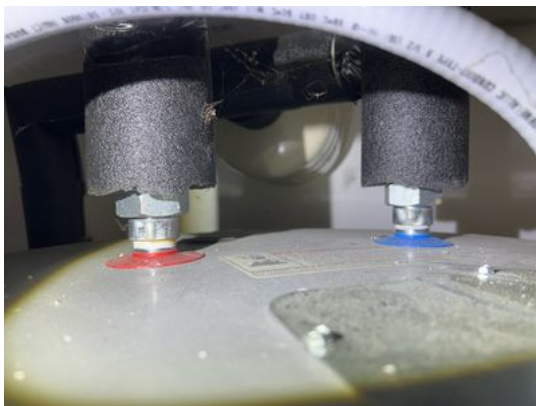
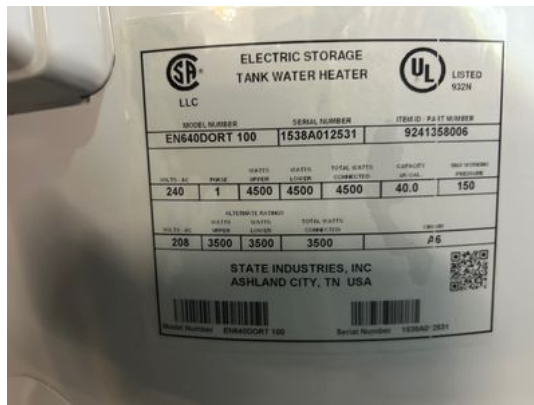
Approximate Hot Water Temperature**Water Heater Location**

Garage

Water Heater- Apt Comments

Comment 69
Information

General Water Heater Photo(s)-Apt



Cabinets

Inspected

Condition: Item In Need Of Repair/Replacement

Countertops

Inspected

Condition: Satisfactory

Sink

Inspected

Condition: Satisfactory

GFCI

Inspected

Condition: Item In Need Of Repair/Replacement

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven

Inspected

Condition: Satisfactory





Cooktop

Inspected

Condition: Satisfactory



Range Hood

Inspected

Condition: Item of Improvement

Comment 70 Information

Sealing the hood vent penetration, above the microwave, is recommended to prevent excess conditioned air loss and to prevent a possible fire draft.



Kitchen Cont.

Refrigerator

Inspected

Condition: Satisfactory

Comment 71 Information

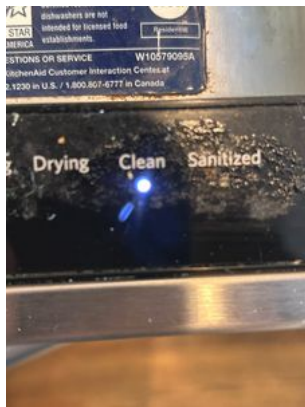


Dishwasher

Completed a full cycle and drained

Condition: Satisfactory

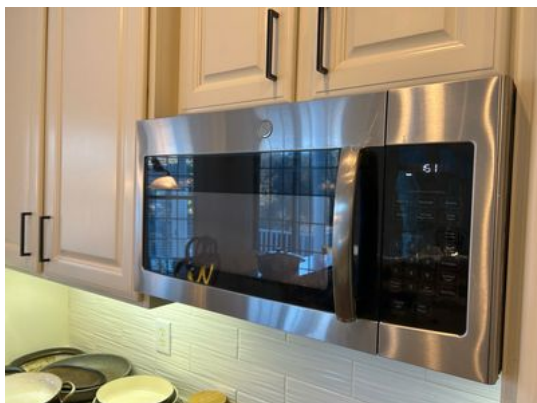
Comment 72
Information



Microwave

Inspected

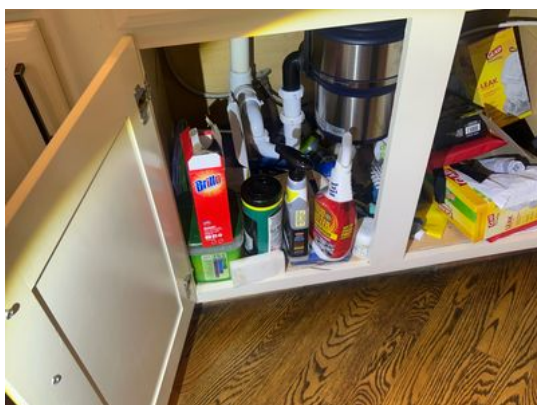
Condition: Satisfactory



Disposal

Inspected

Condition: Satisfactory



Comment 73
Information

It is not recommended to have a garbage disposal on a septic system.

The Inspector completes a visual inspection only of readily accessible readily visible portions of built-in appliances. Built-in appliances were operated according to normal operating controls. Diagnostic testing is beyond to scope of a North Carolina Home Inspection and was not performed. Pait Home Inspections of North Carolina,LLC. cannot predict future conditions or longevity of appliances; the inspection is representative of the performance of the appliance at the date/time of the inspection only. Appliances and accessories that are not considered built-in appliances may be present at this property and are beyond the scope of a North Carolina Home Inspection. Such items may include but are not limited to: clothes washer, clothes dryer, refrigerator, mini-refrigerators, ice makers, countertop microwaves, toaster ovens, TVs, window air conditioners, free standing air conditioners, humidity control devices, central vacuums, etc. While these items may be documented as a courtesy to you, they are not operated or inspected, and are excluded from this inspection. Requesting a detailed homeowner disclosure regarding the status of and maintenance history of any such non-built-in appliances as well as evaluation by qualified technician should be considered.

Cabinets

Inspected

Condition: Item of Improvement

Comment 74 Information

The cabinets had no knobs or pulls.



Countertops

Inspected

Condition: Satisfactory

Sink

Inspected

Condition: Satisfactory

GFCI

Inspected

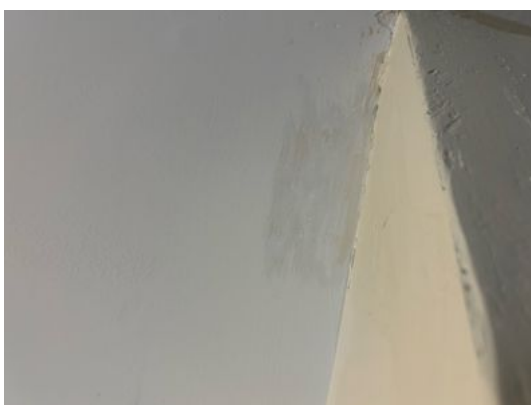
Condition: Satisfactory

Kitchen- Apt Comments

Comment 75

Deficiency

Elevated moisture levels were present on the garage apt walls, above the refrigerator. This appears to be a recent repair. It is recommended to consult the owner on any known repairs or current issues. If no information is available, further evaluation is recommended by a qualified professional.



Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range

Inspected

Condition: Further Evaluation Required

Comment 76

Deficiency

When turned to the low setting, the front left burner of the garage apartment range would go out, which is a safety hazard that could release gas into the home. Repair of the appliance is recommended by qualified appliance professional. See video.

Video link: <https://youtube.com/shorts/NW6offx94KU?si=F9ukZ9IrkKekzUuo>



Comment 77

Deficiency

The garage apartment oven function was unable to be tested. The range was displaying “Cool” and the inspector was unable to get the oven to start and unable to get the “Cool” function off. Consult the owner on the function of the appliance and if information is not available, a qualified appliance professional is recommended for evaluation.



Comment 78
Information



Range Hood

Inspected

Condition: Item of Improvement

Refrigerator

Inspected

Condition: Satisfactory

Comment 79
Information

There was no ice in the refrigerator dispenser at the time of the inspection. The water function was operational.



Dishwasher

Completed a full cycle and drained

Condition: Satisfactory



Microwave

Inspected

Condition: Satisfactory



Disposal

Not Present

The Inspector completes a visual inspection only of readily accessible readily visible portions of built-in appliances. Built-in appliances were operated according to normal operating controls. Diagnostic testing is beyond to scope of a North Carolina Home Inspection and was not performed. Pait Home Inspections of North Carolina, LLC. cannot predict future conditions or longevity of appliances; the inspection is representative of the performance of the appliance at the date/time of the inspection only. Appliances and accessories that are not considered built-in appliances may be present at this property and are beyond the scope of a North Carolina Home Inspection. Such items may include but are not limited to: clothes washer, clothes dryer, refrigerator, mini-refrigerators, ice makers, countertop microwaves, toaster ovens, TVs, window air conditioners, free standing air conditioners, humidity control devices, central vacuums, etc. While these items may be documented as a courtesy to you, they are not operated or inspected, and are excluded from this inspection. Requesting a detailed homeowner disclosure regarding the status of and maintenance history of any such non-built-in appliances as well as evaluation by qualified technician should be considered.

Laundry

Laundry Sink

Inspected

Condition: Satisfactory

Dryer Venting

To Exterior

Condition: Satisfactory

GFCI Protection

No

Condition: Item of Improvement

Comment 80 Information

All laundry room receptacles should be GFCI protected to reduce the risk of electrical shock. A licensed electrician should replace the existing receptacle with a GFCI protected outlet. It was not required at the time this home was built, however it is recommended.

Laundry Hook Ups

Yes

Condition: Item In Need Of Repair/Replacement

Laundry Comments

Comment 81 Information

Dryer vents concealed within or behind wall cavities, insulation or other visible constraints are unable to be inspected.

Comment 82 Information

Laundry room photos;



Dryer Venting

To Exterior

Condition: Satisfactory

GFCI Protection

Not Inspected

Comment 83 Information

Unable to inspect due to access being blocked.

Laundry Hook Ups

Yes

Condition: Satisfactory

Laundry Apt Comments

Comment 84 Information

Laundry room photos;



Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Fireplace

Manufactured, Wood Burning

Condition: Satisfactory

Comment 85

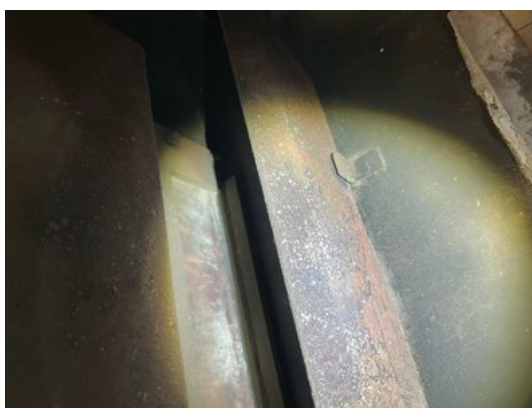
Information

All fireplaces, chimneys and fuel burning stoves should be inspected by a certified technician before their first use and annually to ensure safety and proper function.

Comment 86

Information

The wood burning stove and associated components should be properly inspected by a qualified professional before its first use to ensure safety and proper function. The system did appear to be in good condition and the damper was functional.



Interior Stairs

Inspected

Condition: Satisfactory

Interior Comments

Comment 87

Information

Multiple interior doors need repair/adjustment in order to shut/function properly.



Comment 88

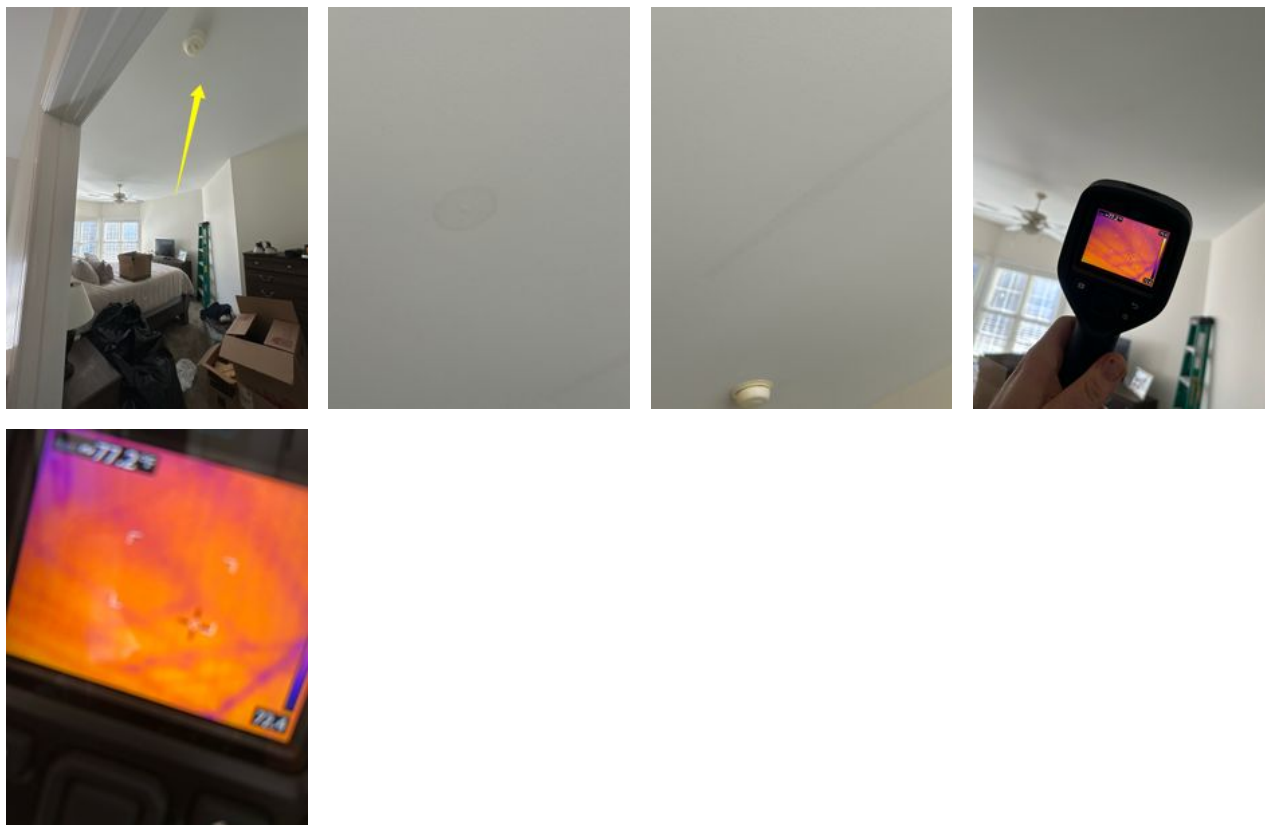
Information

The ceiling/walls in several rooms had nail pops, corner bead and/or tape joint cracks. (cosmetic) (Photos are just examples and may not be all inclusive)



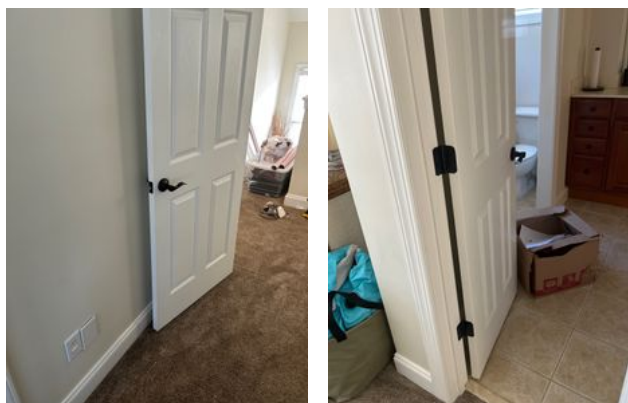
Comment 89
Information

There were water stains on the 2nd floor, front left bedroom ceiling. These appear to be from a previous leak as they were dry at the time of the inspection and there were no signs of active leaks. Moisture levels tested normal at the time of inspection. If you have concerns, a licensed roofing contractor is recommended for further evaluation.



Comment 90
Information

There were no privacy knobs installed on multiple bedroom and bathroom doors throughout the home.



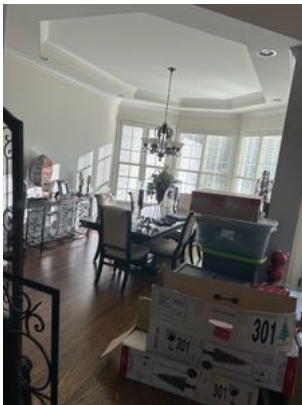
Cosmetic issues are beyond the scope of a North Carolina home inspector and therefore are provided as a courtesy.

Additional Photos

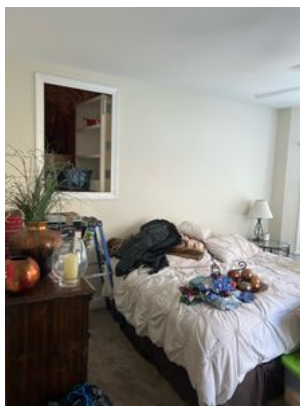
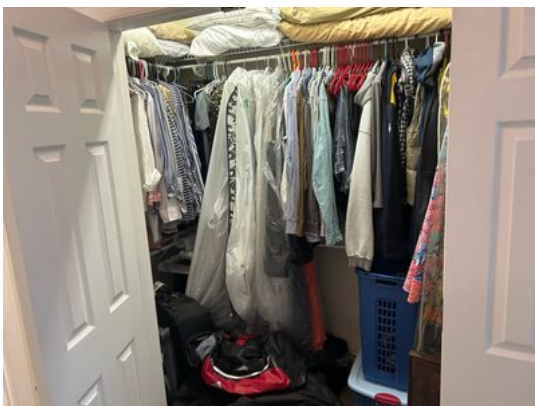
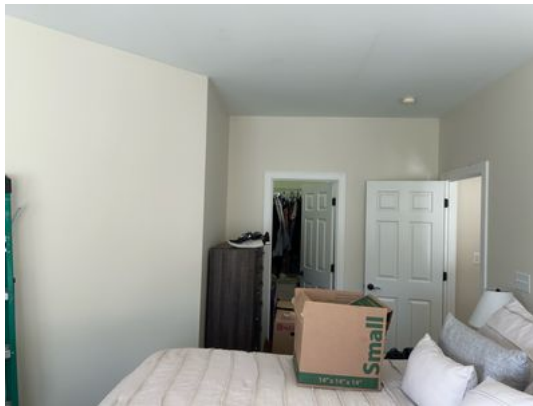
Comment 91 Information

Misc. Photos.





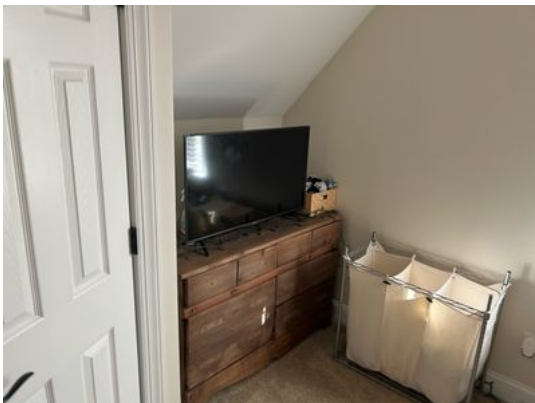
Additional Photos Cont.





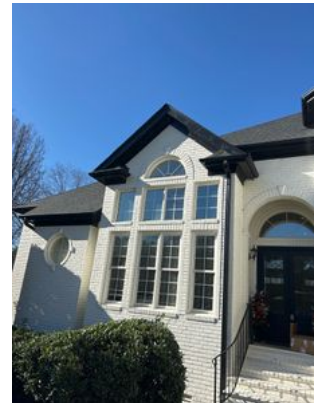
Comment 92
Information

Apt Misc. Photos.



Comment 93
Information

Misc. Photos.





Report Summary

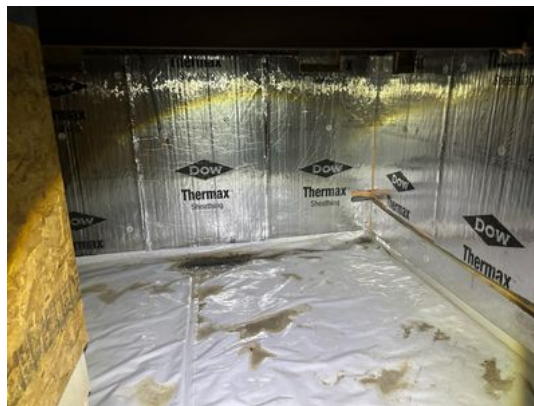
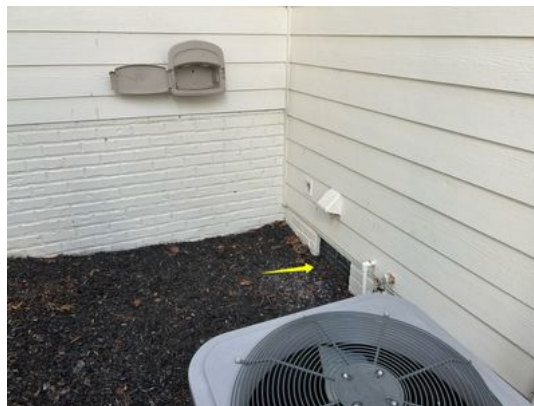
This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Deficiency

Comment 1

Site: Site Grading

The site grading in multiple areas slopes toward the home or is not properly sloped away from the foundation. It is required that grading slopes away from the foundation 6 inches in the first 10 feet where possible. This will help reduce water intrusion into the foundation and deterioration of materials, as well as help reduce the promotion of foundation settlement . Raising the grade or sloping these areas is recommended.



Comment 2

Site: Driveway

The driveway has a significant number of stress or settlement cracks. Over time these cracks could lead to lifting or settling of the driveway which will create walking hazards and issues with driving. Repairing any damaged areas is recommended by a qualified concrete contractor.



Comment 3

Site: Balconies

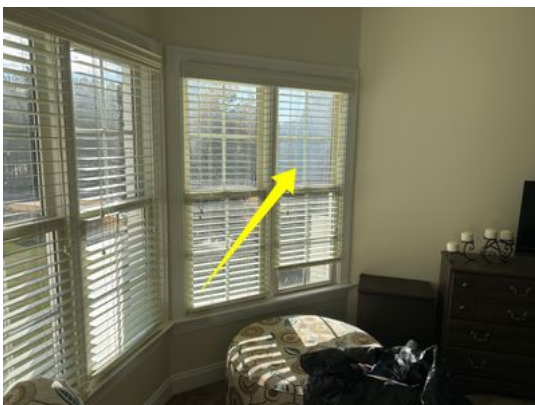
Multiple sections of the floating balcony deck were loose/lifted which creates a trip hazard. Repair is recommended by a qualified professional.



Comment 5

Exterior: Windows

Hazing and moisture was observed in between multiple window panes. This is likely caused by deterioration of the low-e film and hermetic seal in between the window panes. Low-E is a film applied to the windows to help reduce solar heat gain. This condition may result in increased solar heat gain. It is recommended to consult with a qualified window repair professional to evaluate this condition and perform and necessary repairs or replacements.



Comment 8

Exterior: Porches

At several areas on the back porch, the spindle spacing does not meet current requirements. A 4" sphere should not pass between two spindles. This is considered a fall safety hazard. A qualified professional is recommended to repair the railing where needed. (Photos are not all inclusive)

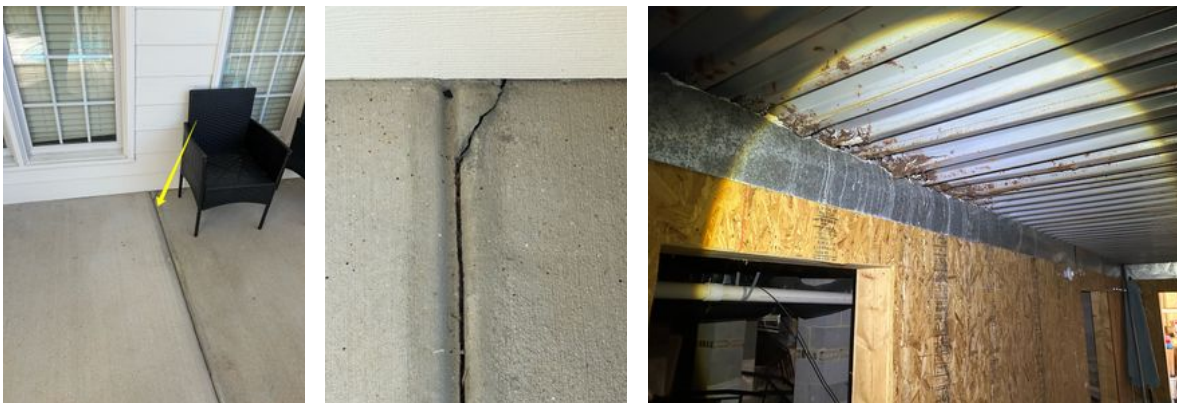


Comment 9

Exterior: Porches

A qualified concrete contractor is recommended to evaluate the back porch concrete slab and corrugated form panels. The slab has settlement at a control joint which appears to promote water entry at the home's rim joist. This has led to deterioration of the metal forms and the concrete was brittle and breaking apart. (See video). Over time, this could lead to possible deterioration of the framing in this location.

Video link: <https://youtube.com/shorts/AbGz2k2YDfI?si=TZEQk3uT6yK-pqAh>





Comment 15

Roofing: Ventilation Present

The attic is insulated with Icynene spray foam insulation. A conditioned air vent should be installed in the attic with this application. The inspector did not observe an air vent at the time of inspection. Consult the local building authority or HVAC contractor to determine if a conditioned air vent is recommended.

Comment 16

Roofing: Soffit and Fascia

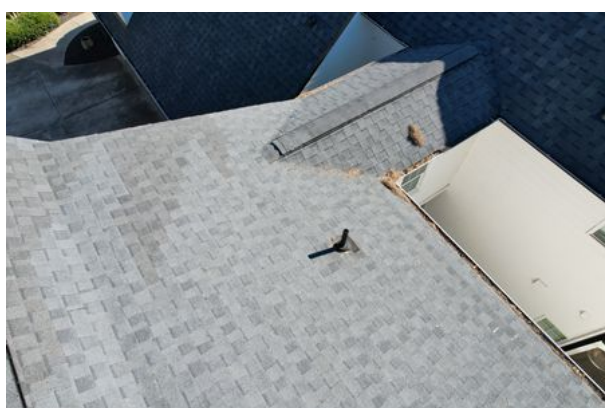
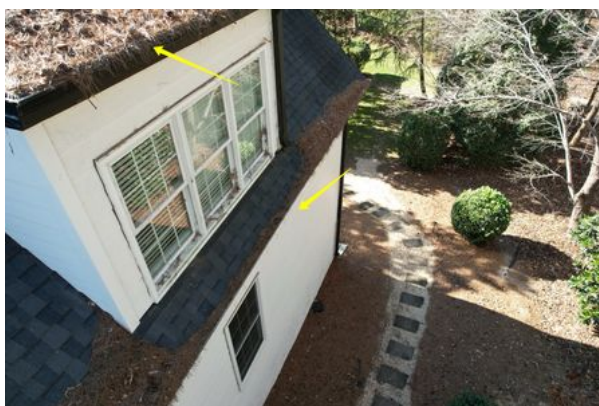
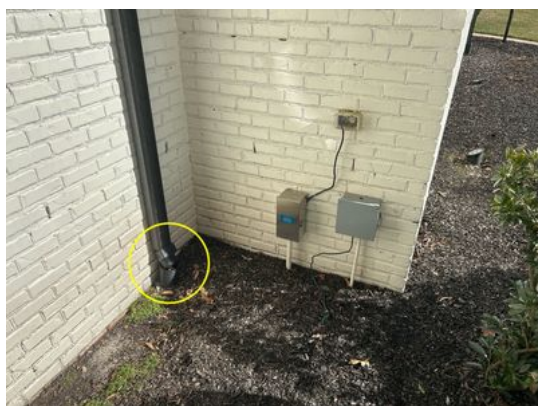
Paint was peeling at several locations on the front fascia. A qualified painting professional is recommended for repair to prevent further peeling and to ensure the material is properly sealed. Improperly sealed composite material can lead to premature deterioration.



Comment 18

Roofing: Gutters & Downspouts

The gutters, in multiple locations, were filled with debris which will prevent water from exiting into the downspouts. This could cause water runoff in areas and present moisture related problems and lead to premature deterioration of the composite fascia. Ensure all gutter downspouts are properly connected to the corrugated drain lines and discharging away from the home. A qualified professional is recommended for repair. (Photos may not be all inclusive)



Comment 20

Roofing

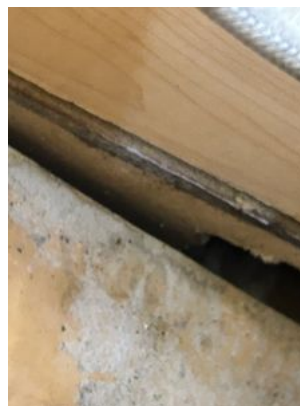
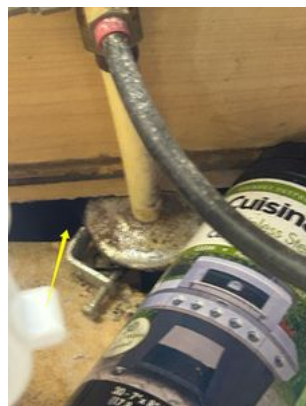
There was debris from trees and surrounding vegetation on the roof. This can allow water to back up under the roofing materials and could lead to water entry and damage to surrounding components. Removal of the debris is recommended.



Comment 23

Structure: Signs of Water Penetration

The subfloor at multiple hvac discharge boots was discolored and showed evidence of previous high moisture. Many times the air vents directly under the cabinet and is not in a chase or duct. The cool conditioned air leaves moisture under the cabinet base and this causes staining to the subfloor/base cabinet and sometimes damage to the base cabinet bottom panel. The subfloor was structurally sound in this location and moisture levels were normal at the time of inspection. The kitchen sink base cabinet was damaged and warm air was discharging inside the cabinet. A qualified contractor is recommended to evaluate the air discharge and repair the kitchen base cabinet to prevent further damage.





Comment 37

Electrical: Smoke Detectors

Hardwired smoke alarms are required to be connected to the home's electrical system and should set off every alarm in the home when tested. The garage apartment smoke alarms, when tested, did not set off the other alarms in the home which is a safety hazard. Additionally, multiple alarms in this home were past their useful life expectancy. Alarms should be replaced every 10 years. Further evaluation by licensed electrician is recommended.



Comment 38

Electrical

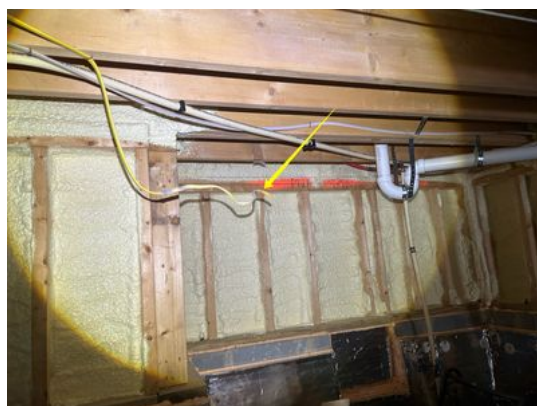
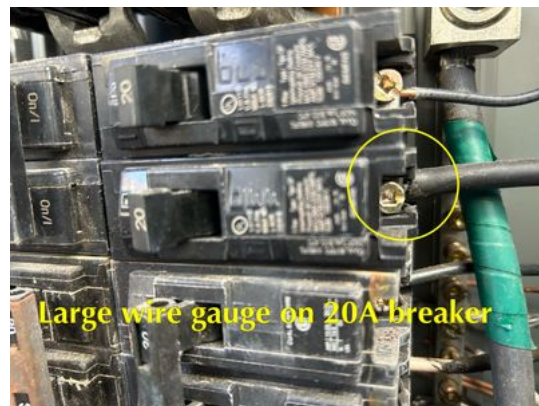
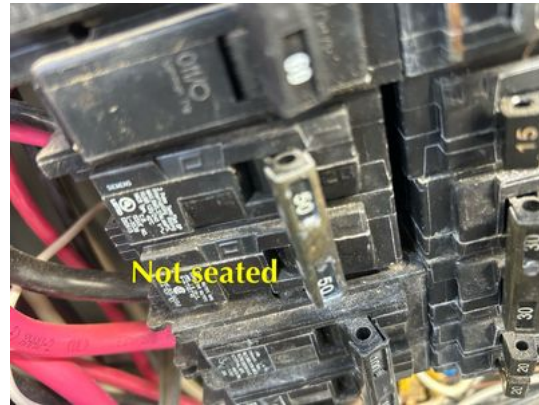
There were multiple deficiencies in the electrical system that should be evaluated/repair by a licensed electrician.

Issues include but may not be limited to:

- An AFCI breaker failed to trip when tested in the laundry room sub panel. AFCI helps protect against potential fire hazards.
- A breaker was not properly seated on the bus bar in the exterior sub panel. This is a safety hazard that could lead to potential arcing or fire safety hazard.
- All electrical breakers are required to be properly identified on the legend attached to the panel. There were missing identifications on the exterior sub panel. This is a safety hazard.

- A large gauge conductor was installed in a 20A breaker in the exterior sub panel. A conductor too large to properly fit under a breaker terminal screw could lead to improper fit or needing to be modified to fit. Modified or improperly secured conductors can be a fire safety hazard. The max size wire gauge is typically stated by the manufacturer. The inspector was unable to confirm if the conductor had been modified. Typically a split bolt or wire nut is used in this application to downsize the conductor to fit the breaker.
- Electrical guidelines require grounds and neutrals to be isolated in an electrical sub panel. This allows separate paths back to the main panel in the event of a ground fault and helps reduce the risk of electrical shock. The grounds and neutrals are bonded at the exterior sub panel. When a generator is installed, the generator panels become the main disconnect and the grounds and neutrals are bonded in the generator panel.
- The exterior sub panel has a mismatching breaker. All breakers installed are required to be of the same type and manufacturer of the service panel. There are however some breakers that are suitable for replacement of certain breakers in certain panelboards. This information is provided by the breaker manufacturer. Improperly installed breakers can lead to voided warranty, failure or even fires.
- Any unused/abandoned or deleted branch circuits should be removed back to its original source location if possible. At a minimum it should be housed inside a junction box to avoid accidental energizing and electrocution. There was a disconnected/abandoned circuit in the front left of the crawlspace.
- The GFCI receptacle to the right of the cooktop had no power and would not reset. Therefore, all receptacles on this circuit were unable to be tested. (Breakfast nook as well)
- The receptacle to the left of the kitchen sink was loose and should be properly secured to prevent possible loosening of the electrical conductor connections. Improperly/loosely connected wiring could result in arcing which can lead to possible fires. (Cover plate also broken)
- There was an open electrical junction box located in the right side of the crawlspace. All junction boxes should have a blank plate cover installed to prevent access to the electrical conductors.

-Replacing the missing exterior receptacle's weatherproof cover on the back side of the home and damaged cover on the balcony is recommended to prevent possible moisture entry which could lead to nuisance tripping of the GFCI receptacle and premature deterioration of the electrical components.





Comment 40

Electrical: Electrical Fixtures: Lights/fans

Multiple light fixtures would not illuminate using standard operating controls/switches. Replace the lightbulb and if issues continue, further evaluation by a licensed electrician is required. (Photos may not be all inclusive). Multiple fixtures has at least one bulb not functional.



Comment 48

HVAC: Type Of Distribution

Secure the loose return register in the movie theatre room to prevent detachment.



Comment 53

HVAC: Cooling: Condensate Drainage

The HVAC condensate drain line should not be concealed underneath grade. The line should drain 6" +/- above grade to prevent it from being clogged which could lead to backups and leaking at the unit or nuisance shutoffs. Raise the drain line as needed to prevent blockage.



Comment 57

Plumbing: Supply Pipe Material

There was a disconnected/abandoned gas supply line in the crawlspace that should be properly capped or removed by a qualified professional. The inspector was unable to confirm if the line was disconnected at both ends. This could lead to possible gas leaks if the line is still active and a valve is opened. (Back left of crawlspace)



Comment 64

Plumbing: Hose Bibs

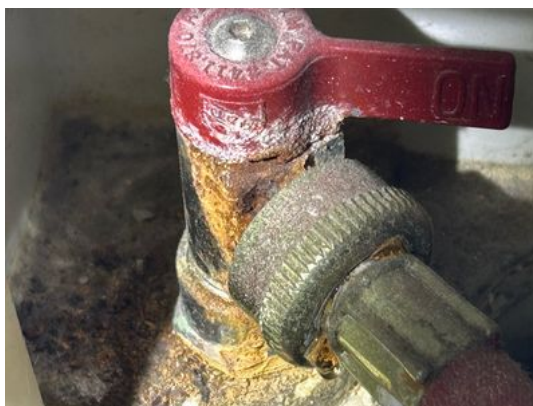
The left hose bib leaks at the valve stem when the valve is opened. Repair is recommended to prevent excess water loss and to prevent the leak from becoming greater.



Comment 65

Plumbing

Corrosion and active leaking was observed on the hot water supply angle stop at the main house washer box. Replacement is recommended by qualified professional to prevent further deterioration or damage to surrounding components.



Comment 68

Plumbing: Water Heater

Fire caulking is required be installed at any location where the water heater vent stack protrudes through the garage sidewall/ceiling. This helps to prevent the possible spreading of a fire. Sealing the penetration is recommended with the appropriately rated sealant.

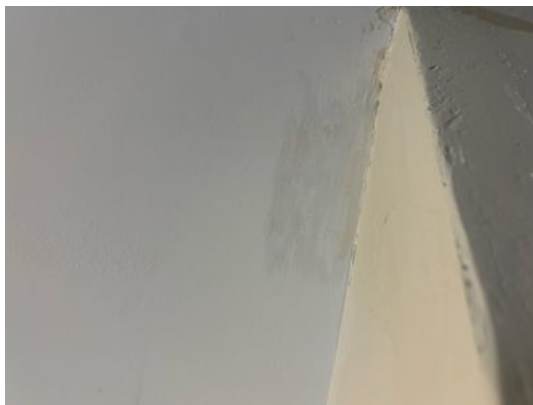


Comment 75

Kitchen- Apt

Elevated moisture levels were present on the garage apt walls, above the refrigerator. This appears to be a recent repair. It is recommended to consult the owner on any known repairs or current issues. If no information is available, further evaluation is recommended by a qualified professional.





Comment 76

Kitchen- Apt: Appliances: Range

When turned to the low setting, the front left burner of the garage apartment range would go out, which is a safety hazard that could release gas into the home. Repair of the appliance is recommended by qualified appliance professional. See video.

Video link: <https://youtube.com/shorts/NW6offx94KU?si=F9ukZ9IrjKekUuo>



Comment 77

Kitchen- Apt: Appliances: Range

The garage apartment oven function was unable to be tested. The range was displaying “Cool” and the inspector was unable to get the oven to start and unable to get the “Cool” function off. Consult the owner on the function of the appliance and if information is not available, a qualified appliance professional is recommended for evaluation.



Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

Item In Need of Repair/Replacement: A condition of a system or component that renders it nonworking, non-performing, non-functioning or unsafe, and requires a professional contractor to further evaluate and repair, correct or replace.

Item of Improvement: A condition of a system or component that renders it nonworking, non-performing, or non-functioning or unsafe, and may be repaired, corrected or replaced by a professional contractor or the homeowner. Or the item could benefit by being upgraded.

Cosmetic Defect: A superficial flaw or blemish in the appearance of a system or component that does not interfere with its safety or functionality. Cosmetic issues are beyond the scope of a North Carolina home inspector and therefore are provided as a courtesy.

Item to Monitor: An item that is not yet non-working, broken, nor unsafe but should be inspected periodically to ensure proper function.

All directional references in the report are based on standing in the street, facing the front door.

Acceptance and or use of this inspection report binds the client to the terms of the Home Inspection Contract.

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection and not a prediction of future conditions. It is a snapshot in time. A general home inspection will not reveal every issue that exists or ever could exist, but only those material defects observed on the date of the inspection.

This report is prepared only for the customer (and their realtor, if applicable) listed on the title page of this report. This report should not be used by any other person, company, or entity for use in a real estate transaction with this address, unless express written consent by Pait Home Inspections of North Carolina, LLC. Conditions to this home may have changed since this inspection report was generated. Minor problems noted may have become worse, recent events may have created new issues, and items may even have been corrected and improved. Do not rely on old information regarding this property. If you would like to arrange a re-inspection, please contact us at (919) 675-4095.