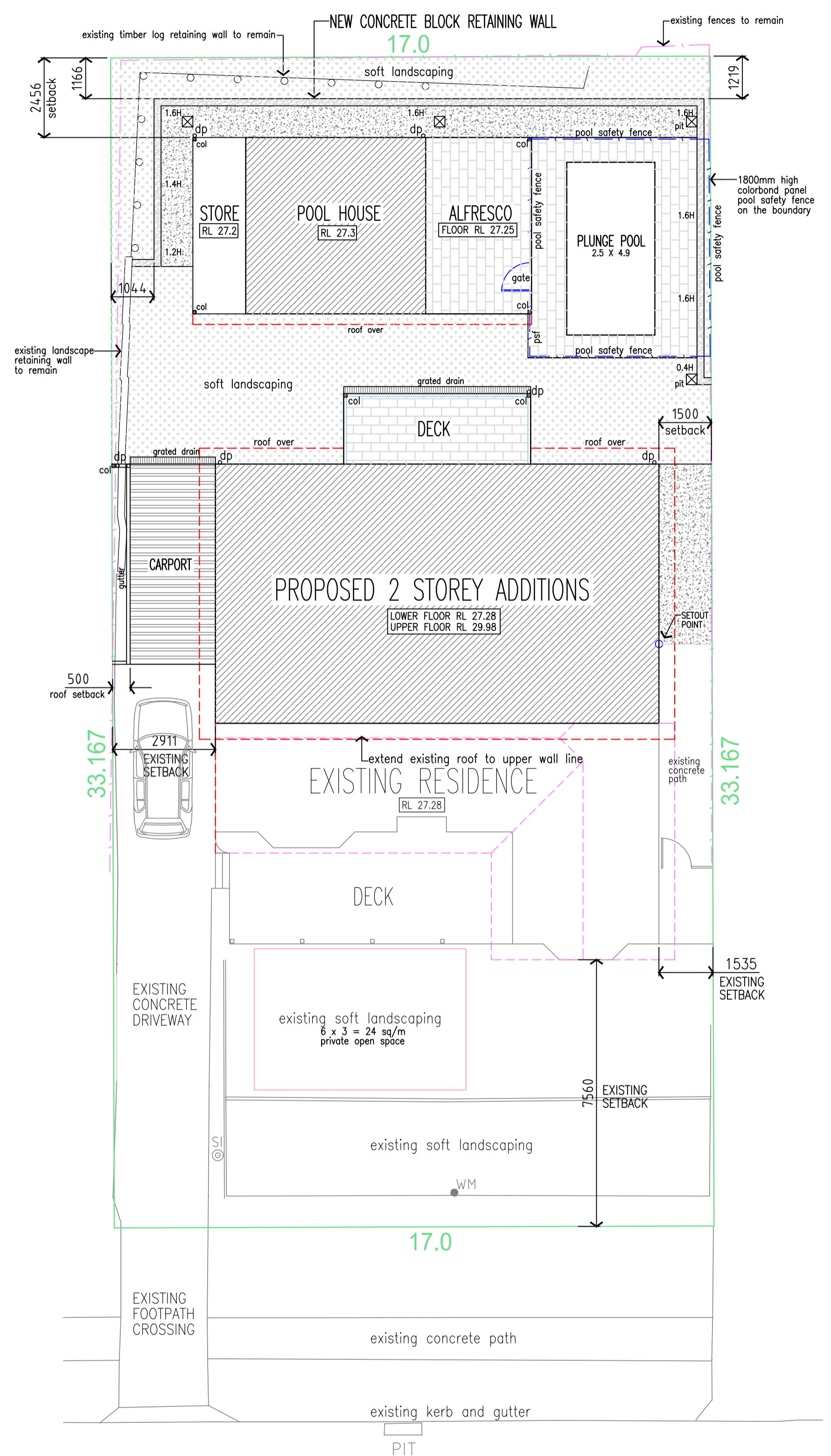


MASSEY CLOSE

site analysis plan

CALCULATIONS OF EXISTING AREAS
 SITE = 563.8m²
 EXISTING HOUSE FOOTPRINT (including decks) = 153.7m²
 EXISTING SHED = 43.8m²
 EXISTING LANDSCAPING AREA FRONT = 113m²
 EXISTING LANDSCAPING AREA REAR = 111m²
 EXISTING LANDSCAPING TOTAL = 39% OF SITE AREA



MASSEY CLOSE

proposed site plan

CALCULATIONS OF NEW AREAS
 UPPER FLOOR ADDITION (including deck) = 103m²
 REAR STORE/POOL HOUSE/ALFRESCO = 48m²
 CARPORT = 14.2m²

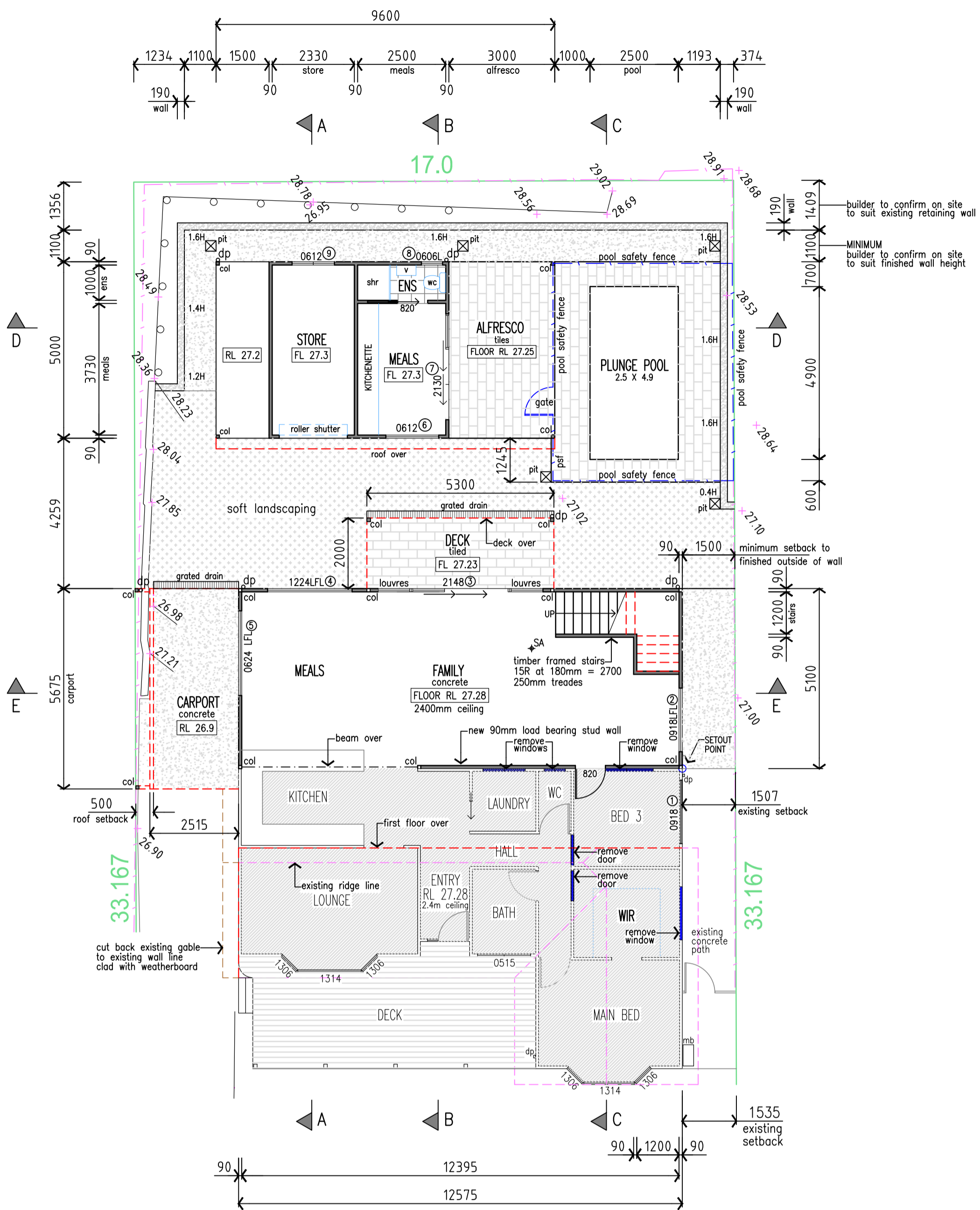
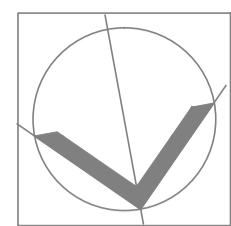
- soft landscaping
- reinforced concrete paving (fall to grated sumps)
- stone pavers over reinforced concrete slab



1	ISSUED FOR DA/CC APPROVAL	20.07.2021
NO.	AMENDMENT	DATE
PROJECT		
ALTERATIONS AND ADDITIONS		
LOCATION		
LOT 25 DP 255749		
No.15 MASSEY CLOSE		
ELERMORE VALE		
CLIENT		
JULIE AND PETER BORRADAILE		
DRAWING		
SITE PLANS		

LINDSAY TAPP
 BUILDING CONSULTANT
 ARCHITECTURAL
 CIVIL & STRUCTURAL
 W: lindsaytapp.com.au
 E: lindsaytapp@bigpond.com
 M: 0419 609641
 A: 7 halberd close, valentine. 2280

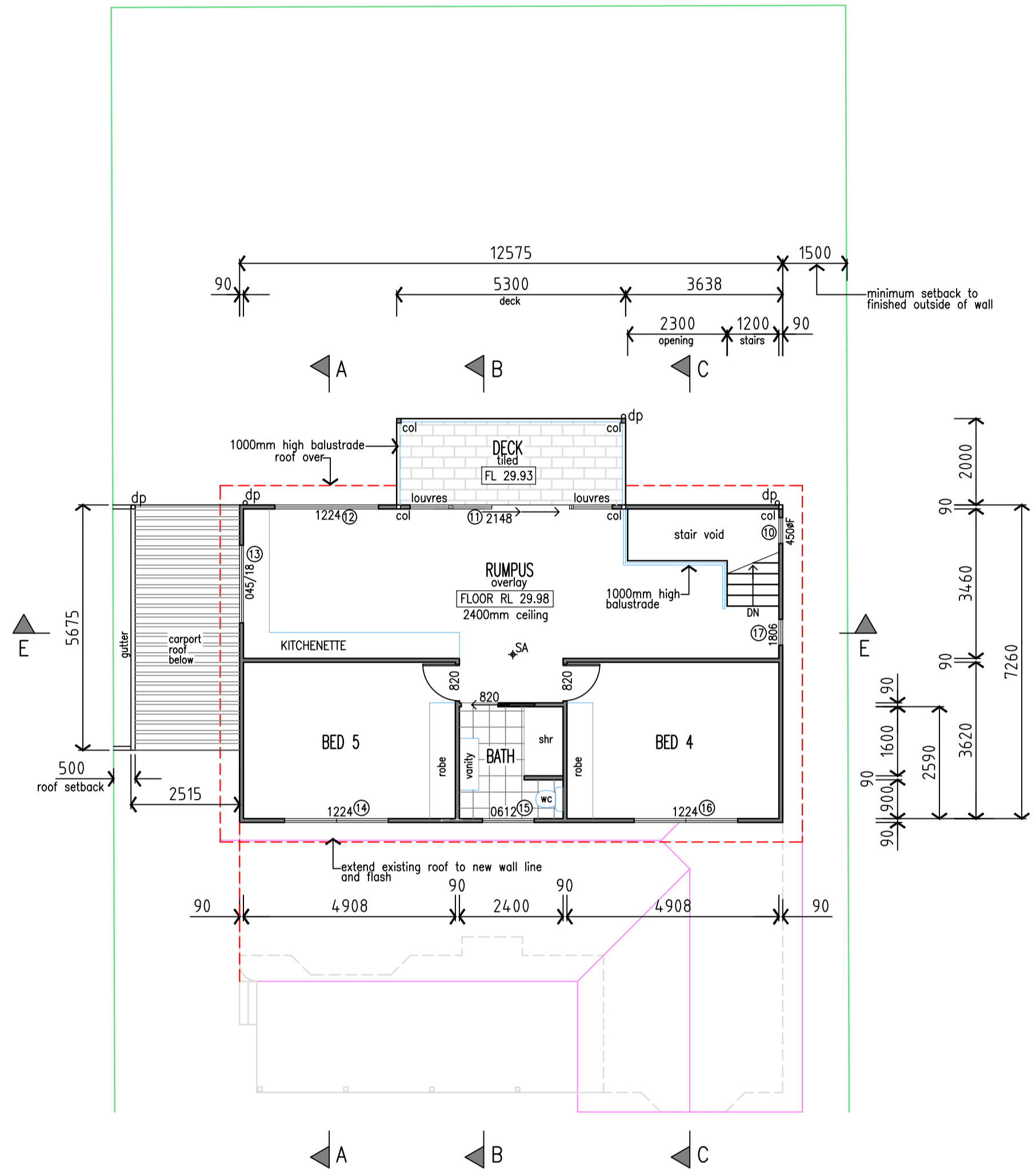
SCALES	DATE	CAD FILE
1:100	APRIL 2021	2021-001 (A1)



ground floor plan

- * 1512 denotes 1500 high x 1200 wide window (refer window supplier for stud opening dimensions)
- * ① denotes new glazing number – refer basix schedule
- * SA Smoke alarms in accordance with AS 3786.
- * DP connect new downpipes into existing drainage system – refer stormwater management plan
- * GLAZING REQUIREMENTS
REFER BASIX REPORT A422526-1 dated Thursday 15th July 2021 prepared by EVERGREEN ENERGY SOLUTIONS.
- * All windows Standard Aluminium, single pyrolytic low-e (U-Value 5.7, SHGC 0.47)

Number	Orientation	Area of glazing	Shading device
1	WEST	1.62 m ²	adjustable awning
2	↓	1.62 m ²	↓
3	SOUTH	10.08 m ²	eave >= 900mm
4	SOUTH	2.88 m ²	eave >= 900mm
5	EAST	1.44 m ²	roof >= 900mm
6	NORTH	0.72 m ²	eave >= 300mm
7	WEST	6.3 m ²	roof >= 900mm
8	SOUTH	0.36 m ²	NIL
9	SOUTH	0.72 m ²	NIL



upper floor plan

- * GLAZING REQUIREMENTS
REFER BASIX REPORT A422526-1 dated Thursday 15th July 2021 prepared by EVERGREEN ENERGY SOLUTIONS.
- * All windows Standard Aluminium, single pyrolytic low-e (U-Value 5.7, SHGC 0.47)

Number	Orientation	Area of glazing	Shading device
10	WEST	0.15 m ²	eave >= 450mm
11	SOUTH	10.08 m ²	roof >= 900mm
12	↓	2.88 m ²	eave >= 450mm
13	EAST	0.54 m ²	↓
14	NORTH	2.88 m ²	↓
15	↓	0.72 m ²	↓
16	↓	2.88 m ²	↓
17	WEST	1.08 m ²	↓

15 Massey Close, Elmore Vale SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details.			
WATER COMMITMENTS			
Fixtures	3 Star Shower Heads	3 Star Toilet	3 Star Kitchen Taps
THERMAL COMFORT COMMITMENTS			
Concrete slab	On ground floor – Nil insulation		
Floor above	Existing dwelling or building – Nil insulation		
External wall	Framed (weatherboard, fibro, metal clad) R1.30 (or R1.70 including construction)		
Raked ceiling – Skillion roof	Ceiling: R1.74 (up), Roof: foil backed blanket (55mm) – Medium in colour		
Glazing –	Standard aluminium, single pyrolytic low-e (U-Value: 5.7, SHGC:0.47)		
ENERGY COMMITMENTS			
Artificial Lighting	Install a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent or light-emitting-diode (LED) lamps		

- BUILDING SPECIFICATION**
- GENERAL**

The builder shall confirm all levels and dimensions on site prior to construction. The builder/owner shall give all notices, obtain permits and pay all fees/insurances required. Reference code for all work shall be the Building Code of Australia.

Building setout to be by a registered surveyor.

Termite protection treatment in accordance with AS 3660.1.

Smoke detectors in accordance with AS 3786.

Subfloor ventilation in accordance with BCA part 3.4.1.

Waterproof wet areas in accordance with AS 3740.

Balustrading and handrails to comply with BCA clause 3.9.1.2.

Stairs to comply with clause 3.9.1.3 and 3.9.1.4.

Exhaust fans to Bathroom, Kitchens and Laundry to comply with AS 1668.2. Provide ducting to roof space, eave or external wall.
 - CONCRETOR**

All work shall be in accordance with AS 3600.

All footings, slabs to engineers/councils approval prior to pouring concrete.

Footings designed in accordance with AS2870 for a 'M' site. Finishes to external concrete surfaces to owners requirements.
 - TIMBER FRAMING**

All work shall be in accordance with AS 1684–2010.

The National Timber Framing Code.

All external timber to be F7 kiln dried treated pine u.n.o.

External fixings to be hot dip galv.

Internal timber framing to be MGP 10 (F5) minimum grade.

fb – denotes hardwood floorboards to owners spec.

19mm all purpose structaflor elsewhere
 - BRACING AND TIE DOWN REQUIREMENTS**

Designed for wind speed = N2 (33m/s)

Region 'A'

Terrain Cat. 3.0

Partial Shielding

Provide wall bracing in accordance with AS1684.2–2010.

Residential timber framed construction.

Metal strap bracing refer table 8.18b or c.

Ply bracing refer table 8.18g. (denoted ply on plan)
 - LININGS**

10mm gyprock to walls and ceilings

6mm Villaboard to wet area walls and ceilings

19mm Scyon Secura to timber framed floors
 - INSULATION**

Refer Basix Certificate By Evergreen Energy Consultants.
 - DRAINAGE AND PLUMBING**

Dispose of stormwater to council requirements.

Refer to Stormwater Management Plan

Provide socked aggroflex subsurface drains to all landscaped filled areas, connected to existing stormwater.

All plumbing work shall comply with Hunter Water Board requirements. Location of all existing services to be confirmed prior to construction.

All work in accordance with AS 3500.
 - ELECTRICIAN**

All work in accordance with AS 3000. Exact type and location of light fittings, switches and power outlets shall be determined on site during progress of work.
 - GLAZING**

New windows and doors shall be aluminium-timber, type and manufacture to owners requirements.

Aluminium or stainless steel screens to be fitted over the operable portion of the window.

All work in accordance with AS 2047.
 - ROOFER**

All work in accordance with AS 1397 (1993)

All fasteners in accordance with AS 3566
 - STEELWORK**

All connections to be fully site welded u.n.o. All steelwork to be rozc prime with paint finish.
 - PAINTER**

Finished colors and stain finishes to the owners spec.
 - EROSION & SEDIMENT CONTROL**

Refer Sediment and Erosion Control Plan and Details.
 - Water, Lighting and Fixtures**

Refer Basix Certificate By Evergreen Energy Consultants.



NO.	ISSUED FOR DA/CC APPROVAL	DATE
1	ISSUED FOR DA/CC APPROVAL	20.07.2021

PROJECT
ALTERATIONS AND ADDITIONS

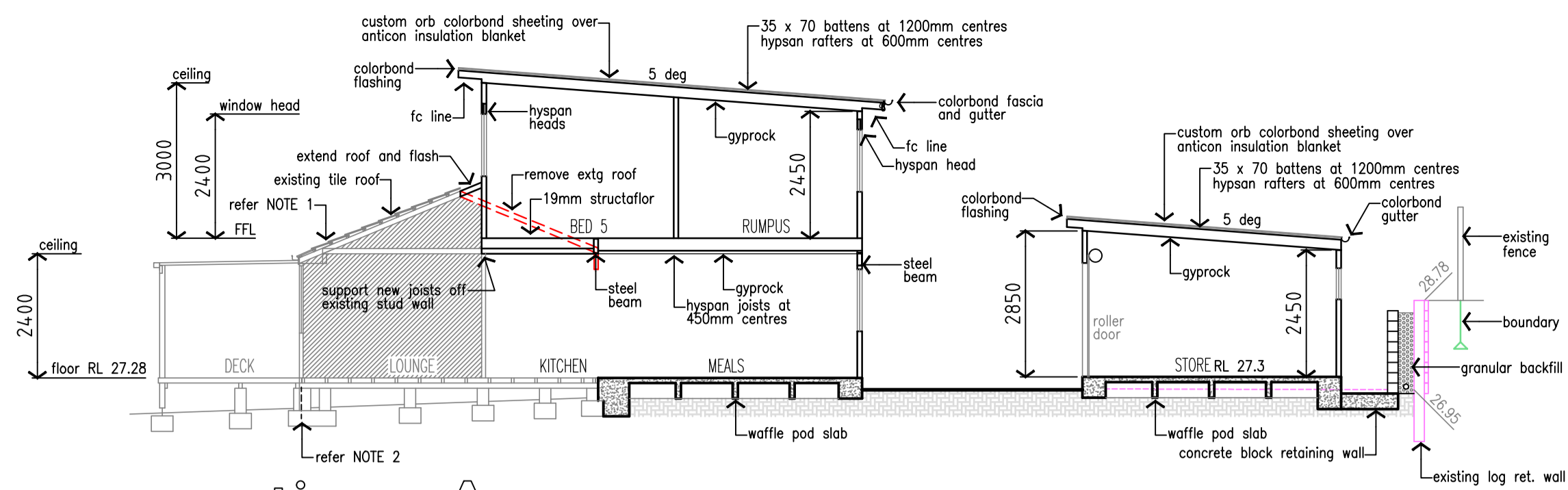
LOCATION
**LOT 25 DP 255749
No.15 MASSEY CLOSE
ELMORE VALE**

CLIENT
JULIE AND PETER BORRADAILE

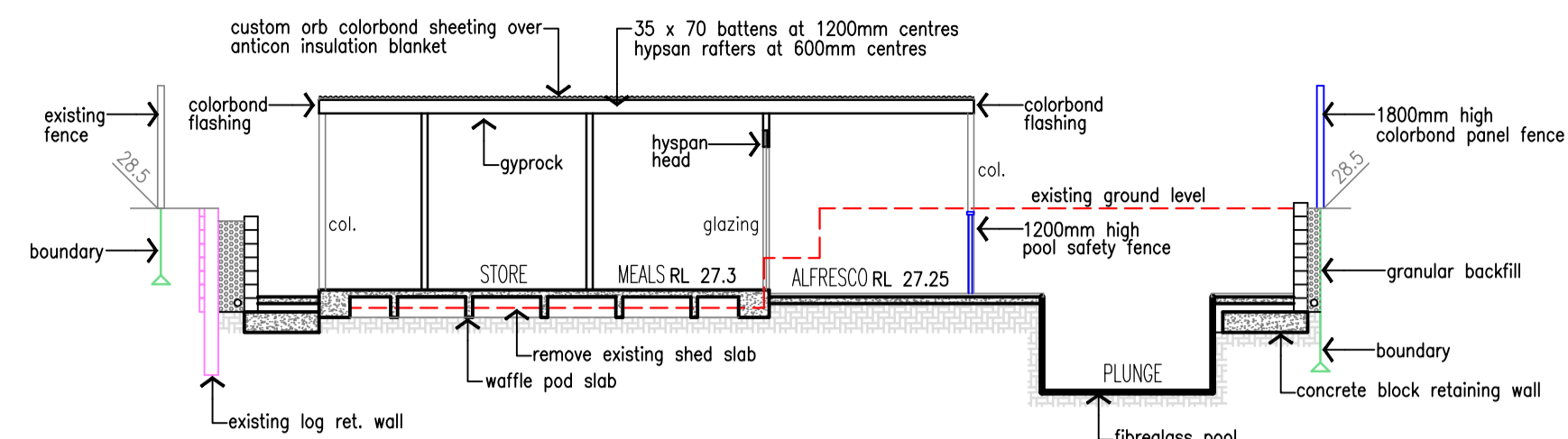
DRAWING
ARCHITECTURAL FLOOR PLANS

LINDSAY TAPP
BUILDING CONSULTANT
ARCHITECTURAL
CIVIL & STRUCTURAL
W: ltrdraftingnewcastle.com.au
E: tappdrafting@bigpond.com
M: 0419 609641
A: 7 halberd close, valentine. 2280

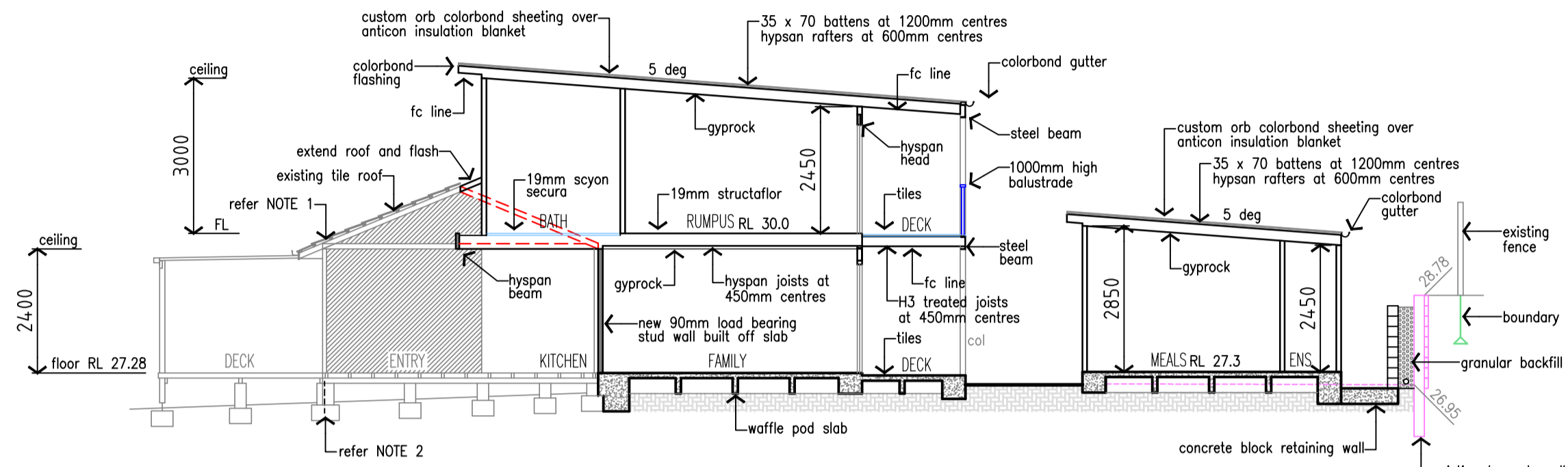
SCALES	DATE	CAD FILE
1:100	APRIL 2021	2021-001 (A2)



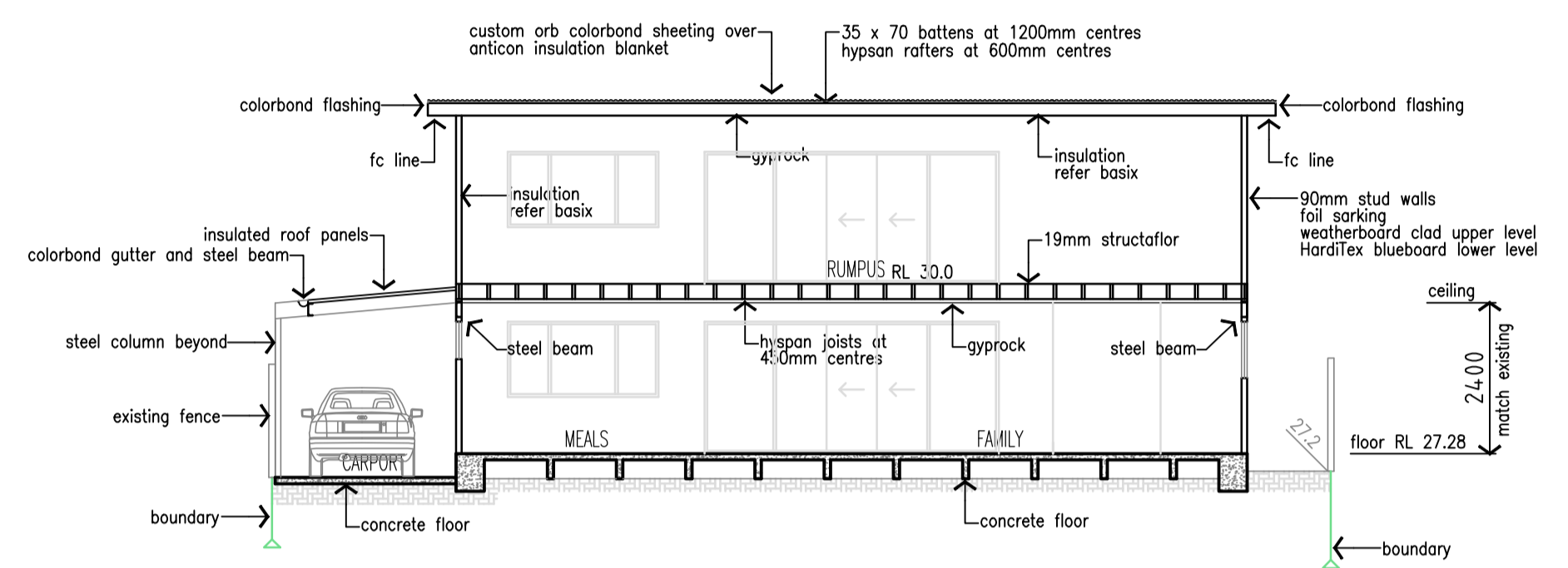
section A



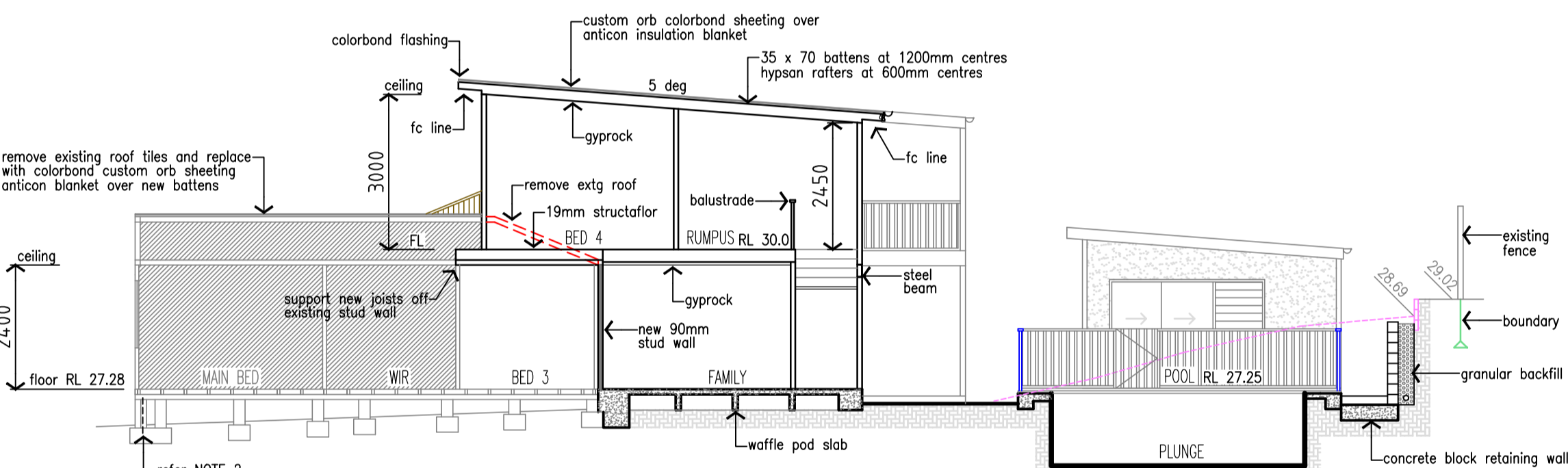
section D



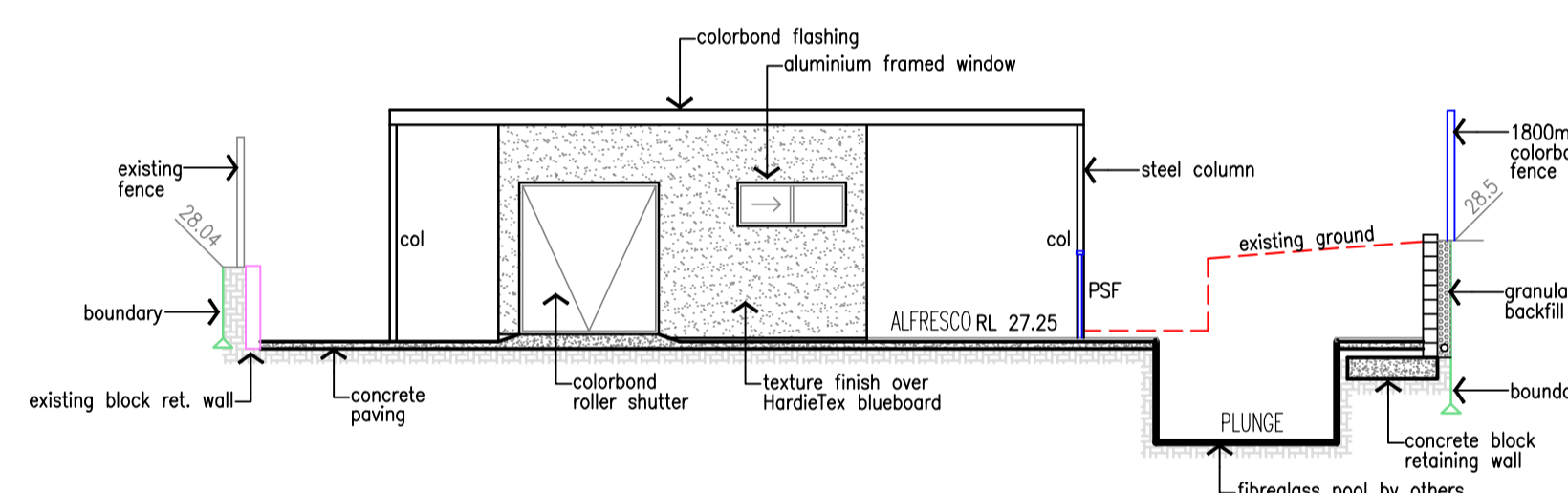
section B



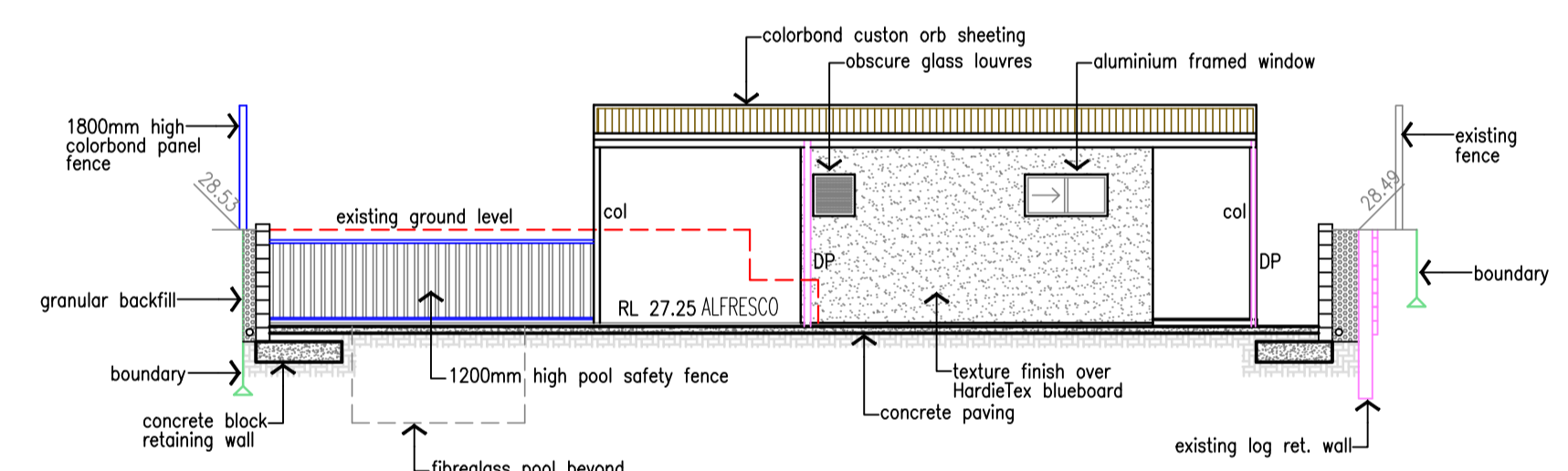
section E



section C



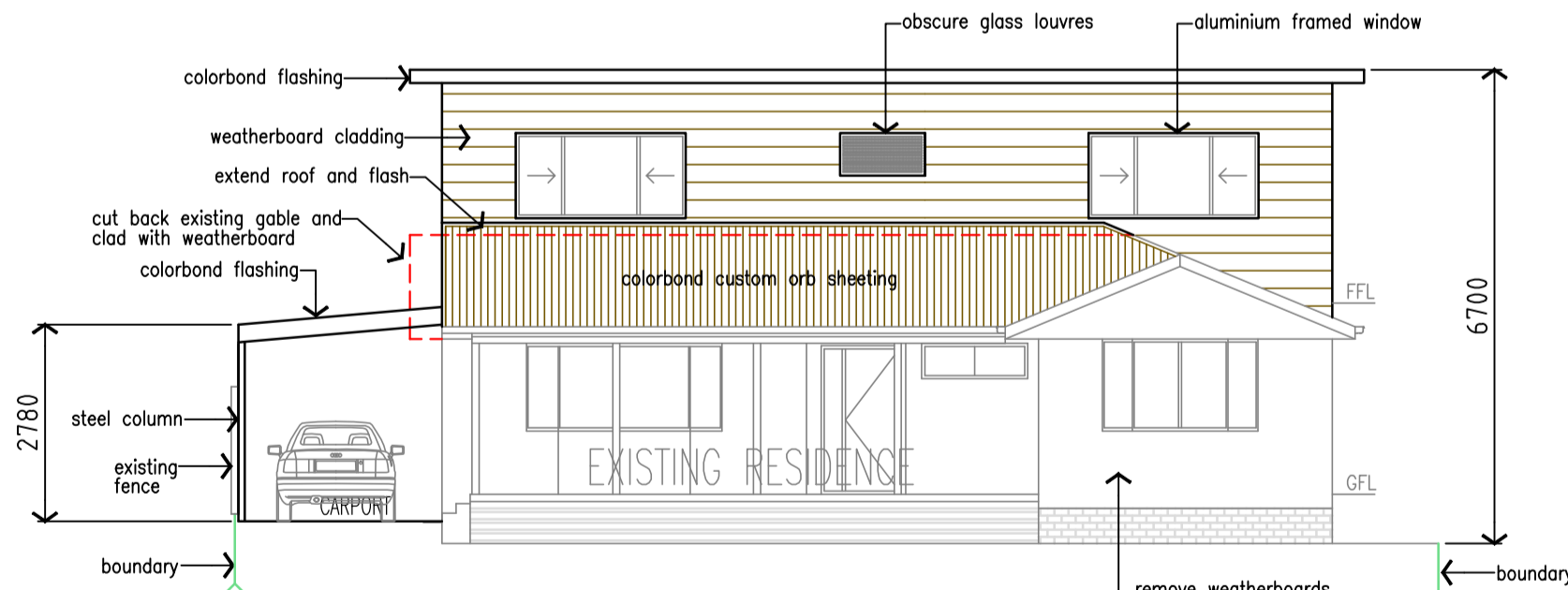
north elevation - pool house



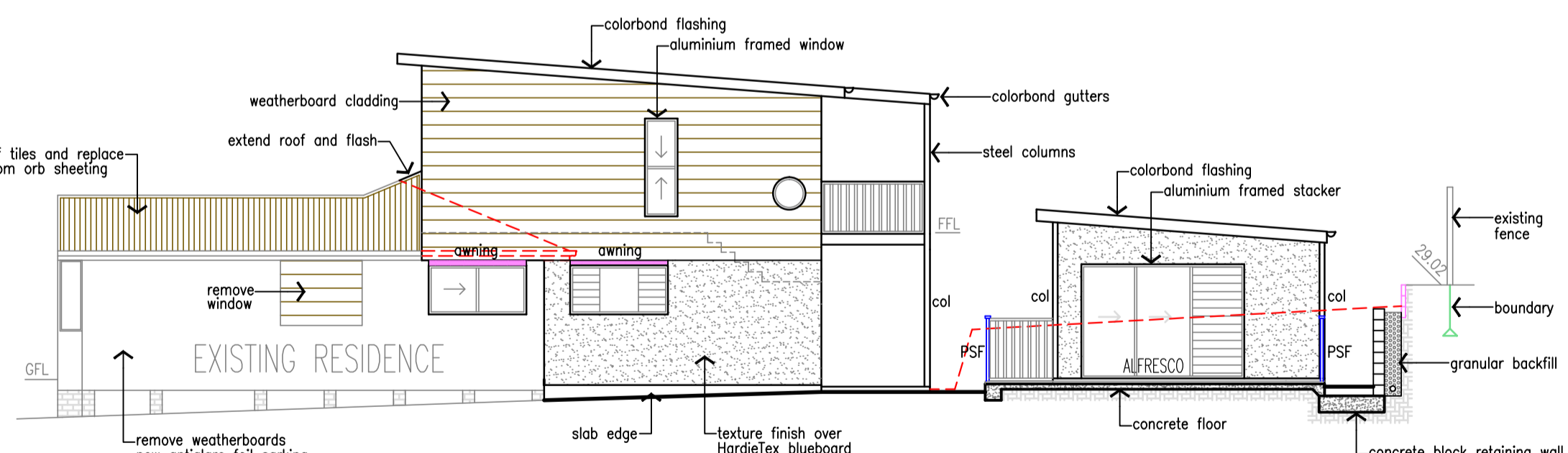
south elevation - pool house

NOTE 1
builder to confirm fixing of existing roof framing on site with engineer
allow for new trip-grip at each rafter to top plate. (refer structural drawing)
alternatively use SIMPSON STRONG TIE SCREWS pre drilled and fixed thru top plate into rafter

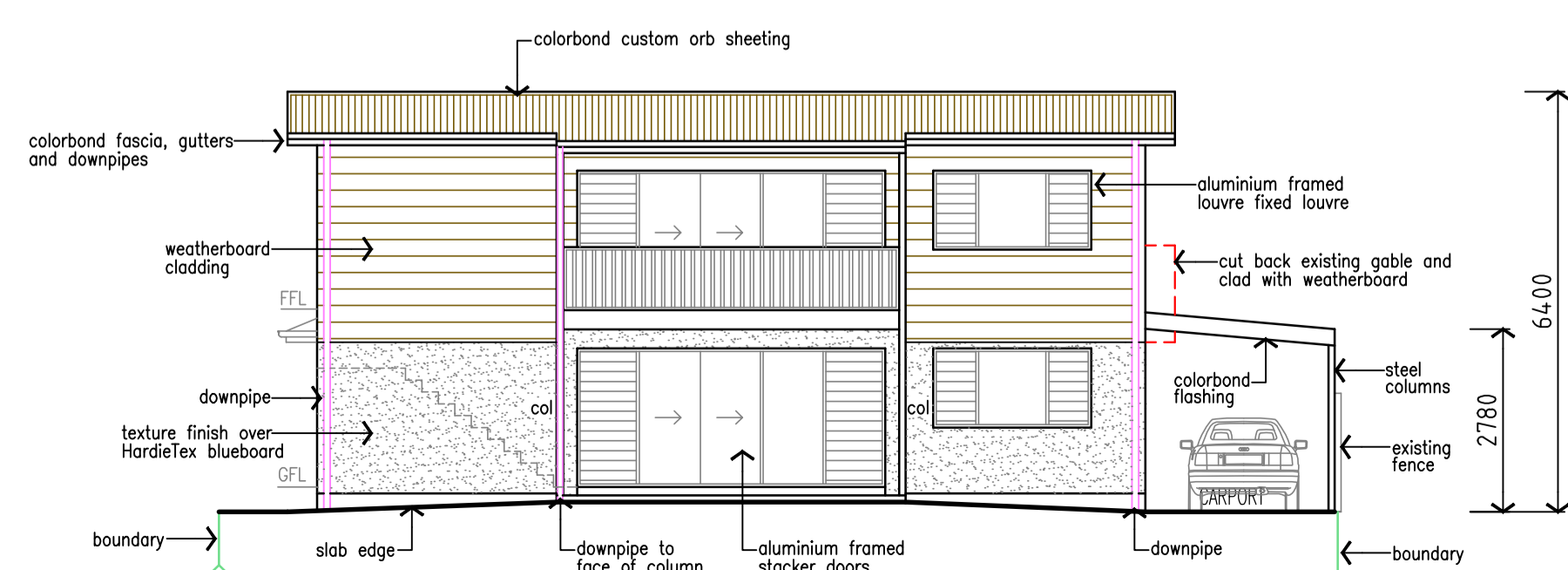
NOTE 2
galvanised M12 threaded rod for tie down of existing bearers
drill and epoxy 150mm into existing footing (refer structural drawing for typical detail)



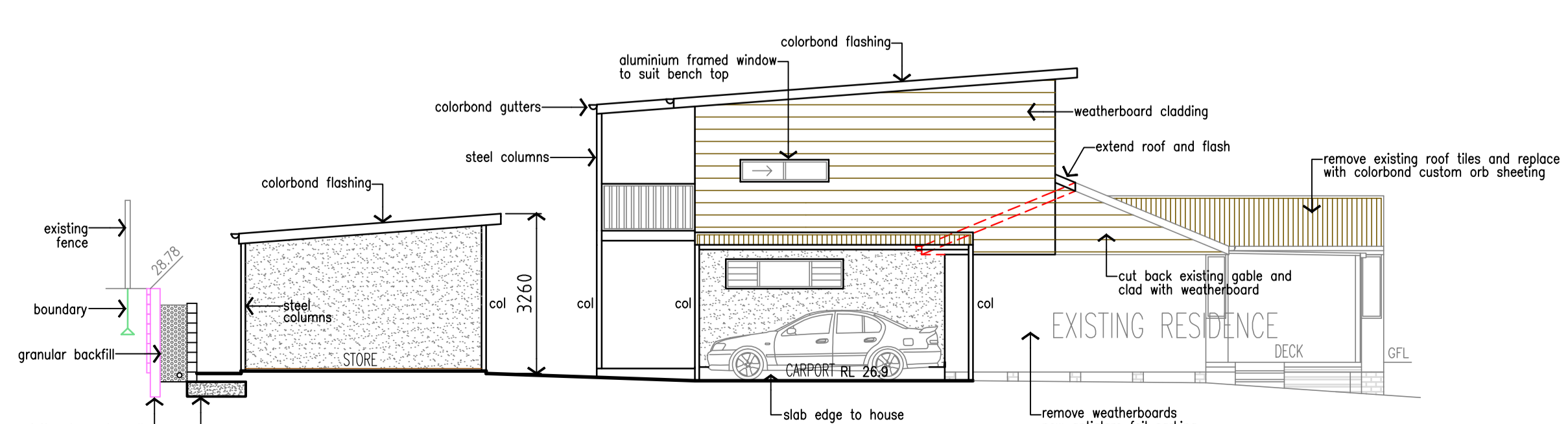
north elevation



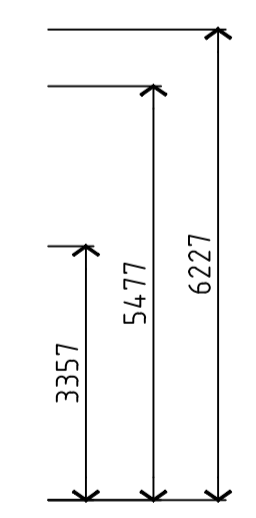
west elevation



south elevation



east elevation



1	ISSUED FOR DA/CC APPROVAL	20.07.2021
NO.	AMENDMENT	DATE

PROJECT
ALTERATIONS AND ADDITIONS

LOCATION
LOT 25 DP 255749
No.15 MASSEY CLOSE
ELERMORE VALE

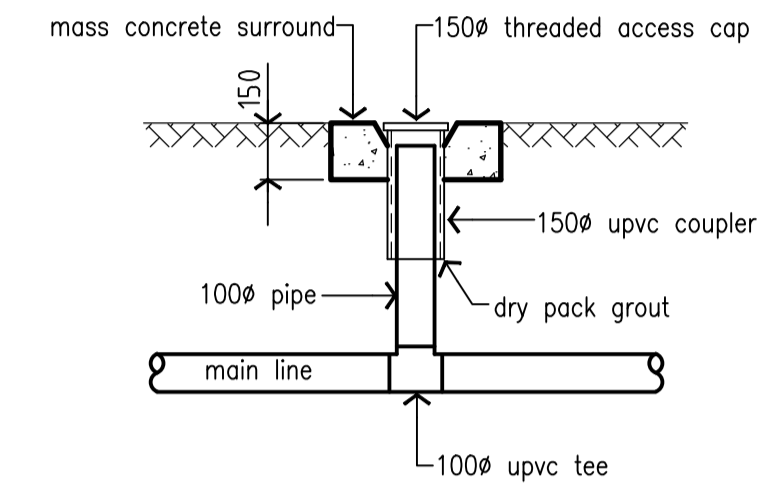
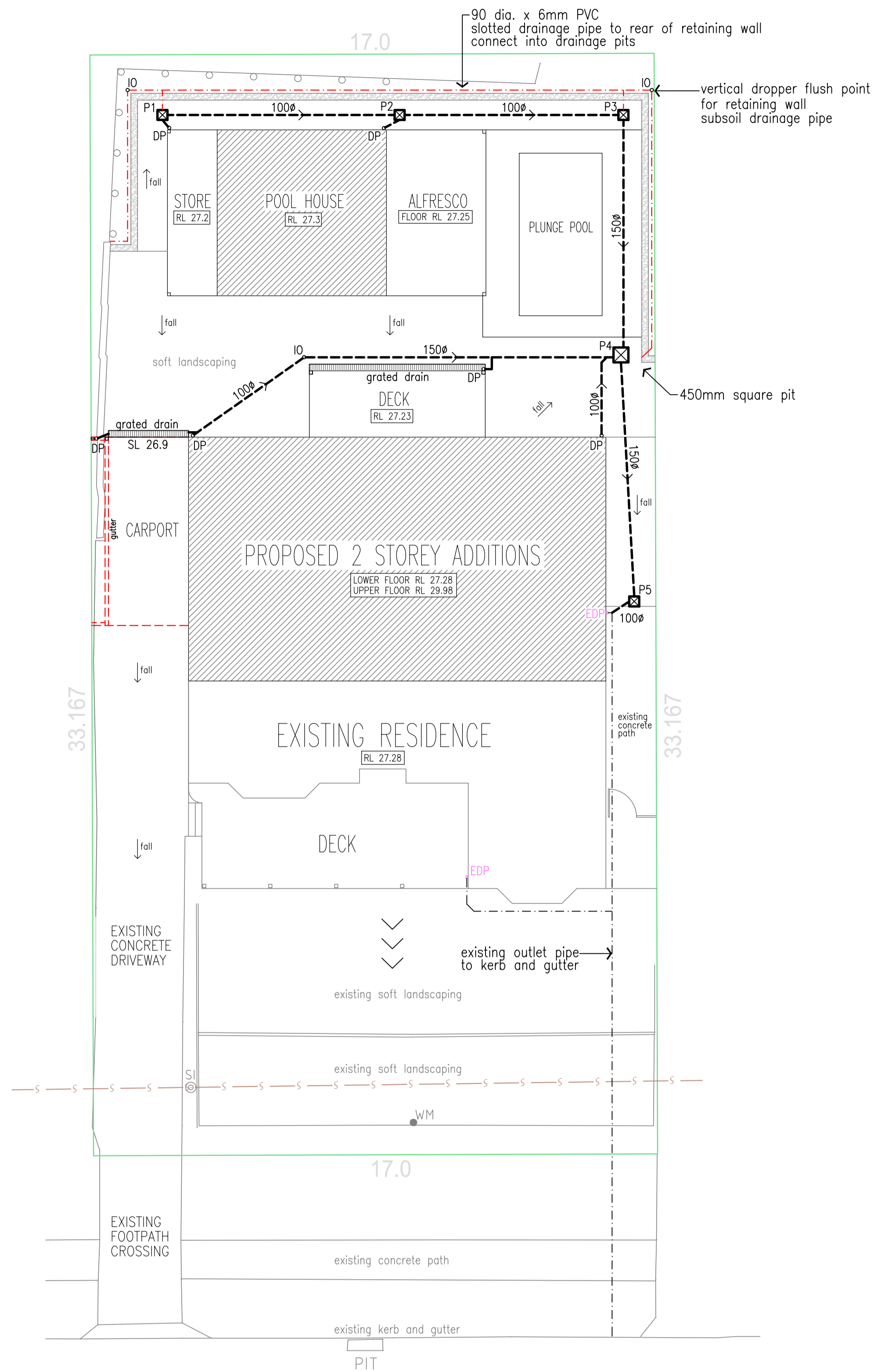
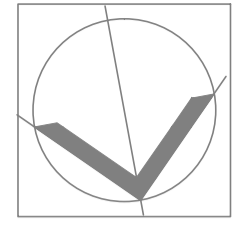
CLIENT
JULIE AND PETER BORRADAILE

DRAWING
SECTIONS AND ELEVATIONS



LINDSAY TAPP
BUILDING CONSULTANT
ARCHITECTURAL
CIVIL & STRUCTURAL
W: tdrraftingnewcastle.com.au
E: tappdrafting@bigpond.com
M: 0419 609641
A: 7 halberd close, valentine. 2280

SCALES 1:100	DATE APRIL 2021	CAD FILE 2021-001 (A3)
-----------------	--------------------	---------------------------



INSPECTION OPENING

STORMWATER DRAINAGE NOTES

1. ALL STORMWATER DRAINAGE INSTALLATION WORKS TO COMPLY WITH NATIONAL PLUMBING AND DRAINAGE CODE AS 3500, THE BCA, NSW CODE OF PRACTICE 1999, COUNCIL CONSENT CONDITIONS AND THE STATUTORY AUTHORITY'S REQUIREMENTS.
2. ALL PITS TO BE PRECAST CONCRETE STEEL REINFORCED.
3. ALL PIPES TO BE 90 UPVC UNLESS NOTED OTHERWISE.
4. ALL PIPE SIZES SHOWN ARE DN (DIAMETER NOMINAL) EQUIVALENT PIPE SIZES FOR THE SELECTED PIPE MATERIALS TO COMPLY WITH TABLE 1.1 AND 1.3 OF AS3500.
5. 100 PIPES TO BE CLASS SN6 UPVC LAID AT MINIMUM GRADE 1 IN 100.
6. 150 PIPES TO BE CLASS SN4 UPVC LAID AT MINIMUM GRADE 1 IN 100.
7. 90 SUBSOIL DRAINAGE CLASS SN6 SLOTTED HARD TUBE LAID AT MINIMUM GRADE 1 IN 200.
8. ARROWS INDICATE DIRECTION OF GRADE 1.100 MINIMUM.
9. ALL LEVELS APPROXIMATE ONLY CONFIRM ON SITE
10. FLOOR LEVELS SHOWN ARE FINISHED FLOOR LEVELS.
11. COVER AND GRATE LEVELS TO BE MODIFIED AS NECESSARY ON SITE TO MATCH SURROUNDING AND ENSURE DRAINAGE TO GRATES.
12. MINIMUM COVER TO STORMWATER PIPES SHALL BE AS FOLLOWS:
TRAFFICABLE AREAS 450mm.
LANDSCAPED 300mm
PIPES TO BE CONCRETE ENCASED IF MINIMUM COVERS CANNOT BE OBTAINED IN TRAFFICABLE AREAS, REFER TO CLAUSE 3.8 AS 3500.3. ALTERNATIVELY USE UPVC SEWER GRADE PIPES UNDER ROADS AND BUILDINGS.
13. ALL LANDSCAPED AREAS PROVIDE DN90 SUBSOIL DRAINS (AGROFLEX OR SIMILAR) LAID AT MINIMUM GRADE 1 IN 200. PROVIDE GEOFABRIC FILTER SOCK TO ALL PIPES.
14. USE 100 UPVC PIPES FROM ALL DOWNPIPES. FOR LOCATIONS OF DOWNPIPES REFER TO ARCHITECTURAL DRAWINGS.
15. ALL OUTLET PIPES TO HAVE 150 x 100 RHS HEAVY DUTY PLASTIC KERB ADAPTORS.

MAINTENANCE PROGRAMME

1. ALL STORMWATER PITS TO BE CLEANED ON A REGULAR BASIS AT MINIMUM 1 MONTH INTERVALS.
2. FLUSH SYSTEM ANNUALLY.

PIT SCHEDULE			
TAG	SL	IL	SIZE
P1	27.1	26.8	300 SQUARE
P2		26.7	
P3		26.6	
P4		26.5	450 SQUARE
P5	27.0	26.4	300 SQUARE

MASSEY CLOSE
stormwater drainage plan

- 100 STORMWATER PIPE SIZE
sewer grade under roads and buildings
- P1 300mm SQUARE x 300mm DEEP MINIMUM PROPRIETARY DRAINAGE PIT (EVERHARD POLYMER OR SIMILAR)
HEELGUARD GRATE - REFER SCHEDULE FOR LEVELS
- GD PROPRIETARY (AQUADRAIN 200-200 OR SIMILAR) x 200mm MINIMUM DEEP GRATED DRAIN
FALL INVERT 1% MINIMUM TO OUTLET PIPE
CONNECT OUTLET PIPE INTO DRAINAGE SYSTEM
- IO INSPECTION OPENING
- DP DOWNPIPE
ALL ROOF DRAINAGE PIPES FROM DOWNPIPES TO BE 100 DIAMETER.
- EDP EXISTING DOWNPIPE
- <<< EXISTING OVERLAND FLOWPATH

THIS DRAWING HAS BEEN CHECKED IN ACCORDANCE WITH NORMAL ENGINEERING PROCEDURES AND THE DETAILS SHOWN ARE CERTIFIED TO BE STRUCTURALLY ADEQUATE.

M. McDonald
MIE Aust. CP Eng. NER
MCDONALD STRUCTURAL ENGINEERING
PO BOX 524, HAMILTON NSW 2303
Mobile 0424 606 042 - Matthew McDonald

1	ISSUED FOR DA/CC APPROVAL	20.07.2021
NO.	AMENDMENT	DATE

PROJECT
ALTERATIONS AND ADDITIONS

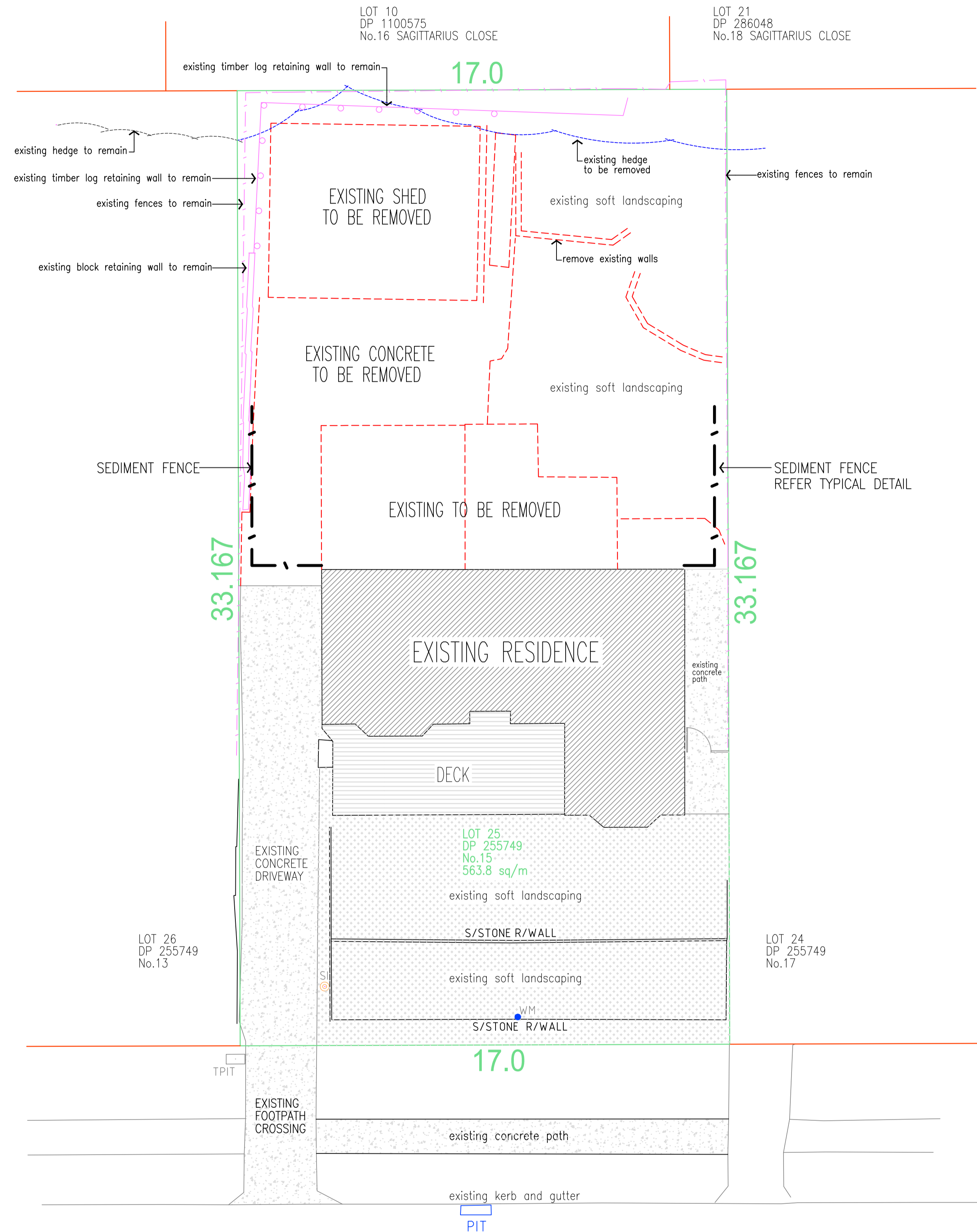
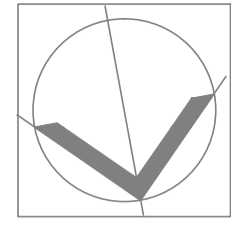
LOCATION
**LOT 25 DP 255749
No.15 MASSEY CLOSE
ELERMORE VALE**

CLIENT
JULIE AND PETER BORRADAILE

DRAWING
STORMWATER MANAGEMENT


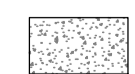
LINDSAY TAPP
BUILDING CONSULTANT
ARCHITECTURAL
CIVIL & STRUCTURAL
W: tdraftingnewcastle.com.au
E: tappdrafting@bigpond.com
M: 0419 609641
A: 7 halberd close, valentine. 2280

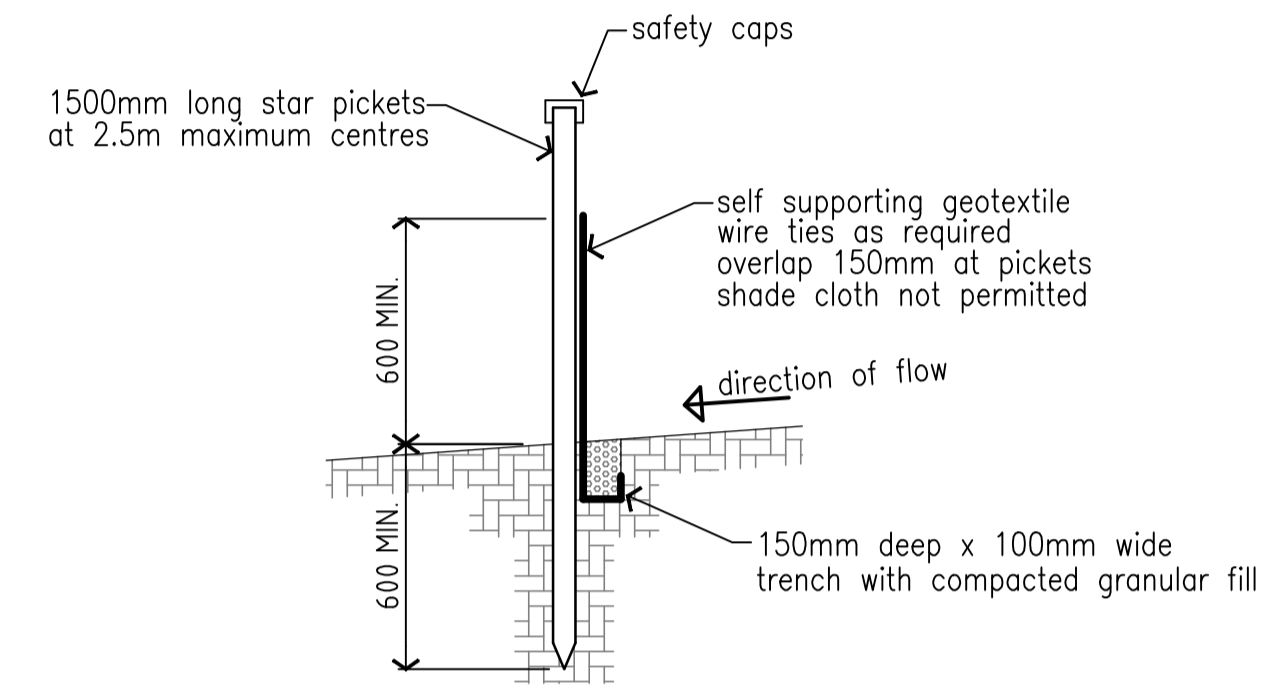
SCALES 1:100	DATE APRIL 2021	CAD FILE 2021-001 (A4)
-----------------	--------------------	---------------------------



MASSEY CLOSE

sediment and erosion control

-  existing soft landscaping to remain
-  existing reinforced concrete paving slabs to remain



SEDIMENT FENCE

GENERAL NOTES

- All excess excavated material to be removed from site.
- Builder to landscape and revegetate the site immediately after building works construction.
- The Builder is responsible for ongoing maintenance of erosion and siltation control measures.
- It is the contractors responsibility to ensure that all works are carried out in strict accordance with the OCCUPATIONAL HEALTH AND SAFETY ACT.
- Council are to notified prior to the commencement of any works.
- Permission to enter, construct works and discharge stormwater on adjoining properties is to be obtained and submitted to council prior to the commencement of any works.
- All erosion and sediment control measures are to be carried out in accordance with current NCC DCP requirements and must be implemented prior to the commencement of any building of civil works.
- These plans are to be read in conjunction with the conditions stated in local Council's engineering plan approval correspondence.

SEDIMENT CONTROL NOTES

- All sediment control devices are to be constructed, placed and maintained in accordance with the Blue Book (Landcom 2004 Managing Urban Stormwater: Soils and Construction, 4th Edition)
- All perimeter & siltation control measures are to be constructed as the first step in earthworks and/or clearing.
- All landscaping measures including the establishment of grassing are to be completed prior to the final inspection. All erosion devices are to be maintained until the landscaping is completed and established.

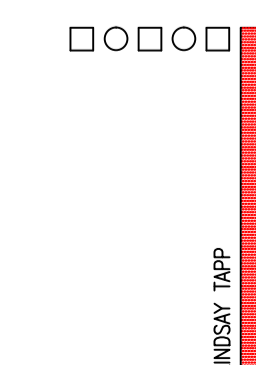
1	ISSUED FOR DA/CC APPROVAL	20.07.2021
NO.	AMENDMENT	DATE

PROJECT
ALTERATIONS AND ADDITIONS

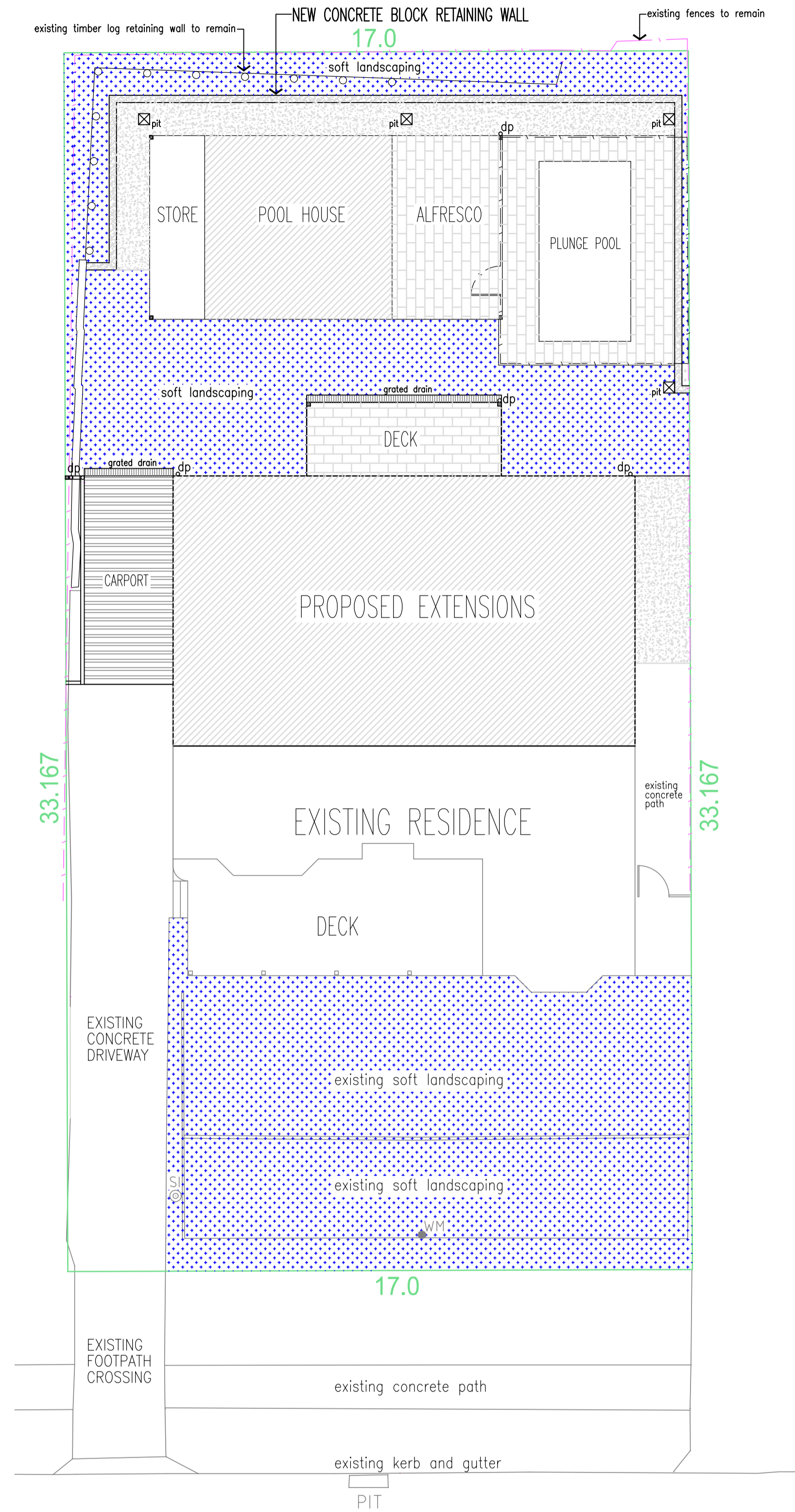
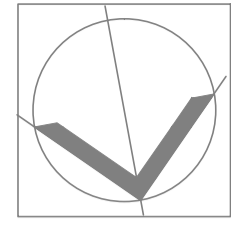
LOCATION
LOT 25 DP 255749
No.15 MASSEY CLOSE
ELERMORE VALE

CLIENT
JULIE AND PETER BORRADAILE

DRAWING
SEDIMENT AND EROSION CONTROL

 **LINDSAY TAPP**
BUILDING CONSULTANT
ARCHITECTURAL
CIVIL & STRUCTURAL
W: ltdraftingnewcastle.com.au
E: tappdrafting@bigpond.com
M: 0419 609641
A: 7 halberd close, valentine. 2280

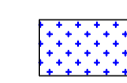
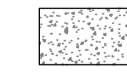
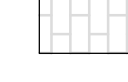
SCALES	DATE	CAD FILE
1:100	APRIL 2021	2021-001 (A5)



MASSEY CLOSE

landscaping plan

CALCULATIONS OF NEW AND EXISTING LANDSCAPE AREAS
 SITE AREA = 563.8m/2
 EXISTING LANDSCAPE AREA = 224m/2 (39% OF SITE)
 PROPOSED TOTAL LANDSCAPE AREA = 195.5m/2 (35% OF SITE AREA)

-  soft landscaping
-  reinforced concrete paving (fall to grated drains and sumps)
-  stone pavers over reinforced concrete slab

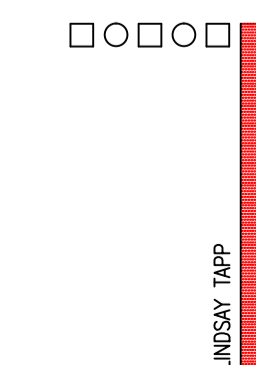
1	ISSUED FOR DA/CC APPROVAL	20.07.2021
NO.	AMENDMENT	DATE

PROJECT
ALTERATIONS AND ADDITIONS

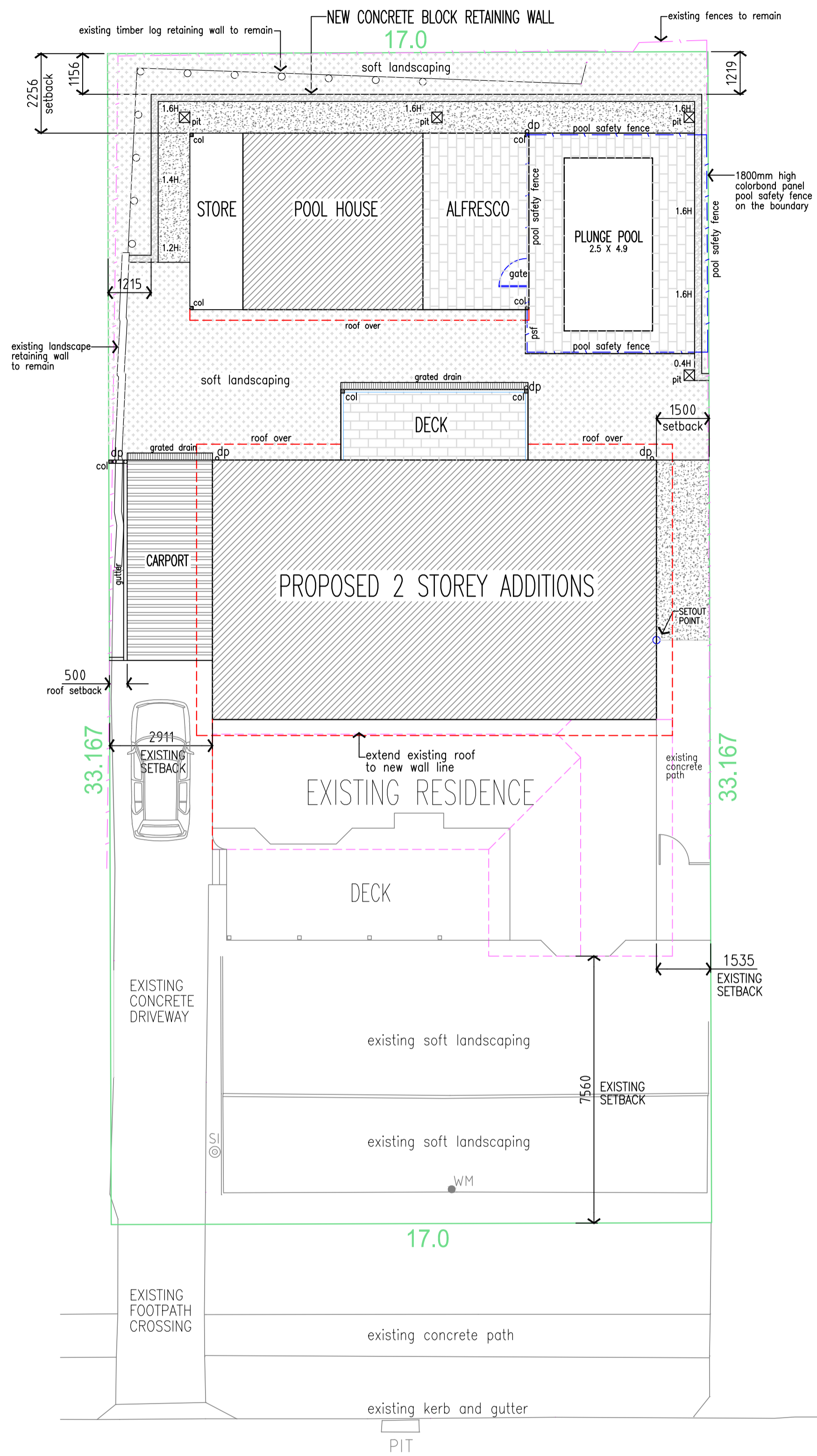
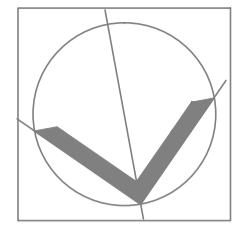
LOCATION
 LOT 25 DP 255749
 No.15 MASSEY CLOSE
 ELMORE VALE

CLIENT
JULIE AND PETER BORRADAILE

DRAWING
LANDSCAPING PLAN


LINDSAY TAPP
 BUILDING CONSULTANT
 ARCHITECTURAL
 CIVIL & STRUCTURAL
 W: ltdraftingnewcastle.com.au
 E: tappdrafting@bigpond.com
 M: 0419 609641
 A: 7 halberd close, valentine. 2280

SCALES	DATE	CAD FILE
1:100	APRIL 2021	2021-001 (A6)

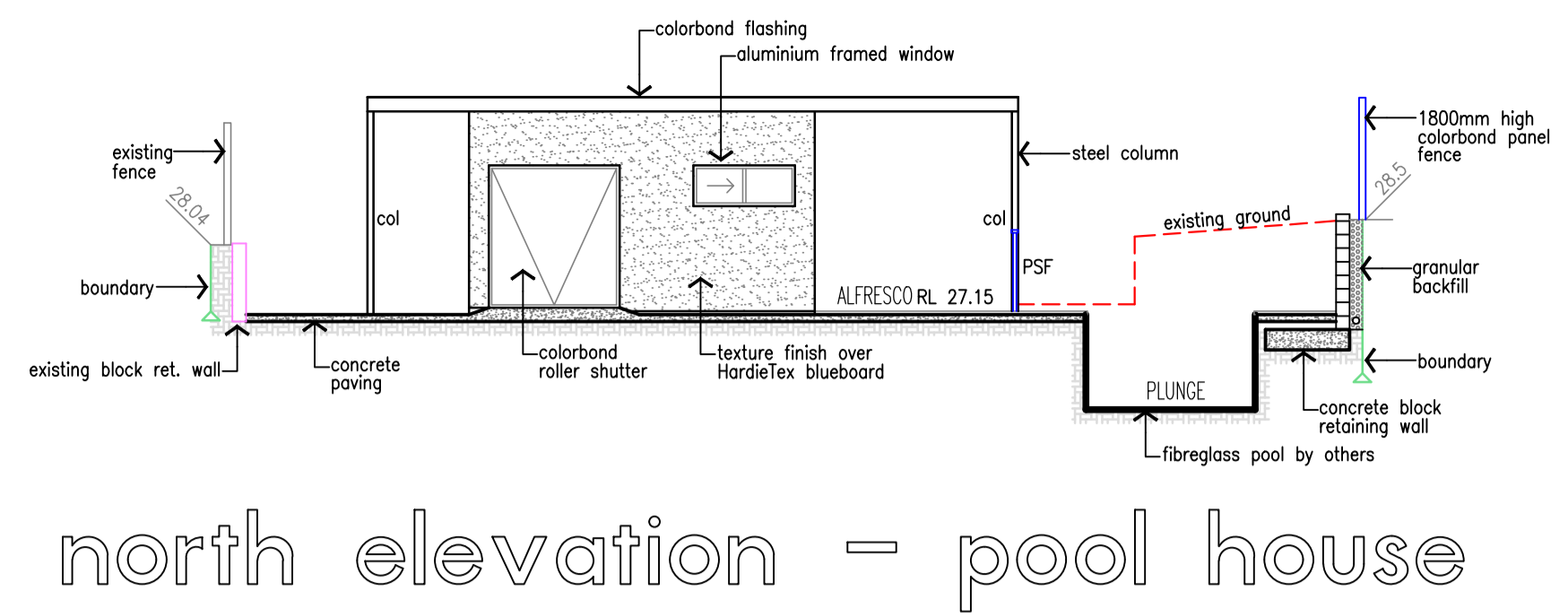


MASSEY CLOSE

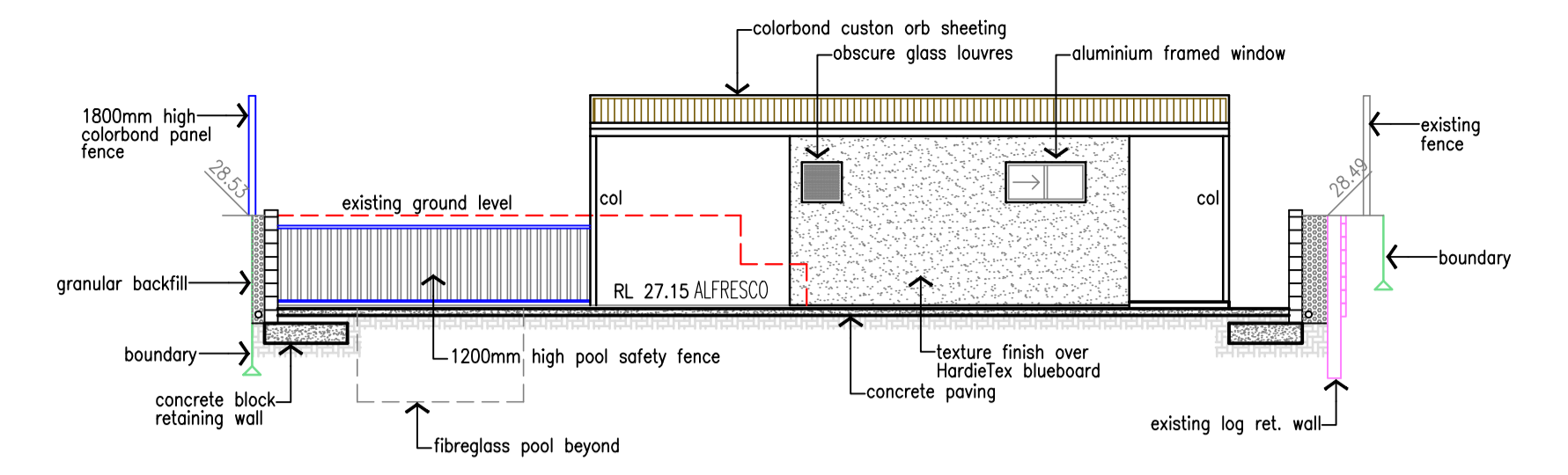
proposed site plan

CALCULATIONS OF NEW AREAS
 UPPER FLOOR ADDITION (including deck) = 103m²
 REAR STORE/POOL HOUSE/ALFRESCO = 48m²
 CARPORT = 14.2m²

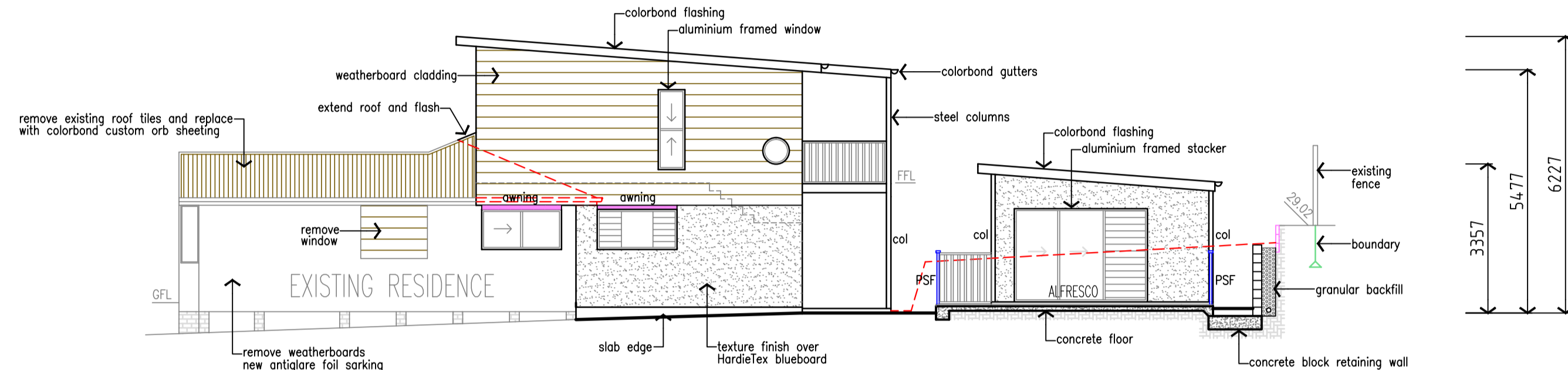
- soft landscaping
- reinforced concrete paving (fall to grated sumps)
- stone pavers over reinforced concrete slab



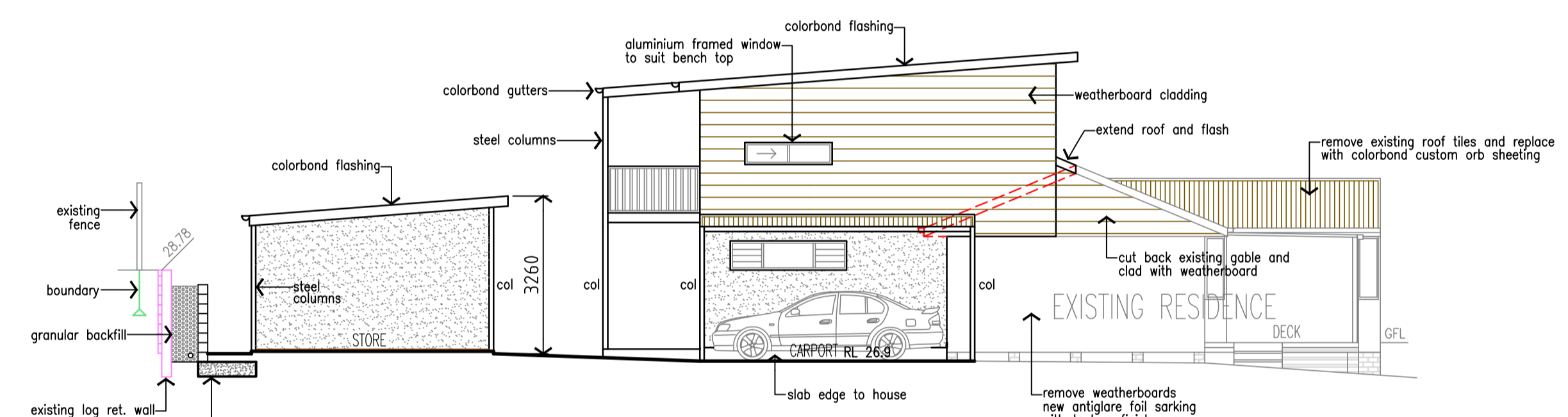
north elevation - pool house



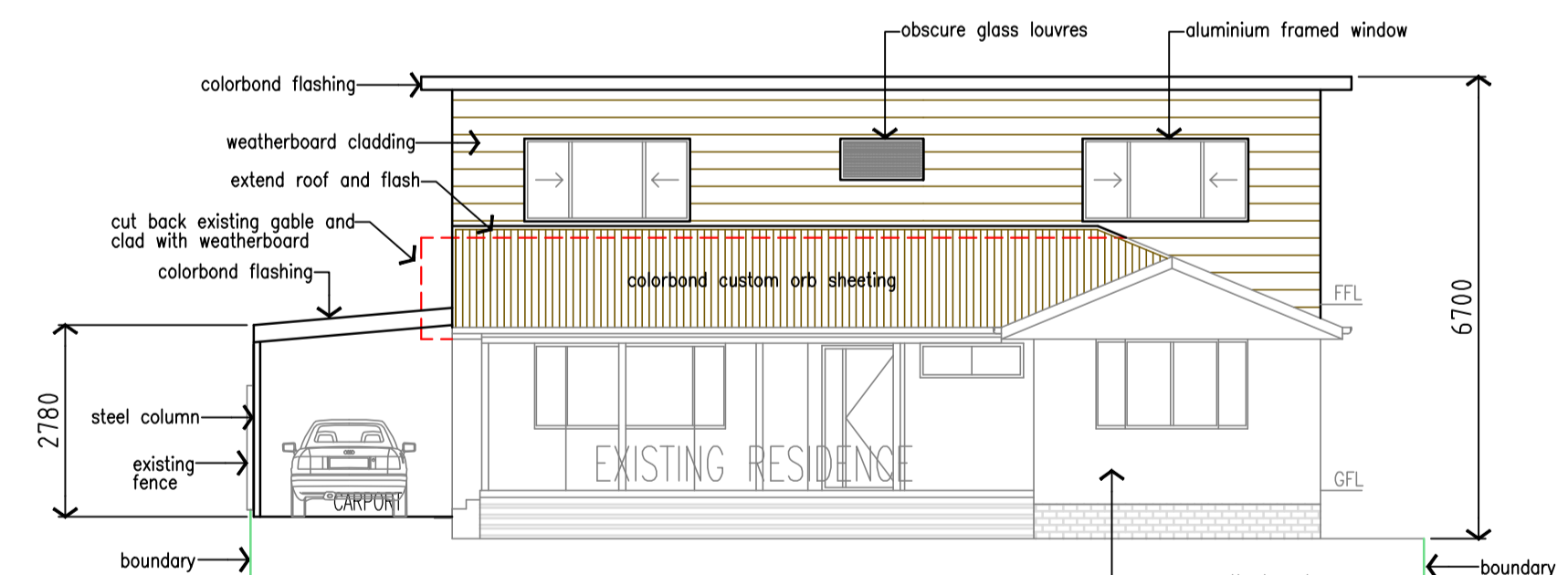
south elevation - pool house



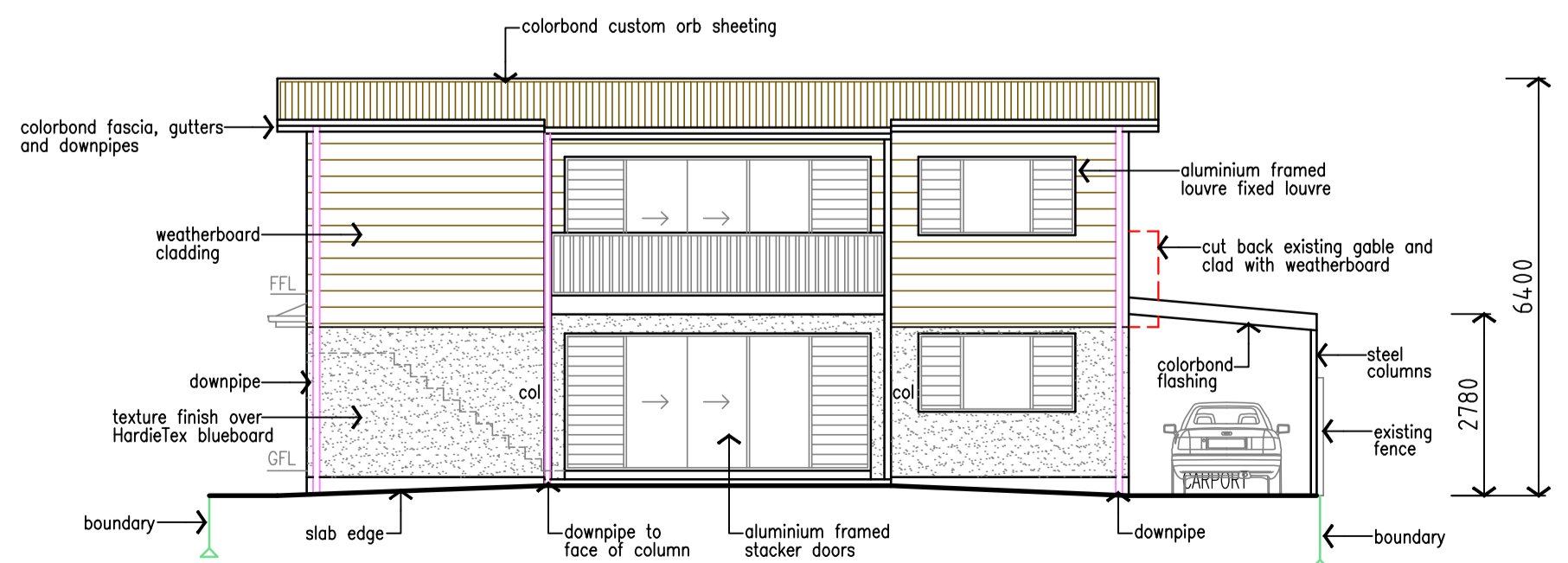
west elevation



east elevation



north elevation



south elevation

1	ISSUED FOR DA/CC APPROVAL	20.07.2021
NO.	AMENDMENT	DATE

ALTERATIONS AND ADDITIONS

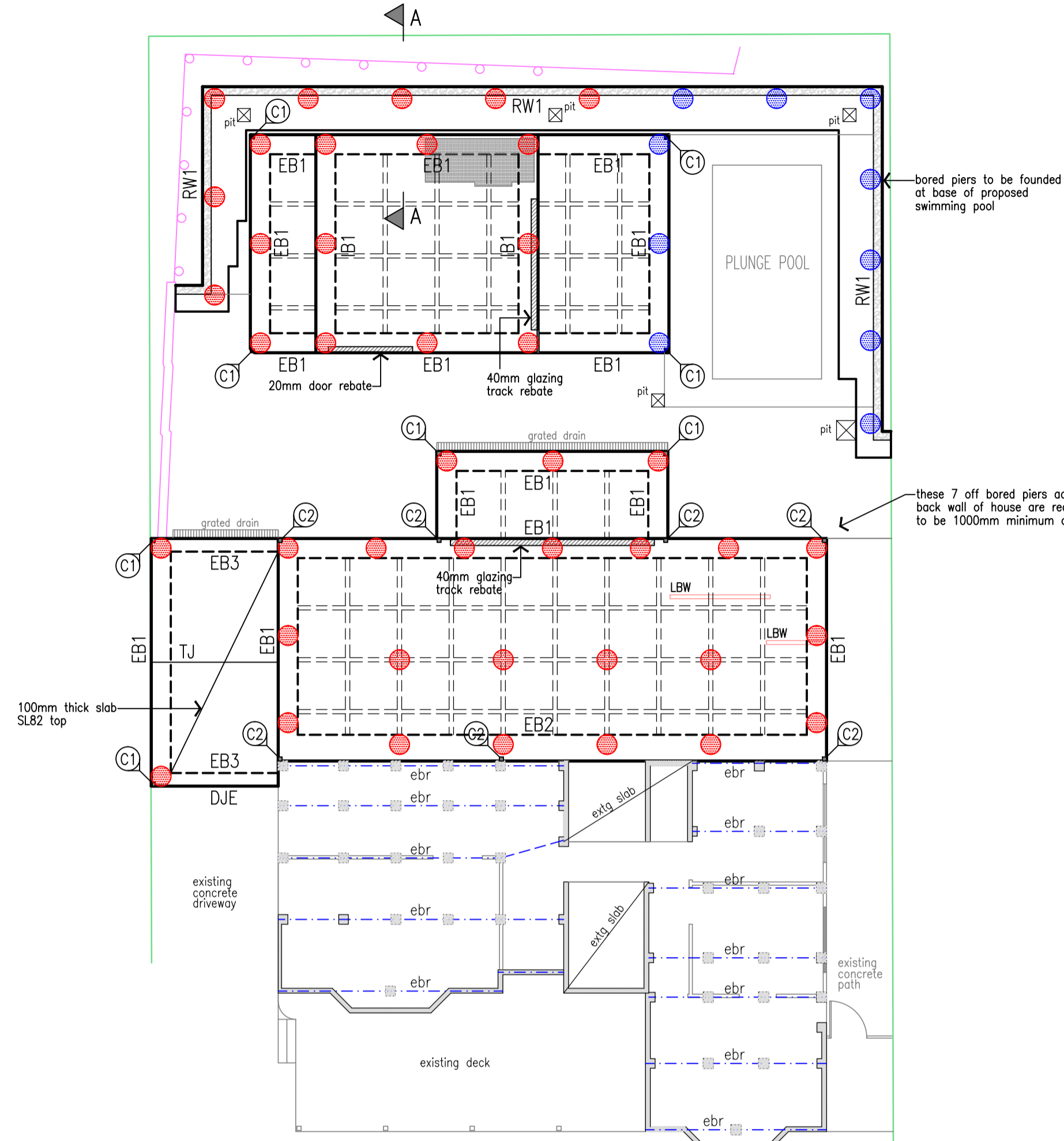
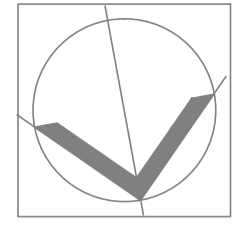
LOCATION
 LOT 25 DP 255749
 No.15 MASSEY CLOSE
 ELMORE VALE

CLIENT
 JULIE AND PETER BORRADAILE

NEIGHBOUR NOTIFICATION

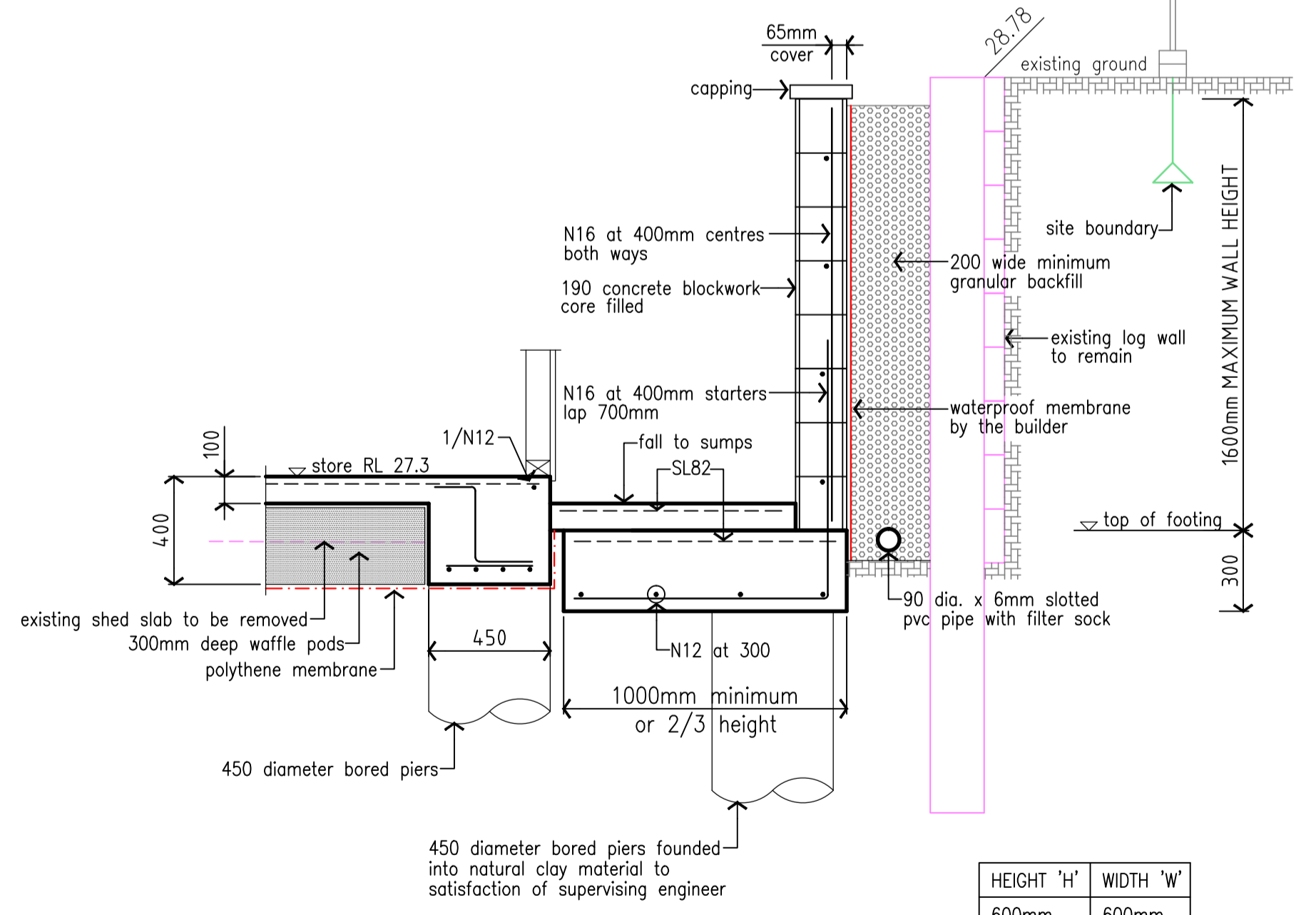
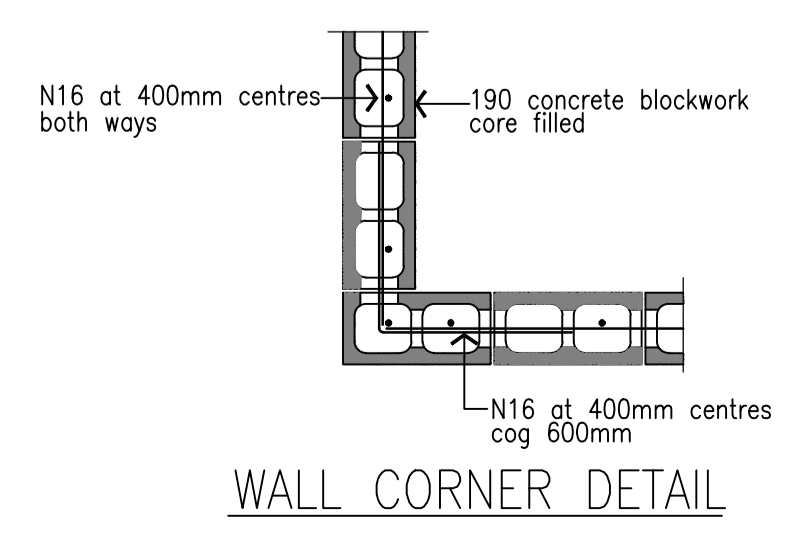
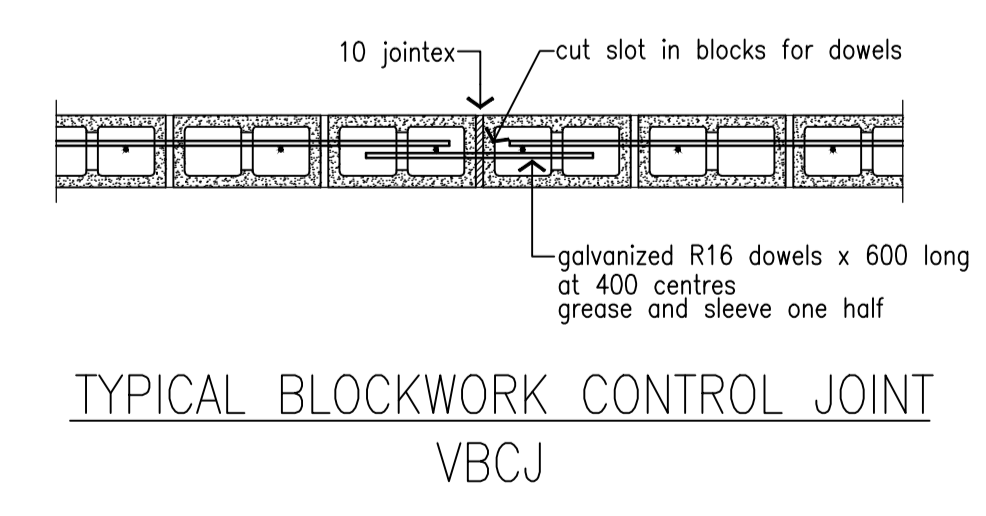
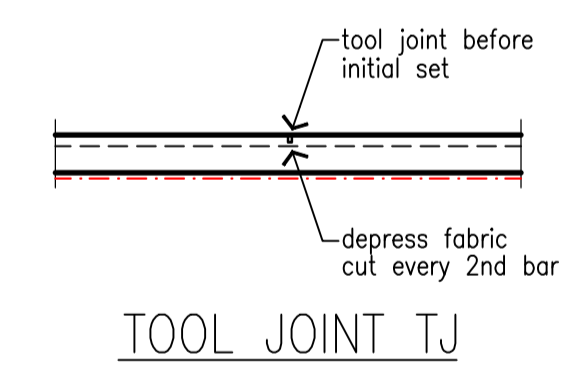
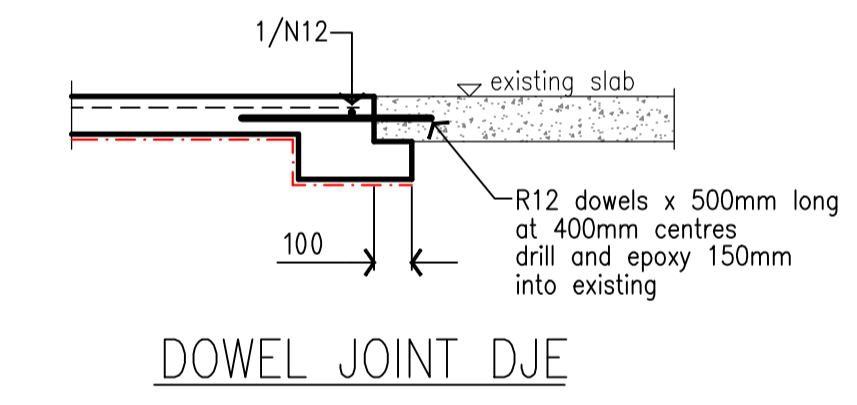
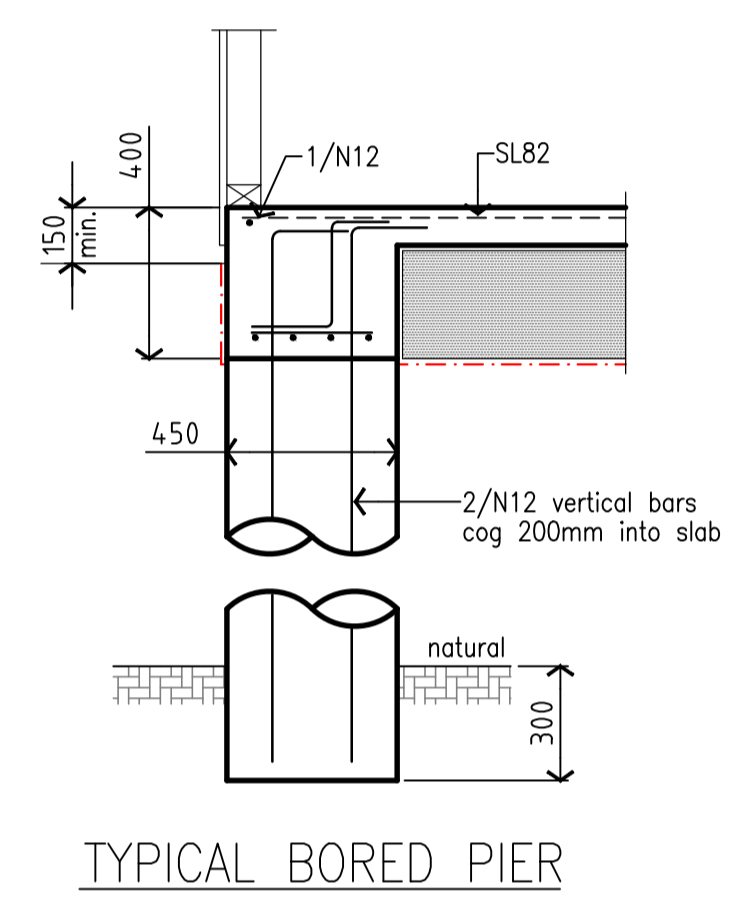
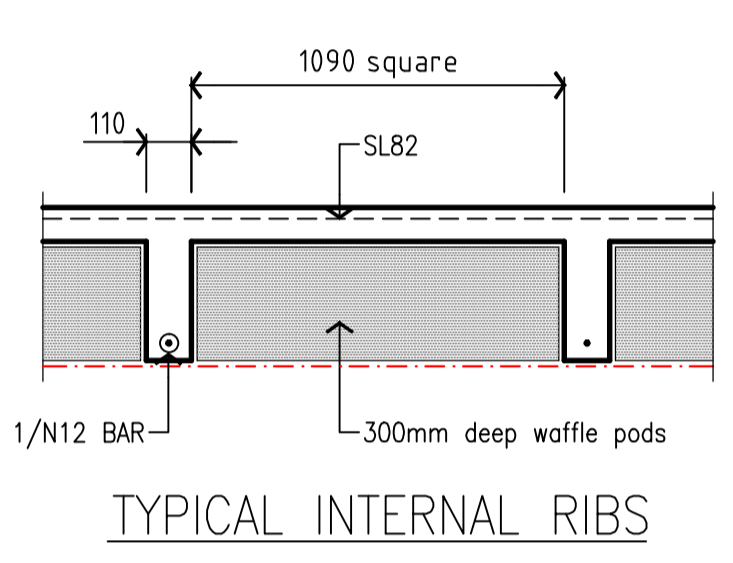
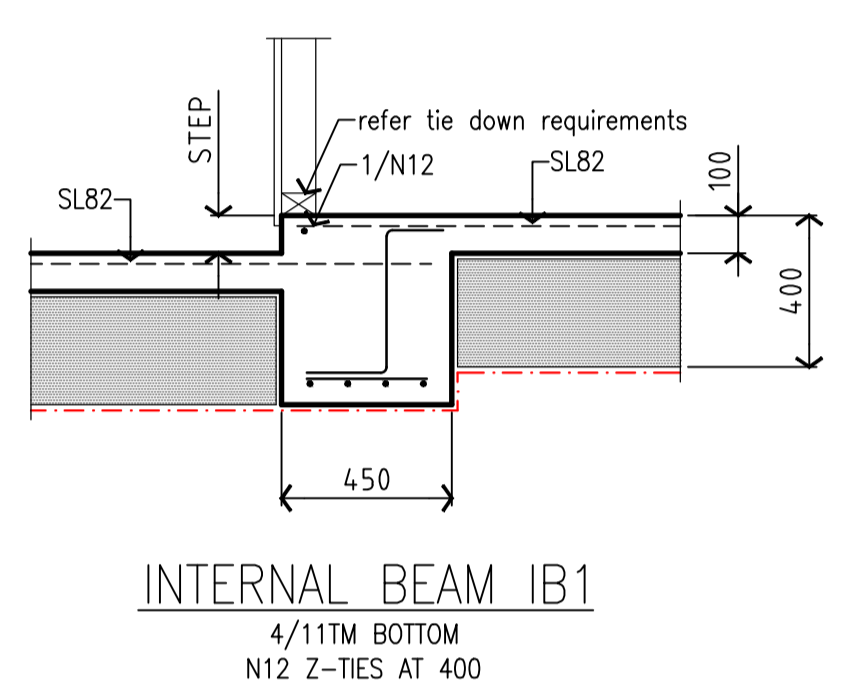
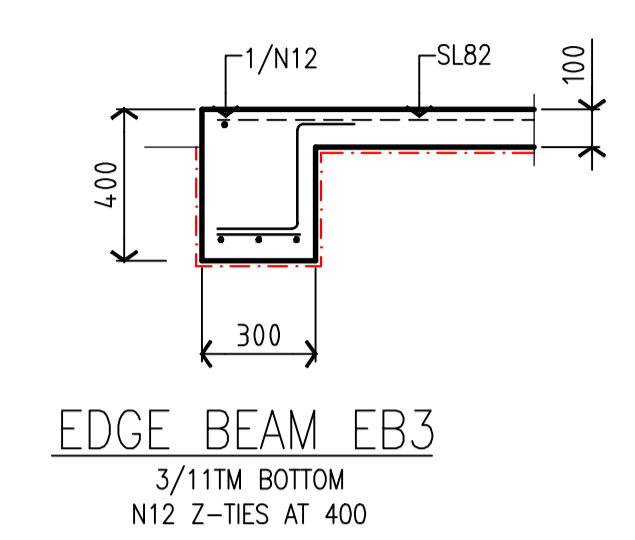
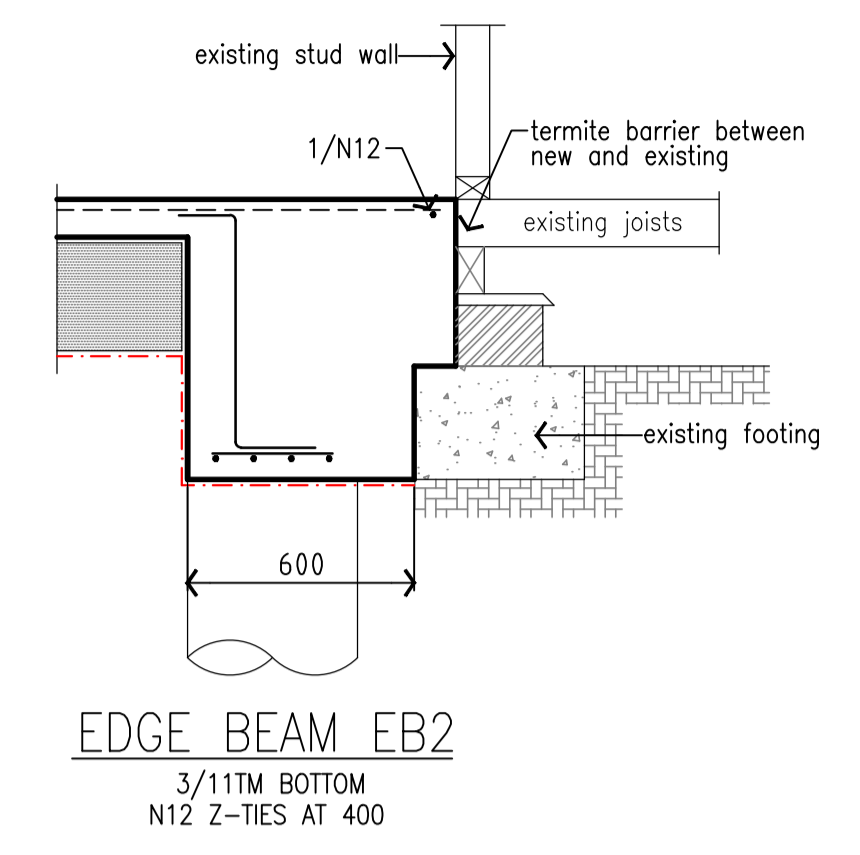
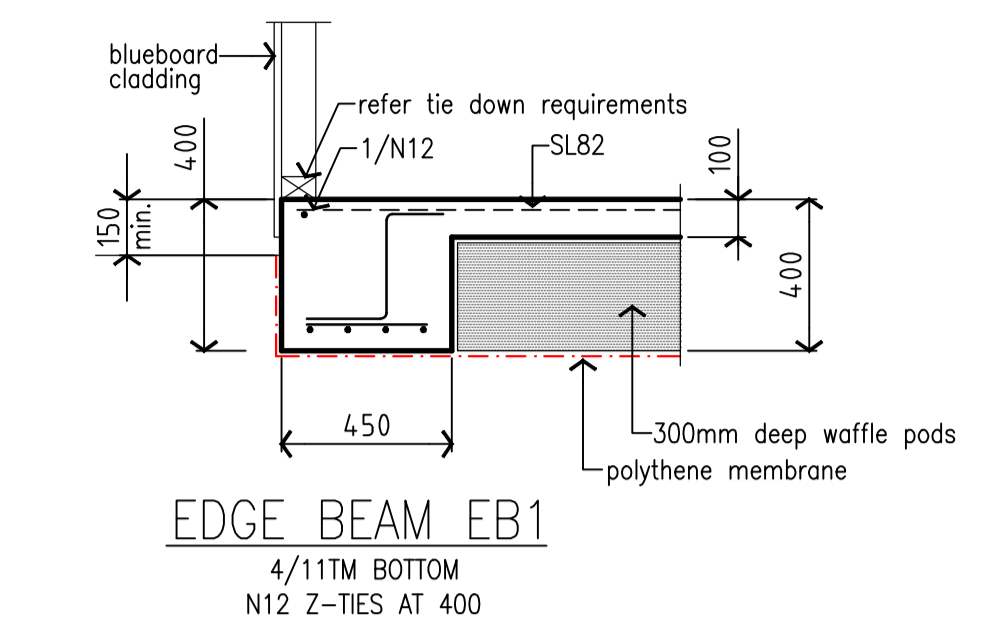
LINDSAY TAPP
 BUILDING CONSULTANT
 ARCHITECTURAL
 CIVIL & STRUCTURAL
 W: lindsaytapp.com.au
 E: tappdrafting@bigpond.com
 M: 0419 609641
 A: 7 halberd close, valentine. 2280

SCALES	DATE	CAD FILE
1:100	APRIL 2021	2021-001 (A7)



slab plan

- Slabs have been designed in accordance with AS2870 for a class 'H1' site.
- Provide 450 diameter mass concrete bored piers at 2000mm centres. If slab beams founded into natural material piers may be deleted, to supervising engineers approval. 2/N12 vertical bars in piers cog 200mm into slab beams
- Provide 450 diameter mass concrete bored piers founded at base of proposed swimming pool
- 89 x 89 x 4.0 SHS column
10 base plate 2/M20 chemsets, embed 120mm. hidden in stud wall line or provide 40mm slab blackout
- 40mm tiling setback (setown pods 40mm)



HEIGHT 'H'	WIDTH 'W'
600mm	600mm
1200mm	800mm
1600mm	1000mm

- NOTES**
- GENERAL**
- G1. These drawings shall be read in conjunction with all architectural and or consultants drawings and specifications and any written instructions issued during the contract. Any discrepancy shall be referred to the Engineer before proceeding with the work.
 - G2. All dimensions shown shall be verified by the builder on site.
 - G3. Engineers drawings shall not be scaled.
 - G4. u.n.o. denotes 'unless noted otherwise'.
 - G4. During construction the structure shall be maintained in a stable condition and no part shall be overstressed.

- FOUNDATIONS**
- F1. Footings have been designed for an allowable bearing pressure of 100 kPa, founded on SL82, in accordance with Geotechnical Report No. prepared by :
If a geotechnical investigation has not been made, the foundation conditions are an assumption and must be confirmed by trial excavations by the builder. Foundation material shall be approved for this bearing pressure before placing membrane, reinforcement or concrete.
- F2. Residential slabs and footings have been designed in accordance with AS 2870 for a class 'H1' site.

- LOADING**
- L1. The structural work shown on these drawings has been designed for the following live loads:
FLOORS = 2.0kPa ROOFS = 0.25kPa
- L2. Wind loads are in accordance with AS 1170.2-1989. As follows:
Basic Wind Velocity N1 = 34m/s - Terrain Category 2.5 - Partial shielding.
- L3. The relevant provisions of AS 1170 part IV have been applied for a structure of this type located in earthquake zone 'B'.

- CONCRETE**
- C1. All concrete work shall comply with SAA concrete structures code AS 3600-2018.
- C2. Concrete quality shall be as follows:
- | Elements | F _c MPa | Slump | Cover |
|----------------|--------------------|-------|----------|
| BORED PIERS | 25 | 80 | 50mm |
| FOOTINGS | 25 | 80 | 50mm |
| SLAB ON GROUND | 25 | 80 | 30mm TOP |
- Maximum size of aggregate - 20mm. Cement type A.
No admixtures shall be used.
- C3. All concrete shall be mechanically vibrated.
- C4. Concrete sizes shown do not include thickness of applied finishes.
- C5. For chamfers, drip grooves, relets, etc. refer to Architects details.
- C6. No holes, chases or embedment of pipes other than those shown on the drawings shall be made in concrete members without the approval of the Engineer.
- C7. Reinforcement symbols:
- C8. All reinforcement in accordance with AS 4671-2001.
All concrete shall be placed and cured in accordance with the section 19 AS 3600.

- MASONRY**
- M1. All work shall be in accordance with AS 3700.
- M2. All mortar to be M3 classification minimum.
- M3. vbcj - denotes vertical block control joint, refer detail.
- M4. Strength of bricks, class of blocks and type of mortar shall be as follows:
- | Element | Material | Strength |
|---------|----------|----------|
| WALLS | CONCRETE | 12MPa |
- M5. Reinforced concrete blockwork shall be filled with 20MPa concrete having a maximum aggregate size of 10mm and a slump of 230mm +/- 30mm. All cores shall be cleaned of mortar at the end of each day.
Grout in cores shall be compacted by rodding or others appropriate means.

THIS DRAWING HAS BEEN CHECKED IN ACCORDANCE WITH NORMAL ENGINEERING PROCEDURES AND THE DETAILS SHOWN ARE CERTIFIED TO BE STRUCTURALLY ADEQUATE.

M. J. McDonald

MIE Aust. CP Eng. NER
MCDONALD STRUCTURAL ENGINEERING
PO BOX 521, HAMILTON NSW 2303
Mobile 0424 606 942 - Matthew McDonald

NO.	ISSUED FOR DA/CC APPROVAL	20.07.2021
AMENDMENT	DATE	

PROJECT
ALTERATIONS AND ADDITIONS

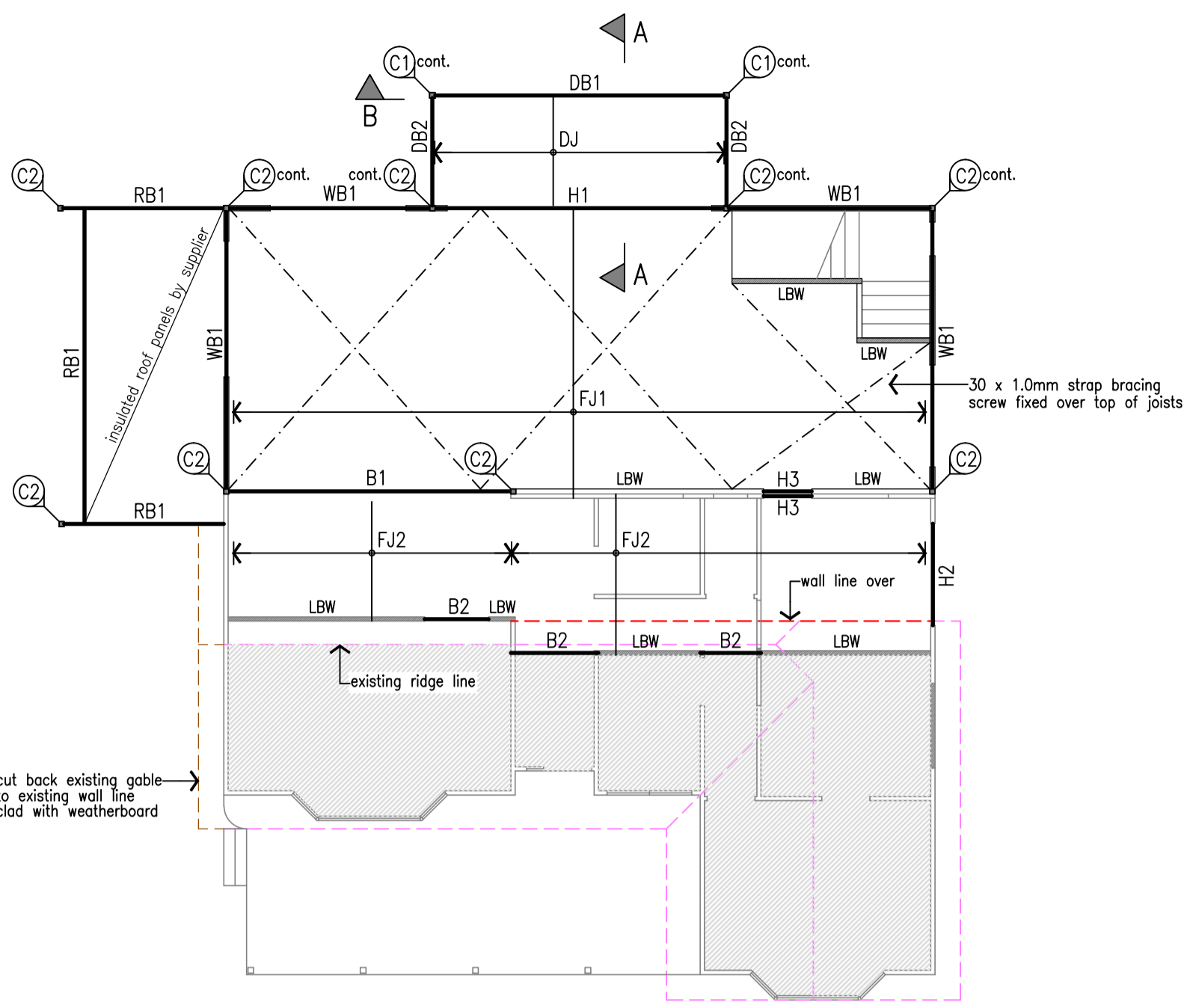
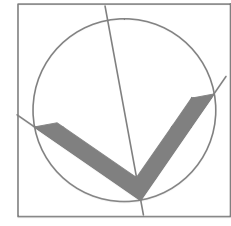
LOCATION
LOT 25 DP 255749
No.15 MASSEY CLOSE
ELERMORE VALE

CLIENT
JULIE AND PETER BORRADAILE

DRAWING
SLAB PLAN AND DETAILS

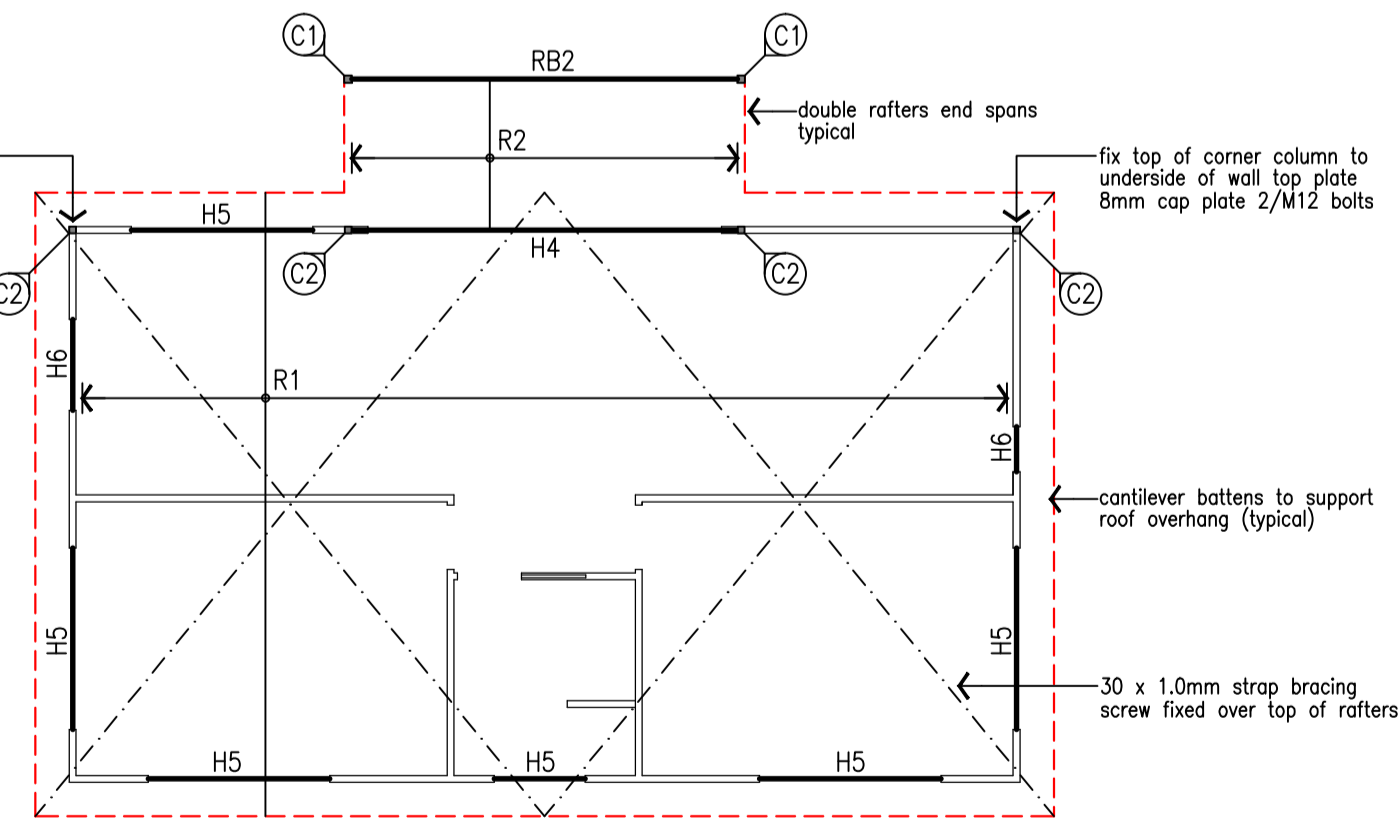
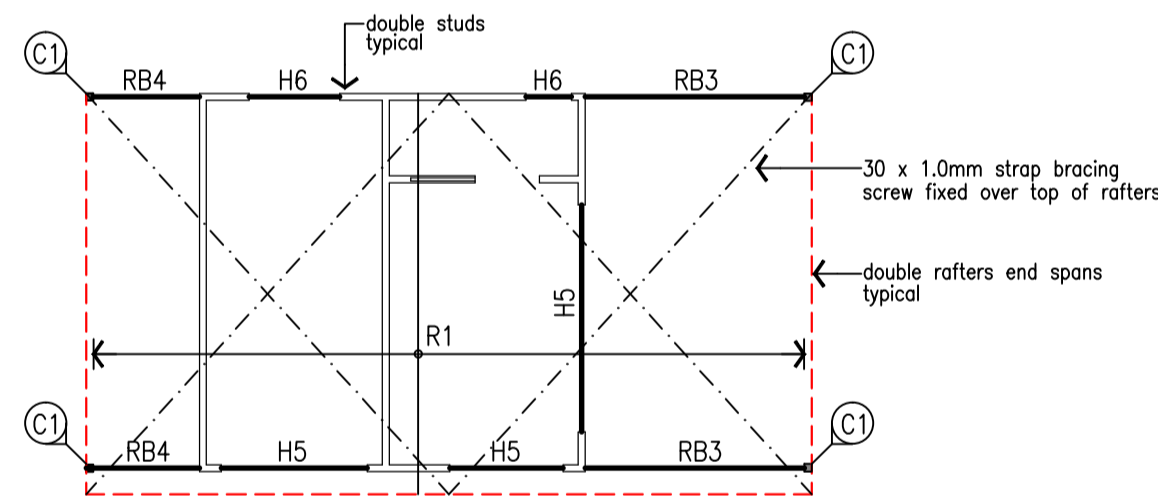
LINDSAY TAPP
BUILDING CONSULTANT
ARCHITECTURAL
CIVIL & STRUCTURAL
W: ltradingnewcastle.com.au
E: tappdrafting@bigpond.com
M: 0419 609641
A: 7 halberd close, valentine. 2280

SCALES	DATE	CAD FILE
1:100,20	APRIL 2021	2021-001 (S1)



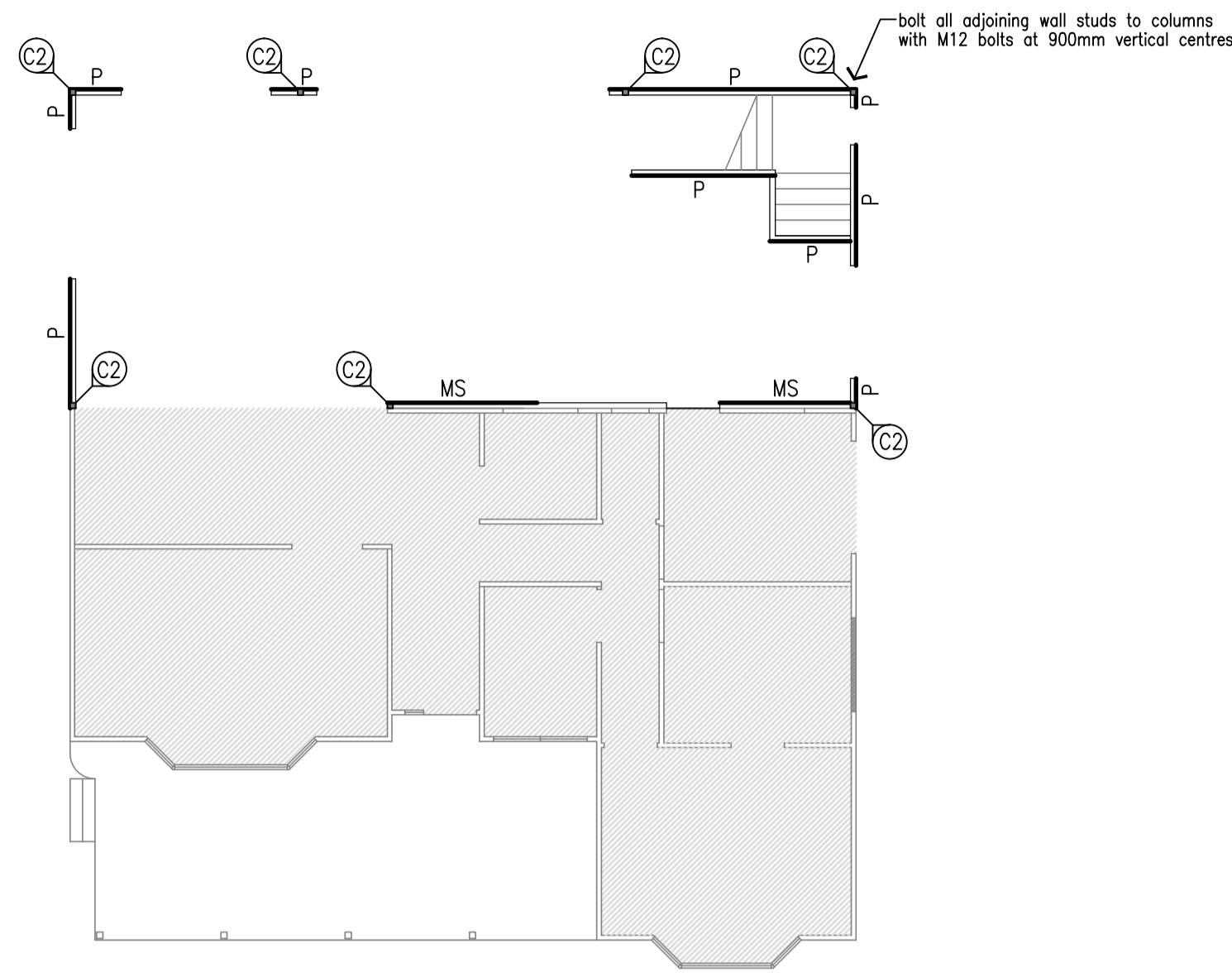
first floor framing plan

TAG	ITEM	MEMBER SIZE
C1	columns	100 x 100 x 5.0 SHS
C2	↓	89 x 89 x 5.0 SHS
RB1	roof beams	250 PFC
DB1	deck beams	250 PFC
DB2	↓	200 PFC
B1	floor beams	250 UB 25
B2	↓	200 x 63 LVL or 2/240 x 45 MGP10
H1	heads	250 PFC
H2	↓	200 x 63 LVL or 2/240 x 45 MGP10
H3	↓	140 x 45 MGP10
FJ1	floor joists	240 x 45 LVL AT 450mm CENTRES
FJ2	↓	150 x 45 LVL AT 450mm CENTRES or 190 x 45 MGP10
DJ	deck joists	190 x 45 MGP10 H3 TREATED AT 300mm CENTRES
WB1	wind beams	250 PFC - fix stud wall top and bottom plates to flanges M12 bolts at 1200mm centres



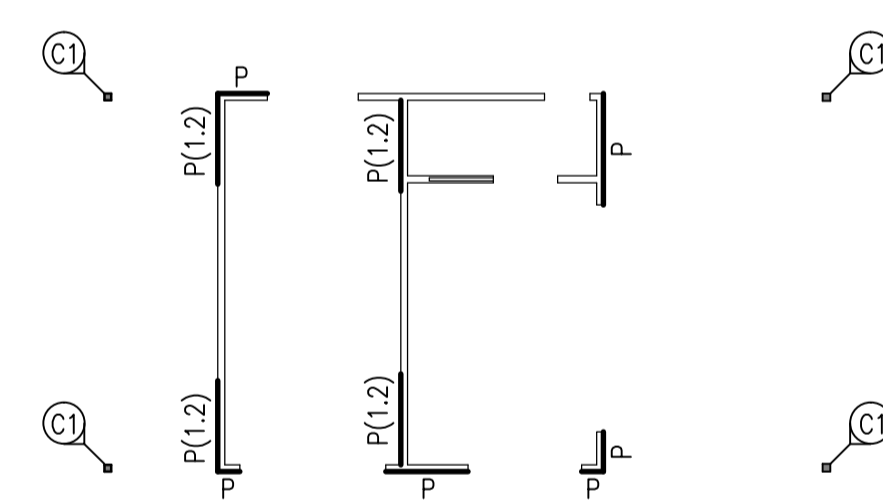
roof framing plan

TAG	ITEM	MEMBER SIZE
C1	columns	100 x 100 x 5.0 SHS
C2	↓	89 x 89 x 5.0 SHS
RB2	roof beams	250 PFC
RB3	↓	240 x 65 H3 TREATED GL8
RB4	↓	240 x 65 H3 TREATED GL8
H4	heads	250 PFC or 400 x 63 LVL
H5	↓	200 x 63 LVL or 2/240 x 45 MGP10
H6	↓	150 x 63 LVL or 2/140 x 45 MGP10
R1	rafters	200 x 45 HYSpan AT 600mm CENTRES or 240 x 45 MGP10
R2	↓	150 x 45 HYSpan AT 600mm CENTRES or 140 x 45 MGP10

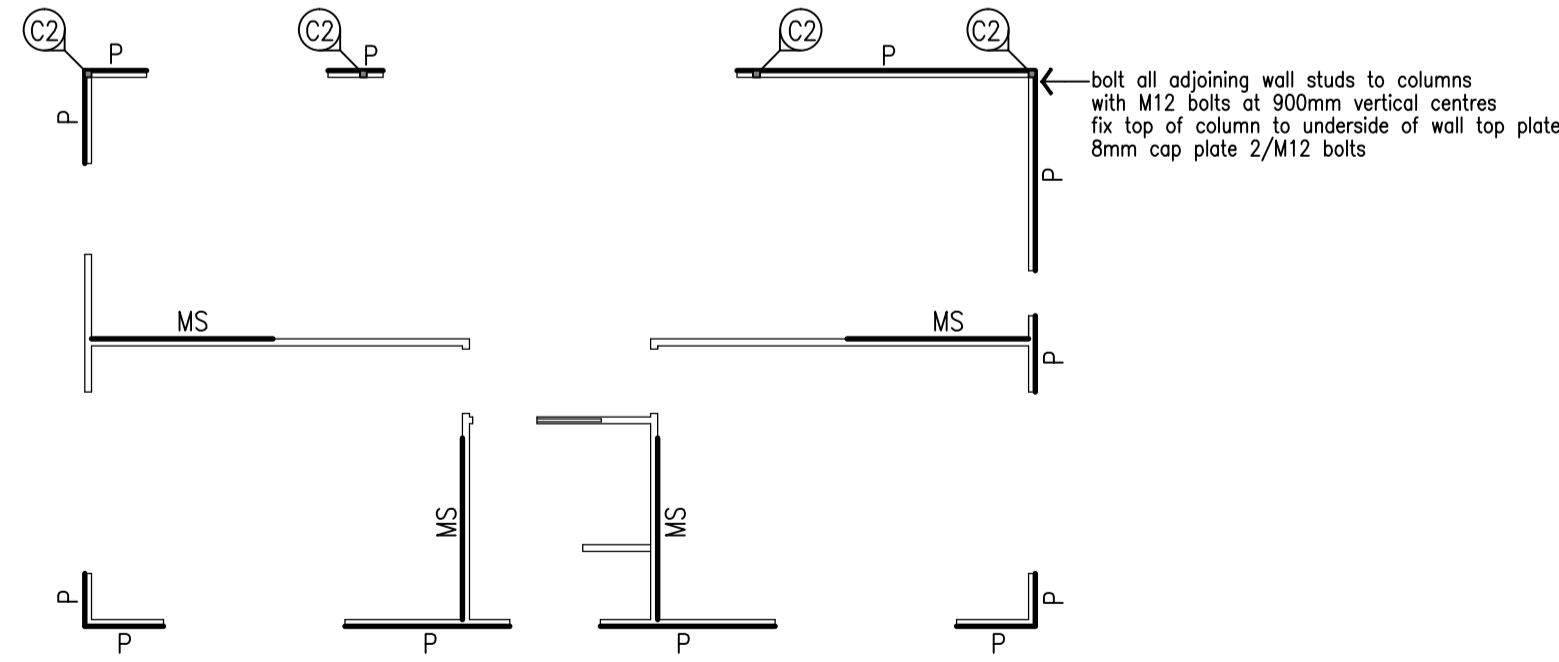


ground floor wall bracing

TAG	ITEM	MEMBER SIZE
MS	bracing	metal strap refer table 8.18b or c
P	↓	4.0mm F22 ply sheet refer table 8.18g



pool house wall bracing

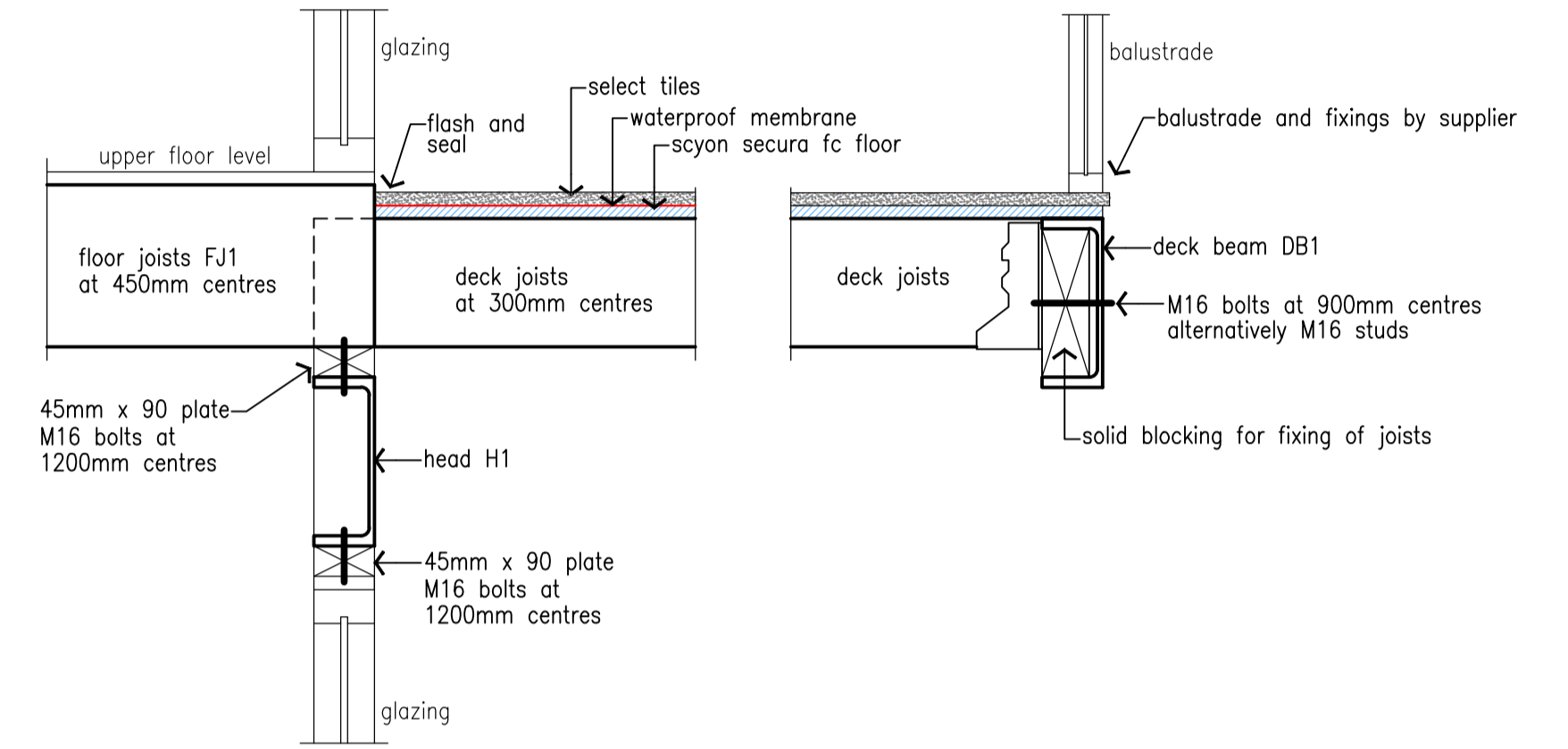


first floor wall bracing

TAG	ITEM	MEMBER SIZE
MS	bracing	metal strap refer table 8.18b or c
P	↓	4.0mm F22 ply sheet refer table 8.18g

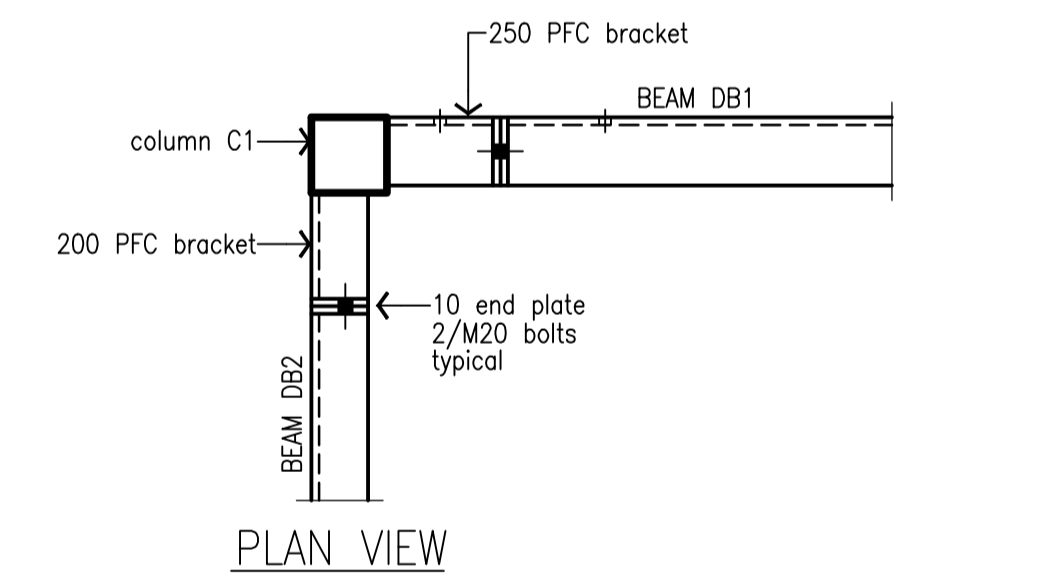
STEELWORK PAINT SYSTEM		
ELEMENT	SURFACE CLEANING	FINAL COAT
ALL	ABRASIVE BLAST CLEAN CLASS 2.5	2 PACK EPOXY PAINT SYSTEM 250 MICRON MINIMUM THICKNESS

- TIE DOWN REQUIREMENTS**
IN ACCORDANCE WITH AS 1684.2-2010
- * BATTENS TO RAFTERS: 2/75 x 3.18mm GROOVED NAILS
 - * RAFTERS TO WALL TOP PLATE OR BEAMS: 1 FRAMING ANCHOR PER MEMBER 4/2.8mm NAILS. TABLE 9.19B.
 - * TOP AND BOTTOM WALL PLATES TO STUDS: 30 x 0.8mm G.I. STRAP AT EVERY WINDOW STUD & 1800mm CENTRES. 6/2.8mm NAILS.
 - * UPPER LEVEL BOTTOM PLATES THRU TO LOWER WALL STUDS: 30 x 0.8mm G.I. STRAP AT EVERY WINDOW STUD & 1800mm CENTRES. 6/2.8mm NAILS.
 - * BOTTOM FLOOR PLATE TO FLOOR SLAB: M12 CHEMSETS AT CORNERS AND AT 1200mm CENTRES. EMBED 120mm

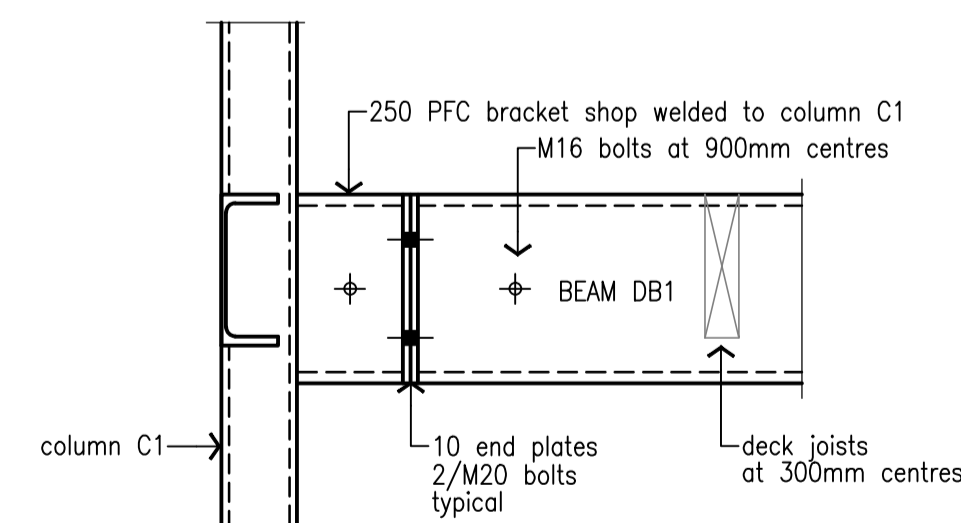


section A

- * provide deck falls to tiles in the mortar bedding layer (nominal 10mm fall)
- * builder to provide approved and certified waterproof membrane system over hardies scyon secure floor sheets. waterproof membrane to also be laid over the mortar bed prior to fixing of tiles.
- * builder to adequately flash and seal junction of new tiles against external wall and glazing frame.



PLAN VIEW



section B

THIS DRAWING HAS BEEN CHECKED IN ACCORDANCE WITH NORMAL ENGINEERING PROCEDURES AND THE DETAILS SHOWN ARE CERTIFIED TO BE STRUCTURALLY ADEQUATE.

M. J. McDonald

MIE Aust. CP Eng. NER
McDONALD STRUCTURAL ENGINEERING
PO BOX 521, HAMILTON NSW 2303
Mobile 0424 606 942 - Matthew McDonald

1	ISSUED FOR DA/CC APPROVAL	20.07.2021
NO.	AMENDMENT	DATE
PROJECT		
ALTERATIONS AND ADDITIONS		
LOCATION		
LOT 25 DP 255749 No.15 MASSEY CLOSE ELERMORE VALE		
CLIENT		
JULIE AND PETER BORRADAILE		
DRAWING		
FRAMING AND BRACING DETAILS		

□ ○ ◻ ◻ ◻

LINDSAY TAPP
BUILDING CONSULTANT
ARCHITECTURAL
CIVIL & STRUCTURAL
W: ltdraftingnewcastle.com.au
E: tappdrafting@bigpond.com
M: 0419 609641
A: 7 halberd close, valentine. 2280

SCALES	DATE	CAD FILE
1:100,10	APRIL 2021	2021-001 (S2)