

Right Way Home Inspectors

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Inspected By: Tyler Mayer



Inspection Report

Prepared For:

Unspecified Client

Property Address:

Unspecified Address

Inspected on Mon, Mar 16 2026 at 11:30AM

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We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire inspection report.

The following report is based on an inspection of the visible portions of the home; the inspection may be limited by many factors, such as vegetation around the home, stored personal items, furnishings, or other factors. This report will focus mainly on safety issues and the function of the home, and not current building code - per NYS law for home inspectors.

For your safety and the functionality of the home, we recommend that qualified contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time from a limited walk-through inspection. We recommend that you and/or your representative carry out a final walk-through immediately before closing to ensure the home is as it should be.

A Home Inspection is a non-invasive visual inspection of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include a combination of mechanical, structural, electrical, plumbing, and/or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and not the prediction of future conditions. A home inspection will not reveal every concern that exists or ever could exist, but only those observed on the day of the inspection.

The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

Report Summary

This summary consists of potentially significant findings (items marked with an exclamation mark) that may constitute a possible major concern (a defect on the day of the inspection that could cost \$2000 or more) or those that may represent a hazard and require immediate

attention (evidence observed that may indicate a risk to occupants or property if left uncorrected). These findings can be a safety hazard, a deficiency requiring a major expense to correct or items that may cause damage to the home if not addressed quickly. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues and the report contains valuable information to assist you in the maintenance and upkeep of your home. All repairs should be done by a licensed and/or qualified professional. We recommend

obtaining a

copy of all receipts, warranties, and permits for the work done. Photos are meant as an aid and do not constitute the inspection or the entirety of a problem. The photos represent only a portion of conditions observed and by no means reflect the full extent of the conditions present. The photos also represent a snapshot in time and conditions can, and do, change dramatically, at times very quickly.

Unless otherwise indicated, the inspection and report do not address, and are not intended to address, the possible presence of, or danger from, any potentially harmful substances and environmental hazards including, but not limited to, radon gas, lead paint, asbestos,

urea formaldehyde, toxic or flammable chemicals, hot water or airborne hazards, or mold or mold-like growth. Also, this report does not comment on the opinions of others, codes, or every possible way of installing, building or executing the operation of the systems of the structure. The report is based solely on the opinions of the home inspector. Note that many other ideas and opinions exist as to what or how something should be done. The buyer is free to consult whomever they chose but the inspector is in no way bound to the opinions or advice of others, and can and will not be held responsible for those.

The Inspector always recommends having a qualified professional examine every item in this report and make the needed repairs, and examination of said items should be done prior to purchasing the home. It is the responsibility of the Buyer or Home Owner to ensure that this is accomplished and is not the responsibility of Right Way Home Inspectors or its associates. Unless the Buyer or Home Owner is a

(Report Summary continued)

qualified professional, all investigation and repairs should be done by another qualified party. It is not the recommendation of the inspector or its associates for the Buyer or Home Owner to make the repairs themselves. No cost estimates, guarantees or life expectancies are given or implied by this report or the inspector.

All smoke detectors and carbon monoxide detectors should be changed prior to occupancy. Smoke detectors have a finite life . Detectors may fail at any time - leaving occupants unprotected in the event of a fire.

Recommend placement of appropriate smoke and carbon dioxide detectors in the

Deck/Porch

1) Safety issue : Floor joist of the rear deck appeared to be broken and was moving under foot, causing deck boards to be unsupported.

Nails and screws were protruding posing a puncture Hazzard.

Railings of both decks were damaged and loose.

Further evaluation by a qualified contractor is needed for repairs or replacement.



Figure 12-1



Figure 12-2

(Report Summary continued)



Figure 12-3

Visible Electric : Panel Brand

2) MARGINAL- The electrical panel appears to be an older Crouse-Hinds model, likely installed several decades ago. While no immediate defects may be visible, the panel and breakers are considered obsolete and may not meet current performance expectations. Replacement parts are limited. Recommend evaluation and budgeting for future upgrade by a qualified electrician.



Figure 83-1

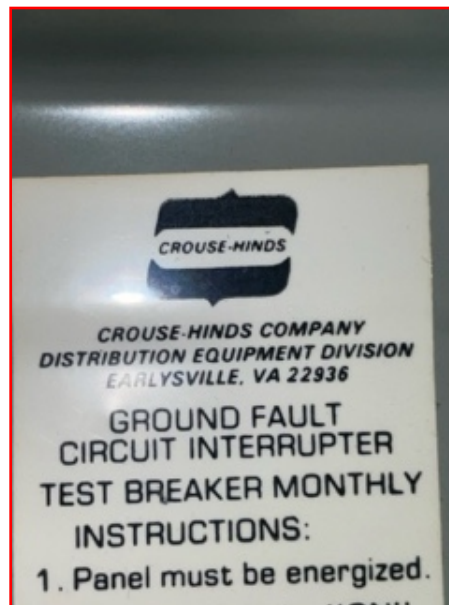


Figure 83-2

(Report Summary continued)



Figure 83-3



Figure 83-4

Visible Electric : Service Entrance

3) POSSIBLE MAJOR CONCERN/HAZARD: Main service entrance cable appeared damaged and compromised.

Recommend further evaluation by a qualified electrician for cost of immediate repair or replacement.



Figure 84-1



Figure 84-2

(Report Summary continued)



Figure 84-3

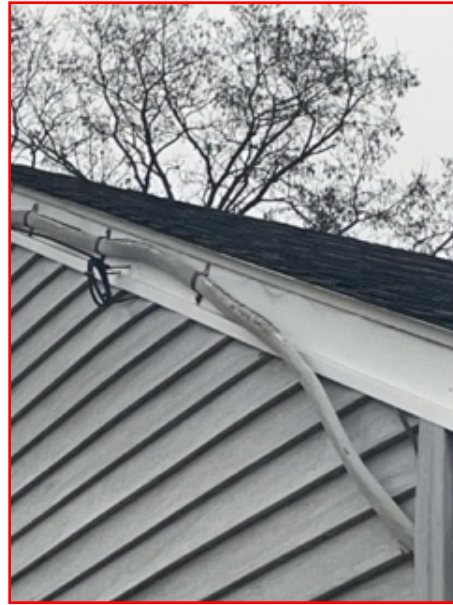


Figure 84-4

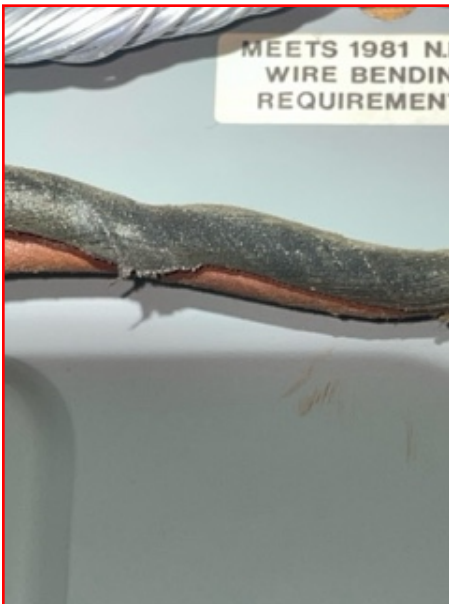


Figure 84-5

(Report Summary continued)

Septic/Sewer : Pipes

4) MAJOR CONCERN: A possible popped seam was noted just passed the foundation wall.

Also evidence of past and active backing up or high waste levels were noted in the outlet pipe, as well as debris.

The inspector ran his camera out about 50 ft but could not see anything due to high waste levels.

Evidence noted typically indicates a failure of the pipe or of the absorption area.

Recommend a full reinspect once the tank has been pumped and the waste line is cleaned out.



Figure 134-1



Figure 134-2

(Report Summary continued)



Figure 134-3

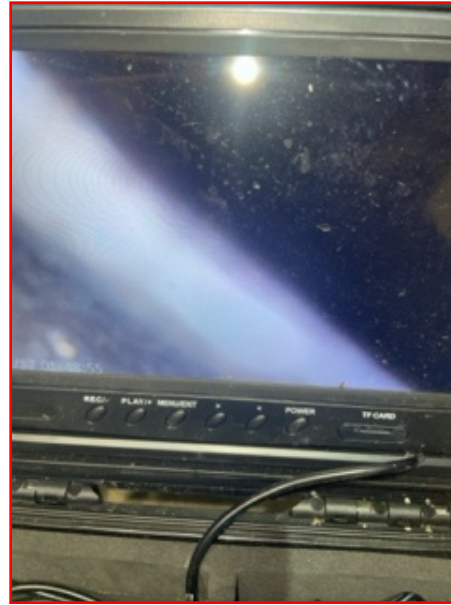


Figure 134-4



Figure 134-5

(Report Summary continued)

Septic/Sewer : Absorption Area

5) POSSIBLE MAJOR CONCERN:

The system was found backing up.

RECOMMEND a full pump out and back jetting of all the lines to remove all debris and a full re-evaluation of the pipes and absorption area after all repairs and maintenance have been performed.

Detached Garage: Attic

6) Large garage- POSSIBLE MAJOR CONCERN: A suspicious discoloration or stain was noted. Discoloration may indicate a larger issue adversely affecting the building materials and the structure. Recommend a qualified specialist (Who is accountable to you) be contacted to evaluate the area and recommend corrective course. Additional areas of the house may require assessment at the discretion of the specialist.



Figure 149-1



Figure 149-2

(Report Summary continued)

Definitions of ratings:

Functional-

Performing it's function and it's condition is appropriate for it's age and use. Normal wear and use may be present. Although an item may be functional at time of inspection, further evaluation may be needed and items will need regular maintenance and upkeep. Functional items may fail at any time and without notice and no warranty is made or implied with this report. It is strongly recommended that the property be re inspected at the time of closing as conditions can and do change in a structure, at times very rapidly.

Attention required-

Item or area of the house required repair, maintenance or was limited due to on site restrictions. Item may not be fully functional and require repair or servicing. Required repairs may be minor in nature or more time consuming. All repairs should be done by qualified persons only. All uninspected components should be made operable or accessible and evaluated prior to closing as they remain suspect of being defective. It is also important to note that the attention required section is not an exhaustive list of everything that may require attention in the building and the new owners are ultimately responsible for maintenance and upkeep of the structure, and learning to operate and maintain the systems of the house.

Marginal-

Performing some or all of it's functions, but not as intended, and/or it's condition is not appropriate for it's age and use or near, at or beyond its expected useful life. Condition of component may be functional at the inspection but may fail at any time and without warning. When component/s require repair or maintenance to become functional and those costs may be more than 1500\$ when needed. Repairs may require attention of qualified professionals. The client assumes the expense of marginal items as part of purchasing the building knowing full well that marginal items may deteriorate or fail at anytime.

Cost estimates may be required by a qualified specialist and it is at the discretion of the client if estimates will be obtained. Inspector does not provide cost estimates.

(Report Summary continued)

Possible major concern-

Area or component of the structure that was not performing enough of its function on the day of the inspection, were an indicator of a larger issue, or adversely affecting the building or its components, or an item or area found to present a possible major hazard to occupants or the structure. Items or area indicated will require further investigation and may require repairs possibly reaching/ exceeding \$1500. The exception to this would be concerns that may represent serious risk to persons or property, and those should be addressed immediately regardless of the dollar cost. Those items are marked as Hazards in the report and in the summary. Cost estimates by a qualified specialist or contractor in the required field would be required to determine if an item exceeds \$1500 and are not provided by the inspector. Contractor should hold all required licenses, insurances and appropriate state required mandates to estimate or execute any work to be done. It is also important to note that areas of major concern seldom are limited to just one area or component of a building and for the sake of clarity will generally be listed in the area the concern was most apparent in, and may touch areas of the structure marked under a different heading as functional or attention required. This is not intended to contradict, but intended to simplify the report process.

Not Present or Inspected-

Item or area of the structure was not present, accessible or inspected due to limiting onsite conditions. Not inspected items may also be part of a system that required professional attention as part of a major concern.

Inspection Details

Attendance :	Agent And Inspector
Limiting Conditions :	Vacant, Raining, Confined Areas
Approximate Start And Stop :	11am To 230pm
Weather:	Rain, 56*
Occupancy :	Vacant

Roofing

Condition



Comment 1:

FUNCTIONAL: Main roofing material appeared in good condition on the day of the inspection.

Although some areas of minor maintenance may have been needed.



Figure 1-1



Figure 1-2

Material Type/s



Comment 2:

Architectural shingles were noted.

(Roofing continued)

Drainage System

 Comment 3:
ATTENTION REQUIRED: A full gutter system was not present and may be considered as a water management strategy .

Flashing

 Comment 4:
ATTENTION REQUIRED: Flashing that kick water out to the exterior of the siding appeared missing. Kick out flashing prevent excess water from intruding into substrates and are a vital part of the flashing system. Recommend their installation and be aware that damage to the substrates may be present that was not found or commented on with this limited non intrusive inspection.



Figure 4-1

(Roofing continued)

Skylights / Roof Penetrations



Comment 5:

ATTENTION REQUIRED: Roof penetrations appeared to be in need of maintenance or repairs.

Roof penetrations tend to require attention before the rest of the roof. It is recommended that these areas be inspected regularly and kept in good repair to prevent water intrusion.



Figure 5-1



Figure 5-2

Method Of Inspection



Comment 6:

Roof was inspected from the eaves, from the ground and from inside.

Roof was not walked as safe footing was a concern and the roofing may have been damaged if walked by the inspector.

(Roofing continued)

Roof Limiting Factors

 Comment 7:
It was raining during the inspection, making it more unsafe to be on a roof.

Chimney/s

Condition

 Comment 8:
Chimney was for the water heater only. It appeared older but functional.

Deck/Porch

 Comment 9:
Wood in direct contact/proximity with the ground or masonry was noted. This condition can prematurely cause deterioration that may allow water or insects to infiltrate the building or damage the support timbers.
Recommend implementing A seasonal plan of treatment to prevent wood rot.

(Deck/Porch continued)



Figure 9-1



Comment 10:

ATTENTION REQUIRED: The steps were not uniform in their layout, and may present a trip hazard.



Figure 10-1

(Deck/Porch continued)



Comment 11:

The inspector was unable to determine if the decks were properly flashed and lagged or not.



Figure 11-1



Comment 12:

Safety issue : Floor joist of the rear deck appeared to be broken and was moving under foot, causing deck boards to be unsupported.

Nails and screws were protruding posing a puncture Hazzard.

Railings of both decks were damaged and loose.

Further evaluation by a qualified contractor is needed for repairs or replacement.

(Deck/Porch continued)



Figure 12-1



Figure 12-2



Figure 12-3

(Deck/Porch continued)



Comment 13:



Figure 13-1



Comment 14:

Note: No access to under the decks was found and restricted the inspection of things such as lagging, flashing, footings etc.

Exteriors

Grounds

(Grounds continued)



Comment 15:
Lift was not inspected.



Figure 15-1



Comment 16:
Functional: Grounds appeared well-kept and nothing of a major concern was noted on the day of the inspection.

Walkways, Driveways, Steps, Patios, And Retaining Walls



Comment 17:
Driveways and walkways appeared in good condition. See porch step notes.

Vegetation

(Vegetation continued)



Comment 18:

ATTENTION REQUIRED:

Vegetation that grows too close, or overhang property, should be trimmed back/removed.

Mulch near the structure or at bottom of siding also should be avoided.

This will help reduce the frequency of having to clean out gutters, be less inviting to pest etc and provide air and sunlight to structure, while minimizing potential damage, debris, and dampness.



Figure 18-1



Figure 18-2

Grading And Drainage



Comment 19:

NOTE: Grading was flat or pitched towards the structures in some areas and may encourage water to pool around or saturate the structures.

(Grading And Drainage continued)



Figure 19-1



Figure 19-2

Exteriors Limiting Factors

 Comment 20:
Some areas were difficult to reach or see on the day of the inspection.
Approximately 10% of the exteriors was not inspected.

Siding, Windows And Doors

Exterior Coverings Flashing And Trim Condition

(Exterior Coverings Flashing And Trim Condition continued)



Comment 21:

FUNCTIONAL: Exterior covering overall was in good shape although some areas may require minor repairs or maintenance.



Figure 21-1



Figure 21-2

Exterior Coverings Type



Comment 22:

Vinyl.

Windows And Doors



Comment 23:

Note: Windows or doors that are installed at or near grade require extra diligence to prevent moisture intrusion and or damage to the structure and of the casing etc.

(Windows And Doors continued)



Figure 23-1



Figure 23-2



Comment 24:

NOTE: Door or window casings in contact with the earth or masonry was noted. This condition can prematurely cause deterioration that may allow water or insects to infiltrate the building over time. Recommend treating and sealing on a seasonal basis.



Figure 24-1

(Windows And Doors continued)



Comment 25:

FUNCTIONAL: Windows and doors inspected appeared functioning as designed. Although some windows or doors may require some minor maintenance or attention.

Kitchen

Condition



Comment 26:

Stove and refrigerator were unplugged.

Recommend confirming function at final walkthrough, prior to final commitment.



Figure 26-1



Figure 26-2

(Condition continued)



Figure 26-3



Comment 27:

FUNCTIONAL: A representative number of accessible outlets, lights, faucets, etc were inspected and found working. Please note this is not a guarantee that all aspects of the kitchen were functional as some items may require repair or replacement.



Figure 27-1



Figure 27-2

(Condition continued)



Figure 27-3



Figure 27-4



Figure 27-5

Kitchen Electrical

(Kitchen Electrical continued)

-
-  **Comment 28:**
ATTENTION REQUIRED: Outlets appeared to not be GFCI protected or not functioning properly at the time of the inspection.



Figure 28-1

Kitchen Ventilation

-
-  **Comment 29:**
NOTE: Ideally kitchens have a form of mechanical ventilation that exhaust to the exterior of the structure.
The ventilation ideally should be maintained and cleaned on a regular basis.

(Kitchen Ventilation continued)



Figure 29-1

General Interiors

(General Interiors continued)



Comment 30:

ATTENTION REQUIRED: Exposed bulbs were found in closet areas.

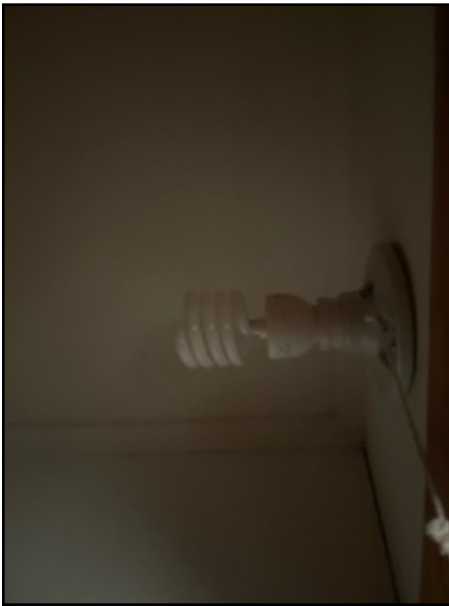


Figure 30-1

Material And Condition Of Walls Ceiling And Flooring



Comment 31:

The interiors of the living space were in general good repair, accessible and inspected windows and doors were operating normally. Minor cosmetic imperfections were noted consistent with the age and usage of the structure.

(Material And Condition Of Walls Ceiling And Flooring continued)



Figure 31-1



Figure 31-2



Figure 31-3



Figure 31-4

(Material And Condition Of Walls Ceiling And Flooring continued)



Figure 31-5



Figure 31-6



Figure 31-7

(Material And Condition Of Walls Ceiling And Flooring continued)



Comment 32:

Signs of past moisture issues were noted in multiple small areas but appeared to be dry and not active issues.

Recommend regularly monitoring the areas for any changes.



Figure 32-1

Steps Stairs And Railings



Comment 33:

Hand rail missing at basement stairs.

Windows And Doors



Comment 34:

FUNCTIONAL: Windows and doors inspected appeared functioning as designed. Although some windows or doors may require some minor maintenance or attention.

(General Interiors continued)

General Interiors Limiting Factors



Comment 35:

Personal items were present and restricting approximately 20% of the visual inspection. defects may have been covered or hidden and may be found when items are cleaned or moved. Personal items are not moved during the inspection and we do not comment on or cover hidden defects found at a later time.

Bathrooms



Comment 36:

FUNCTIONAL: A representative number of accessible plumbing and electrical items were inspected and found working. Please note this is not a guarantee that all outlets and lights were functioning as deigned, as some outlets or lights may require repair or replacement.



Figure 36-1



Figure 36-2

(Bathrooms continued)



Figure 36-3



Figure 36-4



Figure 36-5

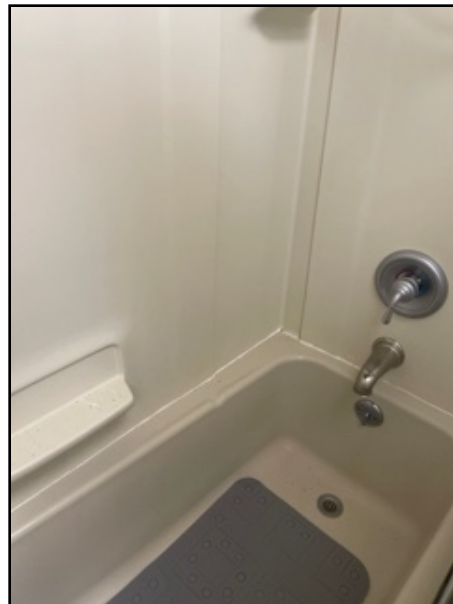


Figure 36-6

(Bathrooms continued)



Figure 36-7

Bathroom Ventilation



Comment 37:

Attention required: Bathroom ventilation appeared in need of general maintenance and cleaning. Duct work was damaged.



Figure 37-1

(Bathrooms continued)

Bathroom Electrical

-  Comment 38:
ATTENTION REQUIRED: GFCI outlets were found missing or not operating as designed on the day of the inspection.



Figure 38-1

Laundry Area

-  Comment 39:
Visually inspected, no active leaking was found. A gas line was noted. Recommend always installing burst control hoses.
Recommend always having a regular program of cleaning out the dryer vent, and that it vents properly to the exterior of the structure.

(Laundry Area continued)



Figure 39-1



Figure 39-2

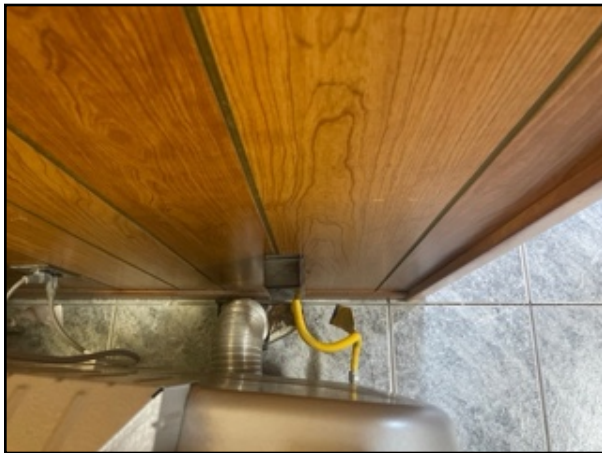


Figure 39-3



Comment 40:

Due to the septic system being backed up the inspector did not run the washer. Recommend running the washer and dryer at the final walk-through prior to final commitment.

Basement



Comment 41:

ATTENTION REQUIRED: Handrail was missing.



Figure 41-1



Comment 42:

MARGINAL: Small areas of a suspicious discoloration was noted on the joist and personal items.

Recommend further evaluation by a qualified contractor for cleaning, disinfecting and monitoring for any changes.

(Basement continued)



Figure 42-1



Figure 42-2



Figure 42-3

(Basement continued)



Comment 43:

ATTENTION REQUIRED: MOISTURE- A program of de humidification may be desired for the entire structure and especially in the basement area.

Note: Dehumidifiers should be properly drained or maintained in order to not condense moisture into one area of the basement.



Comment 44:

ATTENTION REQUIRED: Exterior measures may be considered to help protect the foundation walls and reduce moisture intrusion into the basement area.

Condition



Comment 45:

Basement walls, supports, framing appeared functional.



Figure 45-1



Figure 45-2

(Condition continued)



Figure 45-3

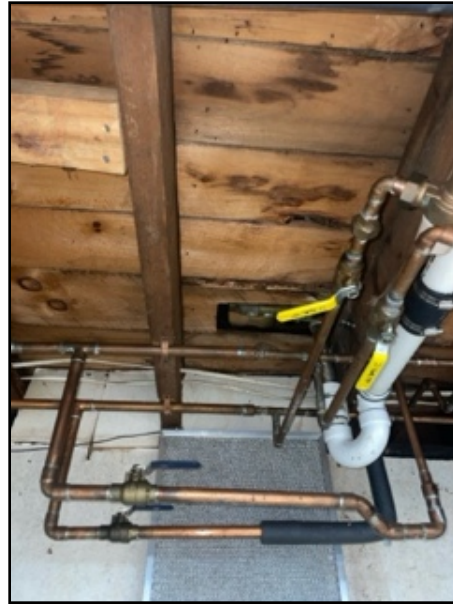


Figure 45-4

Foundation Walls



Comment 46:
Functional.

Insulation



Comment 47:
No insulation noted from basement.

Basement Limiting Factors

(Basement Limiting Factors continued)



Comment 48:

Personal items were present and restricting approximately 10% of the visual inspection. defects may have been covered or hidden and may be found when items are cleaned ,moved or work is performed in the basement. Personal items are not moved during the inspection and we do not comment on or cover hidden defects found at a later time.

Crawlspace



Comment 49:

Note: Bare earth was noted.

Recommend the installation of a vapor barrier in all crawlspace areas to prevent moisture intrusion.

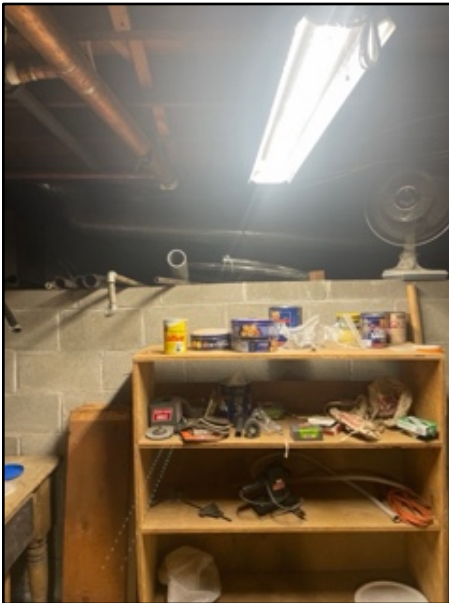


Figure 49-1



Figure 49-2

(Crawlspace continued)



Figure 49-3



Figure 49-4

Crawl space Limiting Factors



Comment 50:
Confined space.



Comment 51:
Sheeting was on some of the crawlspace walls blocking the view.

Ventilation



Comment 52:
None noted. Area was open to the basement.

(Crawlspace continued)

Insulation



Comment 53:
None noted.

Structure



Comment 54:
Note: Areas were found where additional supports or bracketing may be desired. Attic rafters did not all have cross ties or brackets and may be found desirable to install to prevent settling and movement due to the age and design structure.



Figure 54-1

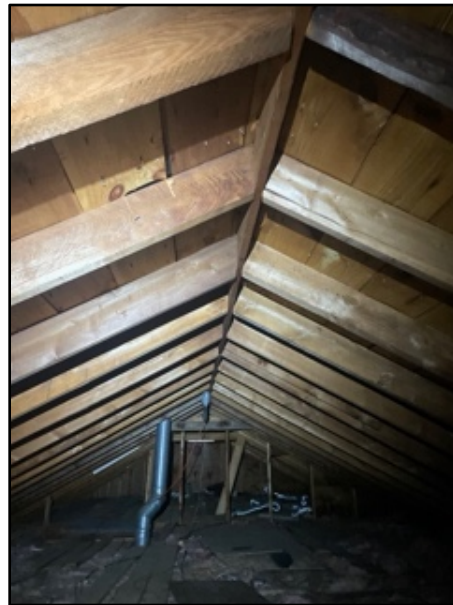


Figure 54-2



Comment 55:
FUNCTIONAL: Main structure of the building appeared structurally sound. But some areas of concerns or needed repairs/maintenance were noted .

(Structure continued)

Structure Limiting Factors

 Comment 56:
Approximately 25% of the structure was not inspected due to on-site limiting factors.

 Comment 57:
ENVIRONMENTAL CONDITIONS:
Unless otherwise indicated, the inspection and report do not address, and are not intended to address, the possible presence of, or danger from, any potentially harmful substances and environmental hazards including, but not limited to, radon gas, lead paint, asbestos, urea formaldehyde, toxic or flammable chemicals, and hot water and airborne hazards.

Insulation Condition And Type

 Comment 58:
Fiberglass batt insulation was noted in the attic.

Ventilation

 Comment 59:
Attic was ventilated .

Attic

(Attic continued)



Comment 60:

Note: Attic hatches are a major source of heat loss out of the home, as well as moisture vapor escaping up into the attic.

Older homes that have not been renovated typically do not have well sealed attic hatches, whereas modern best practice is to use a well sealing insulated hatch.



Figure 60-1

(Attic continued)



Comment 61:

ATTENTION REQUIRED: Exhaust fan duct was damaged and venting into the attic.



Figure 61-1



Comment 62:

ATTENTION REQUIRED: Staining noted around nails .Small areas of possible growth noted. Staining of this type can be an indication of past high temperature or high humidity issues in the attic.

Condition

(Condition continued)



Comment 63:



Figure 63-1

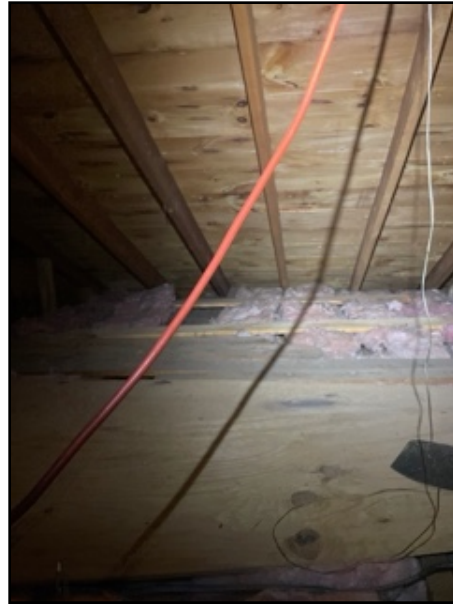


Figure 63-2



Figure 63-3



Figure 63-4

(Condition continued)



Figure 63-5



Figure 63-6



Figure 63-7



Figure 63-8

(Condition continued)



Figure 63-9



Comment 64:

ATTENTION REQUIRED: Staining noted around nails .Small areas of possible growth noted. Staining of this type can be an indication of past high temperature or high humidity issues in the attic.



Figure 64-1

(Attic continued)

Insulation



Comment 65:

ATTENTION REQUIRED: Insulation was missing or had been moved. Repair or replace as needed.



Figure 65-1

Ventilation



Comment 66:

ATTENTION REQUIRED: Soffit areas appeared to be occluded with insulation in many areas and not breathing properly.

(Ventilation continued)



Figure 66-1

Attic Limiting Factors



Comment 67:

Approximately 25% was not inspected due to onsite limiting factors. Access was limited in locations or safe footing was not present. Areas that could be were visually inspected but inspection was limited. Defects may have been covered or hidden by insulation etc.

Method of Inspection



Comment 68:

In the accessible Attic area.

HVAC Systems(s)

i Comment 69:
ATTENTION REQUIRED: The thermostat appeared defective and in need of replacing.

Due to the limitations of a home inspection it is recommended to have testing done by a qualified HVAC specialist that can fully test the internal elements of the heating and cooling system. And a regular maintenance program be instituted immediately. An HVAC company's inspection will likely be more thorough than a home inspection and may reveal other issues that were not manifest during the inspection.

Heat Fuel Source And Shutoff Location

i Comment 70:
A gas meter was noted on the left side of the home.
Shut off was located at the meter.



Figure 70-1

(Heat Fuel Source And Shutoff Location continued)



Comment 71:

Recommend addressing the rust on the gas lines, as well as adding bracketing and protection.

Distribution Type And Condition



Comment 72:

DISTRIBUTION- Ducts providing conditioned air to the structure. (note this inspection is not an evaluation of the efficiency of the distribution)

A/C Type And Condition



Comment 73:

NOTE: The disconnect was easily accessible to anyone, including children. Recommend it be properly latched to prevent injury.

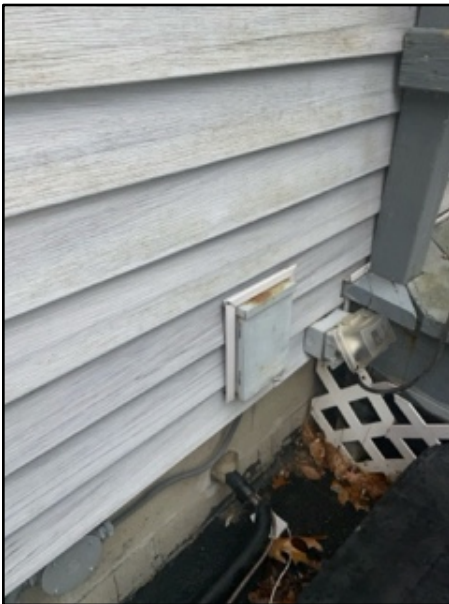


Figure 73-1

(A/C Type And Condition continued)



Comment 74:

Unit was not operated as it may have been damaged by operating it during the inspection (Due to NYs guide lines/cold temperature outside). Functionality remains unknown at this time.



Figure 74-1



Comment 75:

ATTENTION REQUIRED: Evidence of possible conversation issues noted at the ductwork.

(A/C Type And Condition continued)



Figure 75-1



Comment 76:
Central AC system noted.

Heating Equipment Type And Condition



Comment 77:
FUNCTIONAL: A forced air gas furnace was noted and operated using standard controls on the day of the inspection.

(Heating Equipment Type And Condition continued)



Figure 77-1



Figure 77-2



Figure 77-3



Figure 77-4

(Heating Equipment Type And Condition continued)



Figure 77-5



Figure 77-6



Comment 78:

ATTENTION REQUIRED: A screen was noted on the exhaust side of the high-efficiency furnace. The screens can trap condensation and freeze in winter months, blocking off the exhaust to the furnace and trapping moisture.



Figure 78-1

Visible Electric



Comment 79:

ATTENTION REQUIRED- Open and missing junction boxes were noted. Recommend contacting a qualified electrician for repairs.



Figure 79-1



Figure 79-2

Main Disconnect Amperage, Voltage And Location

(Main Disconnect Amperage, Voltage And Location continued)



Comment 80:

A 200Amp 120/240Volt main disconnect was noted in the panel in the living room.

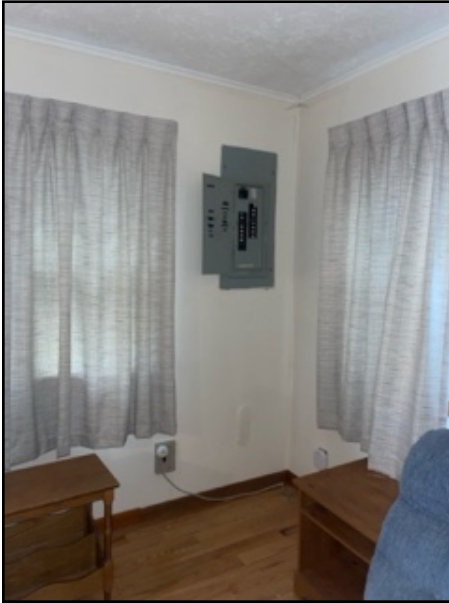


Figure 80-1

Sub Panel Amperage And Location



Comment 81:

ATTENTION REQUIRED: A 30amp disconnect was noted in the laundry area. It was energized but off.

A possible burn mark was noted.

Recommend further evaluation by a qualified electrician for repair or removal.

(Sub Panel Amperage And Location continued)



Figure 81-1



Figure 81-2



Comment 82:

ATTENTION REQUIRED: A 20amp subpanel was noted in the garage. The wiring appeared unconventional. Recommend further evaluation by a qualified electrician.



Figure 82-1



Figure 82-2

(Visible Electric continued)

Panel Brand



Comment 83:

MARGINAL- The electrical panel appears to be an older Crouse-Hinds model, likely installed several decades ago. While no immediate defects may be visible, the panel and breakers are considered obsolete and may not meet current performance expectations. Replacement parts are limited. Recommend evaluation and budgeting for future upgrade by a qualified electrician.



Figure 83-1



Figure 83-2

(Panel Brand continued)

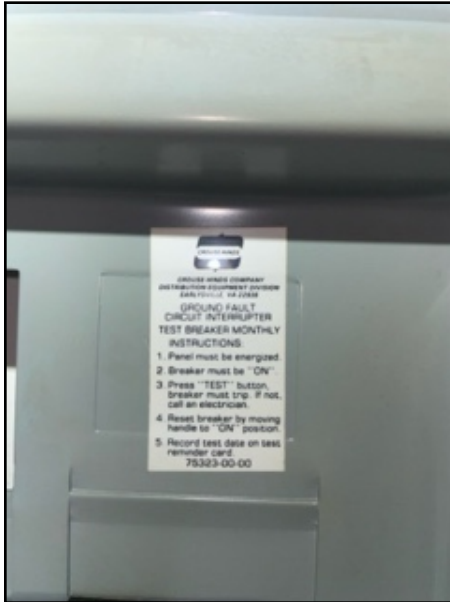


Figure 83-3



Figure 83-4

Service Entrance



Comment 84:

POSSIBLE MAJOR CONCERN/HAZARD: Main service entrance cable appeared damaged and compromised.

Recommend further evaluation by a qualified electrician for cost of immediate repair or replacement.

(Service Entrance continued)



Figure 84-1



Figure 84-2



Figure 84-3

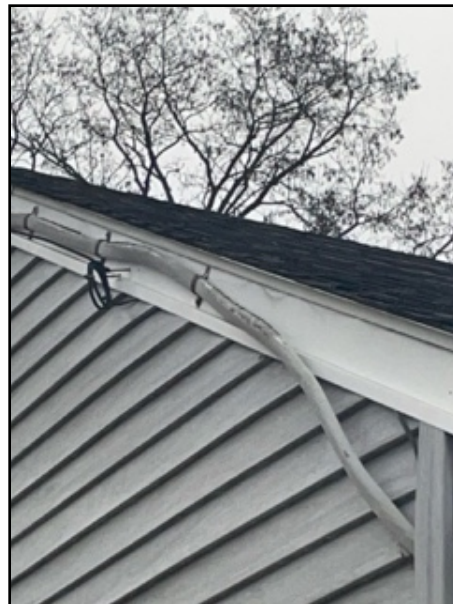


Figure 84-4

(Service Entrance continued)



Figure 84-5



Comment 85:

A overhead service entrance was noted.

Breakers Or Fuses



Comment 86:

ATTENTION REQUIRED: Breakers have a long but finite lifespan. The breakers in the panel appeared past their projected useful lifespan.

Recommend further evaluation by qualified electrician for replacing.

Note: The Consumer Product Safety Commission (CPSC) estimates a circuit breaker's life expectancy at 30 to 40 years, with an average of 35 years. It is the same for GFCI, AFCI, and standard breakers.

(Visible Electric continued)

Visible Internal Electric



Comment 87:

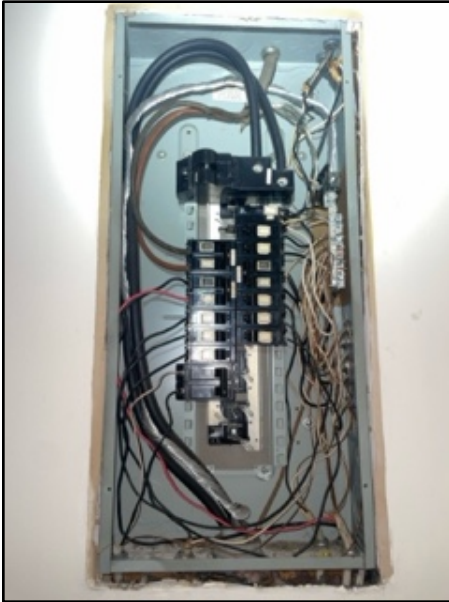


Figure 87-1



Comment 88:

ATTENTION REQUIRED: The wire for the kitchen stove appeared damaged in the panel.

(Visible Internal Electric continued)



Figure 88-1



Figure 88-2



Comment 89:



Figure 89-1

(Visible Internal Electric continued)



Comment 90:

ATTENTION REQUIRED: Multiple outlets tested as being wired incorrectly or having other faults.

Recommend further evaluation by a qualified electrician for the cost of repairs.

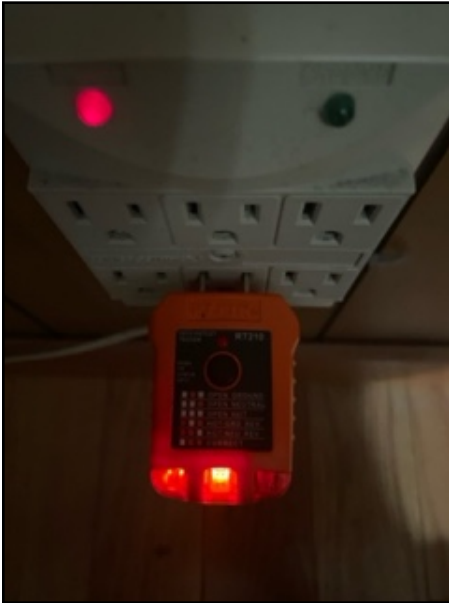


Figure 90-1

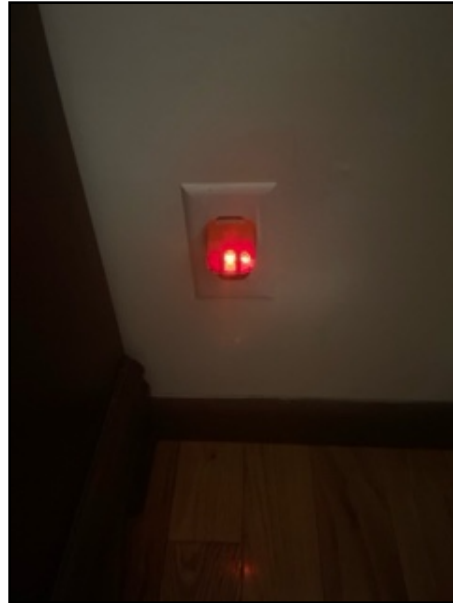


Figure 90-2

(Visible Internal Electric continued)



Comment 91:

Outlets in garages also tested as being wired incorrectly.



Figure 91-1

Ground Fault Circuit Interruptors



Comment 92:

FUNCTIONAL: GFCI protections were found installed and functioning on exterior outlets noted.

Note: GFCI outlets and breakers have a long but finite usable lifespan and should periodically be replaced prior to failure.

(Ground Fault Circuit Interrupters continued)



Figure 92-1



Figure 92-2

Aluminum Branch Wiring



Comment 93:

No visible single strand aluminum branch wiring noted. Please note this is not a guarantee the structure was free of it only it was not observed during the inspection.

Grounding



Comment 94:

Rods to the ground noted. (assumed, not dug up)

Visible Plumbing

Fixtures And Faucets

 Comment 95:
Accessible fixtures and faucets were operated and appeared functional.

Shut Off Location

 Comment 96:
The apparent shut off was located on the main line in the basement.

Water Source And Waste Disposal

 Comment 97:
-WATER SOURCE AND WASTE DISPOSAL- Private water source.
Private waste disposal system. Based on observed conditions or on property statement.

Functional Flow

 Comment 98:
ATTENTION REQUIRED: Water pressure was checked by opening multiple fixtures at the same time.
(Filters appeared extremely dirty.)
A noticeable drop was found.
Water was still working but pressure was less then normal at times.

(Visible Plumbing continued)

Functional Plumbing Drainage



Comment 99:
No active leaking found.
Sinks drained normal.

Water Supply lines



Comment 100:
ATTENTION REQUIRED: Areas of corrosion, mineral deposit and stains were noted. These are indications of a current or past leak. Area may start leaking at any time without notice. Recommend repair or replacement of any areas found in this condition prior to issues developing.

Fuel Supply lines



Comment 101:
ATTENTION REQUIRED: Recommend, addressing the rust on the gas lines, or replacing.

Drain Waste And Vent Systems

(Drain Waste And Vent Systems continued)



Comment 102:

Waste lines were a combination of CPVC, PVC, and Copper.



Figure 102-1



Comment 103:

Unconventional waste lines were found that may prove problematic at times.



Figure 103-1



Figure 103-2

Water Heater



Comment 104:

The water temperature was turned down to just warm.

Recommend having the temperature turned up and confirming there's hot water at the final walk-through prior to final commitment.



Figure 104-1

(Water Heater continued)



Comment 105:



Figure 105-1



Figure 105-2



Comment 106:

Unit appeared older. Average lifespan of water heaters is approximately 10 years. Unit may require replacement at any time. Recommend budgeting for replacement in the near future.

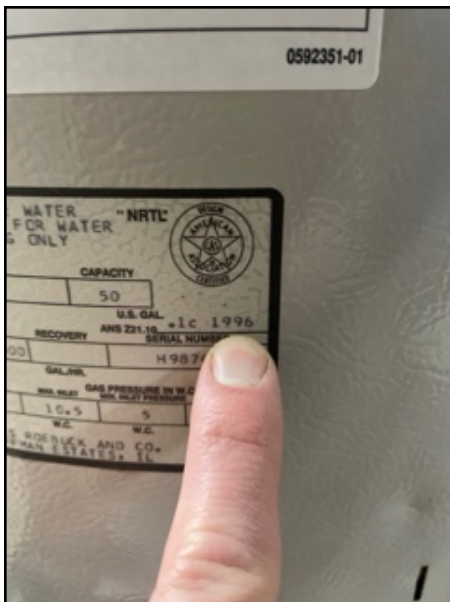


Figure 106-1

(Water Heater continued)

Capacity



Comment 107:
50 Gallon.

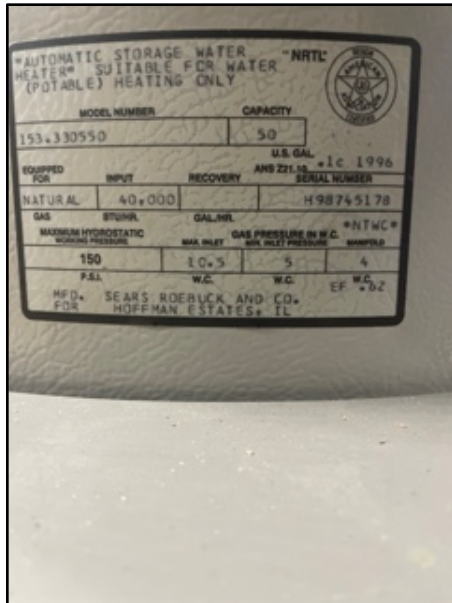


Figure 107-1

Fuel Source



Comment 108:
Gas

Note: Exhaust for gas burning units require specific designs that must be maintained and materials that must be periodically repaired or replaced.

(Fuel Source continued)



Figure 108-1

Vent System



Comment 109:

Water heater exhaust vent appeared functioning as designed on the day of the inspection. NOTE: Gas venting into older (or even newer) chimneys/flues/pipes etc can cause damage and deterioration over time. The interior of the flue was not inspected and this inspection is a basic, visual inspection. Evaluation by a qualified chimney specialist is required to determine any unseen defects.

(Vent System continued)



Figure 109-1

Expansion Tank



Comment 110:
None noted.



Figure 110-1

(Water Heater continued)

Relief Valve



Comment 111:
Found installed.



Figure 111-1



Figure 111-2

Well Yield Requirements



Comment 112:

Note: Whenever a well is in use the addition or use of filtration systems as an extra precaution may be found desirable.

Sometimes even on municipal waters a filtration system can be found to be advantageous.

(Well Yield Requirements continued)

Well Location



Comment 113:

The apparent active water source was found in the front yard.



Figure 113-1



Figure 113-2

Flow Test



Comment 114:

-YIELD REQUIREMENTS- The well was required to produce 3 gallons a minute for 2 hours or its equivalent volume.

System handled flow test with no difficulty to report.

(Flow Test continued)



Figure 114-1



Comment 115:

Note : Structure appeared vacant at the time of the inspection. The water source may produce different results/volume depending on the amount of use and or season.

Well Pump Equipment

(Well Pump Equipment continued)



Comment 116:

PUMP EQUIPMENT- Appeared to be submersible pump.



Figure 116-1



Figure 116-2



Comment 117:

ATTENTION REQUIRED: The filters appeared partially occluded and in need of replacing.



Figure 117-1

(Well Yield Requirements continued)

Well/Water Limiting Factors



Comment 118:

NOTE: This was a test of water flow at time of inspection. Recovery of the well, capacity, or any other aspect of the system was not inspected. The type of well was not determined. Possible future uses of the well were not determined. Please also note that if the water has not been used, has been used a lot, weather, tampering by people, or other factors can interfere with an accurate test. This test was a snapshot in time.



Comment 119:

NOTE: Anytime the well is located near the proximity of other property, a road, hand dug or in a small footprint of land, etc, we recommend a regular schedule of having the drinking water tested for all possible contaminants.



Comment 120:

Structure had been vacant for an extended period of time prior to the well flow and water test.

Wood Destroying Insects And Vermin



Comment 121:

Note: Evidence of possible vermin or other pest were found on the premises. The identification and assessment of species was outside the scope of this inspection as this inspection focuses on wood destroying insect only, but we strongly recommend a follow up inspection by a nuisance control expert as many are not only destructive to the property but may transmit diseases.

(Wood Destroying Insects And Vermin continued)



Figure 121-1



Comment 122:

No wood destroying insects were noted at the time of the inspection.

Be mindful that wood destroying insects colonies can rapidly expand, or migrate and cause damage in a short period of time. Recommend preventive measures be taken to remedy any such condition and preventative treatments to stop infestations from occurring.

Septic/Sewer



Comment 123:

Recommend verification that the system meets all standards, regulations and zoning requirements for being near bodies of water and other properties.

(Septic/Sewer continued)



Figure 123-1

Tank



Comment 124:
Riser and lid found.



Figure 124-1

(Tank continued)



Comment 125:
Appeared to be Concrete.



Figure 125-1



Comment 126:
Outlet baffle was intact.



Figure 126-1

(Tank continued)



Comment 127:

Note: Concrete and baffles can fail without notice. Recommend monitoring with normal pumping and repair or replacing as needed.



Comment 128:

Waste levels in the tank were high.

Approximate Dimensions/Volume



Comment 129:

Tank appeared to be approximately a 1000 gallon tank.

Dimensions/volume was based on observable conditions on the day of the inspection.

Pipes



Comment 130:



Figure 130-1

(Pipes continued)

 **Comment 131:**
ATTENTION REQUIRED: Unconventional repairs noted on outlet pipe.



Figure 131-1

 **Comment 132:**
Debris found in clean out hub .



Figure 132-1

(Pipes continued)



Comment 133:



Figure 133-1



Comment 134:

MAJOR CONCERN: A possible popped seam was noted just passed the foundation wall.

Also evidence of past and active backing up or high waste levels were noted in the outlet pipe, as well as debris.

The inspector ran his camera out about 50 ft but could not see anything due to high waste levels.

Evidence noted typically indicates a failure of the pipe or of the absorption area.

Recommend a full reinspect once the tank has been pumped and the waste line is cleaned out.

(Pipes continued)



Figure 134-1



Figure 134-2



Figure 134-3

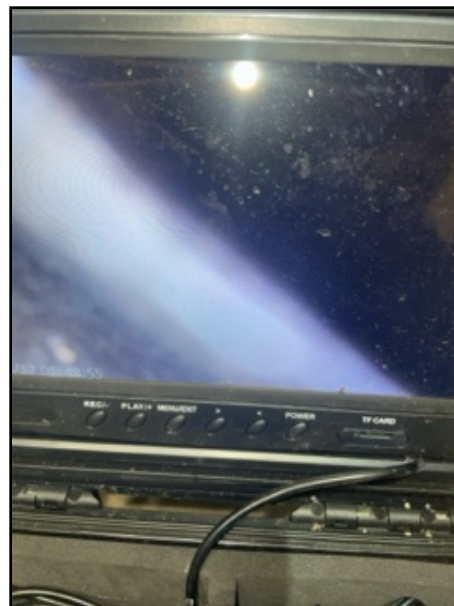


Figure 134-4

(Pipes continued)



Figure 134-5

Absorption Area



Comment 135:

Due to on-site limiting factors the exact location and design of the absorption area could not be determined. Recommend further evaluation's after repairs have been completed to the damaged pipe to confirm the location design and function of the absorption area.



Comment 136:

POSSIBLE MAJOR CONCERN:

The system was found backing up.

RECOMMEND a full pump out and back jetting of all the lines to remove all debris and a full re-evaluation of the pipes and absorption area after all repairs and maintenance have been performed.

(Septic/Sewer continued)

Spacing Observations



Comment 137:



Figure 137-1

Septic/Sewer System Limiting Factors



Comment 138:

Property appeared vacant.

Septic systems not under a normal daily use at the time of the inspection can have many defects that will not manifest until normal daily use resumes.



Comment 139:

High waste levels.

smoke/carbon monoxide detectors



Comment 140:

ATTENTION REQUIRED: Detectors were found missing in areas they are required by modern standards.



Figure 140-1



Figure 140-2

We always recommend placement/updating of appropriate smoke and carbon dioxide detectors in the proper locations prior to occupancy to monitor the building and protect the home and family.

Detached Garage

Roof

(Roof continued)



Comment 141:

Small garage - A trim piece typically called the gable rake was not installed on the metal roofing and may be desired .



Figure 141-1



Figure 141-2



Figure 141-3

(Roof continued)



Comment 142:

Metal roofing noted. Metal roofing may allow snow or ice to fall in force and may damage property cause injury. Recommend taking every necessary precaution



Comment 143:

Large garage- FUNCTIONAL: Roof appeared functioning as designed.



Figure 143-1

Exteriors



Comment 144:

Exteriors of the detached garages appeared in same condition as the main structure. See main exterior notes.

(Exteriors continued)



Figure 144-1



Figure 144-2



Figure 144-3

Windows And Doors

(Windows And Doors continued)



Comment 145:

FUNCTIONAL: Windows and doors inspected appeared functioning as designed. Although some windows or doors may require some minor maintenance or attention.



Figure 145-1



Figure 145-2

Garage Door Safety Devices



Comment 146:

The garage doors did not appear to be up to modern safety standards.

Interiors

(Interiors continued)



Comment 147:

Large garage - FUNCTIONAL: Multiple cosmetic and or minor repairs were noted at the time of the inspection but nothing that would be considered a possible major concern.



Figure 147-1



Figure 147-2



Figure 147-3

(Interiors continued)



Comment 148:

MARGINAL- Evidence of past moisture intrusion was noted on the walls of the small garage .



Figure 148-1

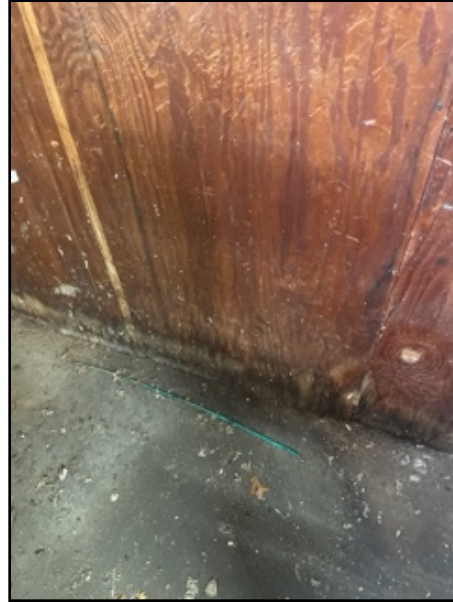


Figure 148-2



Figure 148-3

(Detached Garage continued)

Attic



Comment 149:

Large garage- POSSIBLE MAJOR CONCERN: A suspicious discoloration or stain was noted. Discoloration may indicate a larger issue adversely affecting the building materials and the structure. Recommend a qualified specialist (Who is accountable to you) be contacted to evaluate the area and recommend corrective course. Additional areas of the house may require assessment at the discretion of the specialist.



Figure 149-1



Figure 149-2

Structure

(Structure continued)



Comment 150:

LARGE GARAGE- The structure showed evidence of settling and movement consistent with its age and design.

Although not visibly adversely affecting the structure on the day of the inspection, effort may be required to restore the areas to like new condition if desired.



Figure 150-1



Comment 151:

Small garage showed signs of moisture intrusion.

Limiting Factors



Comment 152:

Approximately 10% of the garage structures were not inspected due to on-site limiting factors.

Thank you for choosing us. We try to do a thorough job on every home to make purchasing your home as easy and understandable as possible. Please keep in mind the inspection is based on what can be seen visually and is supplemental to the seller's full discloser. There was no destructive probing or dismantling of any components (unless otherwise indicated in this report). Additionally, any repairs after the inspection may reveal defects that were not accessible at the time of inspection. Comments regarding the operation of all systems are based on how they performed during the inspection and cannot guarantee future performance. This report and inspection are not intended to discover, or comment on, every item that is in need of repair or that is defective or could lead to defects. This report and inspection are not intended to report on the presence, or possible presence, of rodents, bats, wild animals or other types of pests not associated with WDI. We appreciate your business and if you have any question or we may be of assistance in any way please contact us. Sincerely, Tyler Mayer