

AGENDA
POCONO TOWNSHIP PLANNING COMMISSION
REGULAR MEETING
May 8, 2017 – 7:00 p.m.

- A. CALL TO ORDER** (followed by the Pledge of Allegiance)
- B. ROLL CALL**
- C. NOTIFICATIONS OF COMMENTS**
- D. CORRESPONDENCE**
- E. MANAGER'S REPORT – TBD**
- F. MINUTES:** Minutes of the Pocono Township Planning Commission Meeting-4/24/2017.
- G. NEW PLANS AND SUBMISSIONS FOR PLANNING COMMISSION REVIEW**
 - 1. Pocono Hospitality Land Development
- H. FINAL PLANS UNDER CONSIDERATION:**
- I. PRELIMINARY PLANS UNDER CONSIDERATION:**
 - 2. Sheldon Kopelson, Commercial Development (Lot 3)- Plan was accepted at the 08/13/2013 P.C. Meeting. The configuration of the minor subdivision is dependent on the Rt. 715 realignment. Tabled at the 4/24/17 mtg. A resubmission has not occurred. Deadline for consideration extended to June 30, 2017.
 - 3. Spa Castle Land Development – Plan was accepted at the 12/14/2015 Meeting. The Planning Module for this project was rejected by the Commissioners. Deadline for consideration is October 17, 2017. Planning Review distributed 9/9/16. Technical Review distributed 11/9/16. Tabled at the 4/24/17 mtg.
 - 4. Camelback Lot 13 and Hotel – Plan was accepted at the 06/13/2016 PC Meeting. Review letter distributed 07/21/16. Tabled at the 4/24/17 mtg. Deadline for consideration extended to June 19, 2017.
 - 5. Discovery Drive Widening - The plans were administratively accepted at the December 12, 2016 P.C. Meeting. Final Plan approval contingent on approval of waiver request. Deadline for consideration is June 8, 2017. Review No. 3 distributed 5/5/17. Tabled at the 4/24/17 mtg.
 - 6. Summit Health Campus – Land Development- The plans were administratively accepted at the January 9, 2017 P.C. Meeting. Deadline for consideration is May 31, 2017. Review No. 2 distributed 5/2/17. Request for Modifications recommended for approval to the BOC at the 2/13/17 and 3/13/17 P.C. Meeting. Recommended on

3/13/17 approval to BOC for installation of a gate at the emergency access. Tabled at the 4/24/17 meeting.

7. Day Star Holiness Bible Church – Land Development on Learn Road. The plans were administratively accepted at the February 13, 2017 P.C. Meeting. Deadline for consideration extended to 6/23/17. Review No. 1 distributed 3/10/17. Tabled at the 4/24/17 meeting.

J. SKETCH PLANS

K. PERMITS

L. PLANNING MODULE

M. PRESENTATION OF VARIANCE, SPECIAL EXCEPTIONS, CONDITIONAL USE, ET AL, APPLICATIONS

1. Conditional Use Application for Adams/Casciano – Application tabled at the 4/24/17 meeting.

N. UNFINISHED BUSINESS

O. NEW BUSINESS:

P. COMMENTS BY AUDIENCE

Q. ADJOURNMENT:

POCONO TOWNSHIP PLAN STATUS

Project Name (acceptance date)	Application Type	Prelim/Final	Review Period Expires	Last PC Mtg	Last BOC Mtg	Latest Comment Letter	Last Meeting Tabled	PC Recommendation Approve/Deny	BOC Approved/Rejected
Farda Minor Subdivision (2/13/17)	Minor Subdivision	Final	5/14/2017	4/24/2017	5/1/2017	4/21/2017		Cond Approval Rec to BOC on 4/24/17. Rec approval of modifications for street trees and property line buffers	
Kenbar Route 715 Minor Subdivision (3/27/17)	Minor Subdivision	Final	6/25/2017	6/12/2017	6/19/2017	4/7/2017		Cond Approval Rec to BOC on 4/24/17. Recommended approval of modification to Sect 606.5-flag lot. Recommended approval of modification to Sect 303.1.6.6-wetland buffer.	
Kopelson Lot 3 Land Devt (08/13/13)	Commercial Land Dev't	Prelim	6/30/2017	6/12/2017	6/19/2017	unknown date	4/24/2017		
Spa Castle Land Development (Prel) (12/14/15)	Commercial Land Devt	Prelim	10/17/2017	10/9/2017	10/16/2017	Planning Rev 9/9/16 Technical Rev 11/9/16	4/24/2017		
Camelback Lot 13 and Hotel (06/13/16)	Commercial Land Devt	Prelim	6/19/2017	5/22/2017	6/5/2017	7/21/2016	4/24/2017		
Discovery Drive Widening (12/12/16)	Land Devt	Prelim*	6/8/2017	5/22/2017	6/5/2017	5/5/2017	4/24/2017		
Summit Health Center Land Development (1/9/17)								Prelim/Final Plan Waiver recommended to BOC at 2/13/17 meeting. Rec to BOC of Approval of modification of Sec 303A. BOC. Rec to BOC to approve the installation of an emerg access gate.	
Day Star Holiness Bible Church (2/13/17)	Land Devt	Prelim	6/23/2017	6/12/2017	6/19/2017	3/10/2017	4/24/2017		
Adams Outdoor/Covello Property (7/22/16)			No Expiration				4/24/2017		

POCONO TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
April 24, 2017
7:00 P.M.

The Pocono Township Planning Commission Regular Meeting was held on April 24, 2017, at the Pocono Township Municipal Building, Tannersville, PA, and opened by Chairman Ron Swink at 7:00 p.m. followed by the Pledge of Allegiance.

ROLL CALL: Ron Swink, present; Marie Guidry, present; Robert Demarest, present; Dennis Purcell, present; Jeremy Sawicki, present; Scott Gilliland, present; and Robert DeYoung, present.

Lisa Pereira, Solicitor, Jon Tresslar, Engineer, Charles Vogt, Township Manager, and Michael Tripus, Zoning Officer were present.

ACKNOWLEDGEMENT OF COMMENTS: Chairman R. Swink noted the Planning Commission meets the 2nd and 4th Monday of each month at 7:00 p.m. to 9:00 p.m. The board will address five (5) comments per plan and noted each visitor has the right to comment at this time or before any action is taken on a matter.

CORRESPONDENCE: NONE

MINUTES: R. Demarest made a motion, seconded by D. Purcell, to approve the minutes of 03/27/2017. All in favor. Motion carried.

NEW PLANS AND SUBMISSIONS FOR PLANNING COMMISSION REVIEW: NONE

FINAL PLANS UNDER CONSIDERATION:

Farda Minor Subdivision Plan - Plan accepted at the 02/13/2017 P.C. Mtg. **Last P.C. meeting is 04/24/2017.** - Nate Oiler, P.E. appeared on behalf of the applicant. Mr. Oiler provided an update on the revisions that were made to the plan in response to the Township Engineer's comments. S. Gilliland complimented Mr. Oiler for working with Township on modifying the plans to address the various comments and concerns raised by the Planning Commission. B. Demarest echoed the sentiment.

J. Sawicki made a motion, seconded by S. Gilliland, to recommend approval of the Farda Minor Subdivision Plan subject to addressing all comments contained in the Township Engineer's review letter. All in favor. Motion carried.

POCONO TOWNSHIP PLANNING COMMISSION REGULAR MEETING, 04/24/2017
PG.2

Kenbar Route 715 Minor Subdivision - Plan was accepted at the 03/27/2017 P.C. Meeting. **Last P.C. Meeting is 06/12/2017.** Bernie Telatovich, P.E. and William Cramer, Esq. represented the plan. Mr. Telatovich indicated that the applicant is proposing a two lot subdivision, with a restaurant on one lot and an existing billboard on other lot. The entrance for both lots will be along Rt. 715. There are existing wetlands on the property, which will be preserved wetlands. J. Tresslar indicated that his two main concerns are configuration of the lots and the ultimate ROW. J. Tresslar considers Lot 1 to be a flag lot. SALDO recognizes flag lots while the Zoning Ordinance does not. The minimum lot width for a lot is 100 feet. Mr. Telatovich confirmed that the developer will be placing restrictions on Lot 1 regarding wetland preservation. He also indicated that the developer is seeking a request for modification to permit the configuration of the lots as shown on the plan. Mr. Telatovich stated that the existing billboard is a non-conforming sign for which the Township has issued a permit. M. Tripus confirmed that the billboard is a non-conforming sign. The developer intends to have the billboard remain in its current location. R. Swink is concerned about the fact that PennDOT has not yet determined the location of the realigned Rt. 715. J. Sawicki and S. Gilliland indicated that the developer's project cannot be held up because of PennDOT. Mr. Telatovich said that the developer just wants to make reasonable use of the land. Mr. Telatovich indicated that the the developer would agree to restrict lot 1 for the billboard only. R. DeYoung asked whether the developer would be willing to restrict sign to a non-electronic billboard. A discussion followed regarding the distances between billboard signs. M. Tripus indicated that if the sign were removed by an Act of God or unintentionally it could be reconstructed, but if it were removed intentionally, then developer would have to comply with all sign ordinance requirements in effect. J. Tresslar discussed the ultimate ROW necessary under the Township ordinances. He asked the Planning Commission members if they are comfortable with the current PennDOT ROW as presented on the plan. The Planning Commission members indicated that they are comfortable with the current ROW, as presented. M. Guidry mentioned that the Planning Commission is no longer invited to PennDOT scoping meetings which would be very beneficial to the members in their review of plans. Discussion followed regarding item #13 of the Benchmark response letter. B. Telatovich indicated that the type

of wetlands located on the property does not require jurisdictional determination. The developer had a qualified private consultant confirm the wetlands areas. R. Swink questioned whether the developer would address stormwater as part of the land development. Mr. Telatovich confirmed that the developer would be required to address stormwater as part of the land development. Discussion followed regarding the required 50' wetlands buffer. Mr. Telatovich indicated that the DEP said the buffer is not necessary because water is being taken care of adequately as shown on the plan.

J. Sawicki made a motion, seconded by R. Demarest, to recommend approval of the request for modification of SALDO Section 606.5 to allow the flag lot as shown on the plan. All in favor. Motion carried.

J. Sawicki made a motion, seconded by S. Gilliland, to recommend approval of the request for modification of SMO Section 303.I.6.b - 50' foot wetland buffer is not necessary. All in favor. Motion carried.

J. Sawicki made a motion, seconded by R. Demarest, to recommend the Kenbar Route 715 Minor Subdivision for approval, subject to addressing all comments contained in the Township Engineer's review letter. All in favor. Motion carried.

PRELIMINARY PLANS UNDER CONSIDERATION:

Sheldon Kopelson, Commercial Development (Lot 3) - Plan was accepted at the 8/13/2013 P.C. Meeting. **Last P.C. meeting is 06/12/2017.** R. Demarest made a motion, seconded by J. Sawicki, to table the Sheldon Kopelson, Commercial Development (Lot 3). All in favor. Motion carried.

Spa Castle Land Development Plan - Plan was accepted at the 12/14/2015 mtg. The Planning Modules was rejected by the Commissioners. **Last P.C. meeting is 10/09/2017.** M. Guidry made a motion, seconded by J. Sawicki, to table the Spa Castle Land Development Plan. All in favor. Motion carried.

Camelback Lot 13 and Hotel Land Development Plan - Plan was accepted at the 06/13/2016 mtg. **Last P.C. meeting is 05/22/2017.** M. Guidry made a motion, seconded by R. Demarest, to table the

POCONO TOWNSHIP PLANNING COMMISSION REGULAR MEETING, 04/24/2017
PG. 4

Camelback Lot 13 and Hotel Land Development Plan. All in favor.
Motion carried.

Sanofi Pasteur Discovery Drive Widening Land Development Plan -
Plan was accepted at the 12/12/2016 mtg. **Last P.C. meeting is**
05/22/2017. J. Sawicki made a motion, seconded by M. Guidry, to
table the Sanofi Pasteur Discovery Drive Widening Land
Development Plan. All in favor. Motion carried. S. Gilliland
abstained.

Summit Health Campus Land Development Plan - Plan was accepted
at the 01/09/2017 mtg. **Last P.C. meeting is 05/08/2017.** J.
Sawicki made a motion, seconded by D. Purcell, to table the
Summit Health Campus Land Development Plan. All in favor. Motion
carried.

Day Star Holiness Bible Church Land Development Plan - Plan was
accepted at the 02/13/2017 mtg. **Last P.C. meeting is 06/12/2017.**
Boucher & James review letter of 03/10/2017 received. J. Sawicki
made a motion, seconded by R. DeYoung, to table the Day Star
Holiness Bible Church Land Development Plan. All in favor.
Motion carried.

SKETCH PLANS

Kenbar Route 715 Land Development Sketch Plan - Bernie
Telatovich, P.E. and William Cramer, Esq. represented the plan.
Mr. Telatovich indicated that the developer is proposing a 2,800
sq. ft. restaurant, with parking primarily in front and some
parking in rear. There would be a 12'x35' loading zone. The
stormwater management facilities will be located along the front
of the property. R. DeYoung questioned whether tractor trailers
would be making deliveries to the restaurant. Mr. Telatovich
indicated the box trucks would be used instead of tractor
trailers. Discussion followed regarding the SALDO requirement
for a traffic impact study. Since PennDOT has a traffic impact
study for the entire regional area, the developer would request
waiver from this requirement. Mr. Telatovich confirmed that the
developer is contributing monetarily to the PennDOT project.
Atty. Cramer indicated that they have to get direction from BOC
regarding flag lot before proceeding with the land development
plan.

PERMITS - NONE

PLANNING MODULE - NONE

PRESENTATION OF VARIANCE, SPECIAL EXCEPTIONS, CONDITIONAL USE,
ET AL, APPLICATIONS:

ADAMS OUTDOOR ADVERTISING CONDITIONAL USE APPLICATION

The applicant has provided a time extension and has requested this application be tabled. J. Sawicki made a motion, seconded by R. DeYoung, to table the Adams Outdoor Advertising Conditional Use Application. All in favor. Motion carried.

UNFINISHED BUSINESS: NONE

NEW BUSINESS: NONE

COMMENTS BY AUDIENCE: NONE

ADJOURNMENT:

J. Sawicki made a motion, seconded by D. Purcell, to adjourn the meeting until 05/08/2017 at 7:00 p.m., at the Pocono Township Municipal Building. All in favor. Motion carried.



Boucher & James, Inc.
CONSULTING ENGINEERS

AN EMPLOYEE OWNED COMPANY

INNOVATIVE ENGINEERING

Fountainville Professional Building
1456 Ferry Road, Building 500
Doylestown, PA 18901
215-345-9400
Fax 215-345-9401

2738 Rimrock Drive
Stroudsburg, PA 18360
570-629-0300
Fax 570-629-0306

559 Main Street, Suite 230
Bethlehem, PA 18018
610-419-9407
Fax 610-419-9408

www.bjengineers.com

May 5, 2017

Pocono Township Planning Commission
112 Township Drive
P.O. Box 197
Tannersville, PA 18372

**SUBJECT: POCONOS HOSPITALITY LAND DEVELOPMENT PLAN
ACCEPTANCE REVIEW
POCONO TOWNSHIP, MONROE COUNTY, PENNSYLVANIA
PROJECT NO. 1730043R**

Dear Planning Commission Members:

Pursuant to the Township's request, we have completed an acceptance review of the Land Development Plan Application for Poconos Hospitality. The submitted information consists of the following items.

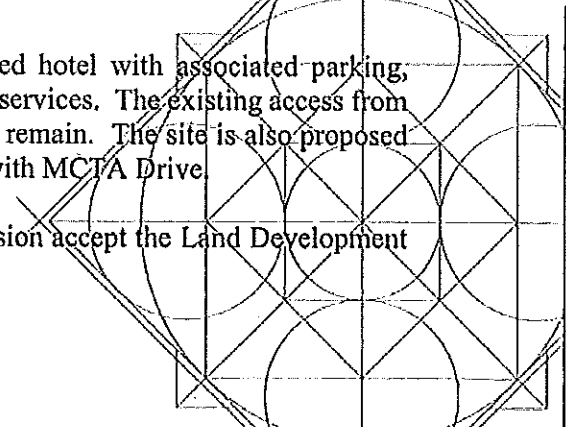
- Pocono Township Land Development Application.
- Erosion and Sediment Control Report prepared by R.J. Fisher & Associates, Inc., dated April 27, 2017.
- Post Construction Stormwater Management Report prepared by R.J. Fisher & Associates, Inc., dated April 27, 2017.
- Land Development Plan (10 Sheets) prepared by R.J. Fisher & Associates, Inc., dated April 27, 2017.

BACKGROUND INFORMATION

The Applicant, Poconos Hospitality, LLC, is proposing a land development located on the eastern side of State Route 0611, approximately 1,500 feet north of the intersection with Brookdale Road (Parcel No. 12/113048). The existing property is located within the I, Industrial Zoning District and consists of an existing police station and associated parking taking access from MCTA Drive via a driveway across the neighboring property.

The proposed land development consists of a 3-story, 96 bed hotel with associated parking, stormwater management facilities, and public water and sewer services. The existing access from MCTA Drive through the neighboring property is proposed to remain. The site is also proposed to take access from an improved Flute Road which intersects with MCTA Drive.

Based upon our review, we recommend the Planning Commission accept the Land Development

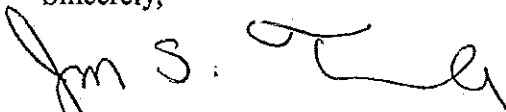


Pocono Township Planning Commission
May 5, 2017
Page 2 of 2

Plan for review providing all other requirements have been met including, but not limited to, formal written applications and application fees with establishment of an escrow to cover the costs of review.

If you should have any questions regarding the above comments, please call me.

Sincerely,

A handwritten signature in black ink, appearing to read "Jon S. Tresslar". The signature is fluid and cursive, with the first name "Jon" and last name "Tresslar" clearly distinguishable.

Jon S. Tresslar, P.E., P.L.S.
Township Engineer

JST/mep/cg

cc: Charles J. Vogt, Township Manager
Pam Tripus, Township Secretary
Michael Tripus, Township Zoning Officer
Leo DeVito, Esquire – Township Solicitor
Lisa Pereira, Broughal & DeVito, LLP
Robert J. Fisher, R.J. Fisher & Associates, Inc. – Applicant's Engineer
Niraj R. Parekh, Poconos Hospitality, LLC – Applicant/Equitable Owner
James L. Miller and William J. Miller – Owners
Melissa E. Prugar, P.E. – Boucher & James, Inc.

POCONO TOWNSHIP LAND DEVELOPMENT APPLICATION

Pocono Township
P.O. Box 197
Tannersville, PA 18372

The undersigned hereby applies for review by the Pocono Township Planning Commission and review and approval of the Board of Commissioners of Pocono Township for the plans submitted herewith and described below:

1. _____ Preliminary Plan Submission _____ Lot Line Adjustment
_____ X _____ Final Plan Submission _____ Lot Combination
_____ Final Plan-Minor Subdivision _____ Sketch Plan

2. Name of Land Development: _____ Poconos Hospitality _____

Plan Dated: _____ PIN: 12636404802545 _____

Volume No.: _____ Page No. : _____

Property located in the Township's Designated _____ Commercial _____ Zone.

3. Name of Property Owner(s): _____ James L. Miller and William J. Miller _____
(If corporation, provide corporations' name and address and two officers of corporation)

Address: _____ P.O. Box 472 Schuylkill Haven, Pa. 17972 _____

_____ Phone No.: _____

4. Name of Applicant: _____ Niraj R. Parekh (Equitable Owner) _____
(If other than owner)

Address: _____ Poconos Hospitality Inc. - 265 N. Hershey Road, Harrisburg, Pa. 17112 _____

_____ Phone No.: 717-471-5000 _____

5. Applicant's Interest if other than owner: _____ Equitable Owner _____

6. Engineer, Architect, Land Surveyor, or Landscape Architect responsible for plan:

_____ R.J. Fisher Engineering & Associates, Inc. _____

Address: _____ 1546 Bridge Street, New Cumberland, Pa. 17042 _____

_____ Phone No.: 717-774-7534 _____

7. Total Acreage: _____ 3.5 _____ Total Number of Lots: _____ 1 _____

8. Acreage of adjoining land in same ownership (if any): _____

9. Type of Development Planned: Single Family: _____
Two-Family: _____
Multi-Family: _____
Commercial: _____ Hotel _____
Industrial: _____
Other: _____

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PC

POCONO TOWNSHIP LAND DEVELOPMENT APPLICATION

10. Will construction of building be undertaken immediately X Yes _____ No

By Whom: Equitable Owner Person Subdividing

_____ Other Developer

_____ Purchasers of Individual lots

11. Type of water supply proposed: X Public (Municipal) system

_____ Private (Centralized)

_____ Individual (On Site)

12. Type of sanitary sewage

Disposal proposed:

X Public (Municipal) system

_____ Private (Centralized)

_____ Individual (On Site)

13. Are all streets proposed for dedication: _____ Yes X No

14. Acreage proposed for park or other public or semi-public use as per Ordinance 121, Article IX, Section 3.212:

15. Present zoning classification and zoning changes, if any, to be requested:

_____ Commercial _____

16. Have appropriate public utilities been consulted: X Yes _____ No

17. Material accompanying this Land Development Application:

Number

a) _____

b) X _____

c) _____

d) _____

e) _____

f) _____

Item

Preliminary Plan

Final Plan

Final Plan-Minor Subdivision

Development Agreement

Street Profiles and Cross-sections

Other

18. List all subdivision standards and requirements which have not been met and for which a waiver or change is to be required: Preliminary Plan Submittal-- SALDO Section 303.1 _____

The undersigned represents that to the best of his knowledge and belief, all the above statements are true and correct, and complete.

Date: 4/27/17

Signature of Owner or Applicant: _____

(By) Robert J. Fisher

POCONO TOWNSHIP PLAN RECEIPT CHECK LIST

Name of Subdivision or Land Development Plan: Poconos Hospitality

Property Identification # 12636404802545

Date: 4/27/17

Name of Developer: Poconos Hospitality, LLC Name of Engineer or Surveyor: R.J. Fisher & Associates, Inc.

Address: 265 N. Hershey Rd Address: 1546 Bridge Street
Harrisburg, Pa. 17112 New Cumberland, Pa. 17070

Phone: 717-471-5000 Phone: 717-774-7534

Email: niraj@slmraj.com Email: abk@rjfisherengineering.com

Preliminary Major Subdivision and/or Land Development

Yes No

- ☐ ☐ Signed dated Application - 14 copies
- ☐ ☐ Professional Services Agreement and Escrow payment
- ☐ ☐ Required Application Fees
- ☐ ☐ Plan - 14 copies - (5 full sets, 9 - 11"x17", and 1 electronic -CD)
- ☐ ☐ Storm Water Management (SWM) Report - 3 copies
- ☐ ☐ Wetland Study or abbreviated Study (if warranted) - 14 copies
- ☐ ☐ Planning Modules Information as per DEP requirement - 4 copies
- ☐ ☐ Copy of Erosion and Sedimentation Narrative (may be submitted with final unless applicant opts to build under Preliminary plan approval) - 3 copies
- ☐ ☐ Modification Request Application for all requested Modifications - 14 copies
- ☐ ☐ PennDot Highway Occupation Permit (HOP) or acknowledgement of project if fronting state road and non-residential - 4 copies
- ☐ ☐ Professional Services Agreement - 1 copy with W-9 form

Plan is either Preliminary or Final. There are no provisions in the ordinance for a Preliminary/Final Submission. Such Submission would require a Modification Request with the plan application.

Final Major Subdivision and/or Land Development

Yes No

- ☒ ☐ Signed dated Application - 19 copies
- ☒ ☐ Professional Services Agreement and Escrow payment
- ☒ ☐ Required Application Fees
- ☒ ☐ Plan -19 copies - (5 full sets, 14 - 11"x17", and 1 electronic- CD)
- ☒ ☐ Storm Water Management (SWM) Report - 3 copies
- ☒ ☐ Wetland Study or abbreviated Study (if warranted) (if preliminary plan submittal was waived) -19 copies
- ☒ ☐ Planning Modules Information (if preliminary plan submittal was waived) as per DEP requirement- 4 copies
- ☒ ☐ Copy of Erosion and Sedimentation Narrative - 3 copies
- ☒ ☐ Modification Request Application for all requested Modifications (if Modifications approved with Preliminary Plan, then provide listing on Final Plan) - 19 copies
- ☐ ☒ PennDot Highway Occupation Permit (HOP) or acknowledgement of project if fronting state road and non-residential - 4 copies

Plan is either Preliminary or Final. There are no provisions in the ordinance for a Preliminary/Final Submission. Such Submission would require a Modification Request with the plan application.

Minor Subdivision Plan Check List

Yes No

- ☐ ☐ Signed dated Application - 17 copies
- ☐ ☐ Professional Services Agreement and Escrow payment
- ☐ ☐ Required Application Fees
- ☐ ☐ Plan -17 copies - (3 full sets, 14 - 11"x17", and 1 electronic- CD)
- ☐ ☐ Wetland Study or abbreviated Study (if warranted) - 17 copies
- ☐ ☐ Modification Request for all requested Modifications - 17 copies
- ☐ ☐ Tract History for verification of minor plan consideration - 17 copies
- ☐ ☐ Minor Planning Modules as per DEP Requirement - 4 copies
- ☐ ☐ PennDot Highway Occupation Permit (HOP) or acknowledgement of project if fronting state road and non-residential - 4 copies if Applicable.

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 APR 28 2017
 POCONO TOWNSHIP

APPENDIX G

REQUEST FOR MODIFICATION

Name of Applicant: Poconos Hospitality, LLC Niraj R. Parekh, President

Name of Subdivision or Land Development: Poconos Hospitality

Section of Subdivision and Land Development Ordinance: §

Justification for Relief: Section requiring Preliminary Plan
(Section Number to be Supplied by Township Staff)

Expedition of review process

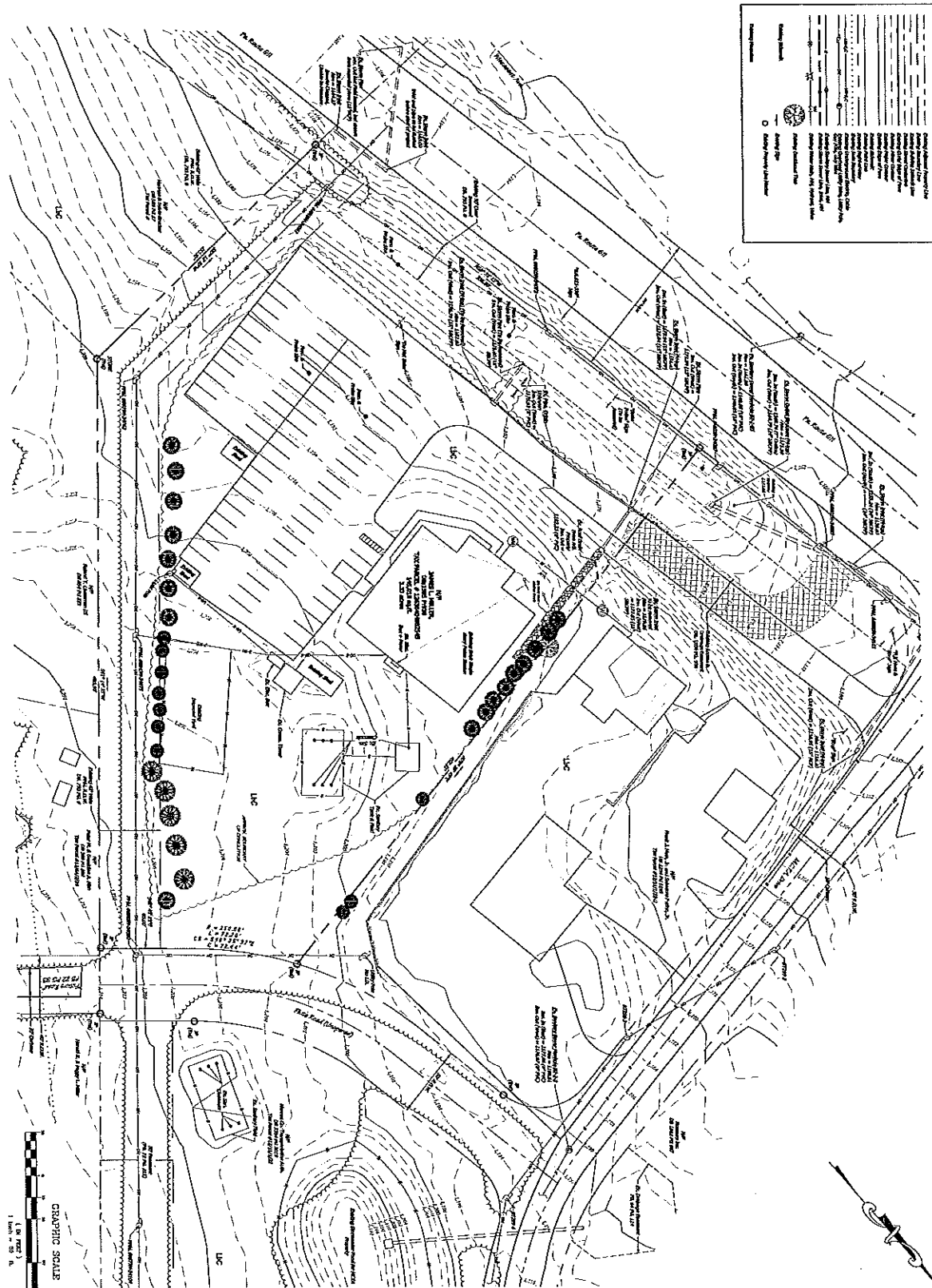
Is the hardship self-imposed? X Yes No

Is the hardship related to financial issues? Yes X No

Will relief from the referenced section of the Subdivision and Land Development Ordinance alter the intent of the Ordinance?

Yes No Explain No, it will simply save time since this is a small project.

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APR 28 2017
POCONO TOWNSHIP



**EXISTING CONDITIONS &
DEMOLITION PLAN
FOR
POCONOS HOSPITALITY
LOCATED IN
POCONO TOWNSHIP, MONROE COUNTY, PA**



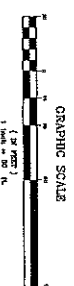
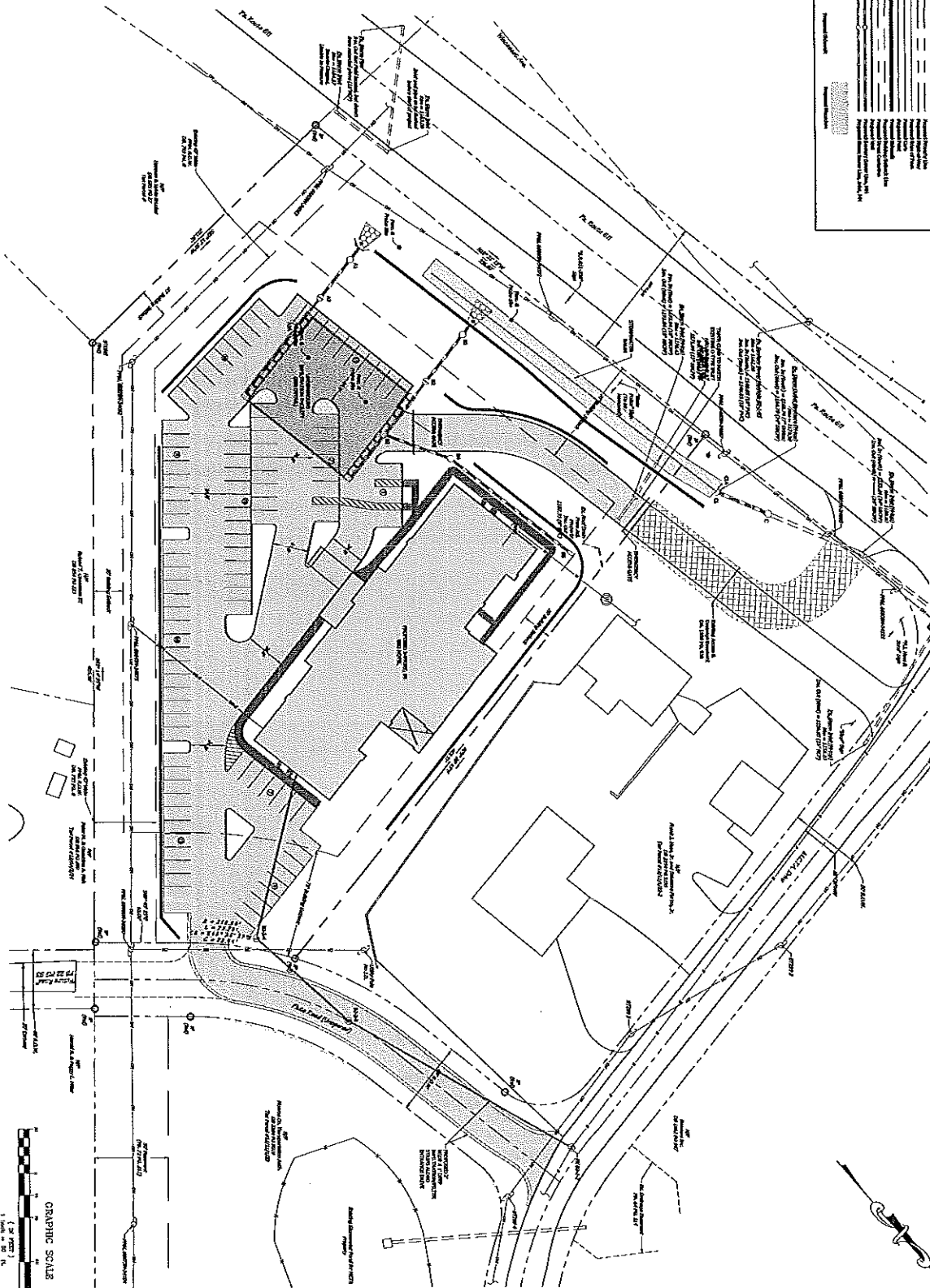
R. J. FISHER & ASSOCIATES, INC.
• SITE PLANNING • CIVIL ENGINEERING • LAND SURVEYS
1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17670
PHONE: (717) 774-7534 FAX: (717) 774-7190
WWW.RJFISHERENGINEERING.COM

No.	REVISION	DATE
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REVISIONS

No.	REVISION	DATE
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LAND DEVELOPMENT PLAN
 FOR
POCONOS HOSPITALITY
 LOCATED IN
 POCONO TOWNSHIP, MONROE COUNTY, PA

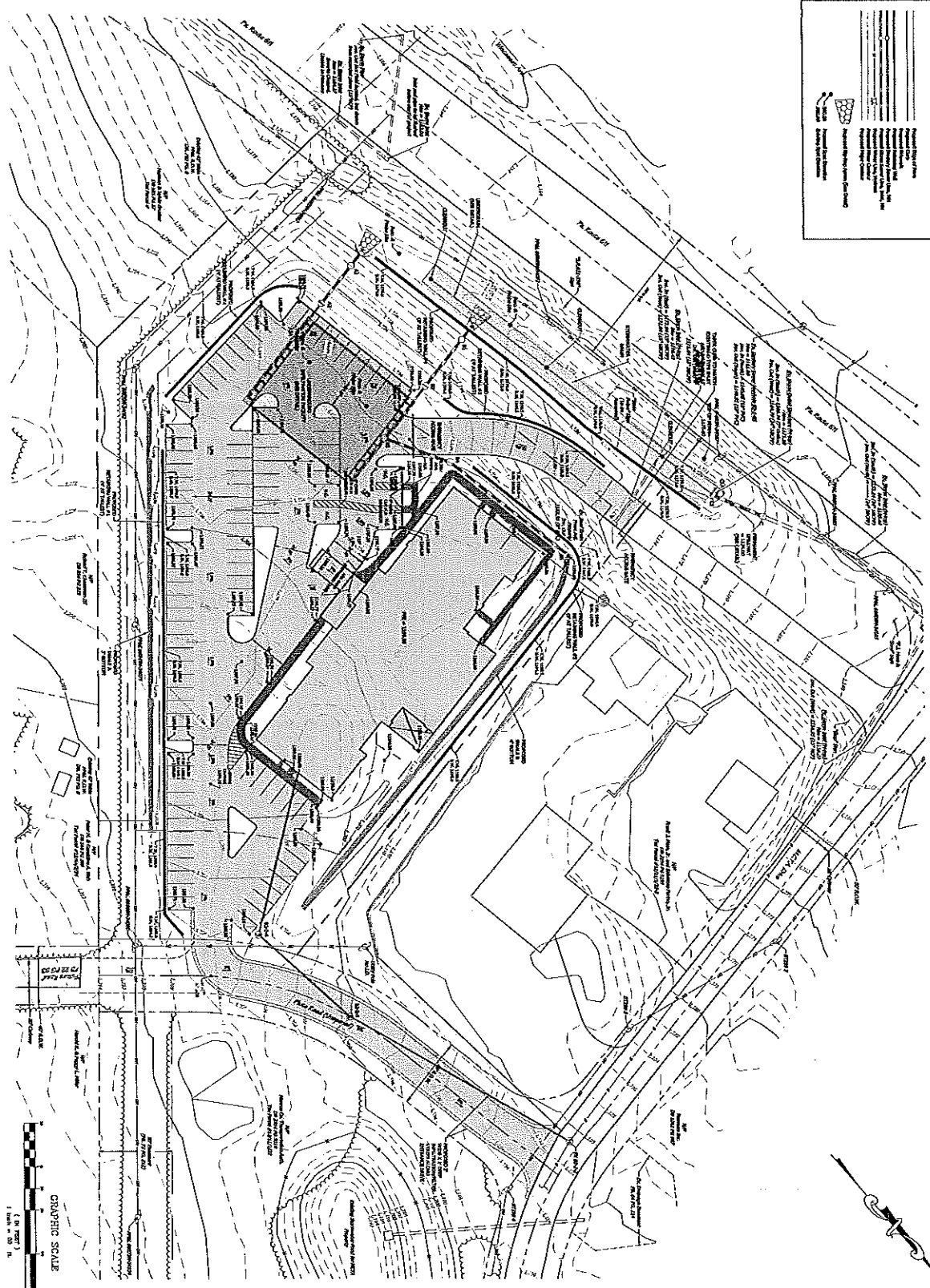


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No.	REVISION	DATE
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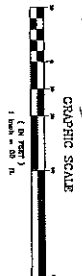
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Sheet 10 of 10
 DATE: 6/27/2017
 PROJECT: 3 OF 10



LEGEND

	Proposed Building
	Proposed Parking
	Proposed Driveway
	Proposed Road
	Proposed Fencing
	Proposed Retention Wall
	Proposed Stormwater Management
	Proposed Utility
	Proposed Erosion Control
	Proposed Landscaping



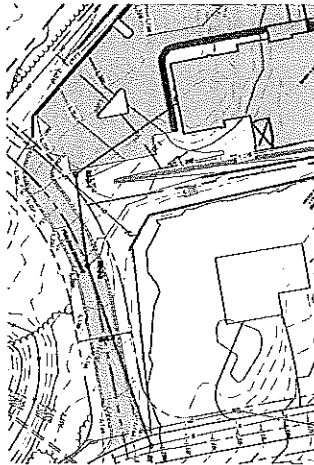
GRADING PLAN & PCSM PLAN
 FOR
POCONOS HOSPITALITY
 LOCATED IN
 POCONO TOWNSHIP, MONROE COUNTY, PA



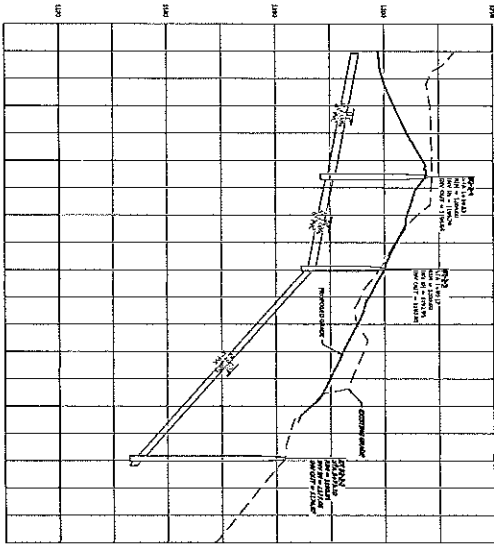
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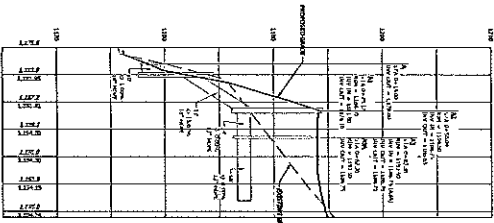
Plan View of Sanitary Sewer Ex. 10-2-2 to 10-2-4
Scale 1" = 50'



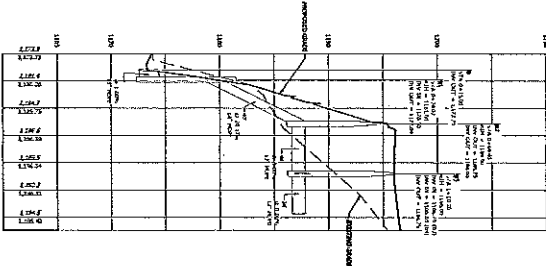
Profile View of Sanitary Sewer 0+25.00 - 4+50.00
Horizontal Scale 1" = 30'
Vertical Scale 1" = 3'



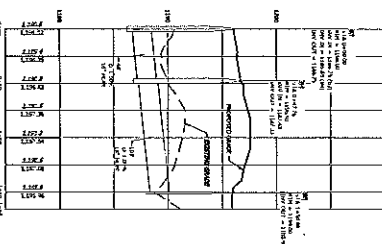
Plan View of all Storm Sewers
Scale 1" = 50'



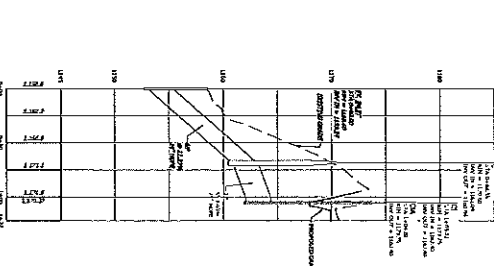
Profile View of A to B Sta. 0+00.00 - 1+55.32
Horizontal Scale 1" = 30'
Vertical Scale 1" = 3'



Profile View of B to 10 Sta. 0+00.00 - 1+61.71
Horizontal Scale 1" = 30'
Vertical Scale 1" = 3'



Profile View of 10 to 15 Sta. 0+00.00 - 1+65.89
Horizontal Scale 1" = 30'
Vertical Scale 1" = 3'



Profile View of 15 to 20 Sta. 0+00.00 - 1+72.83
Horizontal Scale 1" = 30'
Vertical Scale 1" = 3'

**STORMWATER & SANITARY SEWER
PROFILES**
FOR
POCONO HOSPITALITY
LOCATED IN
POCONO TOWNSHIP, MONROE COUNTY, PA



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PHONE: (717) 774-7534 FAX: (717) 774-7190
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DESIGNED BY: JLF/MS/MS
DATE: 4/19/2017
CHECKED BY: JLF/MS/MS
DATE: 4/19/2017

DATE	4/27/2014
TIME	7 OF 10

No.	REVISION	DATE
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EROSION CONTROL PLAN
GENERAL NOTES

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PERMANENT BINDING AVAILABLE
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- Specials:**
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For general information:
303 Kennedy Avenue
402 Phoenix Crossing Red

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- ### STAGING OF EARTHMOVING ACTIVITIES

1-800-242-1775 for the

- a. At each subsequent date, the company will compare the actual results with the budgeted results. Each step will be compared to the immediately established base, not the original budget. If the actual results are better than the budgeted results, the company will increase the budget for the next period. If the actual results are worse than the budgeted results, the company will decrease the budget for the next period.
- b. At each subsequent date, the company will compare the actual results with the budgeted results. Each step will be compared to the immediately established base, not the original budget. If the actual results are better than the budgeted results, the company will increase the budget for the next period. If the actual results are worse than the budgeted results, the company will decrease the budget for the next period.
- c. Immediately upon identifying unfavorable differences, the potential for corrective action will be apparent. The operator will implement corrective action as soon as possible. The operator will implement corrective action as soon as possible. The operator will implement corrective action as soon as possible.

7. At least 7 down barriers

- C. Invasively alter native disturbance column cover, the species that stabilize the disturbed areas. During opportunistic periods, masts must be applied to the species column. Disturbance events which are not at random grade and with the species column.**

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or else at which will not

2. All sampling of sediment within water shall be through a sediment coring device, such as a Ponar or other long or automatic sediment coring device, discharging over stabilized dunes.

WESTERN STRINGS OF CALDWAYWOOD ACTION

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Abstract Add a 6" rise in seating could control effluent
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Cutting wheels were found not to be affected and good work was done in the body and necking in the secondary metal cutting.

25. *Conductance*—conductivity and quality for the proposed parking, air-water, road, building and other engineering works. The proposed works shall be designed to meet the minimum standards for the proposed works, and shall be designed to meet the minimum standards for the proposed works, and shall be designed to meet the minimum standards for the proposed works.

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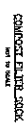
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These studies have been conducted in the laboratory and in the field. The results have been consistent in showing that the removal of the outer layer of the shell, the periostracum, results in a marked increase in the rate of growth. The removal of the outer layer of the shell, the periostracum, results in a marked increase in the rate of growth. The removal of the outer layer of the shell, the periostracum, results in a marked increase in the rate of growth.

- These results have important implications for the study of the effects of the 1994 trade liberalization on the welfare of the Mexican population. First, it is important to note that the results show that the welfare of the Mexican population has increased since the implementation of the trade liberalization. This is a positive result for the Mexican population, as it indicates that the trade liberalization has had a positive impact on the welfare of the Mexican population. Second, the results show that the welfare of the Mexican population has increased more for the urban population than for the rural population. This is a negative result for the Mexican population, as it indicates that the trade liberalization has had a negative impact on the welfare of the rural population. Third, the results show that the welfare of the Mexican population has increased more for the middle class than for the poor. This is a negative result for the Mexican population, as it indicates that the trade liberalization has had a negative impact on the welfare of the poor. Fourth, the results show that the welfare of the Mexican population has increased more for the private sector than for the public sector. This is a negative result for the Mexican population, as it indicates that the trade liberalization has had a negative impact on the welfare of the public sector. Finally, the results show that the welfare of the Mexican population has increased more for the manufacturing sector than for the services sector. This is a negative result for the Mexican population, as it indicates that the trade liberalization has had a negative impact on the welfare of the services sector.

All temporary staffing institutions must be eventually building facilities and be listed, dumped, or dissolved.

- for individual building construction or future phase construction, specifying an interim



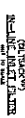
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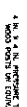
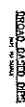
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Fax 570-629-0306

559 Main Street, Suite 230
Bethlehem, PA 18018
610-419-9407
Fax 610-419-9408
www.bjengineers.com

May 5, 2017

Pocono Township Planning Commission
112 Township Drive
P.O. Box 197
Tannersville, PA 18372

**SUBJECT: SANOFI PASTEUR, INC. DISCOVERY DRIVE WIDENING
PRELIMINARY/FINAL LAND DEVELOPMENT REVIEW NO. 2
POCONO TOWNSHIP, MONROE COUNTY, PENNSYLVANIA
PROJECT NO. 1630030R**

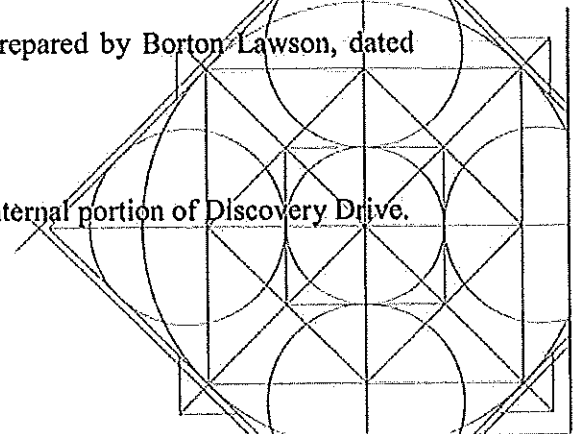
Dear Planning Commission Members:

Pursuant to the Township's request, we have completed our second review of the Discovery Drive Widening Land Development Application. The submitted information consists of the following items.

- Response letter prepared by Borton Lawson, dated April 14, 2017.
- Property Deed.
- Map Check for Lot Consolidation prepared by Borton Lawson, dated January 27, 2010.
- WB-50 Truck Turning Movement Map prepared by Borton Lawson, dated April 14, 2017.
- ADA Accessibility Plan, Sheet ADA-1 prepared by Borton Lawson, dated April 14, 2017.
- Erosion and Sediment Pollution Control Plan prepared by Borton Lawson, dated December 2, 2016, revised April 14, 2017.
- Post Construction Stormwater Management Plan prepared by Borton Lawson, dated December 2, 2016, revised April 14, 2017.
- Existing Resource and Site Analysis Map (5 sheets) prepared by Borton Lawson, dated December 2, 2016.
- Overall Stormwater Plan (6 sheets) prepared by Borton Lawson, dated December 2, 2016.
- Site Context Map (1 sheet) prepared by Borton Lawson, dated December 2, 2016, revised April 14, 2017.
- Steep Slope Analysis Plan prepared by Borton Lawson, dated December 2, 2016, revised April 14, 2017.
- Preliminary/Final Land Development Plans (16 sheets) prepared by Borton Lawson, dated December 2, 2016, revised April 14, 2017.

BACKGROUND INFORMATION

The Applicant, Sanofi Pasteur, Inc. is proposing to widen an internal portion of Discovery Drive.



The existing property is located within the I, Industrial, C, Commercial, and R-1, Residential Zoning Districts, has an area of approximately 189 acres and consists of medical laboratories, medical manufacturing, and office buildings with associated parking. Swiftwater Creek traverses the northern portion of the site, and areas of wetlands exist throughout the property.

The proposed development includes widening an internal portion of Discovery Drive adjacent to existing buildings B-77 and B-57 (located approximately 500 feet from the intersection with S.R. 0611). An accessible concrete sidewalk from Discovery Drive to an existing cross walk located to the west of building B-77, and stormwater management are also proposed.

Based on our review of the above information, we offer the following comments and/or recommendations for your consideration.

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

1. Comment satisfied.
2. In accordance with Section 306.2.6.C, "the Applicant shall be responsible for submission of the Plan and all required supporting documentation to the Monroe County Planning Commission, the Monroe County Conservation District, PennDOT, and all other governing agencies". *Submission must be made to the Monroe County Planning Commission and Monroe County Conservation District. All submissions, and review and approval letters must be provided to the Township upon receipt. (Previous Comment)*
3. In accordance with Section 306.13, "upon completion of all improvements, the Applicant shall provide to the Township two (2) paper sets of plans and one (1) compact disk with the plans in PDF format certified by the Applicant's engineer showing all such improvements installed to document conformance with the Record Plan. Failure of the Applicant to provide as-built plans shall constitute a violation of this Ordinance, and shall be subject to all the enforcement proceedings contained in this Ordinance and may result in rescission of approval." (See Section 408 for As-Built requirements.) An As-Built Plan deviating in any respect from the Record Plan will require a revised Land Development Plan to be submitted for approval. *Upon completion of the proposed improvements the required as-built plan must be prepared and submitted for review. (Previous Comment) This comment has been acknowledged.*
4. Comment satisfied.
5. Comment satisfied.
6. In accordance with Section 406.2, "a map compiled from existing information showing the location of the proposed land development within its neighborhood context shall be submitted. For sites under 100 acres in area, such maps shall show the relationship of the subject property to natural and man-made features existing within 1,000 feet of the site. For sites of 100 acres or more the map shall show the above relationships within 2,000 feet of the site. The features that shall be shown on Site Context Maps include topography (from U.S.G.S. maps), stream valleys, wetland complexes (from maps published by the U.S. Fish and Wildlife Service or the

U.S.D.A. Natural Resources Conservation Service), woodlands over one-half acre in area (from aerial photographs), ridge lines, public roads and trails, utility easements and rights of way, public land, and land protected under conservation easements." *The Site Context Map showing the required existing features within 2,000 feet of the project site must be submitted. (Previous Comment) A Site Context Map has been provided, however existing topography must still be shown on the Map.*

7. Comment satisfied.
8. Comment satisfied.
9. Comment satisfied.
10. Comment satisfied.
11. Comment satisfied.
12. Comment satisfied.
13. Comment satisfied.
14. In accordance with Section 406.6.F, the Land Development Plan shall be accompanied with "proof of legal interest in the property, a copy of the latest deed of record and a current title search report". *The current property deed and a title search must be submitted. (Previous Comment) The response indicates a title search is not required as the project is located entirely within the limits of the Applicant's property. A title search should still be performed to determine if others, such as utility companies or the Township, have any interest in this area of the property (i.e., easements). Otherwise, a waiver is required.*
15. Comment satisfied.
16. In accordance with Section 406.6.J, the Land Development Plan shall be accompanied by "confirmation that the soil erosion and sedimentation control plan has been accepted for review by the Monroe County Conservation District. (See also Section 610.)" *An NPDES Permit Number is referenced on the Plan. A Letter of Adequacy from the County Conservation District and a revised NPDES Permit must be provided. (Previous Comment) The response indicates approval letters will be provided upon receipt.*
17. Comment satisfied.
18. In accordance with Section 500, "No final plan shall be signed by the Board of Commissioners for recording in the office of the Monroe County Recorder of Deeds until:
 - A. All improvements required by this Ordinance are installed to the specifications contained in Article VI of this Ordinance and other Township requirements and such improvements are certified by the Applicant's Engineer; or,

- B. Proposed developer's agreements and performance guarantee in accord with Section 503 and the Pennsylvania Municipalities Planning Code, Act 247 of 1968 as amended, have been accepted by the Board of Commissioners."

A performance guarantee, per Section 503, must be provided prior to plan recordation. A construction cost estimate shall be submitted for review. (Previous Comment) The response indicates the cost estimate and performance guarantee will be discussed with the Township.

19. Comment satisfied.

20. In accordance with Section 506.2.3, "in the case where roads, drainage facilities, a central sewage treatment system or central water supply, or any other improvements are to remain private, the developer shall provide for the establishment of an escrow fund in accord with Section 503.1 to guarantee the operation and maintenance of the improvements. Said fund shall be established on a permanent basis with administrative provisions approved by the Board of Commissioners. The amount of said fund shall be fifteen (15) percent of the construction cost of the system as verified by the Township Engineer. The maintenance and operation of the improvements and the administration of any required maintenance fund account, shall be clearly established as the joint responsibility of the owner(s) of each structure or dwelling unit served by such system. Such responsibility and the mechanism to accomplish same shall be established by deed covenants and restrictions which shall be subject to the approval of the Board of Commissioners." *A maintenance fund shall be established for the continued maintenance of the proposed rain garden. (Previous Comment) The response indicates the required maintenance fund will be discussed with the Township.*

21. In accordance with Section 509, "all applicants proposing any subdivision and/or land development requiring the installation of improvements as required by this Ordinance shall, prior to final plan approval by the Board of Commissioners, and if so directed by the Board of Commissioners, enter into a legally binding development agreement with the Township whereby the developer guarantees the installation of the required improvements in accord with the approved plan and all Township requirements". *A development agreement must be executed prior to plan recordation. (Previous Comment) The response indicates the development agreement will be discussed with the Township.*

22. Comment satisfied.

23. Comment satisfied.

24. Comment satisfied.

25. Comment satisfied.

26. Comment satisfied.

27. Comment satisfied.

28. In accordance with Section 610.A, "all soil erosion and sedimentation control plans shall meet the specifications of the Monroe County Conservation District and PADEP, and shall comply with Commonwealth of Pennsylvania, Title 25, Chapter 102 Department of Environmental Protection regulations for soil erosion and sedimentation control". *An NPDES Permit Number is referenced on the Plan. A Letter of Adequacy from the County Conservation District and a revised NPDES Permit must be provided. (Previous Comment) The response indicates approval letters will be provided upon receipt.*
29. In accordance with Section 615.2, "unless other provisions of this Ordinance require more trees or vegetation, each development site shall include a minimum of twelve (12) deciduous or evergreen trees for each one (1) acre. Each deciduous tree shall be two and one-half (2.5) inch caliper or greater and each evergreen tree shall be six to seven (6 to 7) feet in height or greater. As an alternate, ten (10) trees for each one (1) acre shall be required if deciduous trees are four (4) inches in caliper or greater and evergreen trees are eight to ten (8 to 10) feet in height or greater. Five (5) shrubs two and one-half (2.5) feet in height or greater may be substituted for one tree of two and one-half (2.5) inch caliper for a maximum of twenty (20) percent of the tree requirement." *Eighteen (18) deciduous or evergreen trees shall be provided. No trees are proposed. Individual trees and woodlands exist on the property, and no woodland or trees are proposed to be removed or disturbed. In accordance with Section 615.2.C, "if healthy, existing trees will be preserved which will generally meet the requirements of this section, the Township may, in its discretion, permit the existing tree(s) to serve as a credit toward the number of shade trees required to be planted." (Previous Comment) A riparian buffer including 45 trees and 95 shrubs is proposed south of Discovery Drive, adjacent to the Discovery Drive Turn Lane Project. The Applicant intends to utilize this riparian buffer to satisfy this the requirement to place 18 deciduous or evergreen trees. The Township shall determine if this is acceptable.*
30. In accordance with Section 615.4.A, street trees are required along all existing streets abutting or within the proposed land development. *Street trees are required along S.R. 0611 and Discovery Drive. (Previous Comment) A waiver from Section 615.4.A is requested due to site constraints including existing electric and sanitary sewer easements. In accordance with Section 903.2, the waiver request must be provided in writing on the form provided by the Township.*
31. Comment satisfied.
32. In accordance with Section 615.6.C.2 "an on-site investigation by the applicant shall identify the adjacent land uses along each property boundary. In the case of vacant land, the uses permitted by the Zoning Ordinance shall be used. The existing or zoned uses shall be noted on the plan; and, the case of several permitted uses on a site, the most restrictive requirements shall apply. The Township shall make the final determination of the designation of the existing or zoned land uses. *Per Table 615-1 a high buffer type with a width of 20 feet is required. In accordance with Section 615.6.C.7, "existing healthy trees, shrubs, or woodlands may be substituted for part or all of the required plants with the approval of the Township. The minimum quantities and/or visual effect of the existing*

vegetation shall be equal to or exceed that of the required buffer as determined by the Township. It appears woodlands exist along the property boundary. The Applicant shall address location and maturity of the existing woodlands. (Previous Comment) The response indicates existing riparian buffers and healthy trees meet, or exceed, the required buffer. Per Section 615.6.C.7, the Township shall determine if the existing riparian buffers and trees can be a substitute to the required buffer.

BRODHEAD AND MCMICHAELS CREEK ORDINANCE COMMENTS

The proposed development is located within District B-2 of the Brodhead Creek watershed and is tributary to Swiftwater Creek which is a High Quality/Cold Water Fishery (HQ/CWF).

33. In accordance with Sections 308.A and 403.A.4, any earth disturbance must be conducted in conformance with PA Title 25, Chapter 102, "Erosion and Sediment Control", and all reviews and letters of adequacy from the County Conservation District must be submitted. *An NPDES Permit Number is referenced on the Plan. A Letter of Adequacy from the County Conservation District and a revised NPDES Permit must be provided. (Previous Comment) The response indicates approval letters will be provided upon receipt.*

ADDITIONAL STORMWATER AND STORM SEWER COMMENTS

34. Comment satisfied.
35. Comment satisfied.
36. Comment satisfied.
37. Comment satisfied.
38. Comment satisfied.
39. Comment satisfied.
40. Storm sewer profiles shall be provided for the proposed storm sewer. *(Previous Comment) Storm sewer profiles must also be provided for YD-5 to MH-2, and I-1 to YD-1.*

MISCELLANEOUS COMMENTS

41. Comment satisfied.
42. On Sheet C301, it appears that the slopes along the proposed sidewalk and handicap ramps exceed five percent (5%) and do not provide required landing areas. More detailed design of the proposed handicap ramps and associated sidewalk shall be provided including spot elevations and slopes to confirm accessibility. *(Previous Comment) A scale shall be provided on the ADA Accessibility Plan, Sheet ADA-1. Additional spot elevations must be provided at the top of curb nearest the proposed Type 2 ADA Ramp along Discovery Drive and at all landing areas.*

43. Comment satisfied.

44. A 24F Snout Oil and Debris Stop detail is provided on Sheet C904. The location of the proposed snouts shall be shown in plan view, and the installation of the snouts shall be included in the Sequence of Construction Activities on Sheet C907. *(Previous Comment)*
A detail for the proposed water quality device must be provided on the plan.

45. Comment satisfied.

46. Comment satisfied.

PLAN REVISION COMMENTS

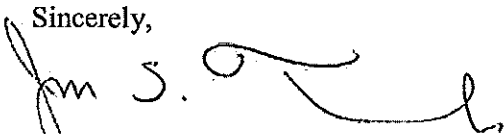
47. The Rational C values calculated for proposed inlets I-1 and I-2, and proposed Swales 1, 2, and 4 appear low and should be revised.

48. The Invert UP Elevation at P-7 in the Pipe Schedule on Sheets C301 and C401 is inconsistent with that provided in the Pipe Calculations, and must be revised.

49. Stormwater is now proposed to discharge into the existing storm sewer pipe XP-3, and pipe data and calculations must be provided.

If you should have any questions regarding the above comments, please call me.

Sincerely,



Jon S. Tresslar, P.E., P.L.S.
Township Engineer

JST/mep/cg

cc: Charles J. Vogt, Township Manager
Pam Tripus, Township Secretary
Michael Tripus, Township Zoning Officer
Leo DeVito, Esquire – Township Solicitor
Lisa Pereira, Broughal & DeVito, LLP
Aaron M. Sisler, P.E., Borton-Lawson – Applicant's Engineer
Sanofi Pasteur, Inc. – Owner/Applicant



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ENGINEERING
ARCHITECTURE

April 14, 2017

RECEIVED
APR 24 2017
POCONO TOWNSHIP

Mr. Jon Tresslar, P.E.
Pocono Township Engineer
Boucher & James, Inc
559 Main Street, Suite 230
Bethlehem, PA 18018

RE: Sanofi Pasteur Discovery Drive Widening Project
Preliminary/Final Land Development Plan Review
Pocono Township, Monroe County, Pennsylvania

BL No.: 2016-2228-007

Dear Mr. Tresslar:

On behalf of our client, Sanofi Pasteur, we offer the following responses to the review letter provided by your office on January 9, 2017:

Subdivision and Land Development Ordinance Comments

1. The cover sheet has been revised as per comment. Refer to plan sheet CS1 for details.
2. Submission packages have been submitted to all applicable agencies. Approval letters will be provided upon receipt.
3. As-built plans will be provided for review at the completion of project.
4. The cover sheet has been revised as per comment. Refer to plan sheet CS1 for details.
5. The Overall Existing Conditions plan has been reviewed. The plan sheet view has been adjusted to provide a more legible plan sheet and the property line labeling and corresponding charts have been reviewed against the boundary closure report and property deed provided with the resubmission. Refer to plan sheet C100, property deed and the boundary closure report for details.
6. A Site Context Map has been included with the resubmission. Refer to plan sheet Site Context Map for details.
7. An ERSA plan set has been included with the resubmission. Refer to ERSA plan set sheets 1 through 5 for details.
8. The proposed development areas, as shown in the Land Development and ERSA plan sets, have been taken into account in preparing the Resource Impact and Conservation Analysis. Site disturbances have been minimized to the greatest extent practicable and would be likely to cause no more than an insignificant

Bethlehem
Harrisburg
Pittsburgh
State College
Wilkes-Barre

BETHLEHEM
3897 Adler Place
Bethlehem, PA 18017

Phone: 484.821.0470

Fax: 484.821.0474

impact upon the site's resources. Refer to ERSA plan set sheets 1 through 5 for details.

9. Signature blocks for the Township Engineer and Monroe County Planning Commission have been included as per comment. Refer to plan sheet CS1 for details.
10. A written scale has been provided on the plan sheets as per comment. Refer to plan sheets C100, C101, C201, C301, C401 and C601 for details.
11. The Township covenant/notes included on the cover sheet have been revised to include building setback as per comment. Refer to plan sheet CS1 for details.
12. The Township covenant/notes included on the cover sheet have been revised to include the covenant as per comment. Refer to plan sheet CS1 for details.
13. Movements of over-sized vehicles are restricted throughout campus by Sanofi Pasteur's safety/security personnel. Over-sized vehicles, (any size vehicle in general), are prohibited, (discouraged), from making a right turn from Discovery Drive onto Laurel Lane. The purpose of the additional travel lane is for site egress during peak work hours.

Sanofi Pasteur is diligent in enforcing their campus safety directives, but there is the possibility of individuals not following proper procedures. Our office has included a turning movement diagram for a WB-50 vehicle executing this movement in the unlikely chance that it may occur. Refer to exhibit TD-1 for details.
14. A copy of the property deed has been included as per request. All proposed work is included within the area stated on the property deed, as well as the boundary closure report. A title search is not needed for the proposed project.
15. A list a required approvals has been included under the Notes section on the cover sheet. Refer to plan sheet CS-1 for details.
16. Submission packages have been submitted to all applicable agencies. Approval letters will be provided upon receipt.
17. A Land Development Plan Engineering Certification has been included on the cover sheet. Refer to plan sheet CS-1 for details.
18. The cost estimate and performance guarantee will be discussed with the Township.
19. Township Covenant No. 7 is included on sheet CS1 regarding the responsibility of maintenance.
20. A maintenance fund will be discussed with the Township.
21. A developer's agreement will be discussed with the Township.
22. The locations of the overall steep slope impacts and undisturbed easement areas cannot be determined at this time, a specific steep slope easement location has

not been provided. The owner agrees to a blanket steep slope easement incorporating 65% of the steep slope areas. Refer to Steep Slope Analysis plan 1 of 1 for details.

23. The note has been included on the Steep Slope Analysis plan sheet as per comment. Refer to Steep Slope Analysis plan 1 of 1 for details.
24. The detail has been revised as per comment. Refer to C905 for details.
25. The proposed grading throughout the site meets the grading requirements for PADEP structural and non-structural BMP design. Proposed cut/fill grading for the rain garden adjacent to the proposed roadway is one (1) foot vertical to three (3) feet horizontal. The foreslope grading of the remainder of the roadside grading is greater than 1 foot vertical to 3 feet horizontal (first four to five feet adjacent to the proposed roadway). A shallow, vegetated swale is excavated along the roadway's foreslope, (excavation is within an acceptable slope range) and the swale ties into the existing backslope grade approximately five feet above roadside elevation.

All proposed grading adjacent to the proposed pavement is in cut excavation and not fill embankment. Refer to plan sheet C301 for details.

26. The note has been added to the pavement structure detail as per comment. Refer to C905 for details.
27. The note has been added to the pavement structure detail as per comment. Refer to C905 for details.
28. Submission packages have been submitted to all applicable agencies. Approval letters will be provided upon receipt.
- a. Sock has been included at location as per comment. Refer to plan sheet C401 for details.
 - b. The location and detail has been included as per comment. Refer to plan sheet C902 for details.
 - c. The sequence has been amended as per comment. Refer to plan sheet C901 for details.
 - d. A details has been included as per comment. Refer to plan sheet C902 for details.
29. The proposed project does not plan to remove any existing site vegetation. The Discovery Drive Widening project went through several iterations in the design process. Relocation of the drive, expansion to the south, removal of the vegetated island to name but a few. It was determined widening to the north would be feasible and have the least amount environmental impacts. The widening to the south or the vegetated island removal would have required removal of existing, healthy trees. Our client offers the vegetation within the riparian buffer offsetting and the evergreen trees to the south of Discovery Drive to serve as a credit for the proposed project. There are 45 large trees and 95 small trees/shrubs within the riparian buffer offsetting and greater than six (6)

evergreen trees to the south of Discovery Drive to meet the six (6) trees required by this project.

30. A modification is being requested due to site restraints caused by utility easements. Refer to plan sheet CS1 for details.
31. The plant table has been included as per comment. Refer to C906 for details.
32. The small section of Discovery Drive that is part of this project is internal to the site, well out of view of the traveling public and adjacent property owners. Our client offers the existing trees to the south, (immediately adjacent to the project), as well as the approximately 350 feet of untouched woodlands to the south of the project, in meeting the intent of the Section 615 of the ordinance.

The stream, surrounding wetland complex, and upland areas within this woodland are considered PADEP Class 1 and Class 2 forested riparian buffer. The buffer consists of a variety of native species including, but not limited to, red maple, eastern hemlock, red oak, highbush blueberry, black gum, yellow birch and black birch. The existing vegetation is healthy and ranges in maturity from saplings to old growth, ten (10) inch plus caliber trunks providing over 60% canopy cover in the areas surrounding the stream. The minimum quantity of healthy trees and visual effect of the existing vegetation in the woodland are equal to or exceed that of the required buffer.

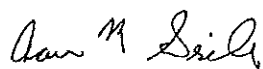
A note to this effect has been added to CS1.

33. Submission packages have been submitted to all applicable agencies. Approval letters will be provided upon receipt.
 - a. Sock has been included at location as per comment. Refer to plan sheet C401 for details.
 - b. The location and detail has been included as per comment. Refer to plan sheet C902 for details.
 - c. The sequence has been amended as per comment. Refer to plan sheet C901 for details.
 - d. A details has been included as per comment. Refer to plan sheet C902 for details.
34. A drawdown time calculation is included on the infiltration facility worksheet. Refer to infiltration facility worksheet, 3 of 3, Appendix E of the PCSM narrative for details.
35. Design for all the vegetated swales, including calculations demonstrating sufficient capacity to safely convey the design flow to the point of discharge and the swale bed and side slopes will be stable, are included in the E&S Narrative. Refer to Appendix B of the E&S Narrative for details.
36. The pipe schedule has been revised as per comment. Refer to plan sheets C301 and C401 for details.

37. The pipe inverts for existing pipe XP-2 have been reviewed and the proposed tie in to manhole MH-1 is appears to be correct with the available information. The up invert is 1180.86 and the down invert is 1175.81. With an approximate slope of 2.5% and a 94 foot distance, the estimated invert of 1178.48 appears adequate.
38. The pipes have been labeled as per comment. Refer to plan sheets C301 and C401 for details.
39. The pipe length for existing pipe XP-2 has been reviewed and the length from proposed manhole MH-1 to the existing inlet adjacent to the liquid nitrogen tank is approximately 107 feet.
40. A storm profile has been included as per comment. Refer to plan sheet C701 for details.
41. The purpose of the metal curb inlets is to allow water to sheet flow across the impervious road surface and discharge to a vegetated, gentle sloped surface. The metal curb inlets, promote overland flow, disconnection of storm sewers, and evaporation/transpiration/infiltration in a vegetated conveyance. The metal curb inlets allow the stormwater runoff to remain relative close to the existing surface, minimizing excavation and increased infiltration facility depth.
42. Concrete landings have been provided at various spots along the proposed walkway. Railing is also provided along the sections of walk as required by ADA regulations. In the areas with concrete landings and handrails, the slope is greater than 5% with a general slope of 8%. Spot elevations are included on the grading plan sheet. Refer to plan sheet C301 and ADA-1 exhibit for details.
43. The grading adjacent to the sidewalk has been revised as per comment. Refer to plan sheets C301 and C401.
44. The proposed snout has been removed. A water quality filter has been included in the outlet structure, inlet I-1, of the rain garden and has been included in the sequence of construction. Refer to plan sheets C301, C901 and for details.
45. The limits of the mill and overlay have been shown on the plan sheet as per the comment. Refer to plan sheet C201 for details.
46. The details has been revised as per the comment. Refer to plan sheet C905 for details.

Should you have any questions, please do not hesitate to contact me at 484-821-0470, extension 2105.

Sincerely,



Aaron M. Sisler, P.E.
Project Manager

April 14, 2017
Page 6

Enclosure(s)
AMS/dth

c: file

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P:\2016\2228\007 - Discovery Drive Improvements\01 - Docs and Correspondence\04 - Letters\Response
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May 2, 2017

Pocono Township Planning Commission
112 Township Drive
P.O. Box 197
Tannersville, PA 18372

**SUBJECT: SUMMIT HEALTH CENTER LAND DEVELOPMENT REVIEW NO. 2
POCONO TOWNSHIP, MONROE COUNTY, PENNSYLVANIA
PROJECT NO. 1630005R**

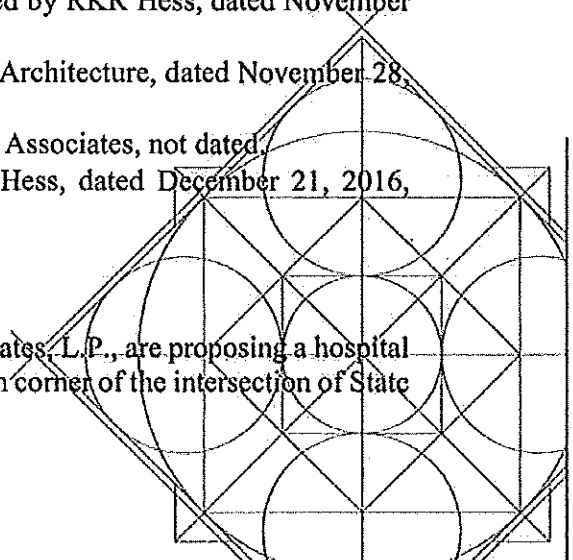
Dear Planning Commission Members:

Pursuant to the Township's request, we have completed our second review of the Summit Health Center Land Development Application. The submitted information consists of the following items.

- Response letter prepared by RKR Hess, dated March 16, 2017.
- Lot closure report for Common Area prepared by RKR Hess.
- Lot closure report for Condo #1 prepared by RKR Hess.
- Lot closure report for Condo #2 prepared by RKR Hess.
- Submission package for a Minor Amendment to Permit No. E45-543 to the US Army Corps of Engineers prepared by RKR Hess, dated March 23, 2017.
- Truck turning exhibits (11 x 17 sheets) prepared by RKR Hess.
- Accessible route Details (1 sheet) prepared by RKR Hess, dated April 17, 2017.
- Erosion and Sediment Control Narrative prepared by RKR Hess, dated November 2016, revised March 2017.
- Post Construction Stormwater Management Report prepared by RKR Hess, dated November 22, 2016, revised March 2017.
- Electric Plans (2 sheets) prepared by TLC Engineering for Architecture, dated November 28, 2016.
- Landscape Plans (8 sheets) prepared by Thomas J. McLane Associates, not dated.
- Land Development Plans (30 Sheets) prepared by RKR Hess, dated December 21, 2016, revised March 13, 2017.

BACKGROUND INFORMATION

The Applicants, Pocono Medical Center and DF Pocono Associates, L.P., are proposing a hospital and medical office land development located at the southwestern corner of the intersection of State



Route 715 and Exit 299 of Interstate Route 80. The existing property has an area of approximately 88 acres and consists of an existing resort with associated hotel, recreational facilities, driveways and access from State Route 715. A dwelling also exists on the site. The remainder of the property consists of a pond, steep slopes and woodlands, and an unnamed tributary to the Pocono Creek that traverses the site along the southern property line.

The property is located within the C, Commercial Zoning District. The proposed development includes approximately 93,000 square feet of gross building area including a hospital and medical office building, and more than 500 trips per day is anticipated. In accordance with Article II, Definitions, a development of this type and size is defined as a Regional Impact Development.

The Applicants propose to subdivide the existing property into three (3) parcels of land. The two (2) parcels of remaining lands will have areas of 41.7 acres and 3 acres, and no development is proposed.

The third parcel will have an area of 43 acres and will consist of the Regional Impact Development. The development will include a proposed 43,000 square foot, 48 bed, acute care hospital with a 25,000 square foot medical office building. A 12,000 square foot area is also proposed as potential future expansion to a 72 bed, acute care hospital. In addition, a separate 18,000 square foot, two (2) story, medical office building is also proposed. Associated parking facilities, stormwater management, and public water and sewer services are proposed. Access to the site will be via a main driveway from State Route 715. A second, emergency access only driveway is also proposed to take access from State Route 715.

A Conditional Use Application to permit a Regional Impact Development within the C, Commercial Zoning District was approved with conditions by the Pocono Township Board of Commissioners on December 12, 2016.

Based on our review of the above information, we offer the following comments and/or recommendations for your consideration.

ZONING ORDINANCE COMMENTS

1. Comment satisfied.
2. Comment satisfied.
3. Comment satisfied.
4. Comment satisfied.
5. Comment satisfied.
6. In accordance with Section 542.B, "the applicant shall furnish evidence that an approved means of sewage disposal and water supply shall be utilized." *A water capacity letter dated September 23, 2014, from the Brodhead Creek Regional Authority was provided during the Conditional Use review. A response to Boucher & James, Inc.'s review of*

the Sewage Facilities Planning Module Exemption dated September 15, 2016 was provided with this submission and, upon review, all items have been addressed. A letter regarding the Sewage Facilities Planning Module Exemption will be provided separately. Further review of the submitted Sewage Pump Station Design will be provided under separate cover. (Previous Comment) A letter dated February 10, 2017 and revised March 16, 2017, was provided to the Township recommending they sign and submit the Sewage Facilities Planning Module Exemption to the Pennsylvania Department of Environmental Protection. A review of the Sewage Pump Station Design will be provided under separate cover.

7. In accordance with Section 554.A.1, "the minimum area of the regional impact development, excluding existing street rights-of-way, shall be five (5) contiguous acres." *The lot area of 43 acres appears to include the Right-of-Way along S.R. 0611. In addition, lot area is defined as "the computed area contained within the lot lines, excluding space within all road rights-of-way and within all permanent drainage easements, but including the areas of all other easements, as required by the Pocono Township Subdivision and Land Development Ordinance." The gross and net lot areas shall be provided on the plan. Lot closures for the net lot area must also be submitted. (Previous Comment) The response indicates the S.R. 0715 Right-of-Way and drainage easements have been removed from the gross lot area of 43 acres, however the net lot area must still be listed on the plan.*
8. In accordance with Section 554.C, "the applicant shall provide a traffic evaluation study, prepared in accordance with any requirements of the Pocono Township Subdivision and Land Development Ordinance, indicating that adverse traffic conditions are minimized." *The Transportation Impacts narrative in the Land Development Application Supplemental Information packet indicates an additional scoping analysis has been submitted per a meeting with PennDOT and Pocono Township on November 23, 2016. (Previous Comment) All reviews from and changes per the Township and PennDOT must be submitted upon receipt/completion. In addition, the approved Highway Occupancy Permit and associated Plans must be submitted.*
9. Comment satisfied.

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

10. In accordance with Section 2.106, "preliminary approval shall not be considered complete and shall not be effective until the Board of Commissioners has approved the Preliminary Plan." In addition, and in accordance with Section 2.107, after approval of the Preliminary Plan, the Final Plan for the entire Land Development, which has been prepared in accordance with the approved Preliminary Plan, shall be submitted by the Applicant to the Planning Commission. *The Applicant is requesting a waiver from Section 2.106 to permit the submission and review of a Preliminary/Final Land Development Plan. The Applicant is requesting this waiver as there will be no sale of subdivided lots. (Previous Comment) The Board of Commissioners granted this request at their meeting held on March 20, 2017.*

11. In accordance with Sections 2.302.A and 2.303.A, Plans for Major Subdivisions and Land Developments shall be drawn at a scale not to exceed one inch equals 100 feet provided all bearings, distances and other information can be legibly and accurately presented on the plan. Plans shall be prepared on a standard sheet of 12 inch by 18 inch, 18 inch by 24 inch, or 24 inch by 36 inch. *The Applicant is requesting a waiver from Sections 2.302.A and 2.303.A to permit a sheet size of 30-inch by 42-inch in order to present the area of proposed development on one (1) sheet. We have no objection to this request. (Previous Comment) The Board of Commissioners granted this request at its meeting held on March 20, 2017.*
12. Comment satisfied.
13. Comment satisfied.
14. Comment satisfied.
15. In accordance with Section 2.302.B.13, Preliminary Plans shall show "final designs, details, specifications, etc., for all sanitary, water and storm sewage system improvements. This information shall be of the quality required for the construction of all such facilities." *The following comments are related to our review of the proposed sanitary sewer and storm sewer layout, and details associated with the proposed water service, sanitary sewer, and storm sewer. Review of the storm sewer design and calculations are provided further in this letter.*
 - a. Comment satisfied.
 - b. *All proposed waterlines must be shown on the sanitary sewer profiles. (Previous Comment) The proposed 8-inch waterlines to the hospital and fire hydrant between Stations 3+50 and 5+50 must be shown in Sewer Profile Hospital to Route 715 Existing Manhole on Sheet UTIL 2.*
 - c. Comment satisfied.
 - d. Comment satisfied.
 - e. Comment satisfied.
 - f. *In accordance with Section 404.B.2 of the Pocono/Hamilton Joint Sewer System Procedures Manual, "the slope of grade of the pipe shall be no less than one-quarter (1/4) inch per foot of length sloping downward in the direction the waste material is to flow. (0.02 Ft/Ft and 2% are equivalent slopes to ¼-inch per foot)". The gravity sanitary sewer lateral coming from the proposed hospital building must have a minimum slope of 2 percent. (Previous Comment) The proposed sanitary sewer between MH5 and MH6 in Sewer Profile Hospital to Route 715 Existing Manhole, and between MH4 and MH5, and MH5 and MH6 in Sewer Profile Hospital (Near Ambulance Entrance) to Pump Station must still be revised to provide a minimum 2 percent slope.*

- g. *Comment satisfied.*
 - h. *Comment satisfied.*
 - i. *Comment satisfied.*
 - j. *Comment satisfied.*
 - k. *Comment satisfied.*
 - l. *Comment satisfied.*
 - m. *The proposed waterline between inlets CB 2-31 and CB 2-32 must be shown in Storm Sewer Profile CB 2-1 to Endwall 2-38 on Sheet PCSM 4, and the two (2) 18-inch dimensions shown in the same profile should be revised as necessary. In addition, the proposed sanitary sewer between inlets CB 2-33 and CB 2-34 must be shown and labeled in the same profile. (Previous Comment) The proposed waterline between CB2-31 and CB2-32 must still be shown in Storm Sewer Profile CB2-1 to Endwall 2-38 on Sheet PCSM 4.*
 - n. *Comment satisfied.*
 - o. *Comment satisfied.*
 - p. *Comment satisfied.*
 - q. *Comment satisfied.*
 - r. *Comment satisfied.*
 - s. *Profiles of the entire proposed waterline must be provided. (New Comment)*
 - t. *The storm sewer pipe between Outlet Structure 3-31 and Flow Splitter 2-47 must be labeled in Storm Sewer Profile CB3-11 to Flow Splitter 2-47 on Sheet PCSM 5. (New Comment)*
 - u. *It appears the slope between CB3-20 and CB3-28 in Storm Sewer Profile CB3-20 to CB3-21 on Sheet PCSM 5, and between MH9-3 and Endwall 9-3 in Storm Sewer Profile Endwall 9-1 to Endwall 9-3 on Sheet PCSM 6 are incorrect and should be revised. (New Comment)*
 - v. *The proposed storm sewer crossing between MH5-4 and MH5-5 must be shown in Storm Sewer Profile CB5-1 to Pond on Sheet PCSM 6. (New Comment)*
16. *Comment satisfied.*
17. *Comment satisfied.*

18. Comment satisfied.
19. In accordance with Section 2.302.D.12, "verification of approval or consent by the Pennsylvania Department of Transportation for all proposed improvements (excluding residential driveway access) within a right-of-way under that agency's jurisdiction" shall be provided. *(Previous Comment) The approved Highway Occupancy Permit and associated Plans must be submitted.*
20. In accordance with Section 2.302.D.15.C, a Phase I Environmental Site Assessment is required. *The Phase I Environmental Assessment narrative in the Land Development Application Supplemental Information packet indicates a Phase I Environmental Site Assessment Report was prepared by TCI Environmental Services, Inc. A copy of the report shall be submitted. (Previous Comment) An Executive Summary of the Phase I Environmental Assessment has been provided. The Planning Commission shall determine if they will require submission of the full Assessment.*
21. In accordance with Section 3.202.A, "if required by regulations of the Department of Environmental Protection, an Applicant shall submit with the Preliminary Plan an "Erosion and Sedimentation Control Plan" prepared by a person trained and experienced in erosion and sedimentation control methods and techniques as provided for under Title 25 Rules and Regulations, Chapter 102, issued by the Department of Environmental Protection. Such plans shall be submitted by the Applicant to the Monroe County Conservation District of review and recommendation of the District directors." *An NPDES Permit Number is referenced on the Plan and the Stormwater Management narrative in the Land Development Supplemental Information packet indicates a modification of the Erosion and Sediment Control Plan and NPDES Permit has been requested. A Letter of Adequacy from the County Conservation District and an NPDES Permit must be provided. The following are comments based upon our review of the submitted Erosion Control Plan and Narrative.*
 - a. Comment satisfied.
 - b. *The crest elevation of the temporary riser and the outlet elevation of the barrel are inconsistent between Standard Construction Detail #7-6 on Sheet ESC 9 and Worksheet #13 in the Erosion and Sediment Control Narrative, and must be revised. (Previous Comment) The Barrel Outlet Elevation (BOE) in Standard Construction Detail #7-6 on Sheet ESC 9 is still inconsistent with the Discharge Pipe Elevation in Worksheet #13 and must be revised. In addition, the Top Elevation in Standard Construction Detail #7-6 is inconsistent with the Top of Embankment Elevation on Worksheet #13 and must also be revised.*
 - c. Comment satisfied.
 - d. Comment satisfied.
 - e. Comment satisfied.

- f. *Comment satisfied.*
 - g. *Comment satisfied.*
 - h. *Comment satisfied.*
 - i. *Comment satisfied.*
 - j. *Comment satisfied.*
 - k. *Comment satisfied.*
22. In accordance with Sections 3.204, and 3.614, all land developments shall be served with an adequate water supply and sewage system. *Public water and sewer are proposed. A water capacity letter dated September 23, 2014 from the Brodhead Creek Regional Authority was provided during the Conditional Use review. A response to Boucher & James, Inc. review of the Sewage Facilities Planning Module Exemption dated September 15, 2016 was provided with this submission and upon review all items have been addressed. A letter regarding the Sewage Facilities Planning Module Exemption will be provided separately. Further review of the submitted Sewage Pump Station Design will be provided under separate cover. (Previous Comment) A letter dated February 10, 2017 and revised March 16, 2017, was provided to the Township recommending they sign and submit the Sewage Facilities Planning Module Exemption to the Pennsylvania Department of Environmental Protection. A review of the Sewage Pump Station Design will be provided under separate cover.*
23. *Comment satisfied.*
24. In accordance with Section 3.209.B.7, "all deeds for lots created by subdivision and all land developments to which the provisions of this Section 3.209 are applicable shall contain language detailing the easements' location and the restrictions imposed". *The property deed must be recorded with the required language in support of the steep slope easements. (Previous Comment) The response letter indicates the required language will be provided in the deed when the Farda property is conveyed to the Applicant.*
25. In accordance with Section 3.307.C.2, "the emergency access shall be acceptable to the providers of emergency services within the Township. Applicants proposing to provide emergency access shall submit evidence of such approval". *Approval of the emergency access shall be submitted. (Previous Comment 26) The response indicates verbal approval was received from the Township Fire Company and the Applicant has contacted the Fire Company for confirmation. No written correspondence has been received to date.*
26. *Previous Comment 27 satisfied.*
27. In accordance with Section 3.503.A, "traffic movements in and out of commercial and industrial areas shall not interfere with external traffic, nor shall it create hazards for

adjacent residential areas. The plan shall indicate ingress and egress points to existing public roads in conformance with Pennsylvania Department of Transportation regulations and standards." *The Transportation Impacts narrative in the Land Development Application Supplemental Information packet indicates an additional scoping analysis has been submitted per a meeting with PennDOT and Pocono Township on November 23, 2016. (Previous Comment 28) All reviews from and changes per the Township and PennDOT must be submitted upon receipt/completion. In addition, the approved Highway Occupancy Permit and associated Plans must be submitted.*

28. Previous Comment 29 satisfied.
29. In accordance with Section 3.611, "traffic signals and signs shall be required to provide safe traffic circulation. Such traffic signals and signs shall meet the design standards as established by the Pennsylvania Department of Transportation in PennDOT Bulletin No. 67." *Traffic signs must be provided throughout the site, at the handicap parking spaces, and at the intersection of the proposed driveway and emergency access, and S.R. 0611. Associated details must be provided on the plan. (Previous Comment 32) The following comments are based upon our review of the proposed signage.*
 - a. *The One Way sign placed behind the Do Not Enter sign at the ambulance entrance appears unnecessary and should be removed.*
 - b. *The Stop and Fire Lane signs located west of the proposed Medical Office Building are shown located in pavement and must be relocated.*
 - c. *A No Parking Any Time sign is listed in the Sign and Traffic Legend on Sheet LD 2, however it does not appear to be shown in plan view. The plan view or legend should be revised.*

STORMWATER MANAGEMENT ORDINANCE COMMENTS

30. In accordance with Section 303.A, "for water quality and stream bank erosion, the objective is to design a water quality BMP to detain the proposed conditions 2-year, 24-hour design storm flow to the existing conditions 1-year, 24-hour design storm flow using the SCS Type II distribution. Additionally, provisions shall be made (such as adding a small orifice at the bottom of the outlet structure) so that the proposed conditions' 1-year, 24-hour design storm flow takes a minimum of 24 hours to drain from the facility, from a point where the maximum volume of water from the 1-year, 24-hour design storm is captured (i.e., the maximum water surface elevation is achieved in the facility)." In addition, "the design of the facility shall consider and minimize the chances of clogging and sedimentation. Orifices smaller than 4 inches in diameter shall not be used unless the Design Professional can provide proof that the smaller orifices are protected from clogging by the use of trash racks, etc. *A waiver is requested from Section 303.A to permit a 3-inch orifice and a dewatering time less than 24 hours. It does not appear calculations showing the dewatering time of the proposed basins have*

been provided. Calculations showing the 1-year, 24-hour post development storm takes a minimum of 24 hours to discharge from the proposed basins must be submitted. In addition, an orifice smaller than 4 inches may be utilized provided the Design Engineer can show the orifices are protected from clogging. Trash racks are shown in the Permanent Outlet Structure details on Sheet PCSM 9 and details for the trash racks must be provided on the plan for review. (Previous Comment 33) At its meeting held on March 20, 2017, the Board of Commissioners granted a waiver to permit a dewatering time less than 24 hours.

31. Previous Comment 37 satisfied.
32. In accordance with Section 304.A.2.a, infiltration BMPs shall be constructed on soils that have "a minimum depth of 24 inches between the bottom of the BMP and the limiting zone". *The bottom of proposed Basin 3 varies between elevations 911 and 906. The soil testing was completed at elevation 912. Additional testing must be completed at an elevation 24-inches below the proposed basin bottom. (Previous Comment 38) Soil testing must be completed for the newly proposed Rain Garden located southwest of the proposed hospital.*
33. In accordance with Section 304.A.2.c, infiltration BMPs shall be constructed on soils "capable of completely infiltrating the recharge volume within 4 days". *Calculations must be provided showing the proposed basins can infiltrate the required recharge volume in 4 days. (Previous Comment 39) Recharge calculations must also be provided for the newly proposed Rain Garden located southwest of the proposed hospital.*
34. Previous Comment 40 satisfied.
35. In accordance with Section 306.D, "all calculations using the Rational Method shall use rainfall intensities consistent with appropriate times-of-concentration for overland flow and return periods from the Design Storm Curves from PA Department of Transportation Design Rainfall Curves (1986) (Figures B-2 to B-4). Times-of-concentration for overland flow shall be calculated using the methodology presented in Chapter 3 of Urban Hydrology for Small Watersheds, NRCS, TR-55 (as amended or replaced from time to time by NRCS). Times-of-concentration for channel and pipe flow shall be computed using Manning's equation." *A waiver is requested from Section 306.D to utilize rainfall intensities from the NOAA rather than the Pennsylvania Department of Transportation. We have no objection to the request to utilize the rainfall intensities from the NOAA. If granted, it should be noted that this is a partial waiver from the rainfall intensity portion of Section 306.D. (Previous Comment 41) The Board of Commissioners granted this request at its meeting held on March 20, 2017.*
36. In accordance with Section 306.E, "runoff Curve Numbers (CN) for both existing and proposed conditions to be used in the Soil Cover Complex method shall be obtained from Table B-2 in Appendix B of this Ordinance". *The curve number for lawn over 'C' soils is 74 in Table B-2. The predevelopment curve number calculation for "Total Areas*

by Cover to Drainage Area 1 to Culvert 1 – includes Area 3” utilizes a curve number of 77 and must be revised. As discussed in Comment 51, upon review of the site area on the USDA NRCS Websoil Survey, it appears ‘C’ soils do not exist within the area of the predevelopment drainage areas and the calculations should be revised. (Previous Comment 42) While the soil types have been revised, the curve numbers utilized for the land uses located in A soils in the Predevelopment and Post Development Curve Number Calculations are not consistent with Table B-2 and must be revised.

37. Previous Comment 43 satisfied.
38. Previous Comment 44 satisfied.
39. Previous Comment 45 satisfied.
40. In accordance with Sections 308.A and 403.A.4, any earth disturbance must be conducted in conformance with PA Title 25, Chapter 102, “Erosion and Sediment Control”, and all reviews and letters of adequacy from the County Conservation District must be submitted. *An NPDES Permit Number is referenced on the Plan and the Stormwater Management narrative in the Land Development Supplemental Information packet indicates a modification of the Erosion and Sediment Control Plan and NPDES Permit has been requested. (Previous Comment 46) A Letter of Adequacy from the County Conservation District and an NPDES Permit must be provided. Refer to Comment 21 for our review of the Erosion and Sediment Control Plan and Narrative.*
41. In accordance with Section 403.B, “map(s) of the project area shall be submitted on 24-inch x 36-inch sheets and/or shall be prepared in a form that meets the requirements for recording at the offices of the Recorder of Deeds of Monroe County”. *The Applicant is requesting a waiver from Section 403.B to permit a sheet size of 30-inch by 42-inch in order to present the area of proposed development on one (1) sheet. This request must be listed in the chart on Sheet LD 1. We have no objection to this request. (Previous Comment 47) The Board of Commissioners granted this request at its meeting held on March 20, 2017.*
42. Previous Comment 48 satisfied.
43. Previous Comment 49 satisfied.
44. In accordance with Sections 701 and 703, a performance guarantee and maintenance agreement are required for the proposed stormwater management facilities. *The performance guarantee and maintenance agreement are required prior to plan recordation. A construction cost estimate shall be submitted for review. (Previous Comment 50) This comment has been acknowledged.*

STORMWATER MANAGEMENT AND STORM SEWER DESIGN COMMENTS

45. Previous Comment 51 satisfied.

46. Previous Comment 52 satisfied.
47. Hydrographs for the predevelopment and post development peak flows for all storm events must be submitted. *(Previous Comment 53) The predevelopment and post development hydrographs have been provided, however two (2) different programs are utilized. The calculations must be revised to utilize the same program.*
48. Previous Comment 54 satisfied.
49. Previous Comment 55 satisfied.
50. Previous Comment 56 satisfied.
51. Previous Comment 57 satisfied.
52. Previous Comment 58 satisfied.
53. Previous Comment 59 satisfied.
54. Previous Comment 60 satisfied.
55. Rational 'C' calculations must be provided for inlets CB 1-2, CB 2-43, and CB 2-46. In addition, the calculated Rational 'C' for inlet CB 1-20 appears low and should be revised. *(Previous Comment 61) The rational coefficient and drainage area at inlet CB 2-46 are inconsistent between the Storm Sewer Tabulation and the Rational 'C' calculations, and must be revised.*
56. The roof area of 1,468 square feet referenced in the Rational 'C' calculation for inlet CB 1-20 appears to be directed toward inlet CB 2-40 via a roof drain shown on the Inlet Drainage Area Map. In addition, DA 1-36R is included in the drainage area to inlet CB 1-36, but is shown draining to CB 1-44 on the Inlet Drainage Area Map. The Rational 'C' calculations and/or the plan must be revised. *(Previous Comment 62) The canopy of 2,950 square feet is directed toward inlet CB 2-40 on Sheet PCSM 1. The Rational 'C' calculations for CB 2-40 must be revised to include this area.*
57. Previous Comment 63 satisfied.
58. Previous Comment 64 satisfied.
59. Previous Comment 65 satisfied.
60. Previous Comment 66 satisfied.
61. Previous Comment 67 satisfied.
62. Previous Comment 68 satisfied.
63. Previous Comment 69 satisfied.

64. Previous Comment 70 satisfied.
65. Previous Comment 71 satisfied.
66. Previous Comment 72 satisfied.
67. Previous Comment 73 satisfied.
68. Previous Comment 74 satisfied.
69. Basin 3 has an irregular shape and inconsistent depth. Storm Sewer Profile CB 3-3 to CB 2-47 on Sheet PCSM 5 does not depict the area of Basin 3 as it is shown in plan view on Sheet PCSM 1, and shall be revised. ***(Previous Comment 75) The layout of Basin 3 has been removed from plan view and must be shown on Sheet PCSM 1.***
70. Previous Comment 76 satisfied.
71. The pond report for Basin 3 includes volume between elevations 915 and 916, and must be revised to only provide volume to the top of stone at elevation 915. In addition, the maximum water elevation during the 100-year storm event exceeds the top of stone elevation in Basin 3. The basin design shall be revised to reduce the maximum water elevation to below the top of stone elevation. ***(Previous Comment 77) The response suggests the 100-year water elevation is less than 915 at Basin 3, however the Pond Report indicates a high water elevation of 915.30. While we understand program flaws occur, the use of an incremental storage volume of 30,541 square feet at elevation 916, which is above the stone elevation of 915, is incorrect. We believe the stage/storage should be revised to reduce or eliminate the addition of such a large amount of storage (i.e., utilize the 100-year water surface elevation of 915.3 ± with 1 cubic feet of incremental storage). In addition, the pond report indicates 32,386 cubic feet of storage is provided, however it appears only approximately 28,000 cubic feet is stored.***
72. Previous Comment 78 satisfied.
73. Previous Comment 79 satisfied.
74. Previous Comment 80 satisfied.
75. Previous Comment 81 satisfied.
76. Previous Comment 82 satisfied.
77. Previous Comment 83 satisfied.
78. Previous Comment 84 satisfied.
79. Previous Comment 85 satisfied.

- 80. Previous Comment 86 satisfied.
- 81. Previous Comment 87 satisfied.
- 82. Previous Comment 88 satisfied.
- 83. Previous Comment 89 satisfied.
- 84. Previous Comment 90 satisfied.
- 85. Previous Comment 91 satisfied.
- 86. Previous Comment 92 satisfied.
- 87. Previous Comment 93 satisfied.
- 88. Previous Comment 94 satisfied.
- 89. Previous Comment 95 satisfied.
- 90. Previous Comment 96 satisfied.
- 91. Previous Comment 97 satisfied.
- 92. Previous Comment 98 satisfied.
- 93. Previous Comment 99 satisfied.
- 94. Previous Comment 100 satisfied.
- 95. Previous Comment 101 satisfied.
- 96. Previous Comment 102 satisfied.
- 97. Previous Comment 103 satisfied.
- 98. Previous Comment 104 satisfied.
- 99. Previous Comment 105 satisfied.

MISCELLANEOUS COMMENTS

- 100. Detailed grading of the handicap parking spaces, ramps, and accessible routes must be provided on the plan. In addition, handicap ramp details must also be provided on the plan. *(Previous Comment 106) A bottom of curb elevation at the western corner of the handicap parking row must be shown on the Front of Medical Office Building Detail.*
- 101. Details for the proposed concrete pads and bollards must be provided on the plan.

(Previous Comment 107) Concrete pad details must still be provided.

102. The Joint Permit referenced on the Land Development Plan Cover Sheet must be submitted. ***(Previous Comment 108) A copy of the resubmission of the Minor Amendment has been provided. Approval must be submitted upon receipt.***
103. Previous Comment 109 satisfied.
104. Previous Comment 110 satisfied.
105. Previous Comment 111 satisfied.
106. Previous Comment 112 satisfied.
107. Previous Comment 113 satisfied.
108. Previous Comment 114 satisfied.
109. Previous Comment 115 satisfied.
110. Previous Comment 116 satisfied.
111. Previous Comment 117 satisfied.
112. Previous Comment 118 satisfied.
113. Previous Comment 119 satisfied.
114. Previous Comment 120 satisfied.
115. Previous Comment 121 satisfied.
116. Previous Comment 122 satisfied.
117. On Sheet PCSM 9, the Embankment Along Principal Spillway Detail must be revised to provide an Inlet Elevation (BIE) for Basin 1, and the correct Top Elevation (ETE) for Basin 3 and 100-year Water Surface Elevations for Basins 1, 2 and 3. ***(Previous Comment 123) The basin bottom and 10-year water surface elevations for Basins 1 and 2, and the 100-year water surface elevations for Basins 1, 2, and 3 listed in the Embankment Along Principal Spillway Detail are inconsistent with the pond reports, and must be revised. In addition, the proposed Rain Garden shall also be included in this detail.***
118. Previous Comment 124 satisfied.
119. Previous Comment 125 satisfied.
120. Previous Comment 126 satisfied.

121. During the Conditional Use Hearing it was indicated that no proposed development would encroach onto the floodplain, however grading and storm sewer is proposed within the existing 100-year floodplain. All required applications and plans for permitting through the Pennsylvania Department of Environmental Protection shall be provided, and all required permits submitted upon receipt. *(Previous Comment 127) A copy of the resubmission of the Minor Amendment has been provided. Approval must be submitted upon receipt.*
122. The proposed Land Development requires the following outside agency approvals.
- a. Pocono Township – Subdivision Plan and Land Development Plan approvals
 - b. Pocono Township – Connection of proposed sanitary sewer
 - c. Pocono Township – Fire Department
 - d. Pennsylvania Department of Environmental Protection & Monroe County Conservation District – Letter of Adequacy and NPDES Permit for Stormwater Discharges from Construction Activities (modification from existing approved Permit)
 - e. Pennsylvania Department of Environmental Protection & Army Corps of Engineers – Renewal/reissuance of existing Stream Encroachment Permit
 - f. Army Corps of Engineers – Jurisdictional Determination, *received Preliminary Jurisdiction Determination dated January 10, 2017.*
 - g. Pennsylvania Department of Environmental Protection – Sewage Facilities Planning Module Exemption
 - h. Brodhead Creek Regional Authority – Water service connection
 - i. Pennsylvania Department of Transportation – Highway Occupancy Permit
- (Previous Comment 128)*

PLAN REVISION COMMENTS

123. It does not appear the entire drainage area to inlet CB 1-19 is included on the Inlet Drainage Area Map, or in the post development Rain Garden Pool Curve Number Calculation. The Map and Calculation should be revised.
124. The bypass areas shown in the Post Development Drainage Area Map do not appear consistent with that provided in the Curve Number Calculations, and should be revised.
125. The invert in at Endwall 1-54 is inconsistent between the Storm Sewer Tabulation and Storm Sewer Profile CB 1-5 and CB 1-54 on Sheet PCSM 3, and must be revised.

126. The invert out at inlet CB 1-17A is inconsistent between the Storm Sewer Tabulation and Storm Sewer Profile CB 1-17A and CB 1-24 on Sheet PCSM 3, and must be revised. In addition, the invert out at inlet CB 1-41 is inconsistent between the Storm Sewer Tabulation and Storm Sewer Profile CB 1-13 and CB1-31, and must also be revised.
127. The invert in at inlet CB2-32 is inconsistent between the Storm Sewer Tabulation and Storm Sewer Profile CB2-1 to Endwall 2-38 on Sheet PCSM 4, and must be revised.
128. The rim elevation at MH5-3 is inconsistent between the Storm Sewer Tabulation and Storm Sewer Profile CB5-1 to Pond on Sheet PCSM 6. In addition, it appears the rim elevation of 915.0 shown in the profile is low when compared to the proposed grading.
129. The top of grate elevation provided in the pond report for Rain Garden Pool is inconsistent with Storm Sewer Profile CB5-8 to Swale on Sheet PCSM 6, and must be revised.
130. An 80-foot long by 2-foot wide Broad Crested Weir is utilized in the Basin-1 Upper Tier Pond Report, and a 190-foot long broad crested rectangular weir is utilized in the Basin 2 – Upper Tier Pond Report, however these weirs are not shown or labeled on the plan. The plan or report must be revised.
131. The emergency spillway at the proposed Rain Garden must be shown and labeled on the plan.
132. A detail for Basin 2, Upper Tier outlet structure must be provided on the plan.
133. On Sheet EXF, references to the “proposed” lots created under the subdivision application shall be removed.
134. On Sheet LD2, the note “See Sheet LD3 for Handicap Sign Details” must be revised to reference Sheet LD4.
135. Two (2) guiderail details have been removed from Sheet LD4 and should be provided.
136. The storm sewer pipe between Outlet Structure 3-31 and Flow Splitter 2-47 in Storm Sewer Profile CB 3-11 to Flow Splitter 2-47 on Sheet PCSM 5 must be labeled. In addition, the invert out at inlet CB3-28 must be provided in Storm Sewer Profile CB3-20 to CB3-21.
137. The invert elevation provided at the 12-inch outlet pipe in the Permanent Outlet Structure – Basin 1 – Upper Tier CB2-48 detail on Sheet PCSM 9 is inconsistent with the pond report, and must be revised.
138. On Sheet PCSM 9, Standard Construction Detail #7-16 must also include the proposed Rain Garden.
139. On Sheet PCSM 9, the Basin 3 Outlet Structure detail references OCS3-31, however the

plan view references CB3-31 and must be revised.

140. On Sheet PCSM 9, the Rim/Grate, and the Outlet Culvert Invert In and Invert Out Elevations listed in the Basin 3 Outlet Structure Detail are inconsistent with that shown in Storm Sewer Profile CB3-11 to Flow Splitter 2-47 on PCSM 5. It appears the profile should be revised for consistency with the detail and associated pond report.

If you should have any questions regarding the above comments, please call me.

Sincerely,



Jon S. Tresslar, P.E., P.L.S.
Township Engineer

JST/mep/cg

cc: Charles J. Vogt, Township Manager
Pam Tripus, Township Secretary
Michael Tripus, Township Zoning Officer
Leo DeVito, Esquire – Township Solicitor
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Nate Oiler, P.E., RKR Hess – Applicant's Engineer
Marc R. Wolfe, Esquire – Applicant's Attorney
James J. DePetris, DF Pocono Associates, L.P. – Applicant
Stephen J. Cunningham, Pocono Medical Center – Applicant
Farda Realty Associates, L.P. – Owner
Anthony M. Farda, Trustee – Owner
Melissa E. Prugar, P.E. – Boucher & James, Inc.