



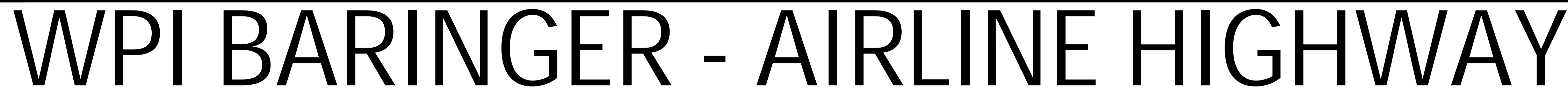
phone 919. 361. 5000
fax 919. 361. 2269
A license number: EF.0007475

CONTACT

CLIENT



GEOTECHNICAL ENGINEER
TERRACON
2822 O'NEAL LANE, BUILDING B
BATON ROUGE, LOUISIANA, 70816
PHONE: 225. 334. 6052
TERRACON PROJECT NO. EH245132



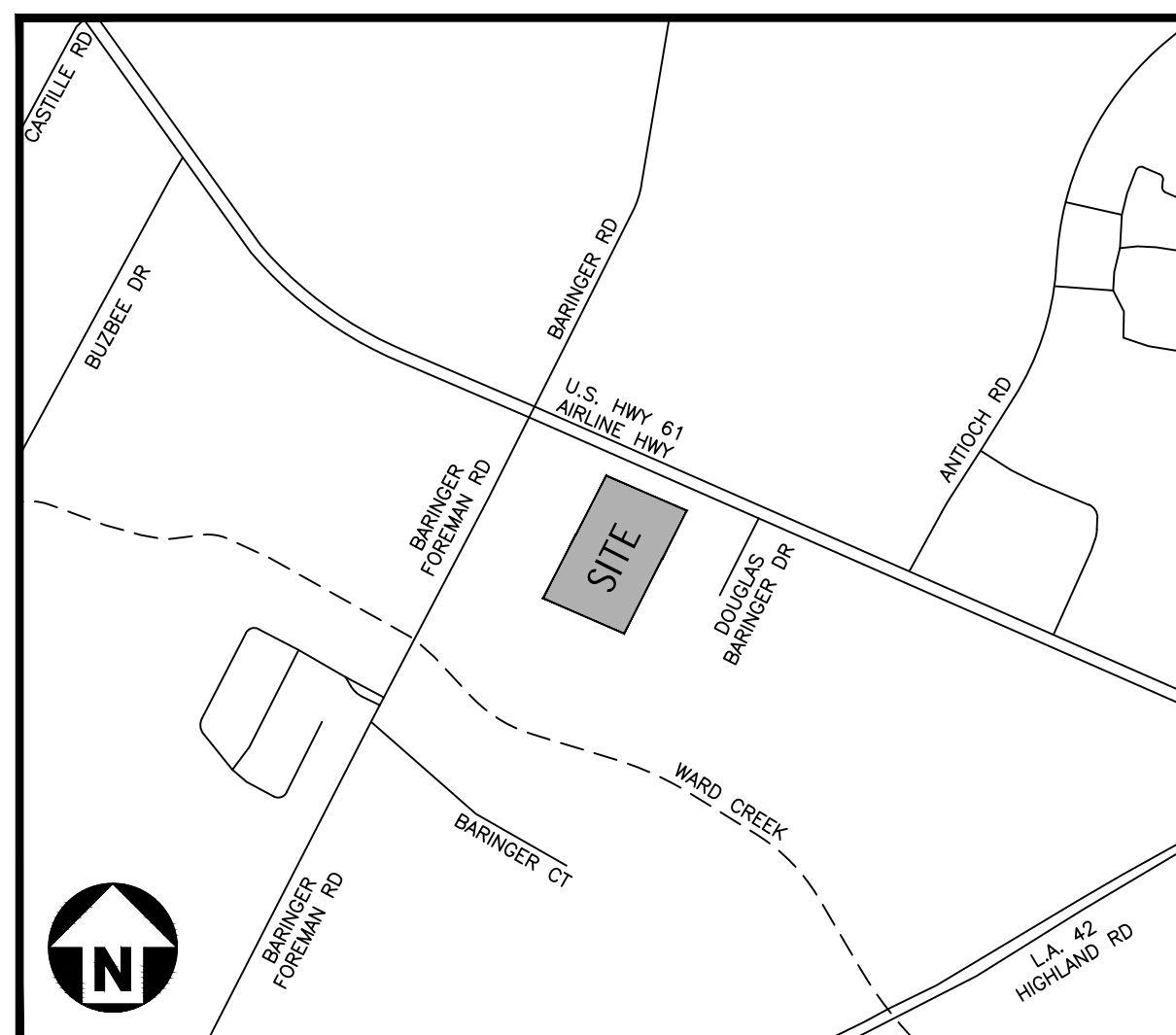
SHEET INDEX

C0.00	COVER SHEET
1 OF 3	ALTA (BY OTHERS)
2 OF 3	ALTA (BY OTHERS)
3 OF 3	ALTA (BY OTHERS)
1 OF 1	SUBDIVISION PLAT (BY OTHERS)
C0.01	GENERAL NOTES
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C2.01	PAVEMENT AND SIGNAGE PLAN
C3.00	GRADING AND DRAINAGE PLAN
C4.00	UTILITY PLAN
C6.00	EROSION CONTROL PLAN - STAGE 1
C6.01	EROSION CONTROL PLAN - STAGE 2
C6.02	EROSION CONTROL PLAN DETAILS
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	CONCRETE DETAILS
C8.03	STORM DETAILS
C8.04	UTILITY DETAILS
C8.05	ENERGY DETAILS
C8.06	ENERGY DETAILS
L5.00	LANDSCAPE PLAN
L5.01	LANDSCAPE DETAILS
A-01	BUILDING ELEVATIONS (BY OTHERS)

CONSTRUCTION DRAWINGS
PROJECT NUMBER: WAU24001
DATE: JUNE 09, 2025
REVISION DATE: SEPTEMBER 3, 2025

SITE DATA TABLE

OWNER	PRICECO WEST LC 8811 VETERANS MEMORIAL BOULEVARD - METAIRE, LOUISIANA, 70003 225. 413. 2729
DEVELOPER	WAUKESHA-PEARCE INDUSTRIES 12320 SOUTH MAIN ST - HOUSTON, TEXAS, 77305 888. 458. 0448
SITE ADDRESS	LOT 3 BARINGER COMMERCIAL SUBDIVISION, BATON ROUGE LA 70809
PIN / PARCEL ID	164085534
TOTAL PARCEL AREA	PARENT PARCEL: 3,867.494 SF / 88.785 ACRES PROPOSED LOT 3: 348.509 SF / 8.00 ACRES
SITE LOCATED IN SPECIAL FLOOD HAZARD ZONE:	YES: ZONE "Y" AND ZONE "AE" APPROXIMATE BASE FLOOD ELEVATION = 19'0" (BASED ON NAVD 88) FEMA PANEL NUMBER 22033C0335E EFFECTIVE DATE: MAY 2, 2008
ZONING	HC1 (HEAVY COMMERCIAL ONE)
EXISTING USE	UNDISTURBED
PROPOSED USE	HEAVY EQUIPMENT SALES/RENTAL AND SERVICE
OVERLAY DISTRICT	NONE
FRONTAGE TYPE	U.S. HIGHWAY
WATERSHED BASIN	PONCHITRRAIN
WATERSHED INITIATIVE REGION	REGION 9
BUILDING HEIGHT	MAXIMUM 75' 00" PROPOSED BUILDING 1: 34' - 9 1/4" (PER ZONING CODE) PROPOSED BUILDING 2: 24' - 08"
BUILDING SIZE	BUILDING 1: 28,856 SF TOTAL, 142'-6" x 272'-8" (5,880 OFFICE + 3,500 SF SALES + 4,820 SF PARTS) = 14,200 SF (12,900 SF SERVICE BAYS + 1,756 SF TRACK PRESS) = 14,656 SF BUILDING 2: 2,597 SF, 40' x 60'
BUILDING SETBACK REQUIREMENTS	REQUIRED: 10' (FRONT), NONE (SIDE), NONE (REAR)
VEHICULAR PARKING	REQUIRED: MINIMUM: 1 SPACE PER 500 SF OF GROSS FLOOR AREA MAXIMUM: 125% X MINIMUM A PARKING REDUCTION MEMO HAS BEEN SUBMITTED TO SUPPORT: 1 SPACE PER 500 SF OFFICE, SALES, AND PARTS, PLUS 1 SPACE PER SERVICE BAY (1/500 X 14,200 SF) PLUS 1 PER SERVICE BAY (10 BAYS) = 39 SPACES ADA PARKING REQUIRED: 2 SPACES INCLUDING 1 VAN SPACE PROPOSED: 37 STANDARD SPACES 1 ADA STANDARD, 1 ADA VAN ACCESSIBLE TOTAL PROPOSED: 39 SPACES
BIKE PARKING	REQUIRED: 1 SPACE PER 20 VEHICLE SPACES, MAX 50 SPACES = 3 BIKE SPACES PROPOSED: 4 BIKE SPACES
OFF-STREET LOADING	REQUIRED: 1 SPACE FOR INDUSTRIAL USE 10,000 - 40,000 SF GFA PROPOSED: 1 LOADING SPACE
IMPERVIOUS AND SEMI-IMPERVIOUS AREA	EXISTING: 0 SF / 0 AC (0% OF PARCEL) REQUIRED: 276,000 SF / 6.34 AC (79.2% OF PARCEL), 85% MAX
DISTURBED AREA	9.50 ACRES
LANDSCAPE/YARD SETBACK REQUIREMENTS	20' (L3 BUFFER - 2 LOTS ZONED C1 & C2)
LANDSCAPE REQUIREMENTS	REQUIRED: 10% DEVELOPED SITE AREA (276,000 sq x 10% = 27,600 SF) PROPOSED: 15% (40,800 SF) - SEE L5.00 LANDSCAPE PLAN



VICINITY MAP

SCALE: 1" = 1000'

PROJECT NARRATIVE:

THE PROPOSED DEVELOPMENT IS LOCATED WITHIN AN INCORPORATED AREA OF THE CITY OF ST. GEORGE, LOCATED ON US HWY 61 (AIRLINE HIGHWAY), BETWEEN BARINGER FOREMAN ROAD AND ANTIOCH ROAD. THE PROPOSED DEVELOPMENT WILL BE PROPOSED LOT 3 OF THE BARINGER COMMERCIAL SUBDIVISION BEING SUBMITTED SEPARATELY. THE CURRENT USE IS A VACANT SITE WITH MINIMAL VEGETATION ON A 8.00 ACRES LOT. A HEAVY EQUIPMENT SALES, PARTS, AND SERVICE BUILDING ALONG WITH A WASH BAY BUILDING, ASSOCIATED UTILITIES, LAYDOWN YARD, AND PARKING IS PROPOSED ON THIS VACANT LOT.

LOCAL PERMITTING DEPARTMENTS & CONTACTS:

CITY OF ST. GEORGE PLANNING & ZONING DEPARTMENT
PHONE NUMBER: 225-228-3200
CONTACT: - MELISSA GILIBEAU, INTERIM PLANNING DIRECTOR - MELISSA.GILIBEAU@STGEORGEIA.GOV

CITY OF ST. GEORGE ENGINEERING DEPARTMENT
PHONE NUMBER: 225-228-3200
CONTACT: - STEPHANIE PHILLIPS GROS, ENGINEERING MANAGER - STEPHANIE.PHILLIPS@STGEORGELA.GOV

CITY OF ST. GEORGE BUILDING DEPARTMENT SERVICES
PHONE NUMBER: 225-228-3200
CONTACT: - MATT VAUGHN-ZYJEWSKI, IBTS SENIOR PROGRAM DIRECTOR - MUNICIPAL SVCS@STGEORGEIA.GOV

EAST BATON ROUGE PARISH SUBDIVISION ENGINEERING
PHONE NUMBER: 225-389-3198
CONTACT: - RACHAEL Y. LAMBERT - RYLAMBERT@BRLA.GOV

BATON ROUGE WATER COMPANY
PHONE NUMBER: 225-925-2011

CITY OF ST. GEORGE FIRE PROTECTION DISTRICT
PHONE NUMBER: 225-251-4800
CONTACT: - DWAYNE ARDENEUX, CHIEF OF FIRE PREVENTION - SGFMAN@STGEORGEFIRE.COM

LOUISIANA STATE FIRE MARSHAL AREA
PHONE NUMBER: 800-256-5452

ENTERGY
PHONE NUMBER: 1-800-368-3749

LADOTD DISTRICT 61
PHONE NUMBER: 225-231-4164
CONTACT: - CEDRIC LACOUR, DISTRICT 61 PERMITS SPECIALIST - CEDRIC.LACOUR@LA.GOV

PHONE NUMBER: 225-389-2111
CONTACT: - CHRISTOPHER J. EWING, DISTRICT TRAFFIC OPERATIONS ENGINEER DISTRICT 61 - CHRISTOPHER.EWING@LA.GOV

LDEQ
PHONE NUMBER: 225-219-5337

STORMWATER MANAGEMENT PLAN, DRAINAGE IMPACT STUDY, AND WATER QUALITY IMPACT STUDY:

THIS SITE IS PART OF A MASTER SUBDIVISION PLAN FOR THE DANIEL W. BARINGER PROPERTY, PROPOSED LOT 3. THE BARINGER SUBDIVISION IS BEING PERMITTED SEPARATELY BY EVANS GW. GRAYES ENGINEERS, INC. STORMWATER QUALITY AND QUANTITY MANAGEMENT FOR THE BARINGER SUBDIVISION WILL BE HANDLED BY A PROPOSED POND ON LOT CA-2. LOT 3 WILL DRAIN TO THE PROPOSED POND BY WAY OF A DRAINAGE DITCH LOCATED WITHIN THE PROPOSED DRAINAGE SERVITUDE ALONG THE SOUTHERN PORTION OF THE PROPERTY. ONSITE RUNOFF WILL BE DIRECTED TO THIS DRAINAGE DITCH BY FLUMES WHICH OUTLET INTO THE PROPOSED DITCH.



**Know what's below.
Call before you dig.**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

K:\Projects\WAU\WAU24001\04-Production\Engineering\Construction Drawings\WAU24001-CS1.dwg, 9/3/2025 2:45:38 PM, Matthew DeBruyne

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE PARISH OF EAST BATON ROUGE, STATE OF LOUISIANA, AND IS DESCRIBED AS FOLLOWS:

ITEM I (Tract B-2-C-1-A-1):

THAT CERTAIN TRACT OR PARCEL OF GROUND, together with all the buildings and improvements thereon, and all the rights, ways, privileges, servitudes, appurtenances and advantages thereunto belonging or in anywise appertaining, situated in East Baton Rouge Parish, Louisiana, in Sections 51 and 52, T8S, R2E, Greensburg Land District of Louisiana, and being designated as TRACT B-2-C-1-A-1, being a part of the Daniel W. Baringer Tract and more particularly shown on that certain "Map Showing the Exchange of Property Between Tract B-2-C-1-A, And Tract B-1 Into Tract B-2-C-1-A-1 And Tract B-1-A, Being A Portion Of The Daniel W. Baringer Property, Located In Sections 51 & 52, T8S-R2E, Greensburg Land District, East Baton Rouge Parish, Louisiana For Dale R. Baringer," as prepared on October 5, 2015 and revised on April 26, 2016, by Evans-Graves Engineers, Inc., recorded as Original 967, Bundle 12728, in the official records of the Clerk and Recorder for East Baton Rouge Parish, Louisiana; said tract being subject to such servitudes and having such measurements and dimensions as shown on said map.

ITEM II (Abandoned Sight Triangle):

THAT CERTAIN TRACT OR PARCEL OF GROUND, together with all the buildings and improvements thereon, and all the rights, ways, privileges, servitudes, appurtenances and advantages thereunto belonging or in anywise appertaining, situated in East Baton Rouge Parish, Louisiana, in Section 51, T8S, R2E, Greensburg Land District of Louisiana, and being shown on an "Exhibit showing excess right-of-way to be abandoned being a portion of Tract B-2-C-1-A-1 of the Daniel W. Baringer Property located in Section 51, T8SR2E, Greensburg Land District, East Baton Rouge Parish, Louisiana for Dale R. Baringer", dated November 8, 2018, by Evans-Graves Engineers, Inc. attached to a Declaration of Abandonment executed by the Department of Transportation and Development of the State of Louisiana, recorded as Original 35, Bundle 12939, in the official records of the Clerk and Recorder for East Baton Rouge Parish, Louisiana, and being more particularly described as follows:

Commencing at a point formed by the intersection of the southerly right-of-way line of Airline Highway and the easterly right-of-way line of Baringer Foreman Road, common to the northwest corner of Tract "B-2-C-1-A-1" of the Daniel W. Baringer property. Thence proceed South 88°41'34" East along the Existing Airline Highway Right-of-Way line, a distance of 11.15 feet to a point and corner on the intersection of said right-of-way line and proposed Airline Highway right-of-way line; being the POINT OF BEGINNING. Thence proceed along proposed Airline Highway right-of-way line North 27°33'22" East, a distance of 105.00 feet to a point and corner; Thence proceed along said right-of-way line, South 88°41'34" East, a distance of 58.85 feet to a point and corner; Thence proceed along said right-of-way line, South 66°03'25" East, a distance of 244.68 feet to the intersection of the existing Airline Highway right-of-way line to a point and corner; Thence proceed along said right-of-way line North 88°41'34" West, a distance of 331.13 feet to the POINT OF BEGINNING.

ITEM III (Subject to Servitude for Airline Highway):

A certain tract or parcel of land situated in Sections 51 and 52, Township 8 South, Range 2 East, East Baton Rouge Parish, Louisiana, and being more particularly described by reference to a map made by John J. Mundinger, Registered Civil Engineer, dated October 24, 1946, a blueprint of which is attached to Right of Way Deeds recorded March 25,1947, as Original 8, Bundle 1996, and Original 9, Bundle 1996, in the official records of the Clerk and Recorder for East Baton Rouge Parish, Louisiana, and being more particularly described as follows:

Beginning at a point in the boundary line between said Sections 51 and 52, which point is South 8°25' West, 127.42 feet from another point marking the corner common to property then owned by Genevieve Baringer Strenzke, Daniel Wallace Baringer, and Clifton Leo Baringer, the property then owned by Lillian G. Kleinpeter and the property then owned by Mamie F. Easterly; from the point herein first described run thence North 65°40' West, parallel to and 150 feet northeasterly from, measured at right angles to, the surveyed centerline of the neutral ground of State Project 7-08-01, a distance of 446.04 feet to a point in the boundary line between the property then owned by Genevieve Baringer Strenzke, Daniel Wallace Baringer, and Clifton Leo Baringer and the property then owned by Lillian G. Kleinpeter; thence North 82°15' West along the latter boundary line a distance of 801.22 feet to a point in the northwesterly line of said Section 51; thence South 27°50' West along said northwesterly line a distance of 212.41 feet to a point; thence South 88°17'47" East, a distance of 366.10 feet to a point opposite highway survey station 284+58.33 on the said surveyed centerline; thence South 65°40' East, parallel to and 150 feet southwesterly from, measured at right angles to, the said surveyed centerline, a distance of 2,172.34 feet to a point in the easterly of the property then owned by Genevieve Baringer Strenzke, Daniel Wallace Baringer, and Clifton Leo Baringer; thence North 8°20' East along said easterly line crossing the said surveyed centerline at highway station 263+29, a distance of 312.09 feet to a point; thence North 65°04' West, parallel to and 150 feet northeasterly from, measured at right angles to, the said surveyed centerline, a distance of 889.23 feet to a point in the southerly line of the property then owned by Mamie F. Easterly; thence North 82°15' West along said southerly line a distance of 295.77 feet to the southwesterly corner of the property then owned by Mamie F. Easterly; thence North 8°25' East along the westerly line of the said property then owned by Mamie F. Easterly, a distance of 87.78 feet to the point of beginning and containing an area of 15.12 acres; less and except the Abandoned Sight Triangle described as ITEM II, above.

NOTES:

- Any underground utilities shown have been depicted from field survey information, as-built drawings and/or utility markings, as provided by the client. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are designated as accurately as possible from the information available. Public utility locate request was made under Ticket No. 240473461 dated August 19, 2024. This site was located by standard RF and GPR methods.
- Basis of bearings is a southeasterly line of Tract B-2-C-1-A-1, said line also being the northeast line of Tracts A and B, shown on the map titled "Map Showing the Exchange of Property Between Tract B-2-C-1-A, And Tract B-1 Into Tract B-2-C-1-A-1 And Tract B-1-A, Being A Portion Of The Daniel W. Baringer Property, Located In Sections 51 & 52, T8S-R2E, Greensburg Land District, East Baton Rouge Parish, Louisiana For Dale R. Baringer", recorded in Original 967, Bundle 12728, being monumented at the southeast end with a 3/8" iron rod, and at the northwest end with a 1/2" iron rod, as shown hereon, and measured to bear N61°41'13"W, a distance of 476.80 feet.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FEMA FIRMette published September 2, 2024, referencing Flood Insurance Rate Map, Map Number 22033C0335E effective date May 2, 2008, indicates this parcel of land is located in Zone X (Area with reduced flood risk due to levee) and Zone AE (base Flood Elevation: 19'). Note: Flood zone division line/lines shown hereon are approximate only. A Flood Zone Determination is recommended for designs near division lines or within regulated flood zones. Note: Base Flood Elevations are based on NAVD 88.
- This survey does not constitute a title search by Clark Land Surveying, Inc. to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, Clark Land Surveying, Inc. relied upon a Commitment for Title Insurance, prepared by First American Title Insurance Company of Louisiana, Commitment No. 1018-323/4243-07, with an effective date of August 7, 2024.
- The linear units used in this drawing are U.S. Survey Feet.
- SITE BENCHMARK #1: Cotton spindle in asphalt, as shown. Elevation: 25.87' (NAVD 88). SITE BENCHMARK #2: Cotton spindle in asphalt, as shown. Elevation: 25.68' (NAVD 88).
- The improvements shown hereon are as of the date of field work, August 26-28, 2024.
- Survey is relative to NAD83, Louisiana State Plane Coordinate System, South Zone (1702).
- This site is zoned "HC1" (Heavy Commercial One). CURRENT ZONING INFORMATION: ZONING: "HC1" Parking Provided: 0 regular spaces, 0 handicap spaces. No zoning information was provided by the client at the time of survey. For additional zoning information please contact the City of Baton Rouge Planning Commission at 225-389-3144.
- This property contains a calculated area of 3,867,494 square feet (88.785 acres) more or less.
- The record perimeter of the boundary does result in a mathematical closure.
- There are improvements along portions of the boundary as shown hereon. Ownership and/or maintenance responsibilities of said improvements was not determined by this survey.
- Access is obtained directly from Baringer Foreman Road, and Airline Highway. The right of way lines of said street and the boundary lines of subject property are coterminous and contain no gaps, gores or overlaps.
- Easements and other record documents shown or noted on this survey were examined as to location and purpose and were not examined as to restrictions, exclusions, conditions, obligations, terms, or as to the right to grant the same.
- This ALTA/NSPS Land Title Survey was prepared for the exclusive use of persons/parties listed in certification. Said statement does not extend to any unnamed person/parties without an express statement by the surveyor naming said person/parties.
- The subject property is vacant land - Not Posted Address: 7821 Airline Highway Baton Rouge, Louisiana 70815.
- There is observable evidence of earth moving work, building construction or building additions within recent months. Land has been cleared.
- There are changes in street right of way lines either completed or proposed, per documents provided by title company.
- There is no observable evidence of recent street or sidewalk construction or repairs.
- There is no evidence of potential wetlands observed on the subject property at the time the survey was conducted, nor have we received any documentation of any wetlands being located on the subject property. No markers were observed at the time of the survey.
- Encroachment Statement: No apparent encroachments at the time of survey.
- The adjacent parcel linework shown hereon is approximate per the current Assessor's map of these parcels.

SCHEDULE B2 EXCEPTIONS:

Item No.

- RIGHT OF WAY GRANT EXECUTED BY AND BETWEEN DANIEL M. BARINGER AND FORD BACON & DAVIS, INC. DATED JANUARY 24, 1927 AND RECORDED FEBRUARY 22, 1927 AT ORIGINAL 8, BUNDLE 621 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -MAY BE LOCATED ON THE SURVEY AREA, INSUFFICIENT MATHEMATICAL DESCRIPTION AVAILABLE.
- AGREEMENT EXECUTED BY AND BETWEEN MRS. D.M. BARINGER, ET. AL. AND JOSEPH GIBLIN DATED SEPTEMBER 15, 1927 AND RECORDED NOVEMBER 4, 1927 AT ORIGINAL 34, BUNDLE 661 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -MAY BE LOCATED ON THE SURVEY AREA, INSUFFICIENT MATHEMATICAL DESCRIPTION AVAILABLE.
- RIGHT OF WAY EXECUTED BY AND BETWEEN MRS. D.M. BARINGER AND THE POLICY JURY OF THE PARISH OF EAST BATON ROUGE, DATED MY 29, 1940 AND RECORDED JULY 15, 1940 AT ORIGINAL 59, BUNDLE 1314 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -MAY BE LOCATED ON THE SURVEY AREA, INSUFFICIENT MATHEMATICAL DESCRIPTION AVAILABLE.
- RIGHT OF WAY DEED AND MAP EXECUTED BY AND AMONG ROSAMOND GORDON BARINGER, TUTRIX AND STATE OF LOUISIANA AND THE DEPARTMENT OF HIGHWAYS OF THE STATE OF LOUISIANA DATED MARCH 13, 1947 AND RECORDED MARCH 25, 1947 AT ORIGINAL 8, BUNDLE 1996 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -IS LOCATED ON THE SURVEY AREA, AS SHOWN HEREON.
- RIGHT OF WAY DEED EXECUTED BY AND AMONG GENEVIEVE B. STRENZKE AND STATE OF LOUISIANA AND THE DEPARTMENT OF HIGHWAYS OF THE STATE OF LOUISIANA DATE MARCH 13, 1947 AND RECORDED MARCH 25, 1947 AT ORIGINAL 9, BUNDLE 1996 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -IS LOCATED ON THE SURVEY AREA, SHOWN AS EXCEPTION NO. 12 HEREON.
- GRANT OF RIGHT OF WAY EXECUTED BY AND BETWEEN DANIEL WALLACE BARINGER AND THE PARISH OF EAST BATON ROUGE DATED JUNE 12, 1967 AND RECORDED JUNE 4, 1969 AT ORIGINAL 35, BUNDLE 7069 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -MAY BE LOCATED ON THE SURVEY AREA, INSUFFICIENT MATHEMATICAL DESCRIPTION AVAILABLE.
- RESTRICTIONS, SERVITUDES, SETBACKS, AND COVENANTS AS SHOWN ON THE MAP ENTITLED "MAP SHOWING REMOVAL OF TRACT B-1 FROM TRACT "B" OF THE BARINGER TRACT, LOCATED IN SECTION 51, T-8-S, R-2-E, GLD OF LA, EAST BATON ROUGE PARISH, LA FOR DANIEL W. BARINGER" DATED JANUARY 8, 1989, PREPARED BY G.M. CHATELAIN, REGISTERED LAND SURVEYOR, AND RECORDED AT ORIGINAL 95, BUNDLE 6968 IN THE OFFICIAL RECORDS OF THE PARISH OF EAST BATON ROUGE, STATE OF LOUISIANA. -IS NOT LOCATED ON THE SURVEY AREA, BUT IS LOCATED ON THE SUBJECT PARCEL BLANKET IN NATURE.
- SERVITUDE AND MAP EXECUTED BY AND BETWEEN DANIEL WALLACE BARINGER AND THE PARISH OF EAST BATON ROUGE DATED AND RECORDED AUGUST 24, 1973 AT ORIGINAL 64, BUNDLE 8491 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -IS NOT LOCATED ON THE SURVEY AREA, BUT IS LOCATED ON THE SUBJECT PARCEL AS SHOWN HEREON.
- SERVITUDE EXECUTED BY AND BETWEEN DANIEL WALLACE BARINGER AND JEFFERSON HILLS, INC. DATED FEBRUARY 27, 1975 AND RECORDED FEBRUARY 28, 1975 AT ORIGINAL 95, BUNDLE 9018 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -SERVITUDE HAS ENDED AS OF FEBRUARY 27, 1977.
- RESTRICTIONS, SERVITUDES, SETBACKS, AND COVENANTS AS SHOWN ON THE MAP ENTITLED "MAP SHOWING SEPARATION OF TRACT B-2-A & B-2-B FROM THE REMAINDER OF THE DANIEL W. BARINGER TRACT NORTH OF THE WARD CREEK DIVERSION CANAL RIGHT OF WAY, LOCATED IN SECTIONS 51 & 52, T-8-S, R-2-E, GREENSBURG DISTRICT OF LA, EAST BATON ROUGE PARISH, LOUISIANA" DATED APRIL 16, 1980 PREPARED BY R.L. BREAUX, REGISTERED LAND SURVEYOR, AND RECORDED AT ORIGINAL 714, BUNDLE 9373 IN THE OFFICIAL RECORDS OF THE PARISH OF EAST BATON ROUGE, STATE OF LOUISIANA. -IS LOCATED ON THE SURVEY AREA, BLANKET IN NATURE AND AS SHOWN HEREON.
- OIL, GAS, AND MINERAL LEASE EXECUTED BY AND BETWEEN BARBARA THIBODEAUX BARINGER, ET. AL. AND GOLDING PROPERTIES COMPANY DATED AUGUST 16, 1981 AND RECORDED SEPTEMBER 29, 1981 AT ORIGINAL 940, BUNDLE 9457 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -LEASE HAS EXPIRED AS OF AUGUST 16, 1982.
- RESTRICTIONS, SERVITUDES, SETBACKS, AND COVENANTS AS SHOWN ON THE MAP ENTITLED "PLOT SHOWING THE RESUBDIVISION OF TRACTS B-2-A B-2-B AND B-2-C, INTO B-2-C AND B-2-C-1, BEING A PORTION OF THE DANIEL W. BARINGER TRACT NORTH OF THE WARD CREEK DIVERSION CANAL, RIGHT OF WAY, LOCATED IN SECTIONS 51 & 52, T-8-S, R-2-E, GREENSBURG DISTRICT OF LA, EAST BATON ROUGE PARISH, LOUISIANA" DATED JANUARY 18, 1982, PREPARED BY STEWART, KYRKENDALL & ASSOCIATES AND RECORDED AT ORIGINAL 704, BUNDLE 9475 IN THE OFFICIAL RECORDS OF THE PARISH OF EAST BATON ROUGE, STATE OF LOUISIANA. -IS LOCATED ON THE SURVEY AREA, BLANKET IN NATURE AND SHOWN AS EXCEPTION NO. 18 HEREON.
- SERVITUDE AGREEMENT AND MAP EXECUTED BY AND BETWEEN DALE R. BARINGER, ET. AL. AND THE BATON ROUGE WATER WORKS COMPANY DATED AUGUST 2, 1985 AND RECORDED AUGUST 9, 1985 AT ORIGINAL 822, BUNDLE 9770 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -IS LOCATED ON THE SURVEY AREA, AS SHOWN HEREON.
- SERVITUDE AGREEMENT AND MAP EXECUTED BY AND BETWEEN BARBARA T. BARINGER, ET. AL. AND THE BATON ROUGE WATER WORKS COMPANY DATED AUGUST 2, 1985 AND RECORDED AUGUST 9, 1985 AT ORIGINAL 825, BUNDLE 9770 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -IS LOCATED ON THE SURVEY AREA, AS SHOWN HEREON.
- RESTRICTIONS, SERVITUDES, SETBACKS, AND COVENANTS AS SHOWN ON THE MAP ENTITLED "RESUBDIVISION OF TRACTS B-2-C-1 AND B-2-D INTO B-2-C-1-A AND B-2-D-1 BEING A PORTION OF THE DANIEL W. BARINGER TRACT LOCATED IN SECTIONS 51 & 52, T-8-S, R-2-E, GREENSBURG DISTRICT, EAST BATON ROUGE PARISH, LA," DATED OCTOBER 20, 1986, PREPARED BY J.F. RUELLO, PROFESSIONAL LAND SURVEYOR, AND RECORDED AT ORIGINAL 827, BUNDLE 9875 IN THE OFFICIAL RECORDS OF THE PARISH OF EAST BATON ROUGE, STATE OF LOUISIANA. -IS LOCATED ON THE SURVEY AREA, AS SHOWN HEREON.
- RESTRICTIONS, SERVITUDES, SETBACKS, AND COVENANTS AS SHOWN ON THE MAP ENTITLED "MAP SHOWING EXCHANGE OF PROPERTY BETWEEN TRACT B-2-C-1-A AND B-1 INTO B-2-C-1-A-1 AND B-1-A BEING A PORTION OF THE DANIEL W. BARINGER TRACT LOCATED IN SECTIONS 51 & 52, T-8-S, R-2-E, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA FOR DALE R. BARINGER" DATED OCTOBER 5, 2015, PREPARED BY ROBERT H. BROOKS, III, PROFESSIONAL LAND SURVEYOR, AND RECORDED AT ORIGINAL 788, BUNDLE 12686 IN THE OFFICIAL RECORDS OF THE PARISH OF EAST BATON ROUGE, STATE OF LOUISIANA. -IS LOCATED ON THE SURVEY AREA, BLANKET IN NATURE AND AS SHOWN HEREON.
- RESTRICTIONS, SERVITUDES, SETBACKS, AND COVENANTS AS SHOWN ON THE MAP ENTITLED "MAP SHOWING EXCHANGE OF PROPERTY BETWEEN TRACT B-2-C-1-A AND B-1 INTO B-2-C-1-A-1 AND B-1-A BEING A PORTION OF THE DANIEL W. BARINGER TRACT LOCATED IN SECTIONS 51 & 52, T-8-S, R-2-E, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA FOR DALE R. BARINGER" DATED OCTOBER 5, 2015, PREPARED BY ROBERT H. BROOKS, III, PROFESSIONAL LAND SURVEYOR, AND RECORDED AT ORIGINAL 967, BUNDLE 12728 IN THE OFFICIAL RECORDS OF THE PARISH OF EAST BATON ROUGE, STATE OF LOUISIANA. -IS LOCATED ON THE SURVEY AREA, BLANKET IN NATURE AND AS SHOWN HEREON.
- RESERVATION OF MINERAL RIGHTS CONTAINED IN THAT CERTAIN ACT OF CONTRIBUTION TO CAPITAL AND CONVEYANCE OF PROPERTY EXECUTED BY AND BETWEEN DALE R. BARINGER AND BARINGER LAND COMPANY, L.L.C. DATED AND RECORDED MAY 6, 2016 AT ORIGINAL 436, BUNDLE 12729 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA, AS AMENDED BY THAT CERTAIN NOTARIAL ACT OF CORRECTION DATED AND RECORDED JUNE 2, 2016 AT ORIGINAL 363, BUNDLE 12735 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -IS LOCATED ON THE SURVEY AREA, NOT SURVEY RELATED.
- INTENTIONALLY LEFT BLANK.
- RESTRICTIONS, SERVITUDES, SETBACKS, AND COVENANTS AS SHOWN ON THE MAP ENTITLED "MAP SHOWING DEDICATION OF DOUGLAS BARINGER DRIVE PUBLIC RIGHT OF WAY TRACT B-2-C-1-A-1 BEING A PORTION OF THE DANIEL W. BARINGER TRACT LOCATED IN SECTIONS 51 & 52, T-8-S, R-2-E, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA FOR DALE R. BARINGER" DATED SEPTEMBER 11, 2017, PREPARED BY ROBERT H. BROOKS, III, PROFESSIONAL LAND SURVEYOR, AND RECORDED AT ORIGINAL 279, BUNDLE 12842 IN THE OFFICIAL RECORDS OF THE PARISH OF EAST BATON ROUGE, STATE OF LOUISIANA. -IS LOCATED ON THE SURVEY AREA, BLANKET IN NATURE AND AS SHOWN HEREON.
- DECLARATION OF ABANDONMENT EXECUTED BY THE DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT OF THE STATE OF LOUISIANA DATED JANUARY 3, 2019 AND RECORDED FEBRUARY 1, 2019 AT ORIGINAL 35, BUNDLE 12939 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -IS LOCATED ON THE SURVEY AREA, AS SHOWN HEREON.
- NOTICE OF FILING OF DECLARATION OF ABANDONMENT EXECUTED BY BARINGER LAND COMPANY, L.L.C. DATED FEBRUARY 22, 2019 AND RECORDED FEBRUARY 12, 2020 AT ORIGINAL 176, BUNDLE 13010 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -IS LOCATED ON THE SURVEY AREA, SHOWN AS EXCEPTION NO. 29 HEREON.
- WAIVER OF RIGHTS TO APPROVE SURFACE ACTIVITIES CONTAINED IN THAT CERTAIN ACT OF SALE EXECUTED BY AND BETWEEN BARINGER LAND COMPANY, L.L.C. AND PRICECO WEST, LC. DATED NOVEMBER 6, 2020 AND RECORDED NOVEMBER 9, 2020 AT ORIGINAL 765, BUNDLE 13065 IN THE OFFICIAL RECORDS OF EAST BATON ROUGE PARISH, LOUISIANA. -IS LOCATED ON THE SURVEY AREA, BLANKET IN NATURE.

Items not listed above are determined non-survey related items and are not plotted hereon.

SURVEYOR'S CERTIFICATION:

To: Waukesha-Pearce Industries, LLC, a Texas limited liability company; Priceco West, LC, a Louisiana limited liability company; and First American Title Insurance Company of Louisiana:

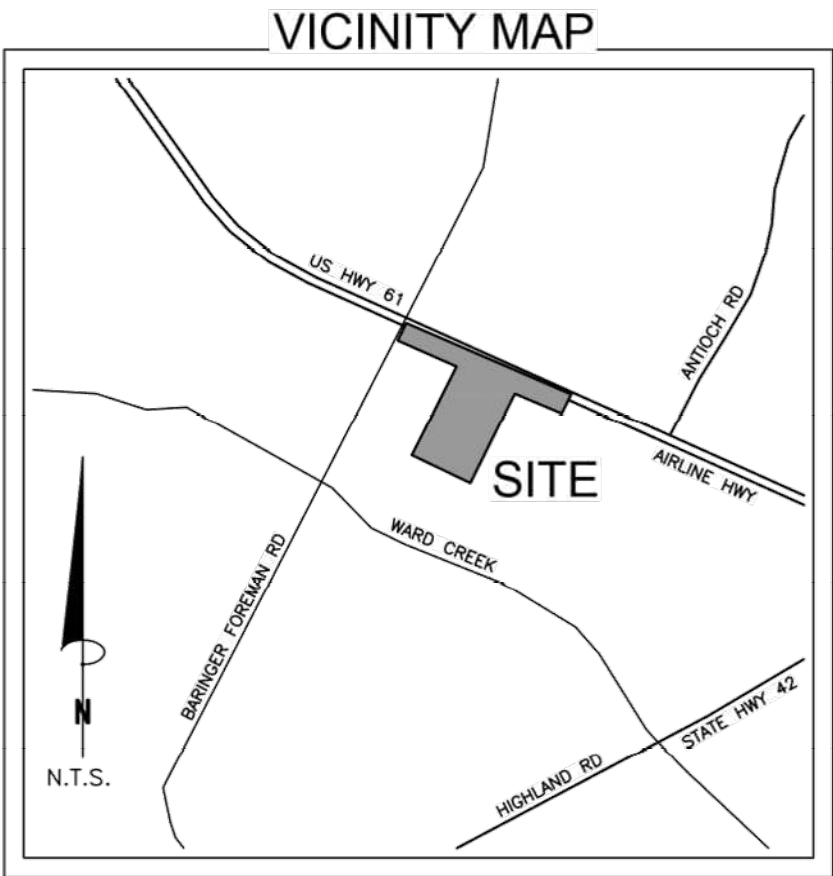
I Patrick A. Fox PLS 5021, being an agent of Topographic Land Surveyors (Firm No. VF.0000612), licensed to practice professional land surveying in the State of Louisiana, hereby certifies that this Topographic survey was completed under my direct supervision, and that the accompanying plat is true and correct to the best of my knowledge and all work was performed along with RMC Surveying LLC in accordance with the Louisiana Administrative Code, Title 46, Part LXI, Professional and Occupation Standards, Chapter 23, Section 2305, Paragraph "B".

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 5, 6a, 6b, 7a, 7b1, 7c, 8, 9, 11a, 11b, 13, 16, 17, 19 and 20a of Table A thereof. The field work was completed on August 26-28, 2024.

Date of Plat or Map: September 5, 2024.



Patrick A. Fox
Louisiana Professional Land Surveyor No. 5021
Email: ALTA@clarksls.com



Revisions

No.	Description	By	Date
1	Additional Survey	JAY	12/13/2024

SITE NAME:
1018-323/4243-07

ALTANSPS LAND TITLE SURVEY

TRACT B-2-C-1-A-1, ORIGINAL 967, BUNDLE 12728
AND ABANDONED SIGHT TRIANGLE, ORIGINAL 35, BUNDLE 12939,
CITY OF BATON ROUGE, EAST BATON ROUGE PARISH, LOUISIANA.

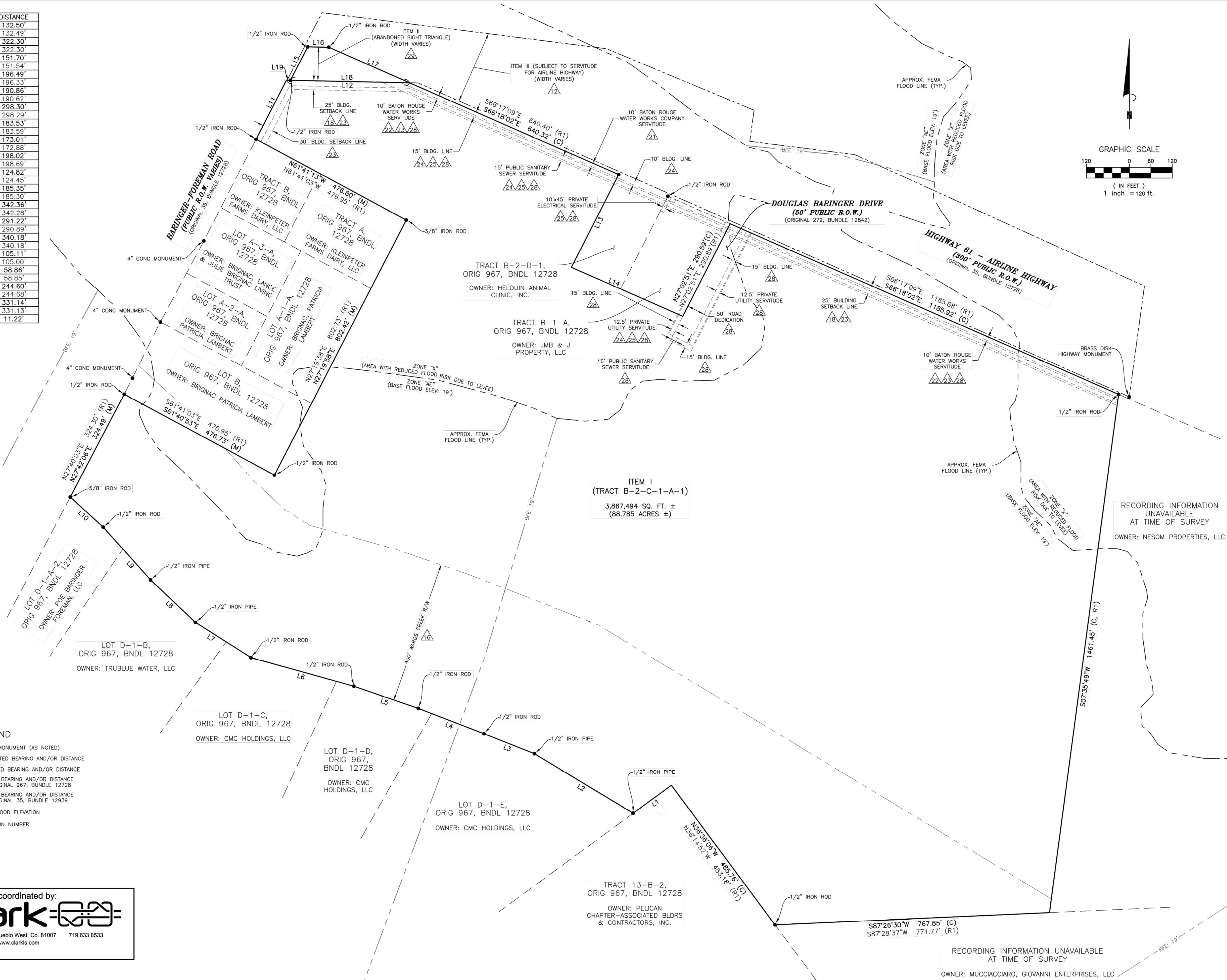
Project No.	240686	Drawn By: VJW Checked By: RLM	Date: 09/06/2024 Sheet 1 of 3
-------------	--------	----------------------------------	----------------------------------

Site coordinated by:

Clark

177 S. Tiffany Dr. Pueblo West, Co. 81007 719.633.8533
www.clarksls.com

LINE	BEARING	DISTANCE
L1(C)	S53°44'02"W	132.50'
L1(R1)	S53°47'43"W	132.49'
L2(M)	N58°50'41"W	322.30'
L2(R1)	N58°52'58"W	322.30'
L3(M)	N68°28'23"W	151.70'
L3(R1)	N68°29'46"W	151.54'
L4(M)	N68°58'53"W	196.49'
L4(R1)	N69°01'14"W	196.33'
L5(M)	N70°55'41"W	190.86'
L5(R1)	N70°44'14"W	190.62'
L6(M)	N74°23'35"W	298.30'
L6(R1)	N74°26'08"W	298.29'
L7(M)	N57°39'56"W	183.53'
L7(R1)	N57°39'42"W	183.59'
L8(M)	N46°38'10"W	173.01'
L8(R1)	N46°40'42"W	172.88'
L9(M)	N41°54'00"W	198.02'
L9(R1)	N42°00'53"W	198.69'
L10(M)	N47°30'32"W	124.82'
L10(R1)	N47°27'00"W	124.45'
L11(C)	N27°17'19"E	185.35'
L11(R1)	N27°19'38"E	185.30'
L12(C)	N88°57'08"W	342.36'
L12(R1)	S88°55'18"E	342.28'
L13(C)	S27°01'57"W	291.22'
L13(R1)	S27°02'51"W	290.89'
L14(C)	S66°17'09"E	340.18'
L14(R1)	S66°17'09"E	340.18'
L15(M)	N27°20'09"E	105.11'
L15(R2)	N27°33'22"E	105.00'
L16(M)	S88°55'10"E	58.86'
L16(R2)	S88°41'34"E	58.85'
L17(C)	S66°18'02"E	244.60'
L17(R2)	S66°03'25"E	244.68'
L18(C)	N88°57'08"W	331.14'
L18(R2)	N88°41'34"W	331.13'
L19(C)	N88°57'08"W	11.22'



Site coordinated by:

Clark

177 S. Tiffany Dr. Pueblo West, Co. 81007 719.633.8533
www.clarks.com

ALTANSPS LAND TITLE SURVEY

TRACT B-2-C-1-A-1, ORIGINAL 967, BUNDLE 12728
AND ABANDONED SIGHT TRIANGLE, ORIGINAL 35, BUNDLE 12939,
CITY OF BATON ROUGE, EAST BATON ROUGE PARISH, LOUISIANA.

Project No. 240686 Drawn By: Vlj Date: 09/06/2024 Sheet 3 of 3
Checked By: RLM

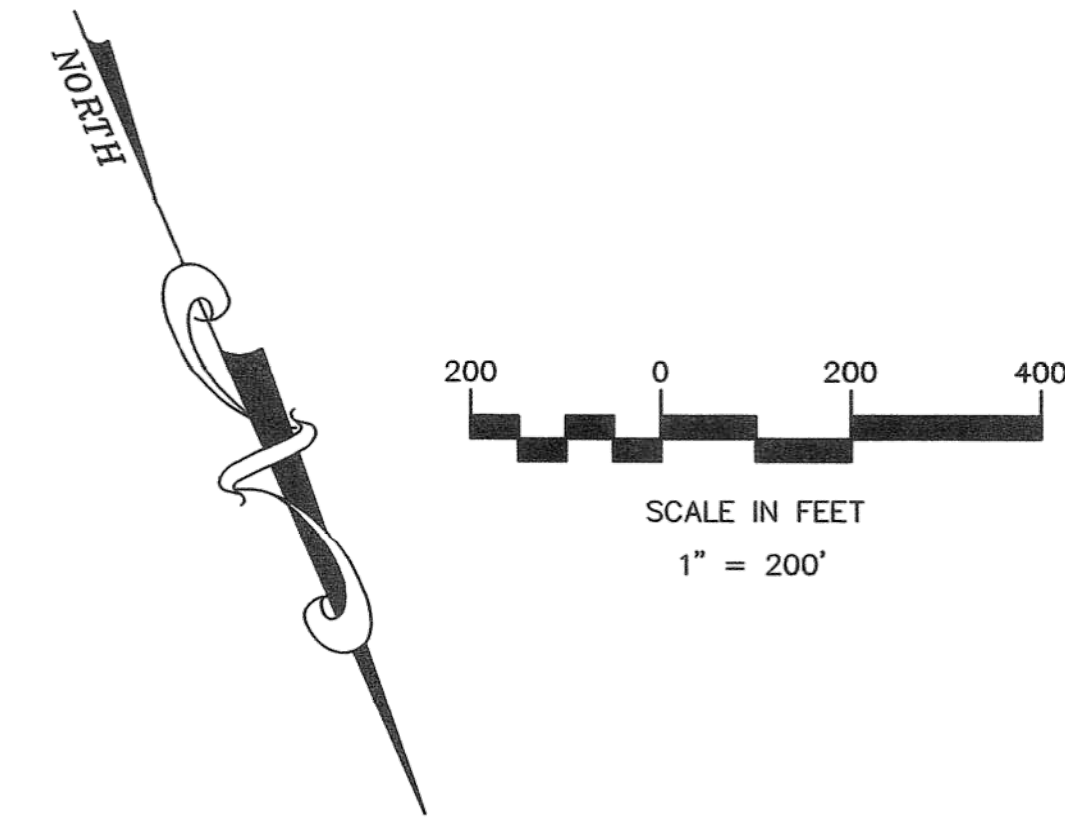
SITE NAME:
1018-323/4243-07

Revisions

No.	Description	By	Date
1	Additional Survey	JAY	12/13/2024

Topographic

13621 HWY. 110 S TYLER, TX. 75707
(936) 939-8860
FIRM ID 10122800



NO ATTEMPT HAS BEEN MADE BY EVANS-GRAVES ENGINEERS, INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIPS, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY OR OTHER BURDENS ON THE PROPERTY, OTHER THAN THAT FURNISHED BY THE CLIENT OR HIS REPRESENTATIVE.

FILL NOTE:
VARIOUS LOTS WITHIN THE SUBDIVISION HAVE RECEIVED FILL DURING THE SUBDIVISION CONSTRUCTION PHASE OF THE PROJECT. EACH BUILDER/OWNER SHALL BE RESPONSIBLE FOR INDEPENDENTLY INVESTIGATING THE SOIL CONDITIONS OF THE LOT AND SHALL FURNISH COMPACTION DATA TO THE PERMIT OFFICE PRIOR TO COMMENCING CONSTRUCTION TO ENSURE BUILDING CODE COMPLIANCE FOR APPROPRIATE FOUNDATION/SLAB DESIGN. THE DEVELOPER AND/OR ENGINEER DOES NOT WARRANT SOIL CONDITIONS.

GRADING INSTRUCTIONS: AS PART OF THE SITE CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER, HIS CONTRACTOR OR HIS REPRESENTATIVE TO GRADE EACH LOT SO THAT THE STORM DRAINAGE RUNOFF CONFORMS TO THE APPROVED DRAINAGE LAYOUT, UNLESS OTHERWISE APPROVED BY THE CITY OF ST. GEORGE.

POND SERVITUDE NOTE:
THE 30' DRAINAGE SERVITUDES SHOWN THROUGH THE RETENTION POND AS SHOWN HEREON IS DEDICATED FOR THE PURPOSES OF THE MAINTENANCE OF UNRESTRICTED STORM WATER RUN-OFF. THE RETENTION POND, AS REQUIRED BY THE CITY OF ST. GEORGE, WAS DESIGNED FOR THE PURPOSE OF STORM WATER DETENTION. THE RETENTION POND SHALL NOT BE FILLED SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH THE PURPOSE FOR WHICH IT IS INTENDED. THE CITY OF ST. GEORGE SHALL HAVE NO RESPONSIBILITY FOR THE MAINTENANCE THEREOF. THE RETENTION POND WITHIN THE BOUNDARIES OF THIS DEVELOPMENT SHALL BE PRIVATELY OWNED AND MAINTAINED.

SIDEWALK NOTE: IT SHALL BE THE DUTY OF EACH INDIVIDUAL LOT OWNER TO MAINTAIN THAT PORTION OF SIDEWALK, WHICH IS ON OR ADJACENT TO HIS/HER PROPERTY. THE CITY OF ST. GEORGE SHALL HAVE NO RESPONSIBILITY FOR LIABILITY OR MAINTENANCE OF THE SIDEWALKS.

SIDEWALK NOTE (FOR BONDED): ALL SIDEWALK IMPROVEMENTS ARE TO BE BUILT BY THE APPROVED MUNICIPALY-LICENSED CONTRACTOR, WITHIN THE TIME PERIOD STATED ON THE BOND AGREEMENT. IT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER TO REPAIR SIDEWALK DAMAGES INCURRED DURING BUILDING CONSTRUCTION, PRIOR TO FINAL BUILDING INSPECTION APPROVAL ON THE LOT.

UTILITY SERVICE SERVITUDE NOTE: WHERE UNDERGROUND ELECTRICAL UTILITY SERVICE IS PROVIDED FOR THE SUBDIVISION, RESTRICTIONS SHALL INCLUDE A REQUIREMENT THAT THE OWNER OF EACH LOT SHALL FURNISH AN ELECTRIC SERVITUDE FROM THE SOURCE OF SUPPLY TO HIS METER LOCATION FOR RECEIPT OF ELECTRIC SERVICE ON THE LOT.

STORMWATER MANAGEMENT NOTE:
AS PART OF CONSTRUCTION IT IS THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH STORMWATER AND DRAINAGE REQUIREMENTS OF SECTION 7:15.13 OF THE UDC, LATEST REVISION.

THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND CITY-PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY. IN PARTICULAR, NO FILLING OF THE PROPERTY SHALL BE COMMENCED UNTIL ALL APPLICABLE PROVISIONS OF TITLE 7, CHAPTER 15 OF THE UNIFIED DEVELOPMENT CODE ARE ADDRESSED.

THE CITY OF ST. GEORGE DOES NOT ENFORCE PRIVATE DEED AND/OR SUBDIVISION RESTRICTIONS. HOWEVER, THE APPROVAL OF THIS PLAT DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR/BUILDER FROM COMPLYING WITH ANY SUCH RESTRICTIONS THAT MAY BE ATTACHED TO THE PROPERTY ON THIS PLAT.

DEDICATION: THE STREETS AND RIGHTS OF WAY SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. ALL AREAS SHOWN AS SERVITUDES, OTHER THAN THOSE LABELED AS PRIVATE SERVITUDES, ARE GRANTED TO THE PUBLIC FOR THE PURPOSES INDICATED ON THE PLAT, INCLUDING UTILITIES, DRAINAGE, SEWAGE REMOVAL OR OTHER PROPER PURPOSES FOR THE GENERAL USE OF THE PUBLIC. NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY SERVITUDE OR RIGHT OF WAY SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE OR RIGHT-OF-WAY IS GRANTED.

SEWERAGE DISPOSAL: NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE EAST BATON ROUGE PARISH HEALTH UNIT.

PRIVATE UTILITY SERVITUDE DEDICATION: THE AREA DESIGNATED AS "PRIVATE UTILITY SERVITUDE" IS HEREBY DEDICATED TO PRIVATE UTILITY COMPANIES FOR THE INSTALLATION, MAINTENANCE AND GENERAL USE OF PRIVATE UTILITY COMPANIES. NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE OR OTHER IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER THE "PRIVATE UTILITY SERVITUDE" SO AS TO PREVENT OR UNNECESSARILY INTERFERE WITH ANY PURPOSE FOR WHICH THE "PRIVATE UTILITY SERVITUDE" IS GRANTED. THE PUBLIC SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OR UPKEEP OF ANY IMPROVEMENTS WITHIN THE "PRIVATE UTILITY SERVITUDE".

PRICECO WEST LC, OWNER
CHARLES BONDY

DATE

REFERENCE MAPS:

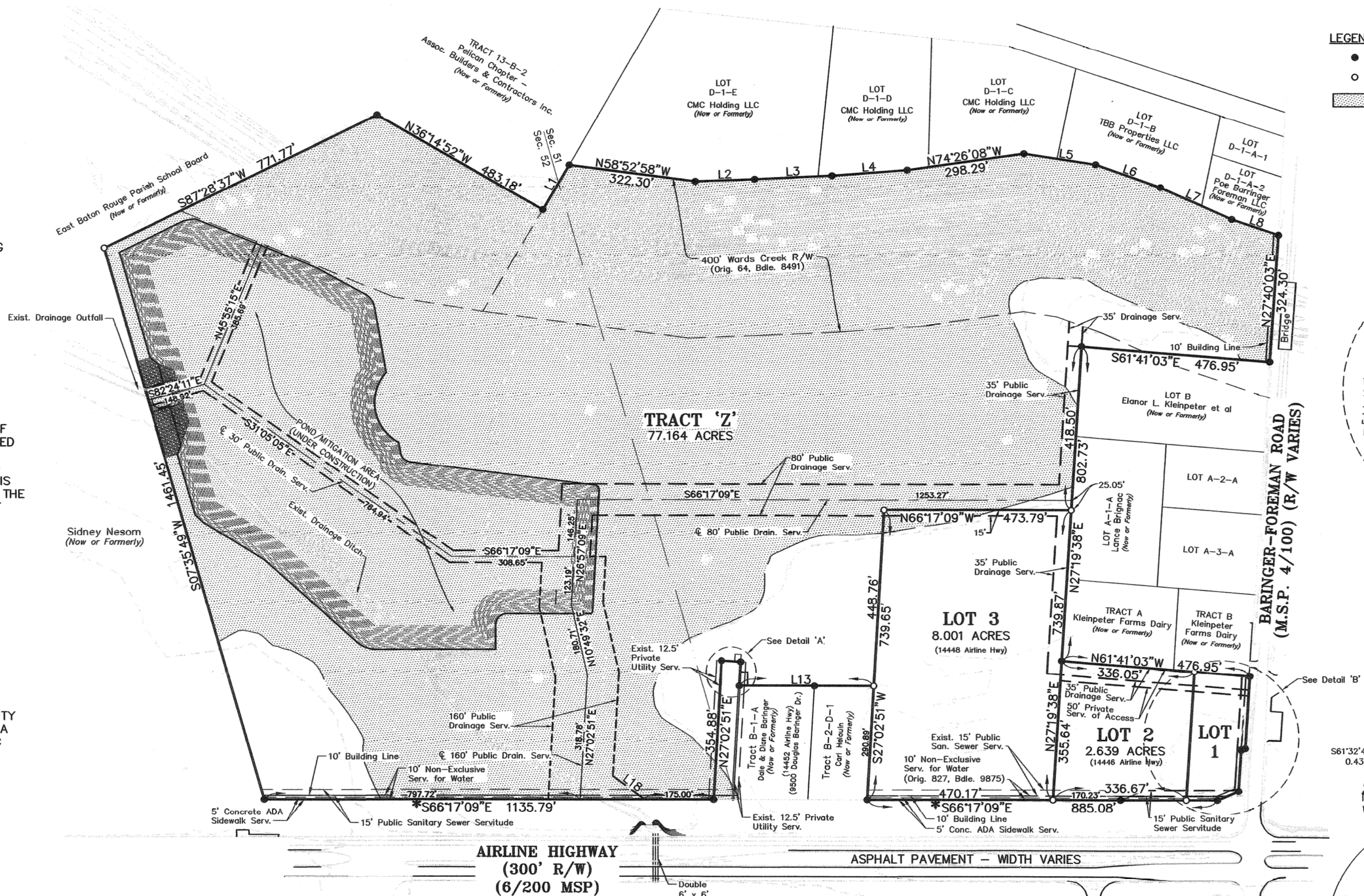
- 1) "RESUBDIVISION OF TRACTS B-2-C-1 AND B-2-D INTO B-2-C-1-A AND B-2-D-1 BEING A PORTION OF THE DANIEL W. BARINGER TRACT . . ." BY J.F. RUELLO, P.L.S. AND DATED OCTOBER 20, 1986.
- 2) "MAP OF THE REMOVAL OF A 64.189 ACRE TRACT FROM THE DANIEL W. BARINGER PROP. . . ." BY JAMES R. JOFFRION, P.L.S., DATED AUGUST 24, 1973.
- 3) "MAP SHOWING THE DELETION OF A PRIVATE SERVITUDE OF PASSAGE ALONG THE NORTHERLY SIDE OF LOTS D-1-A THRU D-1-E, J.L. MALLET PROPERTY, AND SHOWING THE ACCESS TO THESE LOTS BY MEANS OF AN EXISTING 60' PRIVATE SERVITUDE OF PASSAGE THRU LOT D-2-E, J.L. MALLET PROPERTY . . ." BY J.R. CLARY, R.L.S. AND DATED JUNE 18, 1979.
- 4) "MAP SHOWING A SURVEY OF A 30.17 ACRE TRACT . . ." BY CLARY & ASSOCIATES, INC. AND DATED AUGUST 29, 1983.
- 5) "MAP SHOWING REMOVAL OF TRACT B-1 FROM TRACT 'B' OF THE BARINGER TRACT . . ." BY G.M. CHATELAIN, R.L.S. AND DATED JANUARY 8, 1969.

REFERENCE MAPS CONT'D.:

- 6) "MAP SHOWING SURVEY OF TRACTS B-1, B-2-C-1-A, AND B-2-D-1 BEING A PORTION OF THE DANIEL W. BARINGER PROPERTY . . ." BY ROBERT H. BROOKS, III, P.L.S. DATED JULY 17, 2014 AND LAST REVISED SEPTEMBER 15, 2015.
- 7) "MAP SHOWING EXCHANGE OF PROPERTY BETWEEN TRACT B-2-C-1-A AND TRACT B-1 INTO TRACT B-2-C-1-A-1 AND TRACT B-1-A BEING A PORTION OF THE DANIEL W. BARINGER PROPERTY . . ." BY ROBERT H. BROOKS, III, P.L.S. DATED OCTOBER 5, 2015 AND LAST REVISED APRIL 26, 2016.
- 8) "PRELIMINARY PLAT OF BARINGER COMMERCIAL SUBDIVISION (LOTS 1-21, LOTS X & CA-1) PHASES I, II, III, IV & V BEING TRACT B-2-C-1-A-1 A PORTION OF THE DANIEL W. BARINGER PROPERTY . . ." BY MAX O. USREY, III, P.L.S. DATED JANUARY 16, 2025.
- 9) "MAP SHOWING SURVEY OF TRACT B-2-C-1-A-1 AND ABANDONED RIGHT OF WAY BEING A PORTION OF THE DANIEL W. BARINGER PROPERTY . . ." BY MAX O. USREY, III, P.L.S. DATED OCTOBER 30, 2020.

LEGEND:

- FOUND 1/2" IRON PIPE
- SET 1/2" IRON ROD
- DENOTES AREA IN FLOOD ZONE AE



LOT 1 IS NOT A BUILDING SITE UNTIL
SEWER IS CONSTRUCTED AND ACCEPTED.

WASTEWATER IMPACT FEE APPROVAL:

THIS IS TO CERTIFY THAT THE APPLICANT OF LOTS 1, 2, & 3 HAS PAID \$1,075 PER (LOT/TRACT) FOR A TOTAL OF \$3,225 (CHECK NO. 2243) IN WASTEWATER IMPACT FEES IN ACCORDANCE WITH ORDINANCE 10043, E.B.R.O.S.C.O. ORDINANCE 1242 AS AMENDED, ADOPTED SEPTEMBER 28, 1994, BY THE ST. GEORGE CITY COUNCIL. ADDITIONALLY, ALL (LOTS/TRACTS) FOR WHICH A BUILDING PERMIT WILL BE ISSUED FOR IMPROVEMENTS TO THE (LOT/TRACT) WILL REQUIRE A PAYMENT OF THE REMAINING PORTION OF THE WASTEWATER IMPACT FEE IN ACCORDANCE WITH THE AFOREMENTIONED ORDINANCE. THIS SUBDIVISION IS LOCATED IN THE SEVENTH SEWER DISTRICT.

A PRIVATE WATER QUALITY MAINTENANCE COVENANT HAS BEEN EXECUTED AND RECORDED IN THE OFFICE OF THE CLERK AND RECORDER OF THE PARISH AS ORIGINAL 115, BUNDLE 13581.

CERTIFICATION:

THIS IS TO CERTIFY THAT THIS PLAT CONFORMS TO LA REVISED STATUTES 33:5051 ET. SEQ. AND CONFORMS TO ALL CITY ORDINANCES CONCERNING THE SUBDIVISION OF LAND. THIS PLAT CONFORMS TO THE APPLICABLE MINIMUM STANDARDS OF THE STATE OF LOUISIANA FOR A CLASS "C" SURVEY.



RECOMMENDED FOR APPROVAL:
ENGINEERING SERVICES
CITY OF ST. GEORGE

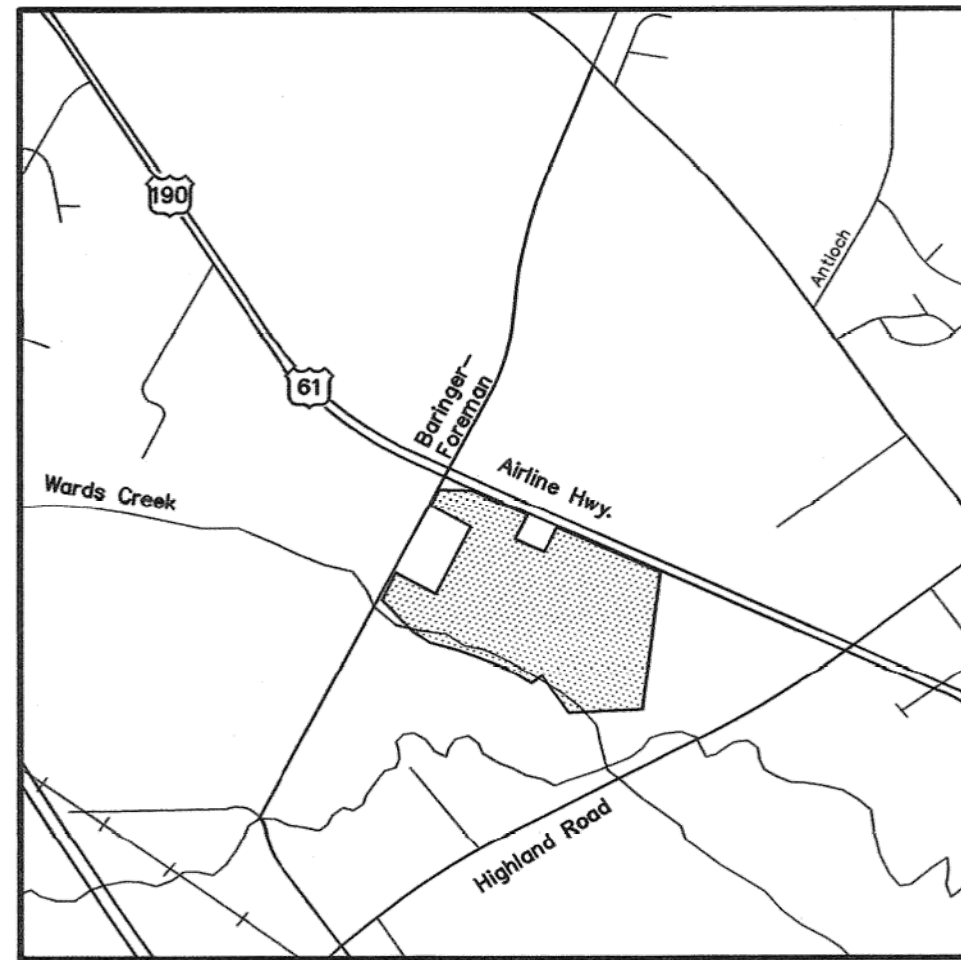
Stephanie Phillips Gros, P.E., P.T.O.E.
ENGINEERING MANAGER

7/21/2025
DATE

APPROVED:
PLANNING COMMISSION
CITY OF ST. GEORGE

Melissa Guilbeau, AICP OR HER DESIGNEE
PLANNING COMMISSION DIRECTOR

7/21/2025 S-13-21-F1
DATE



VICINITY MAP
1"=2000'

GENERAL NOTES:

ZONING: HC-1
SETBACKS: HC-1
FRONT: 10'
REAR: NONE
SIDE: NONE
CORNER SIDE YARD: 10'
MIN. LOT WIDTH: 60'
MIN. LOT AREA: 7,500 SF
EXISTING LAND USE: UND
FUTURE LAND USE CATEGORY: COMMERCIAL
CHARACTER AREA: SUBURBAN
SUB'D. STREETS: CONCRETE W/CURB & GUTTER
SEWER: WSTN
WATER: BATON ROUGE WATER COMPANY
GAS: ENTERGY
ELECTRIC: ENTERGY
TELEPHONE: AT&T
CABLE TELEVISION: COX COMMUNICATIONS
ACREAGE: 88.805 (TOTAL)
DENSITY: N/A
FIRE DISTRICT: ST. GEORGE #2
SCHOOL DISTRICTS: EBR-6
HIGH SCHOOL: WOODLAWN HIGH SCHOOL
MIDDLE SCHOOL: WOODLAWN MIDDLE SCHOOL
ELEM. SCHOOL: WOODLAWN ELEM. SCHOOL

CPPC ID#: 1640855334
GEOLOGIC HAZARDS: NONE
NO PROPOSED GREEN LINK PLANS
BASE FLOOD ELEVATION: 19.0' (AS PER EBR PARISH, 08-05-21)
INUNDATION ELEV.: 16.9' (AS PER EBR PARISH, 08-05-21)

ACCORDING TO THE FEDERAL EMERGENCY FLOOD INSURANCE RATE MAP NO. 22033C0335E DATED MAY 2, 2008, THIS PROPERTY IS LOCATED IN FLOOD ZONES 'AE' & SHADED 'X'.

BASE FLOOD ELEVATIONS ARE SUBJECT TO CHANGE AND THE CURRENT BASE FLOOD ELEVATION SHOULD BE VERIFIED WITH THE ENGINEERING DIVISION OF THE DEPARTMENT OF PUBLIC WORKS.

SPECIAL FLOOD HAZARD AREAS, BASE FLOOD ELEVATIONS, CONVEYANCE ZONES, UTILITY COMPANIES, AND ZONING DISTRICTS ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE CITY OF ST. GEORGE.

*BASIS OF BEARING: S66°17'09"E
(PER REFERENCE MAP #7)

NOTE: SITE IS NOT ON ANY CATS ROUTES

FINAL PLAT
OF
**BARINGER COMMERCIAL
SUBDIVISION**
PHASE 1
LOTS 1, 2, 3 & TRACT 'Z'
A SUBDIVISION OF TRACT B-2-C-1-A-1
AND
ABANDONED RIGHT OF WAY
BEING A PORTION OF THE
DANIEL W. BARINGER PROPERTY
LOCATED IN SECTIONS 51 & 52, T8S-R2E
GREENSBURG LAND DISTRICT,
EAST BATON ROUGE PARISH, LOUISIANA

FOR
PRICECO WEST LC
8811 VETERANS MEMORIAL BOULEVARD
METAIRE, LOUISIANA 70003
(225) 413-2729

EVANS-GRAVES ENGINEERS, INC.
ENGINEERING CONSULTANTS 9029 JEFFERSON HWY. BATON ROUGE, LA. 70809 (225)928-1620

DESIGNED: BB	CADFILE: 21016FP01
DETAILED: DRW	DATE: 07/08/2025
CHECKED: MOU	W.D.#: 21-016



X:\Projects\WALU\WALU24001\04-Production\Engineering\Construction Drawings\Current Drawings\WALU24001.dwg, 9/2/2025, 2:45:19 PM, Matthew DeBryenne

GENERAL NOTES:

1. CONTRACTOR IS ADVISED THAT ADDITIONAL NOTES MAY BE FOUND ON SUBSEQUENT SHEETS OF THE CONSTRUCTION DOCUMENT SET AND THAT SUCH NOTES, WHILE PERTAINING TO THE SPECIFIC DRAWINGS ON WHICH THEY ARE PLACED, SUPPLEMENT THE NOTES LISTED HEREIN. ALL NOTES SHALL BE APPLICABLE TO ALL DRAWINGS, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION. CONFLICTS OR MISSING INFORMATION SHALL BE BROUGHT TO THE OWNER'S REPRESENTATIVE'S ATTENTION IN WRITING.
3. PRIOR TO STARTING LAND DISTURBING ACTIVITY, DEMOLITION, OR CONSTRUCTION, CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE. THE OWNER, CONTRACTOR, OWNER'S REPRESENTATIVE, AND REPRESENTATIVES FROM AUTHORITIES HAVING JURISDICTION SHALL BE INVITED TO ATTEND THE MEETING.
4. CONTRACTOR SHALL VERIFY THAT NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO STARTING LAND DISTURBING ACTIVITY, DEMOLITION, OR CONSTRUCTION AND HAVE COPIES AVAILABLE ON THE JOBSITE.
5. THE DESIGN PROFESSIONAL DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS/METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS. CONSTRUCTION MEANS/METHODS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND CURRENT APPLICABLE LOCAL, STATE, AND FEDERAL AGENCIES' REGULATIONS, STANDARDS, AND SPECIFICATIONS.
7. CONTRACTOR TO PROVIDE THE MOST RECENT APPROVED AND PERMITTED CONSTRUCTION DOCUMENT SET TO ALL SUBCONTRACTORS. ALL SUBCONTRACTORS SHALL BE GIVEN THE ENTIRE SET OF DOCUMENTS. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE ENTIRE PLAN SET INCLUDING THE MOST RECENT CONTRACT DOCUMENT ADDENDUMS, AMENDMENTS, RE-ISSUES, BULLETIN DRAWINGS, ETC. AND ENSURE THEY HAVE THE NECESSARY INFORMATION TO ACCURATELY SCOPE THE PROJECT FOR THE SUB CONTRACTORS' RESPECTIVE TRADE.
8. CONSTRUCTION SHALL CONFORM TO OR EXCEED CURRENT REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT AND OTHER CURRENT APPLICABLE STANDARDS AND GOVERNING AUTHORITIES. FIELD CONDITIONS THAT MAY RESULT IN NONCOMPLIANCE WITH ADA REGULATIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE TO DETERMINE RESOLUTION PRIOR TO PROCEEDING WITH WORK.
9. CONTRACTOR IS REQUIRED TO MEET CURRENT APPLICABLE FEDERAL, OSHA, STATE, AND LOCAL REGULATIONS CONCERNING PROJECT SAFETY, AND ASSUMES RESPONSIBILITY FOR SAFETY ON THE PROJECT.
10. CONTRACTOR SHALL NOT DO WORK BEYOND THE LIMIT OF DISTURBANCE AS DEFINED ON THE DRAWINGS AND AUTHORIZED BY THE RESPECTIVE AUTHORITIES. IN SOME DRAWINGS, THE LIMIT OF DISTURBANCE IS GRAPHICALLY SHOWN TO CLEARLY DESCRIBE WORK TO BE PERFORMED. CONTRACTOR SHALL UTILIZE ONLY THAT SPACE WHICH IS REQUIRED TO PERFORM THE WORK AS PERMITTED/APPROVED. CONTRACTOR SHALL TAKE THE SOLE RESPONSIBILITY FOR UNAUTHORIZED WORK BEYOND THE LIMIT OF DISTURBANCE AND SHALL BE RESPONSIBLE FOR CORRECTING DISTURBED AREAS BEYOND THAT LIMIT AT NO ADDITIONAL COST TO THE OWNER. CORRECTIVE WORK SHALL BE TO THE SATISFACTION OF THE OWNER.
11. CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING LAND DISTURBING ACTIVITY, DEMOLITION, AND CONSTRUCTION.
12. CONTRACTOR TO PROVIDE REQUIRED CLEANING AND CONTROL MEASURES TO ENSURE STREETS AND SIDEWALKS ARE KEPT CLEAN FROM DIRT AND DEBRIS TO THE STANDARD ESTABLISHED BY PERMITTING AUTHORITIES.
13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE OWNER HAS IDENTIFIED EXISTING WETLANDS, STREAMS, AND OTHER WATER BODIES, ESTABLISHED JURISDICTION, AND PERMITTED CONSTRUCTION IMPACTS PRIOR TO CONTRACTOR STARTING LAND DISTURBING ACTIVITY, DEMOLITION, OR CONSTRUCTION.
14. CONTRACTOR SHALL FIELD SURVEY POINTS TO THE SAME CONTROL POINTS AS THE EXISTING CONDITIONS SURVEY. CONTRACTOR TO MAINTAIN BENCHMARK UNTIL CERTIFICATE OF OCCUPANCY IS ISSUED.
15. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON FIELD SURVEYS AND THE AVAILABLE RECORD DRAWINGS. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO STARTING LAND DISTURBING ACTIVITY, DEMOLITION, OR CONSTRUCTION. UNUSUAL CONDITIONS AND DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
16. CONTRACTOR SHALL NOTIFY "LOUISIANA 811" (811) OR (1-800-272-3020) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO STARTING LAND DISTURBING ACTIVITY, DEMOLITION, OR CONSTRUCTION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATING SERVICES INDEPENDENT OF "LOUISIANA 811". REPORT DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL NOT COMMENCE WORK UNTIL UTILITY LINES HAVE BEEN MARKED. UTILITY MARKINGS ARE VALID FOR NO MORE THAN 14 DAYS.
17. SHOULD UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING LAND DISTURBING ACTIVITY, DEMOLITION, OR CONSTRUCTION, CONSULT THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
18. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY PROVIDER FOR REQUIRED DISCONNECTION, REMOVAL, AND/OR RELOCATION OF EXISTING POWER POLES, POWER LINES, TELEPHONE PEDESTALS, WATER METERS, GAS LINES, ETC. AS SHOWN ON THE DEMOLITION OR UTILITY SHEETS.
19. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJOINING PROPERTIES AND OTHER EXISTING FACILITIES THAT ARE SCHEDULED TO STAY OPEN SHALL REMAIN OPERATIONAL DURING LAND DISTURBING ACTIVITY, DEMOLITION, OR CONSTRUCTION. DEMOLITION OR UTILITY SHEET
20. CONTRACTOR SHALL COORDINATE STAGING AREA AND LOCATION OF CONSTRUCTION TRAILER WITH OWNER'S REPRESENTATIVE, IF NOT SHOWN ON PLANS.
21. CONTRACTOR SHALL PROVIDE INGRESS/EGRESS TO ALL EXISTING BUILDINGS, PARKING LOTS, AND PATHS OF PEDESTRIAN TRAVEL THROUGHOUT THE CONSTRUCTION PERIOD UNLESS OTHERWISE NOTED.
22. EXISTING CONDITIONS SLATED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR AND/OR THEIR SUB-CONTRACTORS, SHALL BE REPLACED/RESTORED BY THE CONTRACTOR TO THE ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
23. CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
24. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO STARTING LAND DISTURBING ACTIVITY, DEMOLITION, OR CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH AFFECTED WORK. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
25. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
26. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED THAT WRITTEN APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING OR INSTALLATION. DIFFERENCE IN COST TO THE OWNER TO BE APPROVED THROUGH AN ESTABLISHED CHANGE ORDER PROCEDURE PRIOR TO ORDERING OR INSTALLATION.
27. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF CONDUITS AND SLEEVING FOR PROPOSED UTILITIES TO BE INSTALLED.
28. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF UTILITIES PRIOR TO CONCEALMENT AND FIELD ADJUSTMENTS MADE DURING CONSTRUCTION THAT WERE APPROVED BY THE DESIGN PROFESSIONAL OF RECORD AND AUTHORITIES HAVING JURISDICTION. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE DESIGN PROFESSIONAL.

EXISTING CONDITIONS NOTES:

1. EXISTING CONDITIONS AND TOPOGRAPHIC INFORMATION ARE BASED ON THE ALTA / NSPS LAND TITLE SURVEY "TRACT B-2-C-1-A-1, ORIGINAL 967, BUNDLE 12728 AND ABANDONED SIGHT TRIANGLE, ORIGINAL 35, BUNDLE 12939, CITY OF BATON ROUGE, EAST BATON ROUGE PARISH, LOUISIANA" FOR "WAUKESHA-PEARCE INDUSTRIES, LLC, A TEXAS LIMITED LIABILITY COMPANY, PRICED WEST, LLC, A LOUISIANA LIMITED LIABILITY COMPANY, AND FIRST AMERICAN TITLE INSURANCE COMPANY OF LOUISIANA" DATED 09_05_2024 AND REVISED 12_13_2024, COORDINATED BY CLARK LAND SERVICES AND SEALED BY PATRICK A. FOX - STATE OF LOUISIANA PROFESSIONAL LAND SURVEYOR LICENSE NO. 5021 BEING AN AGENT OF TOPOGRAPHIC LAND SURVEYORS. ALL WORK WAS PERFORMED ALONG WITH RMC SURVEYING LLC.
2. ALTHOUGH EFFORT HAS BEEN MADE TO ACCURATELY LOCATE EXISTING CONDITIONS, ACTUAL FIELD CONDITIONS MAY VARY. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE STARTING LAND DISTURBING ACTIVITY, DEMOLITION, OR CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL CONDITIONS AS THEY EXIST ON SITE.
3. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREIN. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. ACTUAL LOCATION, SIZE, AND DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY PRIOR TO CONSTRUCTION.
4. BASIS OF BEARINGS: BEARINGS ARE RELATIVE TO NAD83, LOUISIANA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (1702), VERTICAL DATUM: NAVD 88.
5. THE PROPERTY IS LOCATED PARTIALLY IN A SPECIAL FLOOD HAZARD ZONE. THE MAJORITY OF THE SITE IS LOCATED IN ZONE X, AREA WITH REDUCED FLOOD RISK DUE TO LEVEE, WITH THE SOUTHEAST CORNER IS LOCATED IN ZONE AE (BASE FLOOD ELEVATION 197) AS DEFINED BY FEMA F.I.R.M. MAP NUMBER 220530035E DATED MAY 2, 2008.

DEMOLITION NOTES:

1. CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THE DEMOLITION PLAN AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE IN ACCORDANCE WITH CURRENT APPLICABLE LOCAL, STATE, AND FEDERAL LAWS.
2. THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
3. CONTRACTOR SHALL OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES.
4. ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
5. THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE SCHEDULING OF UTILITY REMOVAL WITH THE RESPECTIVE UTILITY AGENCIES AND SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE AND APPROPRIATE UTILITY COMPANIES PRIOR TO WORK.
6. INSTALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION FENCE PRIOR TO STARTING DEMOLITION WORK. SEE EROSION CONTROL NOTES AND PLANS FOR ADDITIONAL INFORMATION.
7. CONTRACTOR SHALL TAKE MEASURES TO AVOID CONFLICTS WITH EXISTING UTILITIES TO REMAIN. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
8. CONTRACTOR TO COORDINATE UTILITY CUT OFF TO EXISTING STRUCTURES WITH APPROPRIATE UTILITY COMPANY.
 - A. CONTRACTOR SHALL COORDINATE REMOVAL AND RELOCATIONS OF UTILITY APPURTENANCES AS DE TERMINED NECESSARY THROUGH THEIR COORDINATION WITH UTILITY PROVIDERS. UTILITY APPURTENANCES TO BE REMOVED MAY INCLUDE BUT ARE NOT LIMITED TO HYDRANTS, FIRE DEPARTMENT CONNECTIONS, VALVES/PVALV BOXES, STORM DRAIN AND/OR SANITARY SEWER CLEANOUTS, AND STORM DRAIN INLETS. ALL UTILITIES AND ASSOCIATED APPURTENANCES SCHEDULED TO BE SALVAGED SHALL BE RETURNED TO THE APPROPRIATE UTILITY AGENCY. ANY CREDIT/REIMBURSEMENT ASSOCIATED WITH RETURNING SAID APPURTENANCES SHALL BE REMITTED TO THE OWNER.
 - B. REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELECOMMUNICATIONS AS NOTED ON PLANS.
 - C. CONTRACTOR SHALL CUT AND PLUG OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THE PLAN. CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT, OR PLUGGED.
 - D. WATER OR SEWER ABANDONMENT OR RELOCATION MAY BE REQUIRED AT THE MAIN LINE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING OF CURB BOXES, VALVE BOXES, ETC. ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. NOT DESIGNATED TO BE REMOVED SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
10. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF UTILITIES TO REMAIN IN PLACE.

11. CONTRACTOR TO DEMOLISH AND DISPOSE OF EXISTING STRUCTURES, INCLUDING FOUNDATIONS AND SITE APPURTENANCES NOT LIMITED TO CURBS, SIDEWALKS, FENCES, STAIRS, WALLS, CONDUITS, LIGHT POLE BASES, DEBRIS, AND RUBBISH AS NOTED AND SHOWN ON THE DEMOLITION PLAN AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE. DEMOLISHED ITEMS SHALL BE DISPOSED OF OFF SITE AT AN APPROVED LANDFILL AND IN A LAWFUL MANNER.
12. CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION OF TREES MARKED TO BE REMOVED. TREES MAY BE EITHER INDIVIDUALLY MARKED OR WITHIN A DESIGNATED REMOVAL AREA. DEMOLITION OF TREES INCLUDES REMOVAL AND DISPOSAL OF ENTIRE TREE INCLUDING STUMP.
13. MATERIALS, FURNISHINGS, UTILITIES AND PAVEMENT THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - A. 5'X5' LANDING WITH A MAXIMUM OF 2% SLOPE IN ANY DIRECTION AT ALL DOORS.
 - B. ALL ADA CROSSWALK TO BE A MAXIMUM OF 5% SLOPE LONGITUDINAL AND 2% SLOPE CROSS SECTION
15. ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 2.0 FEET AT 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE RE-PAVED/SURFACED.
16. NEAR SURFACE ROCK BELOW PROPOSED FOOTINGS DEEMED BY THE GEOTECHNICAL ENGINEER TO BE UNSUITABLE FOR LOAD BEARING SHALL BE REMOVED AS NECESSARY AND AS DIRECTED BY THE GEOTECHNICAL ENGINEER. BLASTING SHALL NOT BE ALLOWED WITHOUT PRIOR CONSENT OF OWNER'S REPRESENTATIVE.
17. STOCKPILE LOCATIONS OF ALL MATERIALS SLATED TO BE REUSED OR RE-PURPOSED SHALL BE IDENTIFIED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO STARTING LAND DISTURBING ACTIVITY, DEMOLITION, OR CONSTRUCTION.
18. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE IN THE REMOVAL, RELOCATION, AND/OR STORAGE OF OWNER OWNED SITE FURNISHINGS SCHEDULED TO BE SALVAGED.

SITE PLAN NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF ST. GEORGE AND/OR LADOTO STANDARDS AND SPECIFICATIONS AS APPLICABLE.
2. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. SIGNS TO BE PERMITTED BY SIGN COMPANY. SIGNS SHOWN FOR GENERAL LOCATION ONLY. SEPARATE APPROVALS, AND PERMITS MAY BE REQUIRED BY MUNICIPALITY. SIGN PLACEMENT, MATERIALS, ELEVATIONS, ELECTRICAL, DESIGN AND PERMITTING BY OTHERS.
4. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, LOCAL AND STATE MUNICIPALITY, AND LADOTO.
5. TRUNCATED DOMES ABUTTING PAVEMENT SHALL BE A CONTRASTING COLOR FROM THE ADJACENT PAVEMENT.
6. ONSITE LIGHT POLE LOCATIONS ARE CONCEPTUAL. SEE BUILDING PLANS FOR FINAL ON SITE PHOTOMETRIC DESIGN, POLE LOCATION, BASE DETAIL, AND CONDUIT REQUIREMENTS.

GENERAL PAVEMENT AND MARKING NOTES:

1. CONTRACTOR TO VERIFY CONCRETE PAD FOR TRANSFORMER. TRANSFORMER PAD SHALL BE STANDARD LIGHT DUTY CONCRETE UNLESS OTHERWISE REQUIRED BY POWER COMPANY.
2. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST ST. GEORGE AND LADOTO STANDARDS AND SPECIFICATIONS AS APPLICABLE.
3. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN ARE INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENTS. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
4. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
5. PREPARING, GRADING, SHAPING, AND COMPACTION OF SUBGRADE SOILS SHOULD BE PERFORMED IN ACCORDANCE WITH LADOTO STANDARD SPECIFICATIONS. PREPARING, GRADING, SHAPING, AND COMPACTION OF AGGREGATE BASE COURSE (CABC) STONE SHOULD BE PERFORMED IN ACCORDANCE WITH LADOTO STANDARD SPECIFICATIONS. PLACEMENT AND COMPACTION OF THE BITUMINOUS CONCRETE SHOULD BE PERFORMED IN ACCORDANCE LADOTO STANDARD SPECIFICATIONS. PROPER SUBGRADE COMPACTION, ADHERENCE TO THE LADOTO SPECIFICATIONS, AND COMPLIANCE WITH PROJECT PLANS AND SPECIFICATIONS ARE CRITICAL TO THE PERFORMANCE OF THE CONSTRUCTED PAVEMENT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.

GRADING NOTES:

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926, SUBPART 17" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
3. PRIOR TO BEGINNING GRADING ACTIVITIES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF ST. GEORGE, LOUISIANA DEO, A REPRESENTATIVE OF THE ENGINEER, AND A REPRESENTATIVE OF THE OWNER.
4. AT CRITICAL LOCATIONS WHERE PROPOSED ELEMENTS TIE INTO EXISTING CONDITIONS, CONTRACTOR SHALL FIELD VERIFY THAT THE FIELD SURVEY MATCHES THE DESIGN SURVEY, REPORTING DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY. TIE-IN LOCATIONS TO FIELD VERIFY ARE INDICATED ON THE PLANS AND MAY INCLUDE BUT ARE NOT LIMITED TO UTILITY CONNECTIONS, PAVEMENT, WALLS, OR FOUNDATIONS.
5. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS. ANY DEVIATION FROM THE GRADING PLAN THAT WAS NOT APPROVED BY OWNER'S REPRESENTATIVE THROUGH RFIs, FIELD CHANGES, BULLETIN DRAWINGS, OR THROUGH OWNER REQUESTED CHANGES, THAT CAUSES WATER TO DRAIN TOWARDS THE BUILDING SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN COST.
6. CONTRACTOR SHALL PROVIDE POSITIVE STORMWATER FLOW TO KEEP WATER FROM POOLING ALONG CURBS AND NON-PERVIOUS PAVED AREAS.
7. CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.
8. ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20) AND A MAXIMUM CROSS SLOPE OF 2% (1:48). RAMP CONDITIONS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 8.33% (1:12) AND A MAXIMUM CROSS SLOPE OF 2% (1:48). ON CURVED SIDEWALKS AND RAMPS, MAXIMUM LONGITUDINAL SLOPE SHALL BE MEASURED USING THE INSIDE/MOST STRINGENT PART OF THE CURVE AND MAXIMUM LONGITUDINAL RUNS ON RAMPS SHALL BE MEASURED USING THE OUTSIDE PART OF THE CURVE. MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2% (1:48). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
 - A. 5'X5' LANDING WITH A MAXIMUM OF 2% SLOPE IN ANY DIRECTION AT ALL DOORS.
 - B. ALL ADA CROSSWALK TO BE A MAXIMUM OF 5% SLOPE LONGITUDINAL AND 2% SLOPE CROSS SECTION
9. PROVIDE A MINIMUM OF (0.5%) CROSS SLOPE AND (1.75%) MAXIMUM CROSS SLOPE ON WALKWAYS, LANDINGS, AND TRAILS IN A MANNER THAT ENSURES POSITIVE DRAINAGE AND AVOIDS POOLING ON, OR ADJACENT TO, THESE SURFACES.
10. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, WRITTEN PERMISSION AND TEMPORARY CONSTRUCTION EASEMENT MUST BE OBTAINED IN WRITING FROM THE AFFECTED PROPERTY OWNERS.
11. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
12. ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
13. TRANSFORMER POLES SHALL BE PROTECTED SUCH THAT NO GRADING OPERATIONS SHALL BE PERFORMED WITHIN (25') OF A TRANSMISSION POLE AND CLEARANCE REQUIREMENTS ARE MET.
14. CONTRACTOR TO FOLLOW DRAINAGE PATTERNS AND INSTALL SPILL CURB WHERE APPROPRIATE.

STORM DRAINAGE NOTES:

1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS IV) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE AND/OR LADOTO.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO ASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED FROM THE SITE AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED PER GEOTECHNICAL REPORT.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
11. ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET LADOTO STANDARDS AND STAMPED ACCORDINGLY BY MANUFACTURER.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.
13. "KNOCK-OUT" BOXES SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY THE MUNICIPALITY. IF THE USE OF WAFFLE BOXES ARE ALLOWED AT THIS SITE, ALL PENETRATIONS FOR STORM DRAINAGE PIPES MUST BE MADE WITHIN THE KNOCK-OUT PORTION OF THE BOX AND NOT AT THE CORNERS WHERE THE STRUCTURAL INTEGRITY MAY BE COMPROMISED.
14. GEOTEXTILE FABRIC OR APPROVED EQUIVALENT ARE REQUIRED AT ALL DISSIPATOR PADS.

UTILITY NOTES:

1. PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION OF WATER OR SEWER, THE CONTRACTOR SHALL SCHEDULE AND HOLD A PRE-CONSTRUCTION MEETING WITH THE CITY OF ST. GEORGE, THE UTILITY PROVIDERS AND THE OWNER/OWNERS REPRESENTATIVE.
2. CONTRACTOR TO VERIFY ELECTRICAL REQUIREMENTS OF ABOVE GROUND HEATED ENCLOSURES, SITE LIGHTS, SIGNS THAT REQUIRE ELECTRICAL SERVICE WITH ELECTRICAL PLANS AND NOTIFY PROJECT ELECTRICAL ENGINEER OF MISSING INFORMATION.
3. CONTRACTOR TO CONFIRM LOCATION OF PROPOSED ELECTRICAL SERVICE, TRANSFORMER LOCATION, PAD CONSTRUCTION REQUIREMENTS AND CLEARANCES. LEAD TIMES WITH POWER COMPANY PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO CONFIRM WITH OWNER AND CONSTRUCTION REQUIREMENTS OF GAS, TELEPHONE, COMMUNICATIONS WITH OWNER AND UTILITY PROVIDER NOT SHOWN ON PLANS PRIOR TO ANY CONSTRUCTION.
5. EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER AND OWNER IMMEDIATELY.
6. ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE, 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) OR DUCTILE IRON PIPE TO THE WATER METER. ALL PIPE MATERIAL SHALL MEET LOCAL AND STATE STANDARDS AND SPECIFICATIONS. (SEE PLANS)
7. ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET LOCAL AND STATE STANDARDS AND SPECIFICATIONS.
8. ALL UNDERGROUND UTILITIES INSTALLED SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE LOCAL AND STATE MUNICIPALITIES PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
9. CONTRACTOR TO CONFIRM LIGHT POLE BASE SIZE.
10. ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2" MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND MARKED.
11. CONTRACTOR TO VERIFY SIZE OF GREASE TRAP AND/OR OIL WATER SEPARATOR WITH ARCHITECTURAL PLANS.
12. PIPE CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE DRILLED AND A FLEXIBLE "RUBBER BOOT" INSTALLED TO CONNECT THE NEW PIPELINE TO THE MANHOLE. CONTRACTOR TO VERIFY MANHOLE LOCATION, DEPTH, CONDITION, INVERT AND SUITABILITY FOR REUSE WITH SANITARY SEWER UTILITY PROVIDER PRIOR TO ANY CONSTRUCTION.
13. VAULTS, CLEANOUTS, GREASE TRAPS USED IN TRAFFIC AREAS SHALL BE HEAVY-DUTY TRAFFIC BEARING VAULTS. ALL CLEANOUTS LOCATED IN THE PAVEMENT MUST HAVE A TRAFFIC-RATED COVER.
14. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES INVOLVED IN ANY RELATED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
15. WHERE SANITARY SERVICES ARE SERVING A BUILDING INSTALLED ON A FLOOR WITH A FINISHED FLOOR ELEVATION BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE, SUCH FIXTURES SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE SERVICE LINE.
16. DOT ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
17. ELECTRIC, TELEPHONE, GAS, AND CABLE TV SERVICES ROUTING ARE NOT A PART OF THIS PLAN.
18. ON-SITE IRRIGATION SYSTEM SHALL BE DESIGNED BY IRRIGATION PROVIDER. CONTRACTOR SHALL PROVIDE DETAILED PLANS TO ENGINEER OR OWNER'S REPRESENTATIVE.



McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000
fax 919. 361. 2269
LA license number: EF.0007475

www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888. 458. 0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

NO.	DATE	DESCRIPTION
1	09_03_2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	WALU24001
FILENAME	WALU24001-N1
CHECKED BY	GMA
DRAWN BY	MJD
SCALE	NTS
DATE	06. 09. 2025

SHEET

GENERAL NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF ST. GEORGE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

C0.01

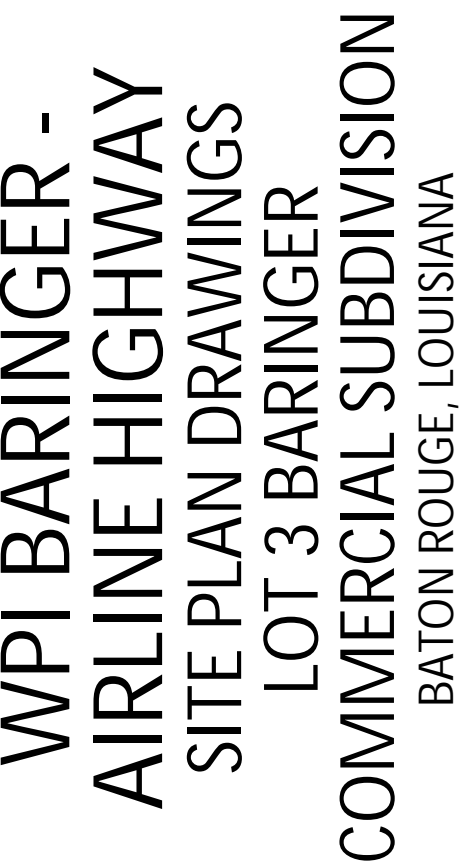
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



www.mcadamsco.com

CLIENT

PHONE: 888.458.0448



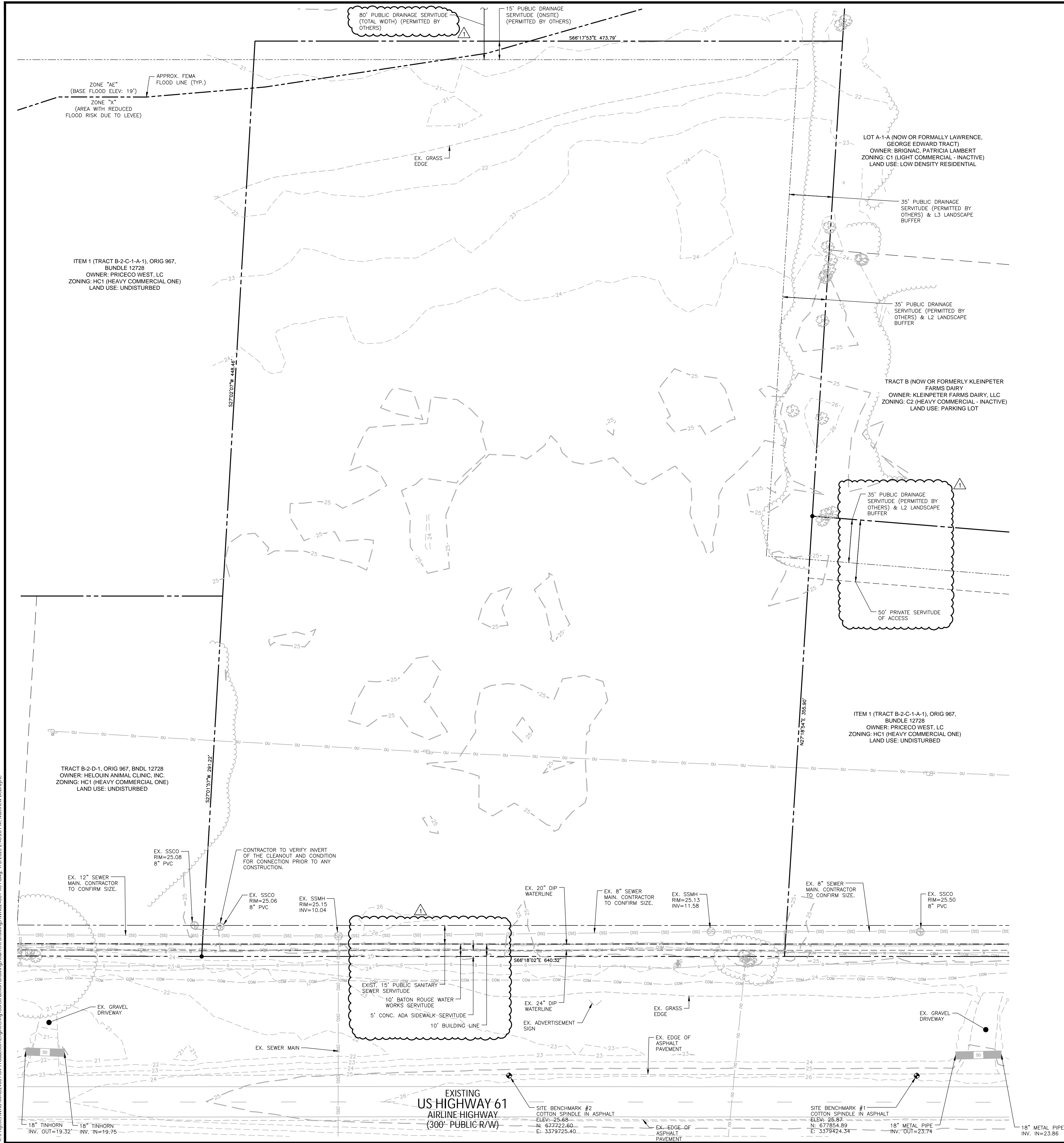
REVISIONS

PLAN INFORMATION

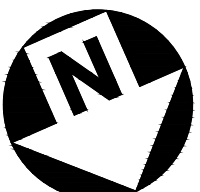
SHEET

EXISTING CONDITIONS

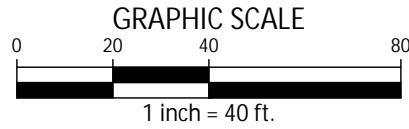
C1.00



**Know what's below.
Call before you dig.**



ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF ST. GEORGE
ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



LA license number: EF.0007475

CLIENT

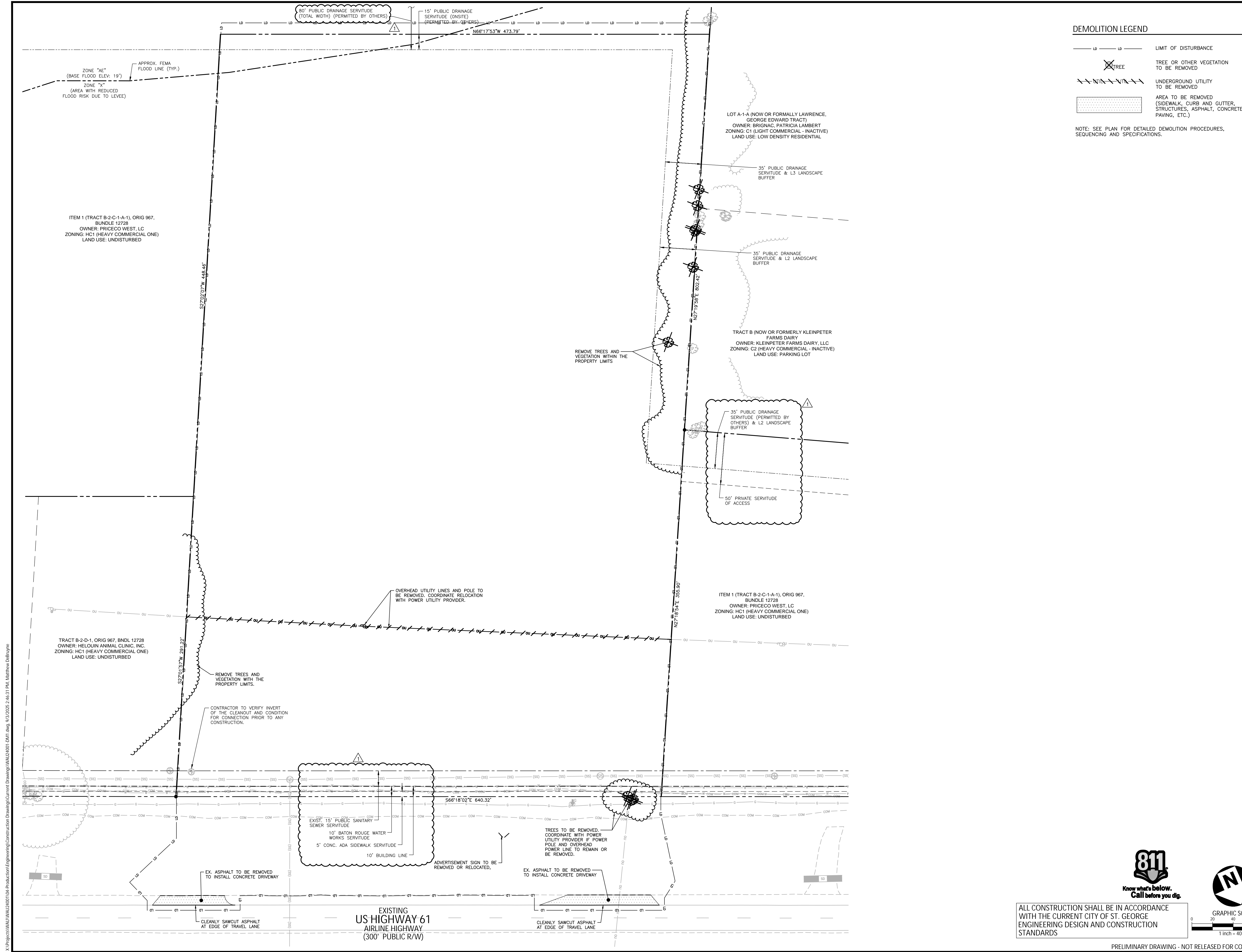
WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



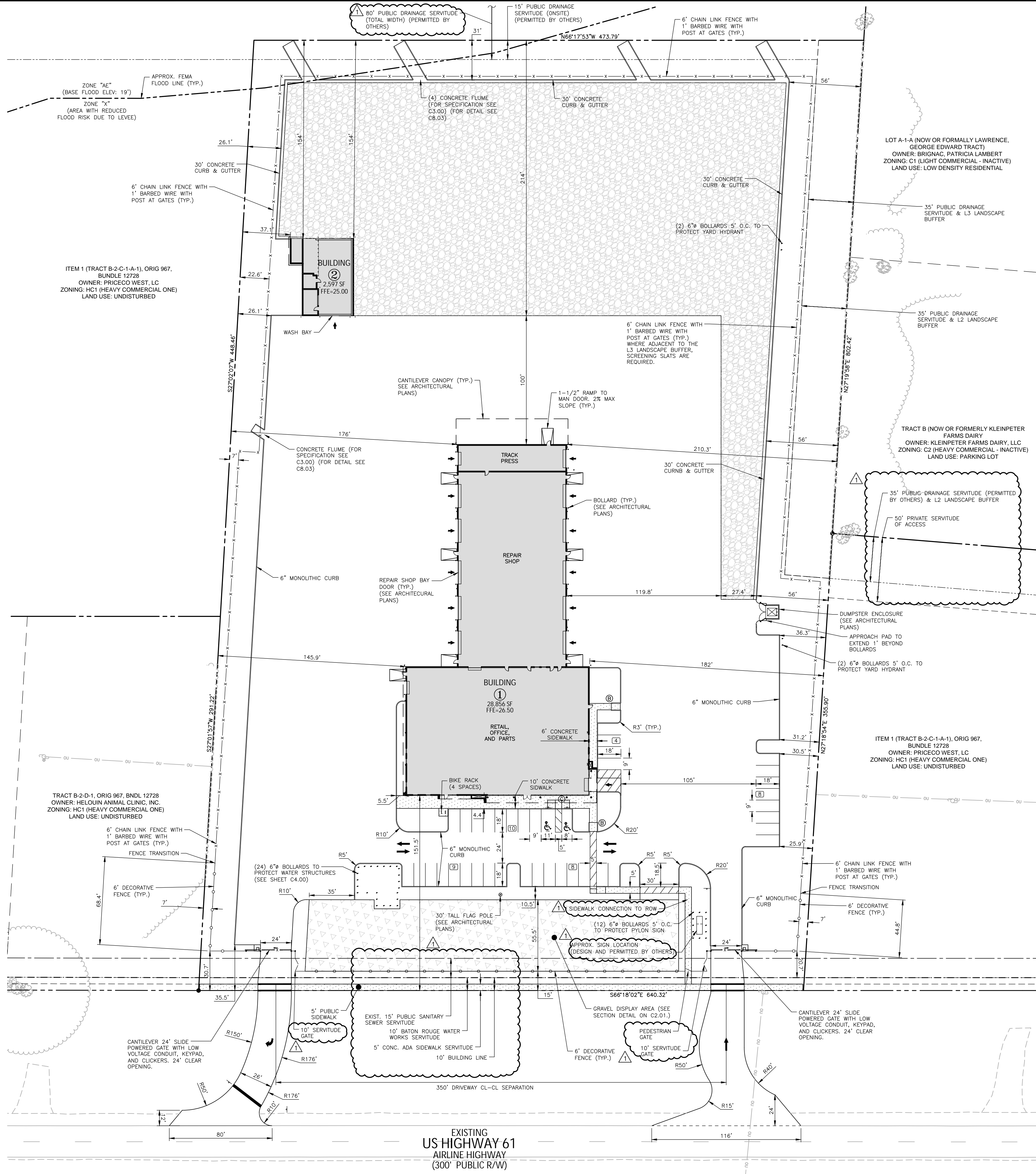
NO.	DATE	DESCRIPTION
1	09. 03. 2025	RESPONSE 1ST SITEPLAN COMMENT
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PROJECT NO.	WAU24001
FILENAME	WAU24001-DM1
CHECKED BY	GMA
DRAWN BY	MJD
SCALE	1" = 40'
DATE	06. 09. 2025

C1.01



X:\Projects\WAU\WU24001\04-Production\Engineering\Current Drawings\WU24001-01.dwg, 9/2/2025, 2:46:37 PM, Matthew DeBryenne



SITE LEGEND

- SIGNAGE
- PR. LIGHT POLE (SEE PHOTOMETRIC PLAN)
- EX. LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE



CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888.458.0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

NO.	DATE	DESCRIPTION
1	09.03.2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

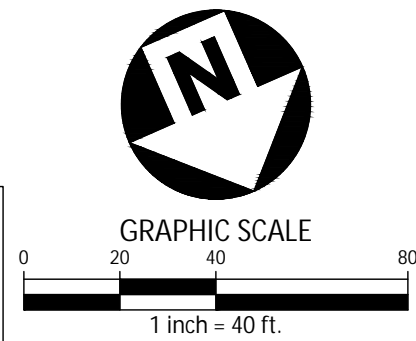
PROJECT NO. WAU24001
FILENAME WAU24001-S1
CHECKED BY GMA
DRAWN BY MJD
SCALE 1" = 40'
DATE 06.09.2025

SHEET

SITE PLAN

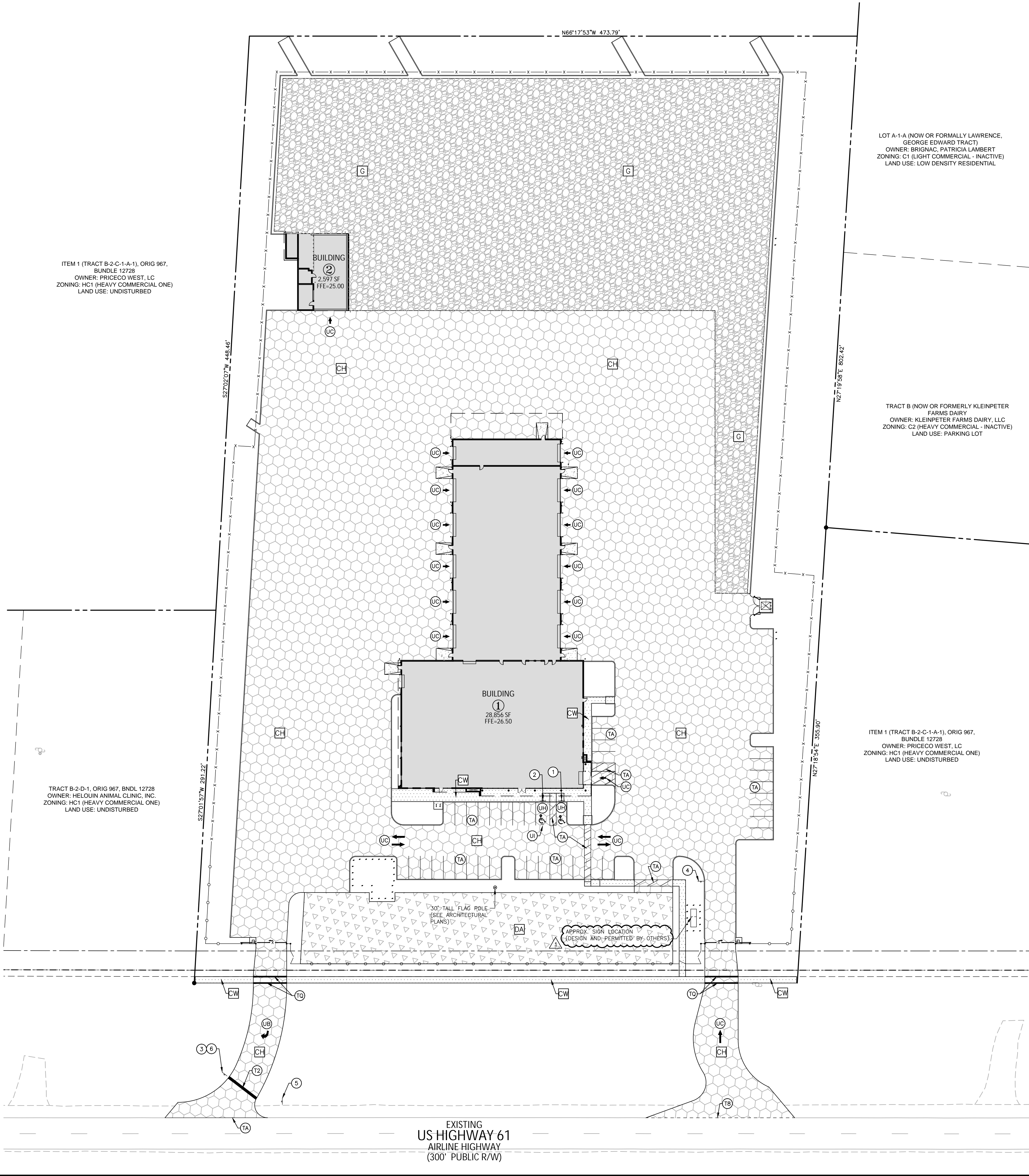
C2.00

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF ST. GEORGE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\WAU\WAU24001\04-Production\Engineering\Construction Drawings\WAU24001-PM1.dwg, 9/3/2025 2:46:42 PM, Matthew DeBruyne



PAVEMENT LEGEND:

	CH	HEAVY DUTY CONCRETE PAVEMENT
	G	12" DEEP # 57 STONE GRAVEL LAYDOWN YARD
	DA	DISPLAY AREA
	CW	4" STANDARD DUTY CONCRETE SIDEWALK

PAVEMENT MARKING LEGEND

LANE LINES/MARKINGS	
	24" WHITE STOPBAR
	2FT - 6FT 4" WHITE MINISKIP
	4" WHITE
	8" WHITE CROSSWALK LINE

ARROWS/CHARACTERS	
	HANDICAP PARKING
	ALPHANUMERIC CHARACTER
	RIGHT ARROW
	STRAIGHT ARROW

SIGN LEGEND:

	1		2
	RESERVED PARKING		RESERVED PARKING
MUTCD R7-8	18"x12"	MUTCD R7-8	18"x12"
	3		4
	STOP		DO NOT ENTER
MUTCD R1-1	30"x30"	MUTCD R5-1	30"x30"
	5		6
	NO LEFT TURN		NO RIGHT TURN
MUTCD R3-1	24"x24"	MUTCD R3-2	24"x24"

		CH HEAVY DUTY
MACRO SYNTHETIC FIBER REINFORCED CONCRETE (4,000 PSI) PER LSSRB 2016 SECTION 601.		12.0"
OPTIONAL AGGREGATE BASE (INCLUDED AS A BID OPTION) PER LSSRB 2016 SECTION 1033.03.		4.0"
SUBGRADE COMPACTION AND CHEMICAL TREATMENT PER GEOTECHNICAL REPORT		

CONCRETE PAVEMENT SECTIONS

N.T.S.	
MACROFIBER REINFORCEMENT TO BE MASTERFIBER MAC MATRIX MACROSYNTHETIC FIBER BY MASTER BUILDERS SOLUTIONS 800-628-9990. DOSSAGE AT 3 TO 5 POUNDS/CUBIC YARD.	
FORM JOINT BOARDS TO HAVE DOWEL SLEEVE - EXPANSION JOINT BOARDS BY SUREBUILT CONCRETE FORMS AND ACCESSORIES, 708-493-9569. EPOXY COATED SMOOTH DOWELS BY OCM, INC., 847-462-4258.	
1 INCH DOWELS	

FILTER FABRIC MIRAFI 600X OR APPROVED EQUIVALENT APPROVED BY GEOTECHNICAL ENGINEER	
4" DECOMPOSED GRANITE	
4" #57 GRAVEL	
6" SUBGRADE	
SUBGRADE COMPACTION AND CHEMICAL TREATMENT PER GEOTECHNICAL REPORT	
COMPACTED SUBBASE	

DISPLAY AREA SECTIONS

N.T.S.

PAVEMENT DISCLAIMER:

- PAVEMENT SECTIONS AND COMPACTION SHOWN ARE SUBJECT TO CHANGE BASED ON THE RESULTS FROM THE GEOTECHNICAL REPORT.

		G
AGGREGATE SURFACING MATERIAL NO. 610 LIMESTONE OR SIMILARLY GRADED CRUSHED RECYCLED CONCRETE PER LSSRB 2016 SECTION 1003.03.		12.0"
LIME TREATED COMPACTED SUBGRADE TO 98% DRY DENSITY, STANDARD PROCTOR ASTM D698.		6.0"
WOVEN GEOTEXTILE FABRIC (MIRA 600X OR EQUIVALENT)		

GRAVEL LAYDOWN YARD SECTION

N.T.S.

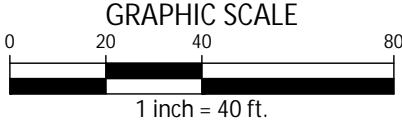
QUALITY SURFACING MATERIALS SHOULD CONSIST OF A BLEND OF GRAVEL, SAND AND 10 TO 25 PERCENT FINES (SILT AND CLAY-SIZED PARTICLES PASSING THE NO. 200 SIEVE). THE FINES SHOULD EXHIBIT LOW TO MODERATE PLASTICITY (PLASTIC INDEX LESS THAN 15).

THE MAXIMUM SIZE PARTICLE SHOULD NOT EXCEED 1 INCH IN DIAMETER AND THE GRAVEL SHOULD BE CRUSHED WITH ANGULAR EDGES (NOT ROUNDED).

AGGREGATE SURFACING MATERIALS SHOULD BE PLACED IN LIFTS NOT EXCEEDING 6 INCHES AND COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY UNIT WEIGHT AS DETERMINED BY ASTM D1557



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF ST. GEORGE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

McADAMS
The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000
fax 919. 361. 2269
LA license number: EF.0007475

www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888. 458. 0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

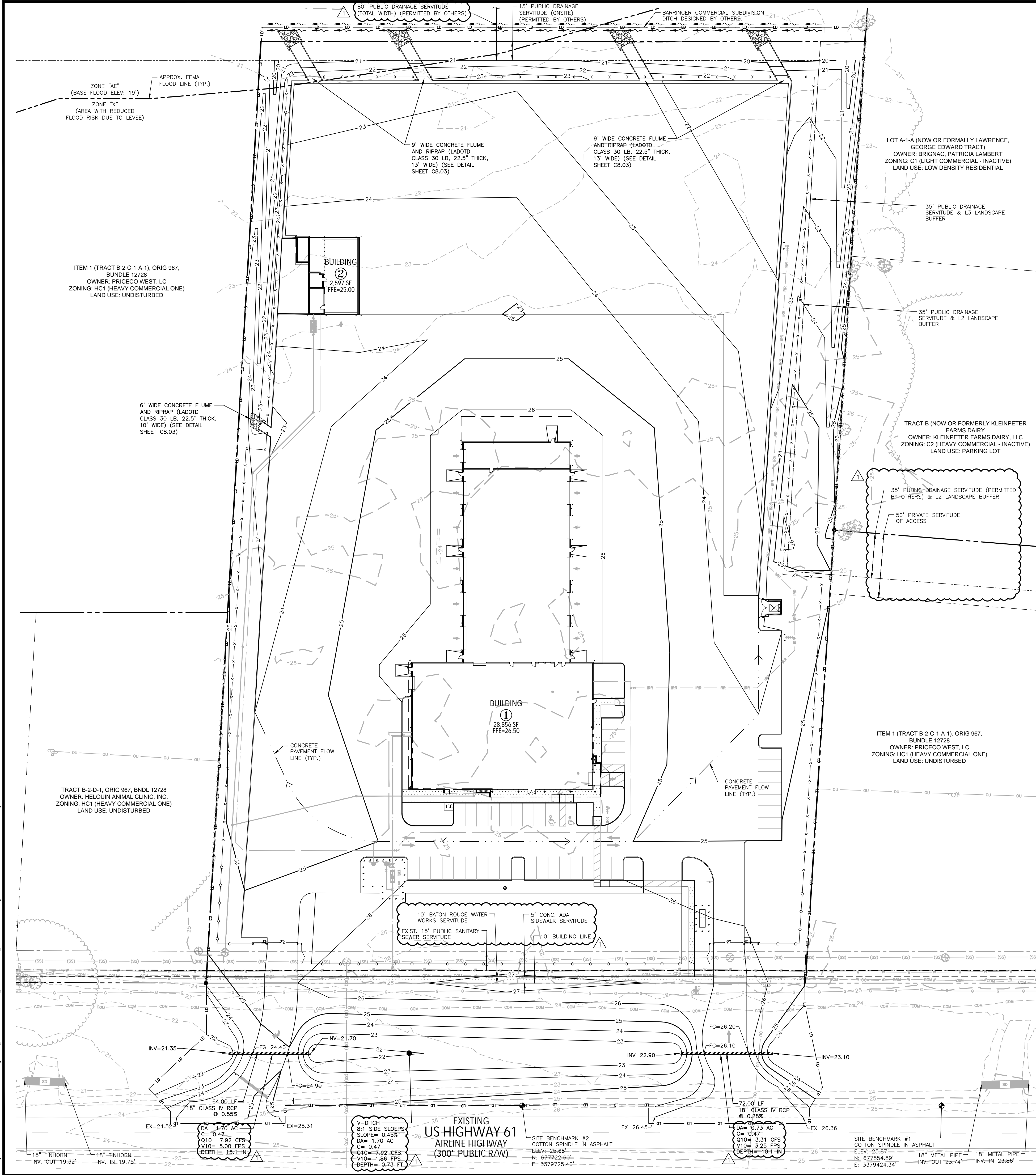
NO.	DATE	DESCRIPTION
1	09.03.2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	WAU24001
FILENAME	WAU24001-PM1
CHECKED BY	GMA
DRAWN BY	MJD
SCALE	1" = 40'
DATE	06.09.2025

SHEET

PAVEMENT AND
SIGNAGE PLAN
C2.01

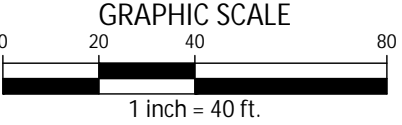


GRADING LEGEND	
	FLARED END SECTION
	ENDWALL SECTION
	CATCH BASIN
	DROP INLET
	STORM SERVICE INLET
	STORM SERVICE ROOF-DRAIN
	JUNCTION BOX
	DRAINAGE FLOW ARROW
	TOP & BOTTOM CURB ELEVATIONS
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	SPOT ELEVATION
	STORM DRAINAGE
	STORM SERVICE LINE
	TRENCH DRAIN
	ROOF DRAIN, 8" ADS
	NON-PERFORATED TUBING OR EQUAL 1.0% MIN. SLOPE 3' MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	TREE PROTECTION FENCE/COMBINATION SILT FENCE
	TREE CONSERVATION
	WOODED AREA
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

STORMWATER MANAGEMENT PLAN, DRAINAGE IMPACT STUDY, AND WATER QUALITY IMPACT STUDY:

THIS SITE IS PART OF A MASTER SUBDIVISION PLAN FOR THE DANIEL W. BARINGER PROPERTY, PROPOSED LOT 3. THE BARINGER SUBDIVISION IS BEING PERMITTED SEPARATELY BY EVANS-GRAVES ENGINEERS, INC. STORMWATER QUALITY AND QUANTITY MANAGEMENT FOR THE BARINGER SUBDIVISION WILL BE HANDLED BY A PROPOSED POND ON LOT CA-2. LOT 3 WILL DRAIN TO THE PROPOSED POND BY WAY OF A DRAINAGE DITCH LOCATED WITHIN THE PROPOSED DRAINAGE SERVITUDE ALONG THE SOUTHERN PORTION OF THE PROPERTY. ONSITE RUNOFF WILL BE DIRECTED TO THIS DRAINAGE DITCH THROUGH CURB INLETS WITH PIPES WHICH OUTLET INTO THE PROPOSED DITCH.

IMPERVIOUS SURFACE = 276,000 SF / 6.34 AC (79.2% OF PARCEL)



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF ST. GEORGE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000
fax 919. 361. 2269
LA license number: EF.0007475

www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888. 458. 0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

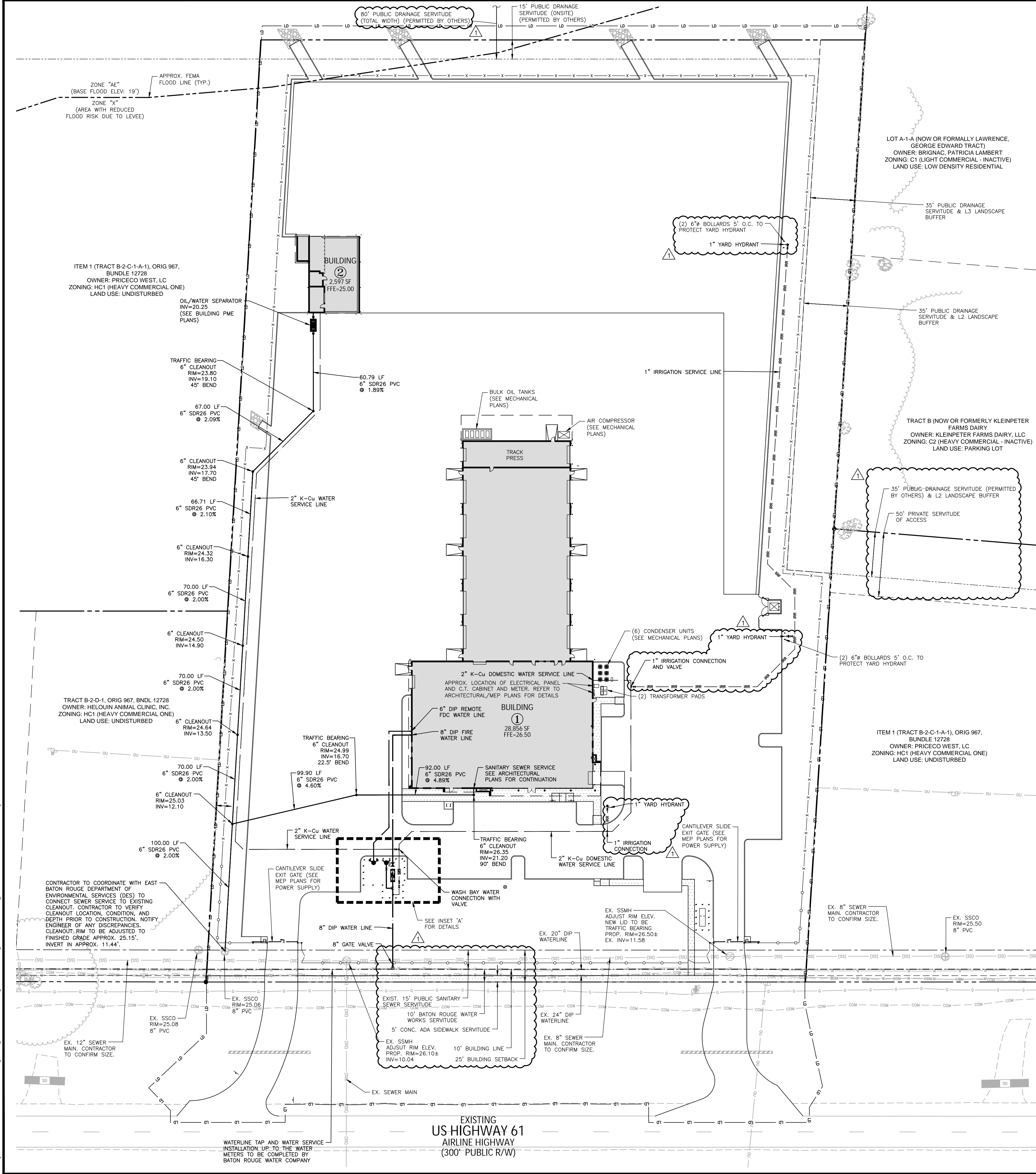
NO.	DATE	DESCRIPTION
1	09.03.2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. WAU24001
FILENAME WAU24001-G1
CHECKED BY GMA
DRAWN BY MJD
SCALE 1" = 40'
DATE 06.09.2025

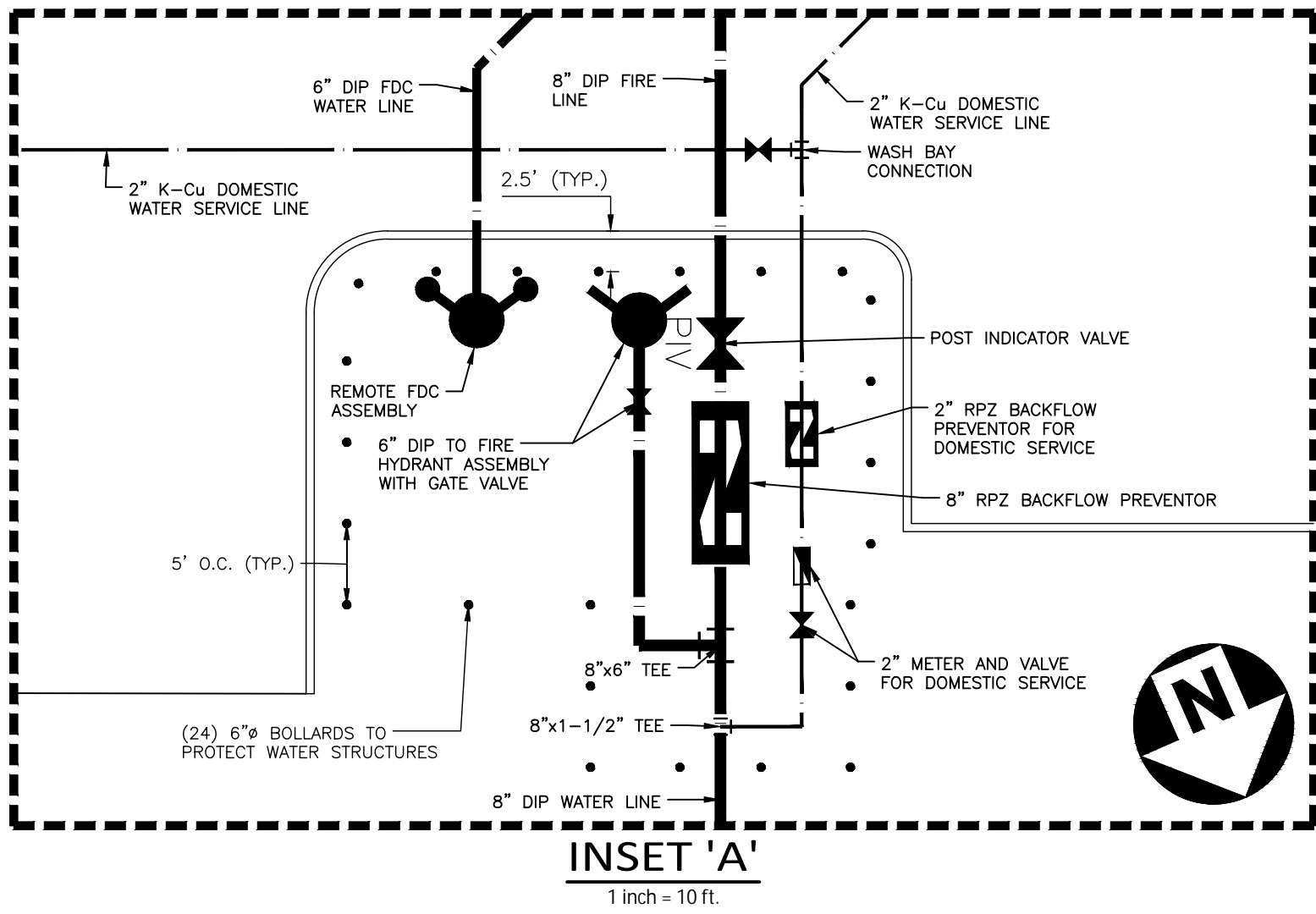
SHEET

GRADING AND
DRAINAGE PLAN
C3.00



UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION
- ARROW
- POWER POLE
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- TREE CONSERVATION



UTILITY CONTACTS:

WATER:
BATON ROUGE WATER COMPANY
PHONE NUMBER: 225-925-2011

SANITARY:
EAST BATON ROUGE PARISH DEVELOPMENT DEPARTMENT,
SUBDIVISION ENGINEERING DIVISION
PHONE NUMBER: 225-389-3198

ELECTRIC AND GAS:
ENERGY
PHONE NUMBER: 225-354-3218

McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000
fax 919. 361. 2269
LA license number: EF.0007475

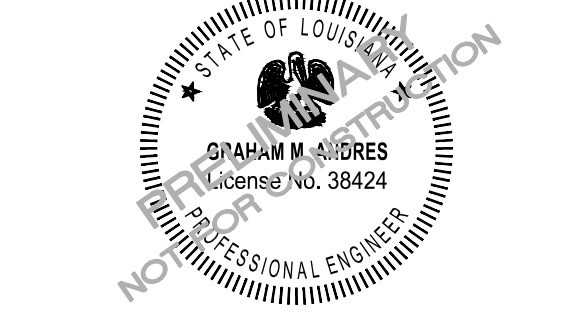
www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888. 458. 0448

Since 1924

WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

NO.	DATE	DESCRIPTION
1	09.03.2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

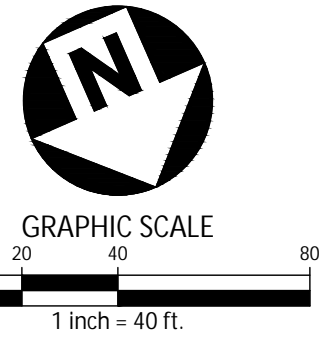
PROJECT NO. WAU24001
FILENAME WAU24001-U1
CHECKED BY GMA
DRAWN BY MJD
SCALE 1" = 40'
DATE 06.09.2025

SHEET

UTILITY PLAN

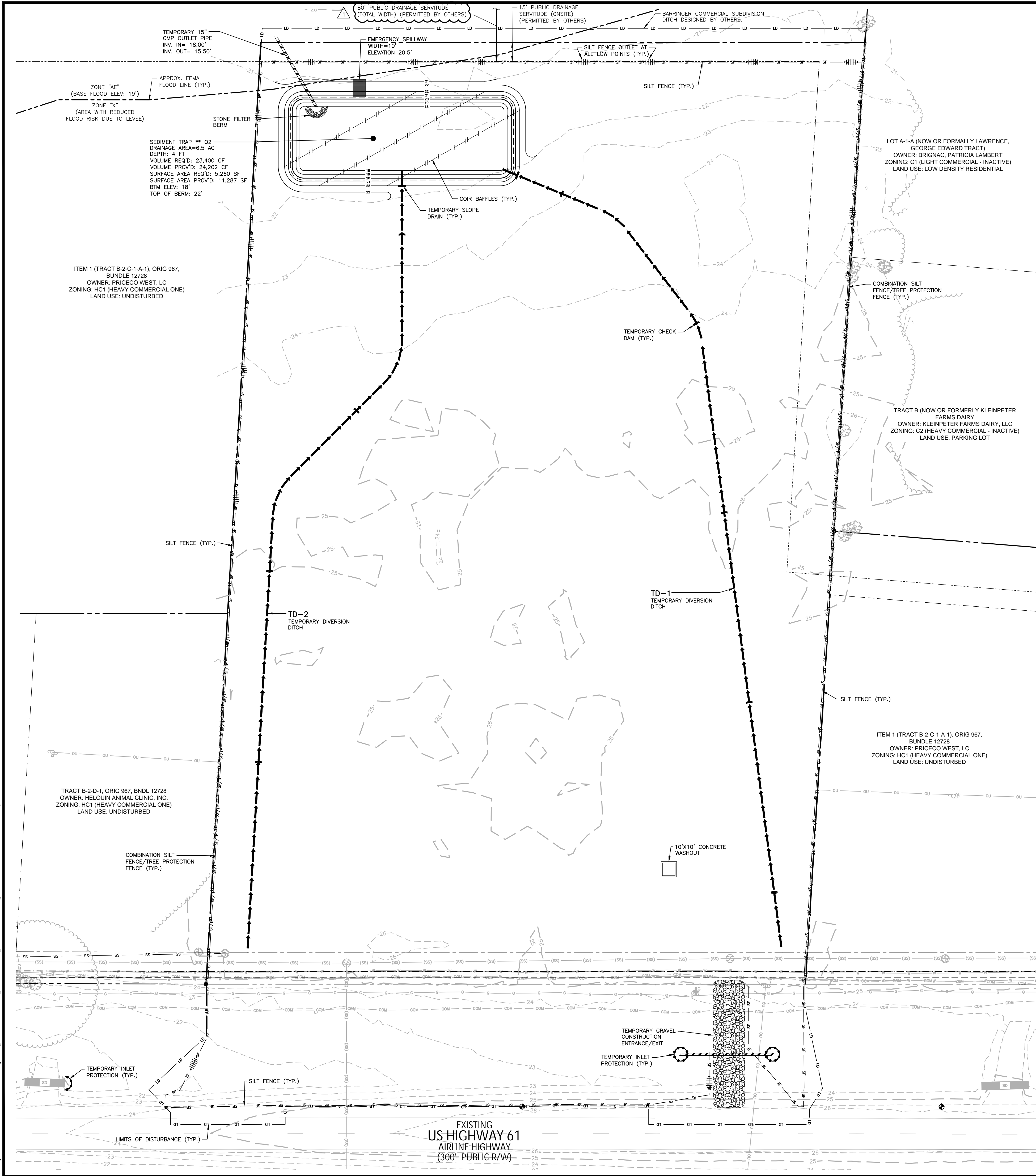
C4.00

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF ST. GEORGE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

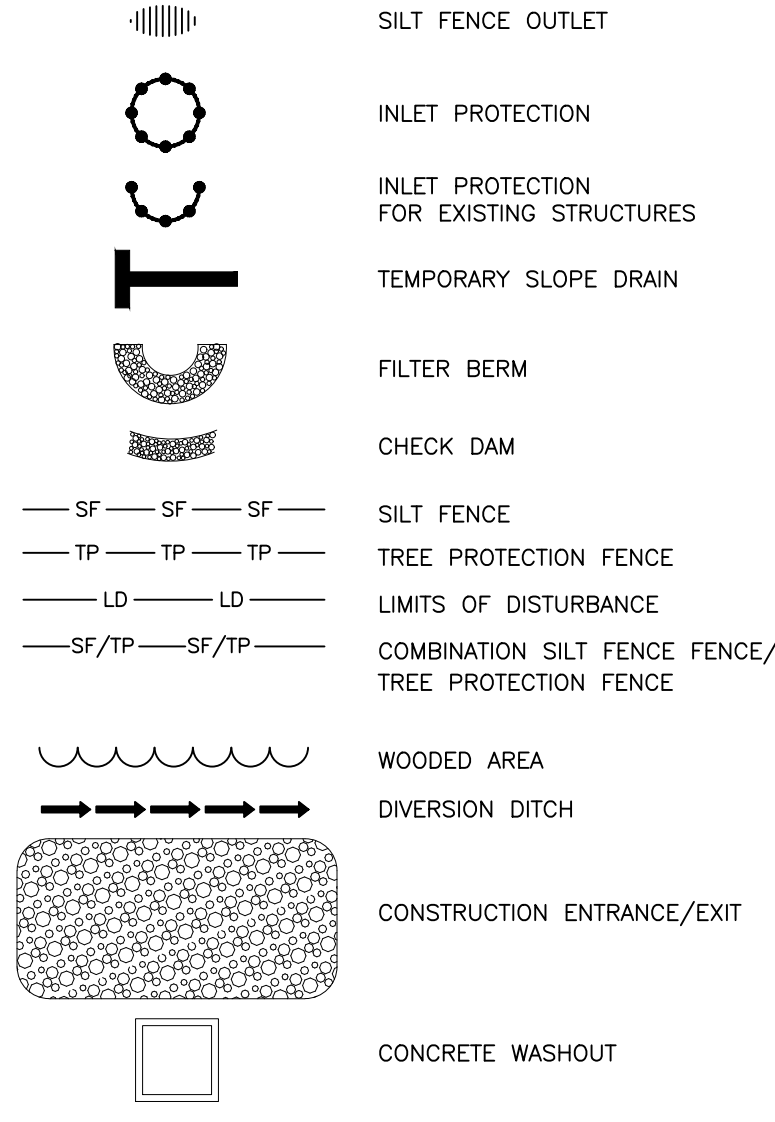


PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\WALU24001\04-Production\Engineering\Construction Drawings\WALU24001-EC1.dwg, 9/2/2025 2:47:01 PM, Matthew Dabryne



EROSION CONTROL LEGEND

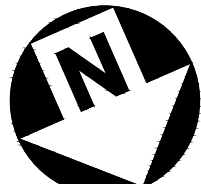


EROSION CONTROL NOTES

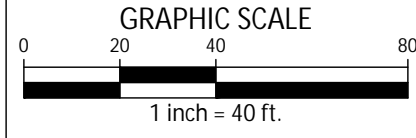
1. GRADING AND EROSION CONTROL METHODS SHALL ADHERE TO THE LOUISIANA DEPARTMENT OF ENVIRONMENTAL QUALITY (LDEQ) STANDARDS AND SPECIFICATIONS.
2. FAILURE TO FOLLOW THE APPROVED PLAN SEQUENCE AND DETAILS COULD SUBJECT THE CONTRACTOR TO FINES AND PENALTIES ISSUED BY EITHER THE CITY OF ST. GEORGE EROSION CONTROL DEPARTMENT OR THE LDEQ.
3. CONTRACTOR SHALL SEED AND STABILIZE ALL STEEP SLOPES (STEEPER THAN 3H:1V OR GREATER THAN 50 FT IN LENGTH) WITHIN 7 DAYS, 14 DAYS FOR MODERATE SLOPES (3H:1V OR FLATTER).
4. FOR ANY LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER COMPLETING THE WORK. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE ON THE PLAN.
5. NO DEBRIS SHALL BE TRACKED ONTO PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
6. THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
7. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY THE (MUNICIPAL) SEDIMENTATION AND EROSION CONTROL (SEC) ONCE INITIAL MEASURES ARE IN PLACE. (SEE CONSTRUCTION SEQUENCES)
8. CONTRACTOR SHALL INSPECT ALL SEDIMENT / EROSION CONTROL DEVICES AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
9. A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
10. CONSTRUCTION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GRADING CONTRACTOR UNLESS OTHERWISE NOTED.
11. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
12. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.
13. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND A TREE, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE POSTED ON THE PROTECTION FENCE. A PROTECTION FENCE CONSTRUCTED OF MATERIAL RESISTANT TO DEGRADATION BY SUN, WIND, AND MOISTURE FOR THE DURATION OF THE CONSTRUCTION, SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
14. A CONSTRUCTION SEQUENCE HAS BEEN PROVIDED. INSTALLATION OF ALL PROPOSED SEDIMENTATION & EROSION CONTROL MEASURES IN THE SEQUENCE(S) PROVIDED AND MAINTENANCE OF THOSE DEVICES IS REQUIRED. THE CONTRACTOR MAY BE ALLOWED, WITH PRIOR APPROVAL FROM THE OWNER, TO COORDINATE CHANGES TO THE PLAN WITH THE ON-SITE SEDIMENTATION & EROSION CONTROL INSPECTOR AND THE ENGINEER.
15. PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
16. CONTRACTOR WILL FIELD LOCATE SILT FENCE OUTLETS AT LOW POINTS IN SILT FENCE AS REQUIRED TO PROVIDE RELIEF FROM CONCENTRATED FLOWS.
17. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
18. DISTURBANCE OUTSIDE OF THE SITE PROPERTY LIMITS OR PUBLIC RIGHT-OF-WAY SHALL ONLY BE AS ALLOWED BY SIGNED GRADING AGREEMENTS AND/OR EASEMENTS BETWEEN THE DEVELOPER AND THE OFFSITE PROPERTY OWNER.
19. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SAFE OPEN ACCESS TO ALL PROPERTIES ALONG ADJACENT PROPERTIES DURING CONSTRUCTION PERIOD FOR IMPROVEMENTS.

STAGE 1 SPECIFIC SEQUENCE

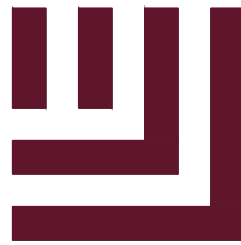
1. SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF ST. GEORGE AND OBTAIN A LAND DISTURBANCE PERMIT.
2. OBTAIN AN APPROVED (STAMPED) S&E CONTROL PLAN, A SWPPP, AND AN APPROVED NOTICE OF COVERAGE THROUGH THE LDEQ AND KEEP IT ON SITE, EITHER IN THE INSPECTION BOX, CONSTRUCTION OFFICE, OR WITH THE CONTRACTOR.
3. INSTALL SILT FENCING; SILT FENCE OUTLETS AND TREE PROTECTION FENCING AS SHOWN ON APPROVED STAGE 1 EROSION CONTROL PLAN. GRADE ONLY AS NECESSARY TO INSTALL THESE DEVICES. INSTALL SILT FENCE OUTLETS AT LOW POINTS IN THE SILT FENCING AS NEEDED TO PREVENT BLOWOUTS.
4. INSTALL RAISED CONSTRUCTION ENTRANCE WITH PERMANENT CROSSING PIPE, CONCRETE WASHOUT, AND ANY REMAINING SILT FENCE. GRADE ONLY AS NECESSARY TO INSTALL THESE DEVICES.
5. NOTIFY THE CITY OF ST. GEORGE S&E SITE INSPECTOR AFTER INITIAL MEASURES HAVE BEEN INSTALLED.
6. INSTALL SEDIMENT TRAP, DIVERSION DITCHES, AND INLET PROTECTION ON INLETS AS SHOWN. CONTRACTOR TO DIVERT RUNOFF TO PROPOSED SEDIMENT BASINS AS MUCH AS POSSIBLE.
7. AS SEDIMENT TRAP IS BROUGHT UP TO GRADE, INSTALL TEMPORARY ROCK DAM AND TEMPORARY OUTLET PIPE AS SHOWN IN STAGE 1 PLAN. ADD 3 COIR BAFFLES TO THE SEDIMENT TRAP, SPACED EVENLY APART.
8. IF A STOCKPILE IS NECESSARY DUE TO EXCAVATION OF THE SEDIMENT TRAP, PLACE A DOUBLE ROW OF SILT FENCE TO FEET APART. TREES AND GROUND COVER MAY BE REMOVED ONLY AS NECESSARY FOR THIS STOCKPILE. IF MATERIAL IS GOING TO BE HAULED OFF-SITE, A SEPARATE EROSION CONTROL PERMIT MUST BE OBTAINED FOR THE DESTINATION OF THE MATERIAL.
9. NOTIFY THE CITY OF ST. GEORGE S&E SITE INSPECTOR AFTER MEASURES HAVE BEEN INSTALLED AND PROJECT HAS STARTED.
10. STABILIZE ALL DISTURBED AREAS AND OTHER CRITICAL EROSION CONTROL AREAS IMMEDIATELY UPON INSTALLATION.
11. ONCE APPROVED, BEGIN CLEARING AND GRADING REMAINDER OF THE SITE. MAINTAIN EROSION CONTROL DEVICES AS NEEDED. STABILIZED GRADED AREAS AS THEY ARE CLEARED.
12. ONCE STAGE 1 IS COMPLETE, CONTINUE TO STAGE 2.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF ST. GEORGE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000

fax 919. 361. 2269

LA license number: EF.0007475

www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888. 458. 0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

NO.	DATE	DESCRIPTION
1	09.03.2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

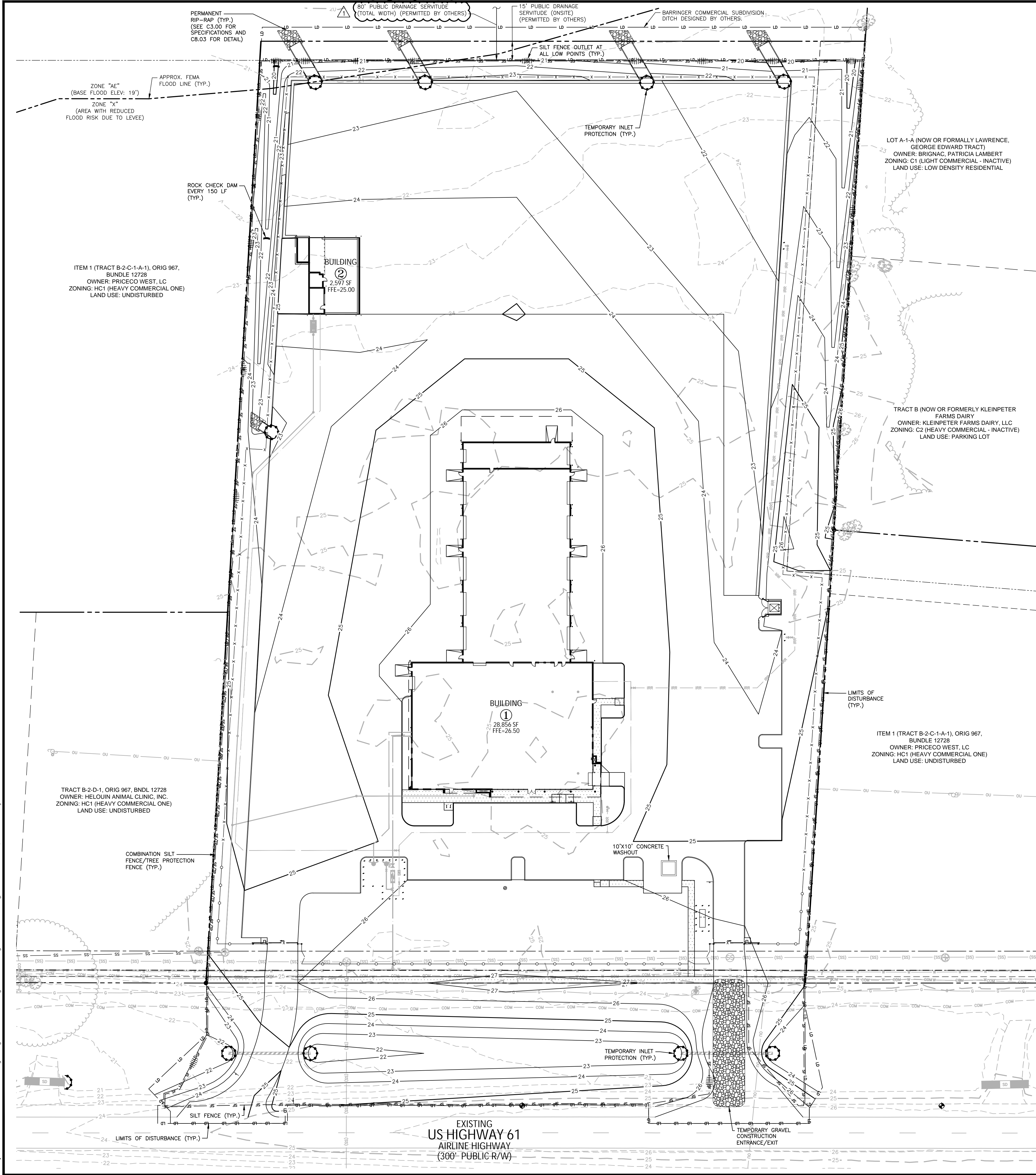
PLAN INFORMATION

PROJECT NO. WALU24001
FILENAME WALU24001-EC1
CHECKED BY GMA
DRAWN BY MJD
SCALE 1" = 40'
DATE 06.09.2025

SHEET

EROSION CONTROL
PLAN - STAGE 1

C6.00



EROSION CONTROL LEGEND

- SILT FENCE OUTLET
- INLET PROTECTION
- INLET PROTECTION FOR EXISTING STRUCTURES
- TEMPORARY SLOPE DRAIN
- FILTER BERM
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- COMBINATION SILT FENCE FENCE/ TREE PROTECTION FENCE
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT
- CONCRETE WASHOUT

STAGE 2 SPECIFIC SEQUENCE

1. MOVE SILT FENCE AND OUTLETS AS NECESSARY FOR STAGE 2.
2. CONTINUE CLEARING AND GRADING SITE AS SHOWN IN GRADING PLAN.
3. AS SITE IS FILLED, COMPLETE THE FOLLOWING AS APPROPRIATE:
 - 3.1. INSTALL REMAINDER OF STORM PIPE NETWORKS AND DRAINAGE FLUMES. INSTALL APPROVED INLET PROTECTION AS INLETS ARE INSTALLED.
 - 3.2. LAY WATER SERVICE LINES, FIRE LINE, AND IRRIGATION LINES WITH STUBS AT EITHER END.
 - 3.3. INSTALL ONSITE 6" GRAVITY SEWER AND CLEANOUTS WITH BUILDING SERVICE STUBS.
4. BEGIN FINE GRADING OF SITE UP TO FINAL SUBGRADE ELEVATIONS. STABILIZE ALL DISTURBED AREAS AND OTHER CRITICAL EROSION CONTROL AREAS IMMEDIATELY UPON INSTALLATION.
5. AS FINAL GRADE IS ACHIEVED, REMOVE TEMPORARY SEDIMENT TRAP, BAFFLES, AND SLOPE DRAIN.
6. TEMPORARY EROSION CONTROL MEASURES ARE TO REMAIN UNTIL SUCH MEASURES HAVE BEEN APPROVED FOR REMOVAL BY THE ENVIRONMENTAL ENGINEER AND EROSION CONTROL INSPECTOR. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND FIELD CONDITIONS.
7. MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN EVENT THROUGHOUT CONSTRUCTION.
8. UPON APPROVAL OF PERMANENT STABILIZATION BY EROSION CONTROL INSPECTOR, REMOVE REMAINDER OF EROSION CONTROL MEASURES, GRADE AND STABILIZE AND PAVE REMAINDER OF SITE.
9. FILE NOTICE OF TERMINATION WITH LOUISIANA DEQ.

McADAMS
The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000
fax 919. 361. 2269
LA license number: EF.0007475

www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888. 458. 0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

NO.	DATE	DESCRIPTION
1	09.03.2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

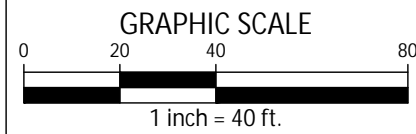
PLAN INFORMATION

PROJECT NO. WAU24001
FILENAME WAU24001-EC2
CHECKED BY GMA
DRAWN BY MJD
SCALE 1" = 40'
DATE 06.09.2025

SHEET

EROSION CONTROL
PLAN - STAGE 2

C6.01



ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF ST. GEORGE
ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE FOLLOWING TEMPORARY EROSION CONTROL INSTALLATION DETAILS AS PROVIDED BY THE ENGINEERING DIVISION OF THE DEPARTMENT OF PUBLIC WORKS FOR THE CITY OF BATON ROUGE & PARISH OF EAST BATON ROUGE DATED NOVEMBER 26, 2009 ARE APPLICABLE TO THIS PROJECT AND BY REFERENCE HEREBY ARE CONSIDERED A PART OF THESE PLANS:

STANDARD PLAN NO. 903-02 SHEET NO. 1 OF 2:
PLAN SHOWING TYPICAL TEMPORARY EROSION CONTROL
TEMPORARY SEDIMENT CHECK DAM (STONE)

STANDARD PLAN NO. 903-02 SHEET NO. 2 OF 2:
TEMPORARY STONE CONSTRUCTION ENTRANCE
TEMPORARY SLOPE DRAIN
CONSTRUCTION OF TEMPORARY SILT FENCING

THE FOLLOWING STORM WATER POLLUTION PREVENTION PLAN BEST MANAGEMENT PRACTICES DETAILS AS PROVIDED BY THE ENGINEERING DIVISION OF THE DEPARTMENT OF PUBLIC WORKS FOR THE CITY OF BATON ROUGE & PARISH OF EAST BATON ROUGE DATED FEBRUARY 25, 2008 ARE APPLICABLE TO THIS PROJECT AND BY REFERENCE HEREBY ARE CONSIDERED PART OF THESE PLANS:

STANDARD PLAN NO. 903-01 SHEET NO. 1 OF 11:
MULCHING (BMP 1)
EROSION CONTROL MATS (BMP 2)
VEGETATION (BMP 3)

STANDARD PLAN NO. 903-01 SHEET NO. 2 OF 11:
SILT FENCE (BMP 4)

STANDARD PLAN NO. 903-01 SHEET NO. 3 OF 11:
INTERCEPTOR SWALE (BMP 6)
STABILIZED CONSTRUCTION ENTRANCE (BMP 9)

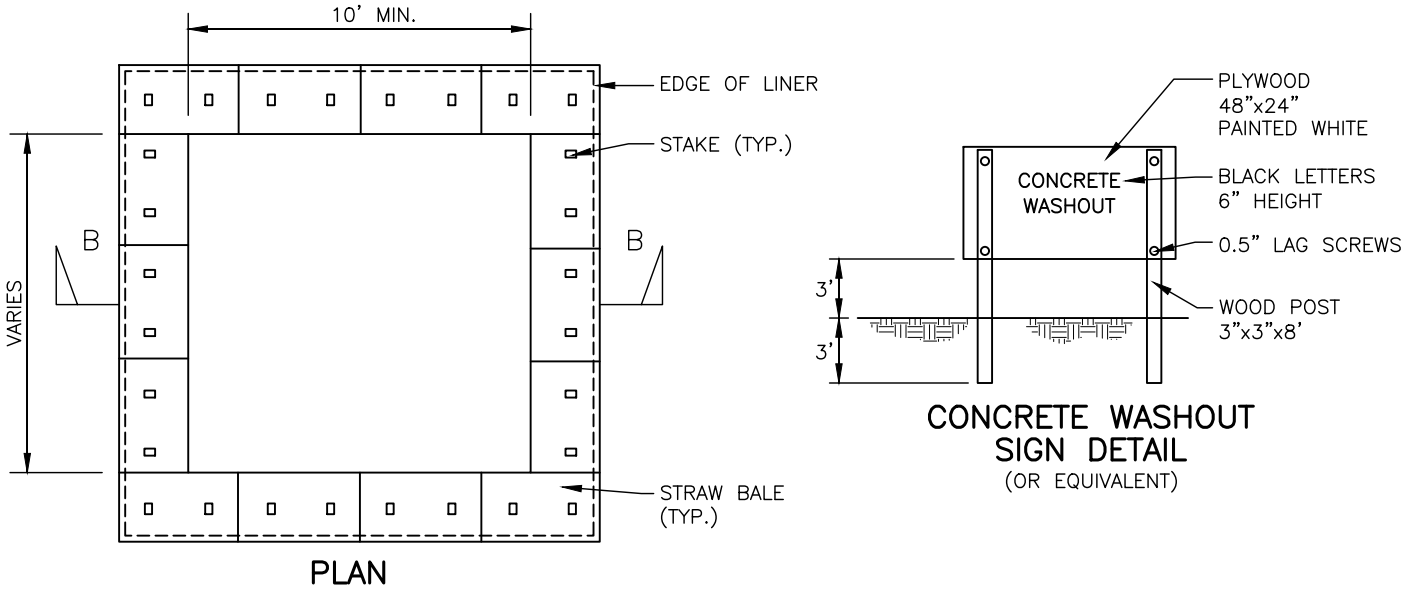
STANDARD PLAN NO. 903-01 SHEET NO. 4 OF 11:
CHECK DAMS (BMP 10)
DUST CONTROL BMP (11)

STANDARD PLAN NO. 903-01 SHEET NO. 5 OF 11:
DEWATERING OPERATIONS (BMP 13)

STANDARD PLAN NO. 903-01 SHEET NO. 7 OF 11:
STONE OUTLET SEDIMENT TRAP (BMP 19)

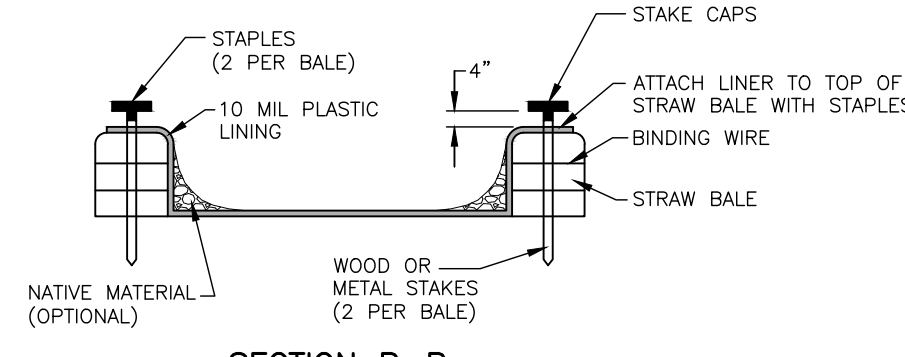
STANDARD PLAN NO. 903-01 SHEET NO. 8 OF 11:
CONCRETE WASTE MANAGEMENT (BMP 24)

STANDARD PLAN NO. 903-01 SHEET NO. 9 OF 11:
PIPE SLOPE DRAIN (BMP 28)

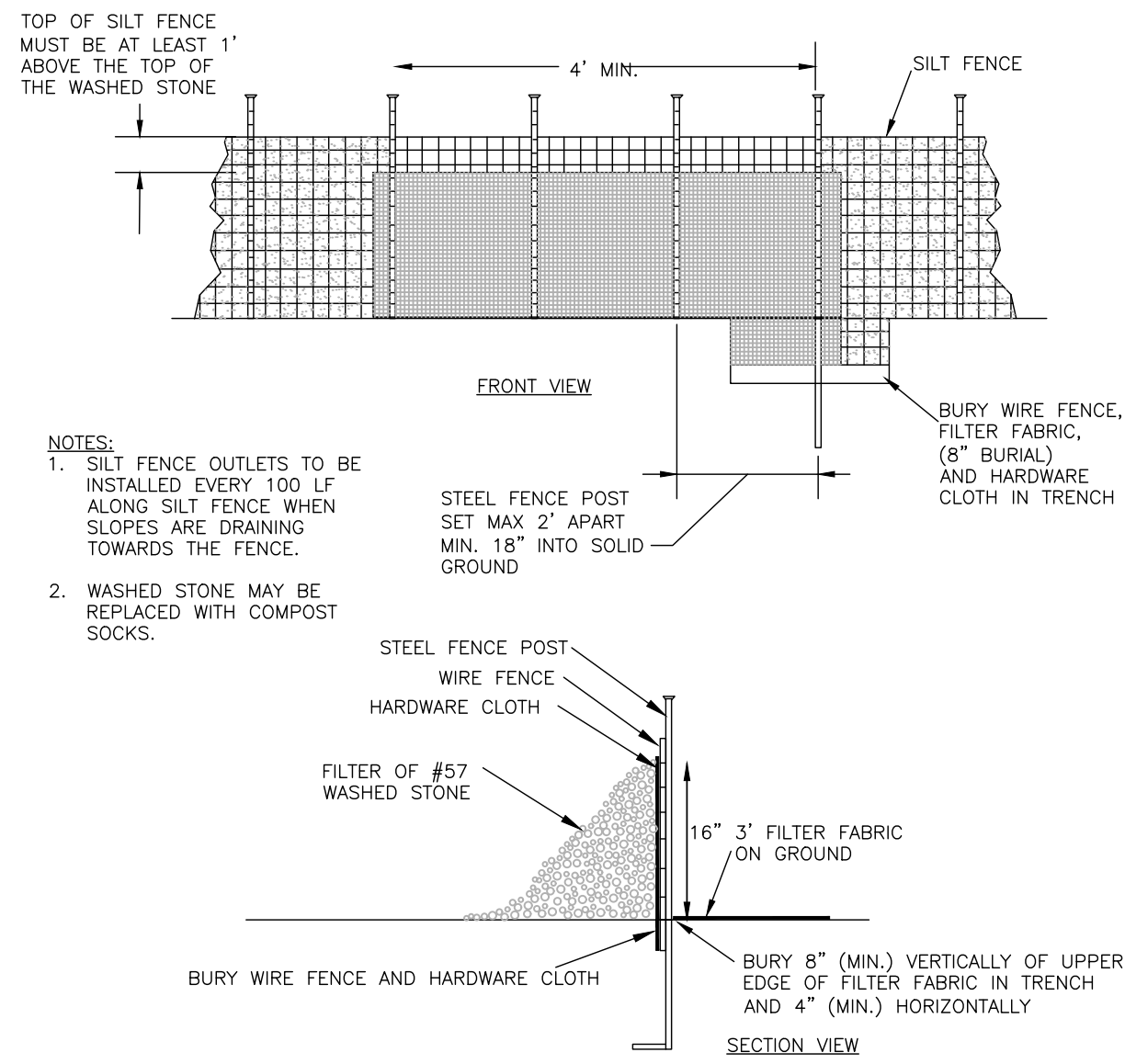


- NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

- INSPECTION/MAINTENANCE/REMOVAL:
1. TEMPORARY CONCRETE WASHOUT FACILITIES ARE TO BE INSPECTED BY THE CONTRACTOR DURING HIS/HER WEEKLY EROSION AND SEDIMENT CONTROL INSPECTION, AFTER A STORM EVENT OF 1/2" OR GREATER AND AT THE END OF ANY DAY WHEN CONCRETE HAS BEEN POURED ON THE CONSTRUCTION SITE. THE INSPECTOR IS TO ENSURE THAT THERE ARE NO LEAKS, NO SPILLS AND THAT THE FACILITIES CAPACITY HAS NOT YET BEEN COMPROMISED.
 2. ANY OVERFLOWING OF THE WASHOUT FACILITIES ONTO THE GROUND MUST BE CLEANED UP AND REMOVED WITHIN 24 HOURS OF DISCOVERY.
 3. IF A RAIN OR SNOW EVENT IS FORECASTED, A NON-COLLAPSING, NON-WATER COLLECTING COVER SHALL BE PLACED OVER THE WASHOUT FACILITY AND SECURED TO PREVENT ACCUMULATION AND OVERFLOW OF PRECIPITATION.
 4. CONTENTS OF EACH CONCRETE WASHOUT FACILITY ARE NOT TO EXCEED 75% OF ITS DESIGNED CAPACITY. IF THE CONTENTS REACH 75% CAPACITY, DISCONTINUE POURING CONCRETE INTO THE FACILITY UNTIL IT HAS BEEN CLEANED OUT.
 5. ALLOW SLURRY TO EVAPORATE OR REMOVE FROM SITE IN A SAFE MANNER (I.E. VACUUM TRUCK). ALL HARDENED MATERIAL CAN THEN BE REMOVED AND DISPOSED OF PROPERLY.
 6. IF A LINED BASIN IS USED, IMMEDIATELY REPLACE THE LINER IF IT BECOMES DAMAGED.
 7. REMOVE TEMPORARY CONCRETE WASHOUT FACILITIES WHEN THEY ARE NO LONGER NEEDED AND RESTORE THE DISTURBED AREAS TO THEIR ORIGINAL CONDITION.



CONCRETE WASHOUT PIT N.T.S.



STANDARD SILT FENCE OUTLET

SILT FENCE OUTLET MAINTENANCE

REMOVE SEDIMENT WHEN HALF OF STONE OUTLET IS COVERED.

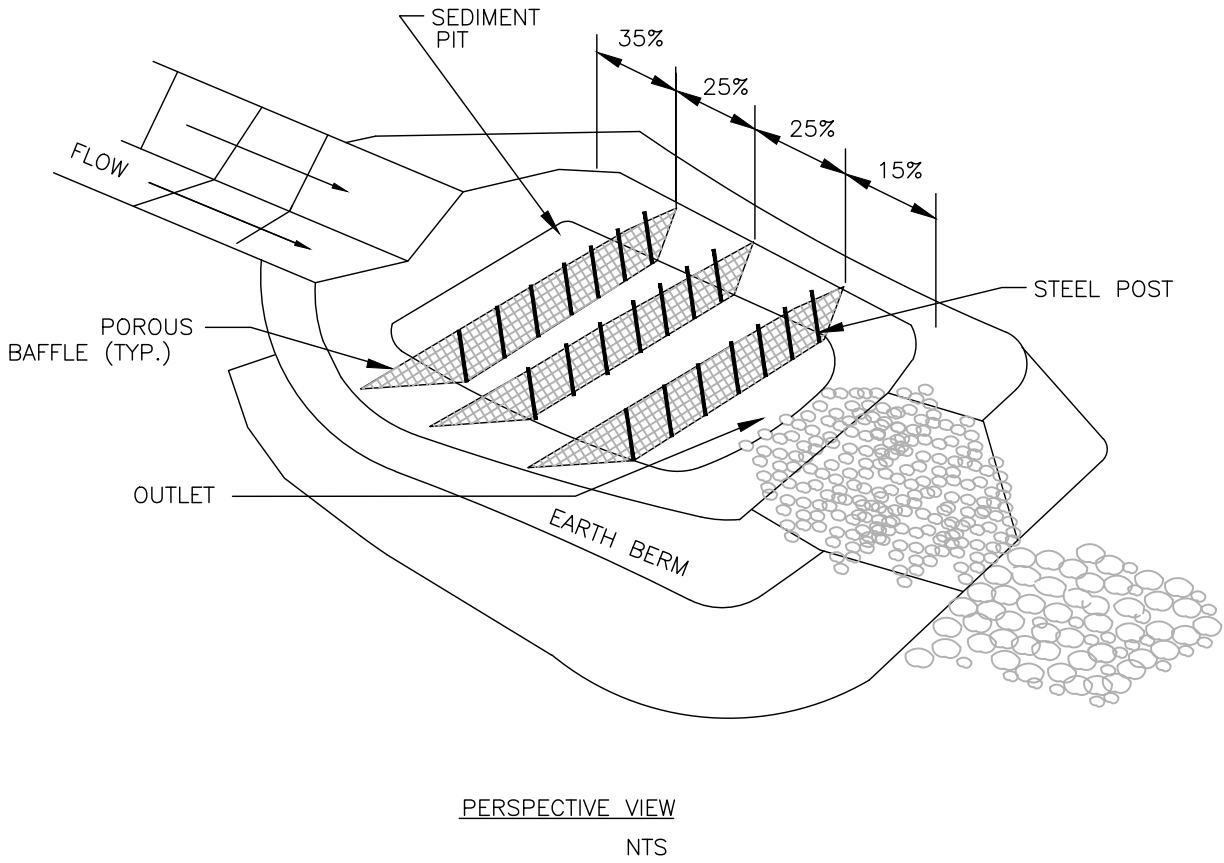
REPLACE STONE AS NEEDED TO ENSURE DEWATERING.

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



PERSPECTIVE VIEW NTS

- CONSTRUCTION SPECIFICATION
1. GRADE THE BASIN SO THAT THE BOTTOM IS LEVEL FRONT TO BACK AND SIDE TO SIDE.
 2. INSTALL POSTS OR SAW HORSES ACROSS THE WIDTH OF THE SEDIMENT TRAP.
 3. STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF 24 INCHES, SPACED AT A MAXIMUM OF 4 FEET APART, AND INSTALLED UP THE SIDES OF THE BASIN AS WELL. THE TOP OF THE FABRIC SHOULD BE 6 INCHES HIGHER THAN THE INVERT OF THE SPILLWAY. TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE BERM.
 4. INSTALL AT LEAST THREE ROWS OF BAFFLES BETWEEN THE INLET AND OUTLET DISCHARGE POINT.
 5. WHEN USING POSTS, ADD A SUPPORT WIRE OR ROPE ACROSS THE TOP OF THE MEASURE TO PREVENT SAGGING.
 6. WRAP POROUS MATERIAL, LIKE JUTE BACKED BY COIR MATERIAL, OVER A SAWHORSE OR THE TOP WIRE. HAMMER REBAR INTO THE SAWHORSE LEGS FOR ANCHORING. THE FABRIC SHOULD HAVE FIVE TO TEN PERCENT OPENINGS IN THE WEAVE. ATTACH FABRIC TO A ROPE AND A SUPPORT STRUCTURE WITH SIP TIES, WIRE, OR STAPLES.
 7. THE BOTTOM AND SIDES OF THE FABRIC SHOULD BE ANCHORED IN A TRENCH OR PINNED WITH 8 INCH EROSION CONTROL MATTING STAPLES.
 8. DO NOT SPLICE THE FABRIC, BUT USE A CONTINUOUS PIECE ACROSS THE BASIN.

POROUS BAFFLE INSTALLATION DETAIL

BAFFLES MAINTENANCE

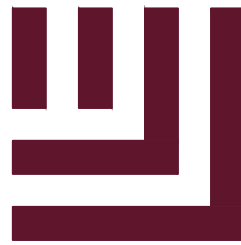
INSPECT BAFFLES AT LEAST WEEKLY AND AFTER EACH RAINFALL EVENT. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. BE SURE TO MAINTAIN ACCESS TO THE BAFFLES. SHOULD THE FABRIC OF A BAFFLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BAFFLES. TAKE CARE TO AVOID DAMAGING THE BAFFLES DURING CLEANOUT. SEDIMENT DEPTH SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH.

AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL BAFFLE MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE, AND STABILIZE IT.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF ST. GEORGE
ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000

fax 919. 361. 2269

LA license number: EF.0007475

www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888. 458. 0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

NO.	DATE	DESCRIPTION
1	09.03.2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

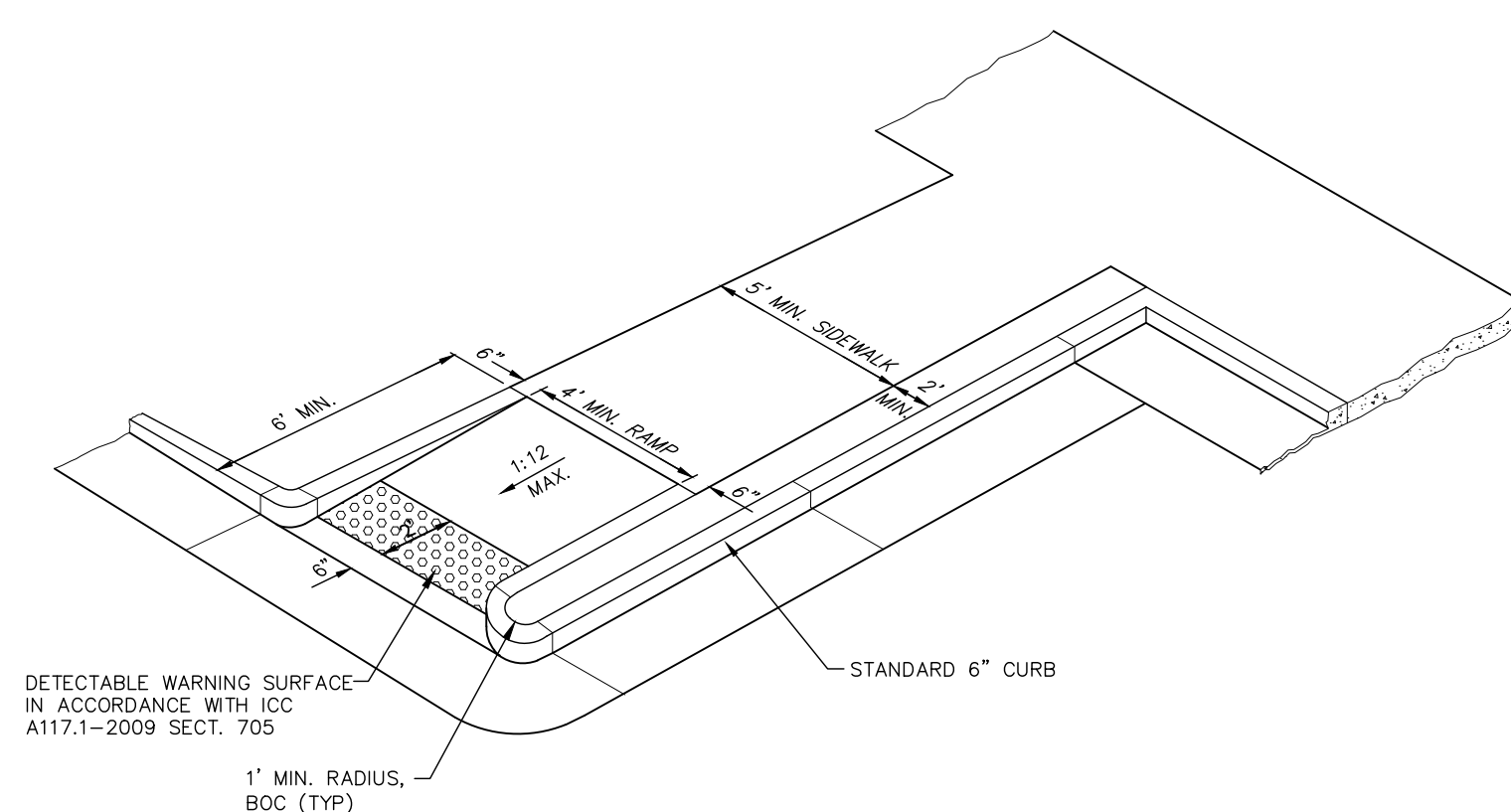
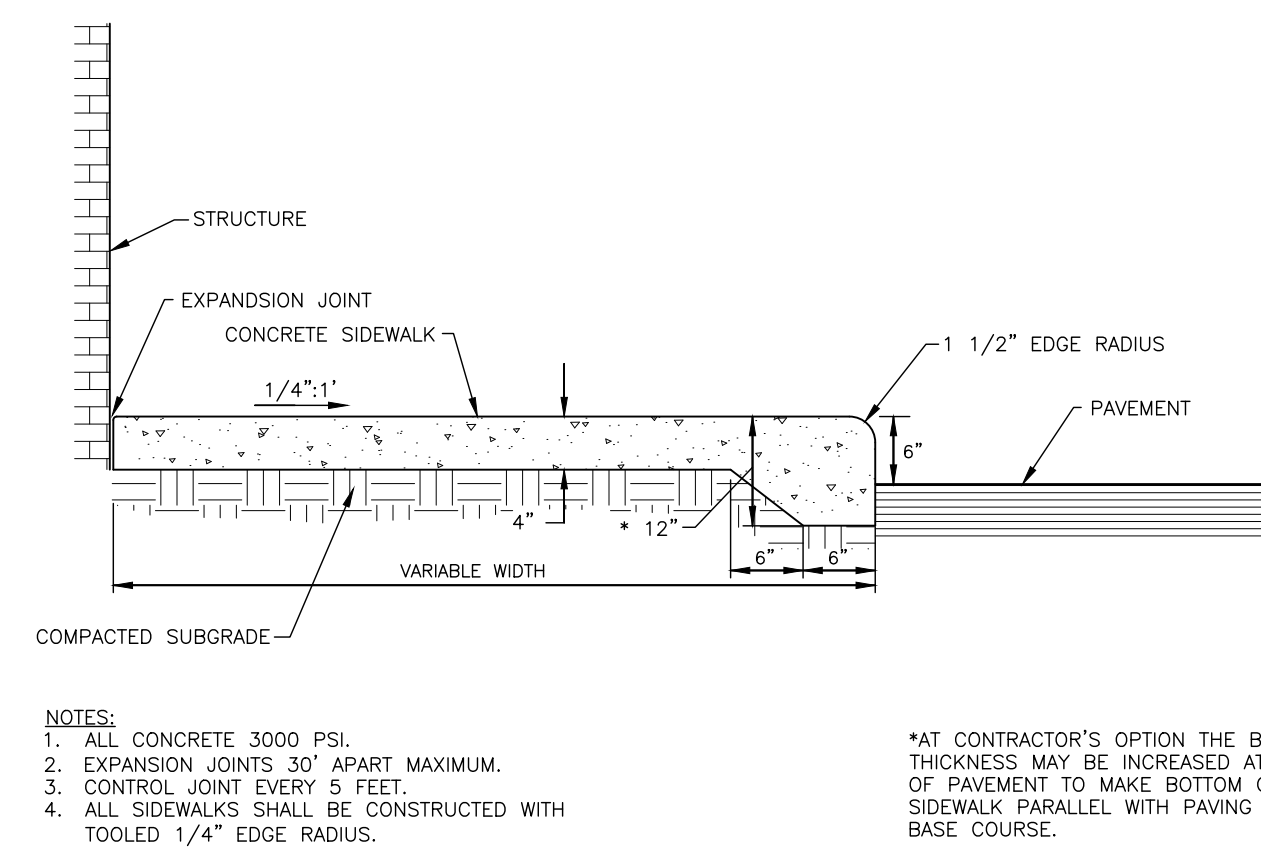
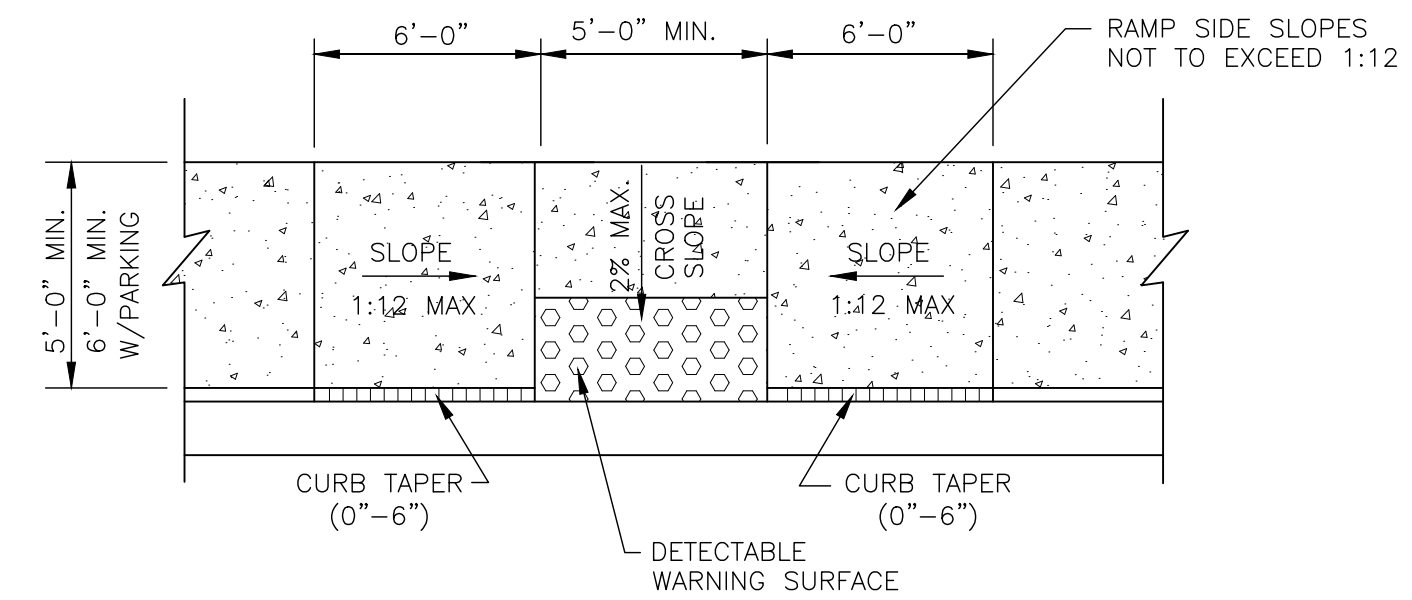
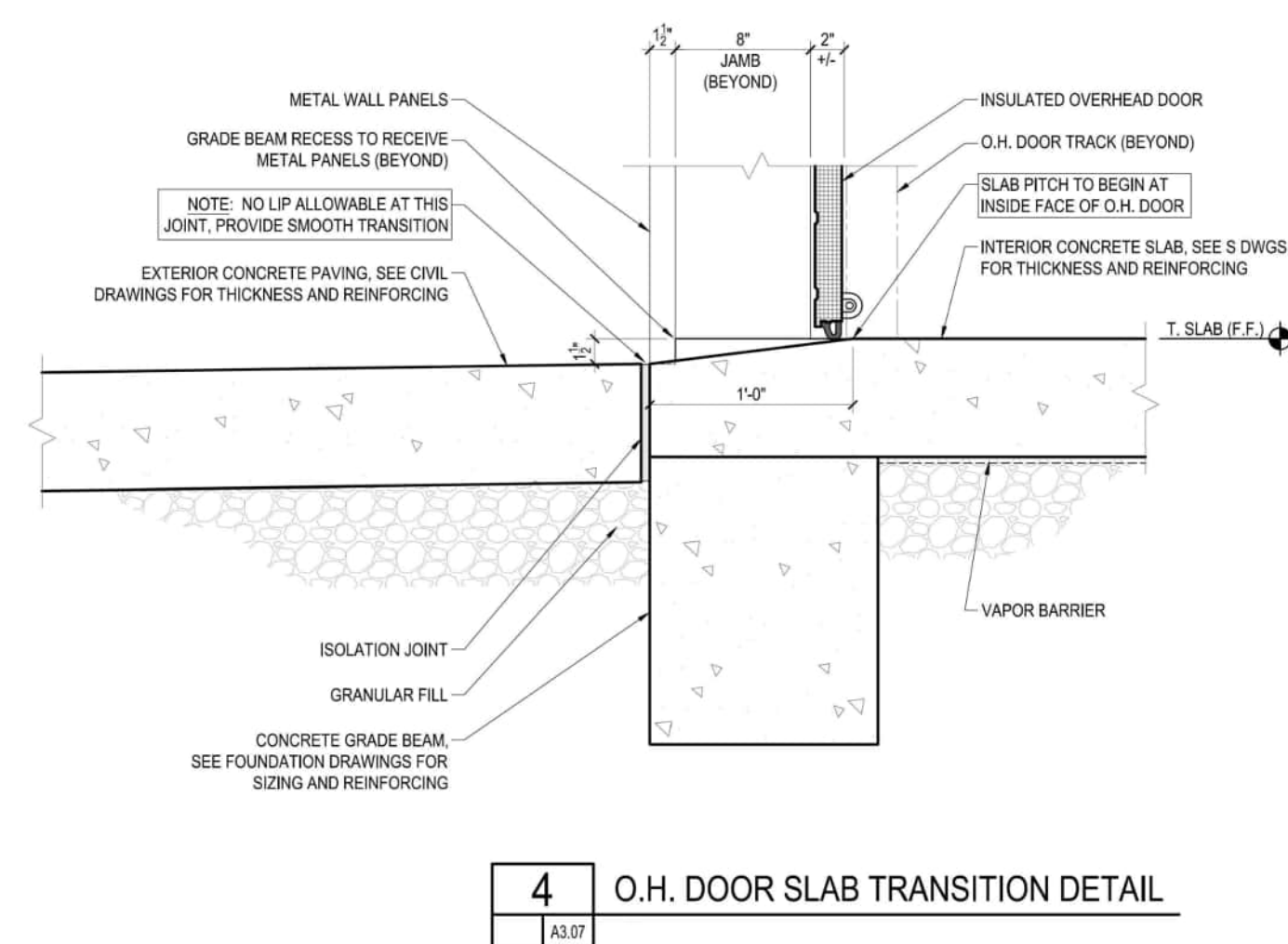
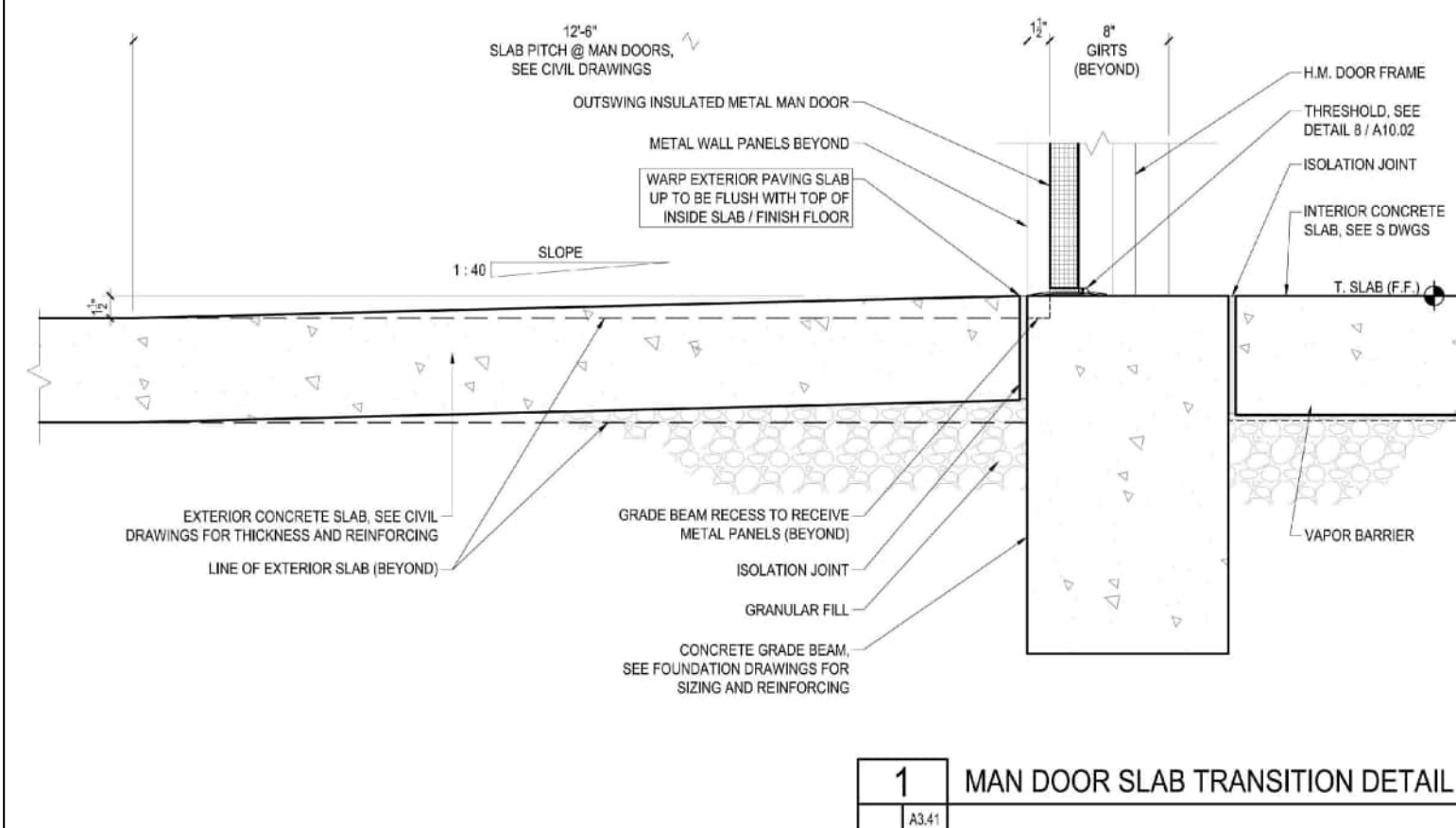
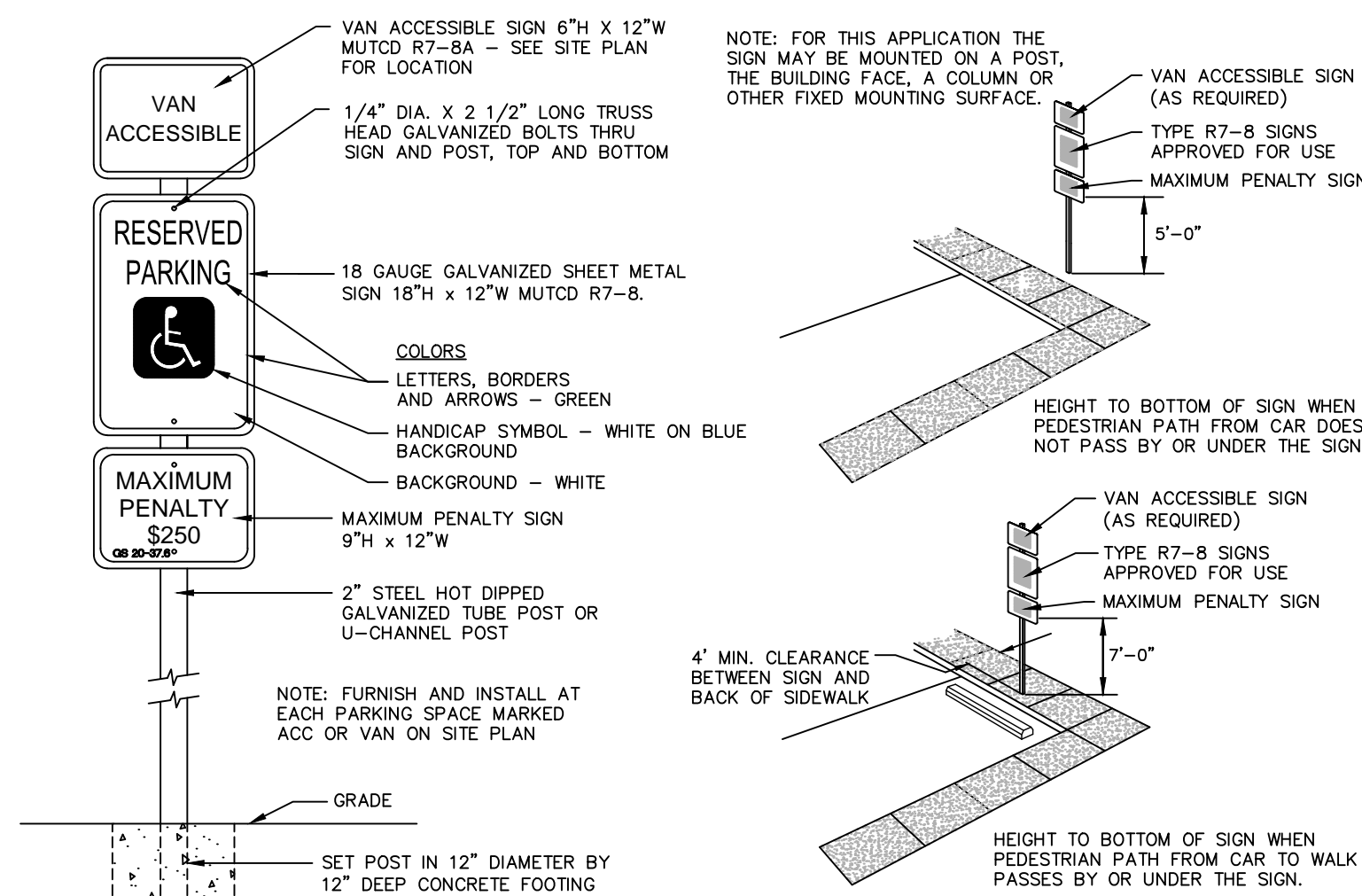
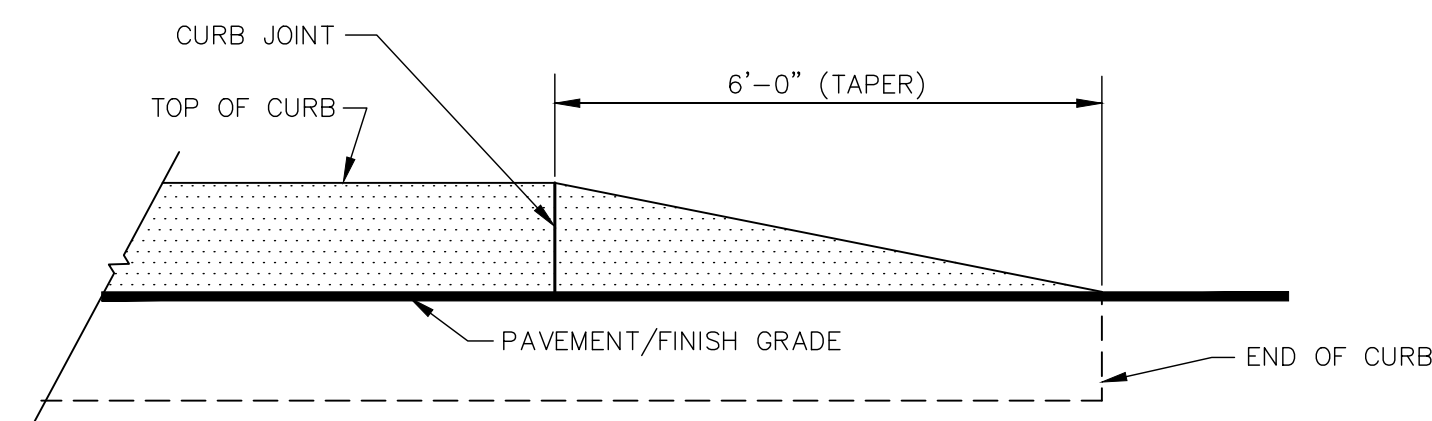
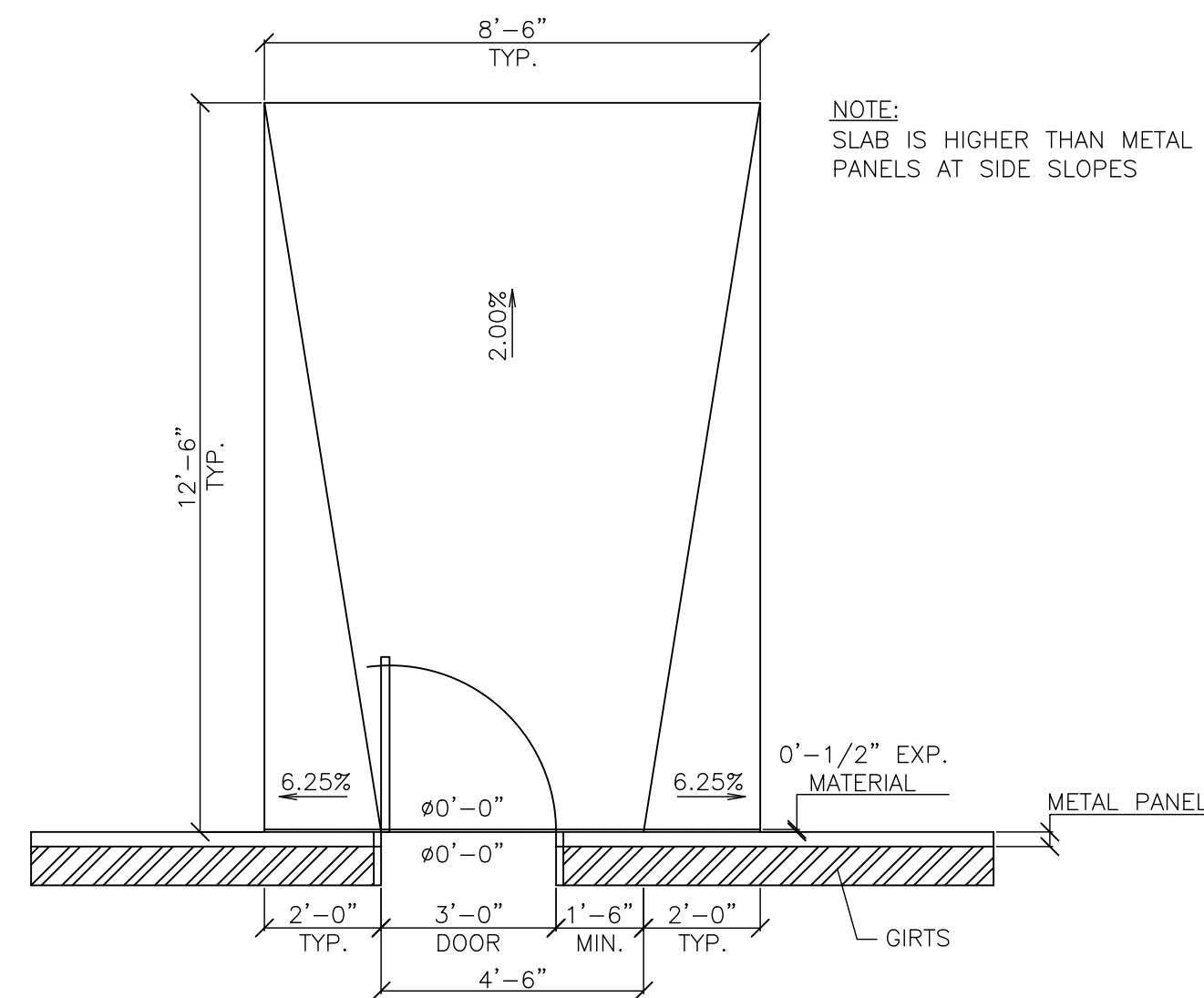
PLAN INFORMATION

PROJECT NO. WAU24001
FILENAME WAU24001-EC3
CHECKED BY GMA
DRAWN BY MJD
SCALE NTS
DATE 06.09.2025

SHEET

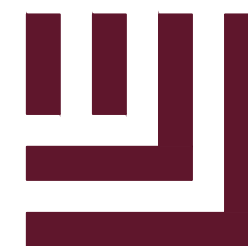
EROSION CONTROL
PLAN DETAILS

C6.02



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF ST. GEORGE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000
fax 919. 361. 2269
A license number: EF.0007475

www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888.458.0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

NO.	DATE	DESCRIPTION
1	09. 03. 2025	RESPONSE 1ST SITEPLAN COMMENT
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

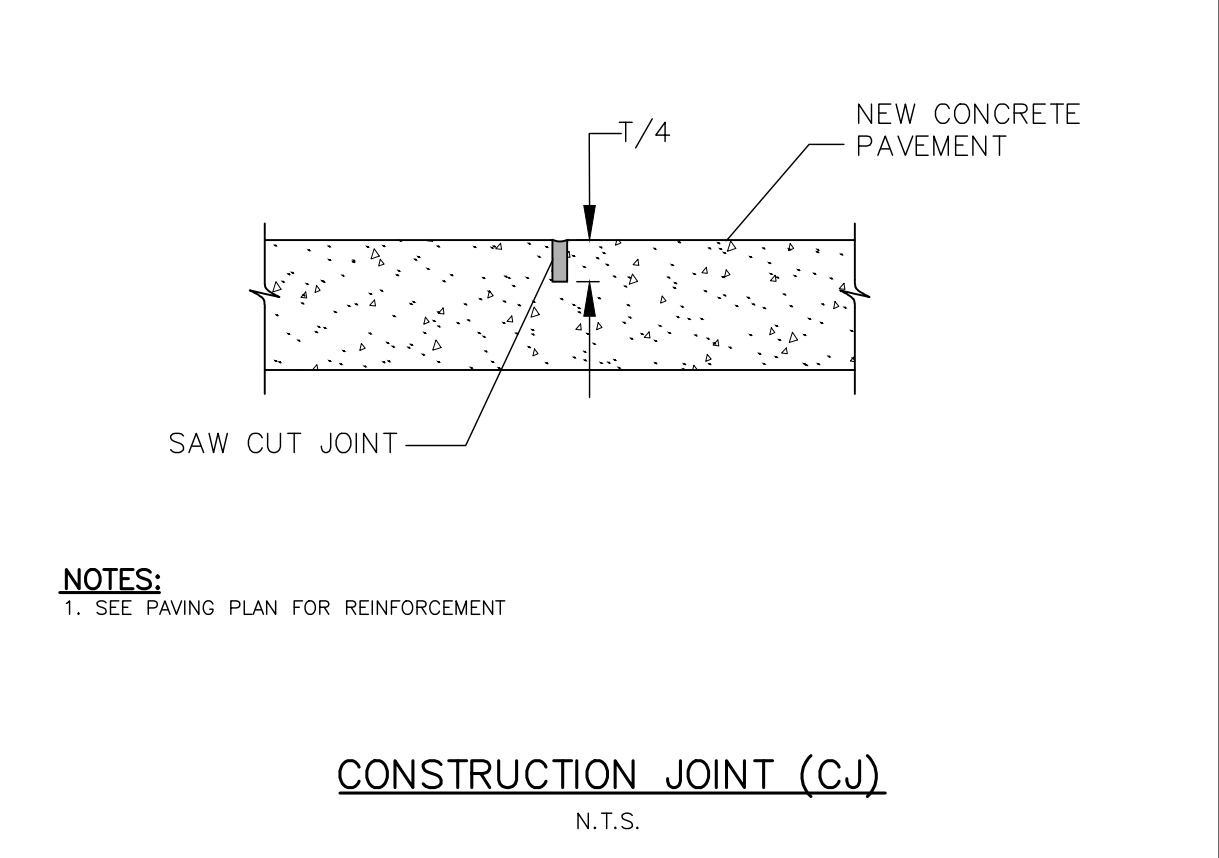
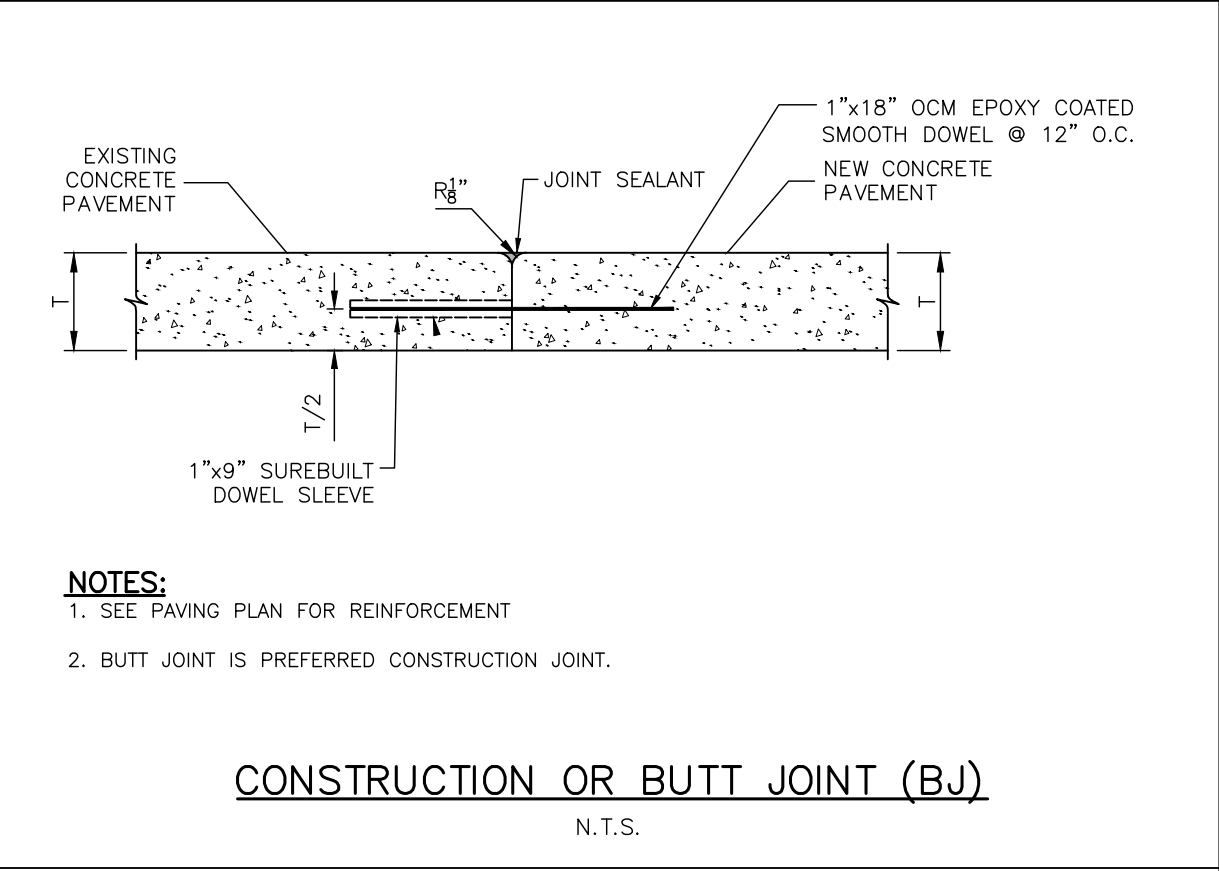
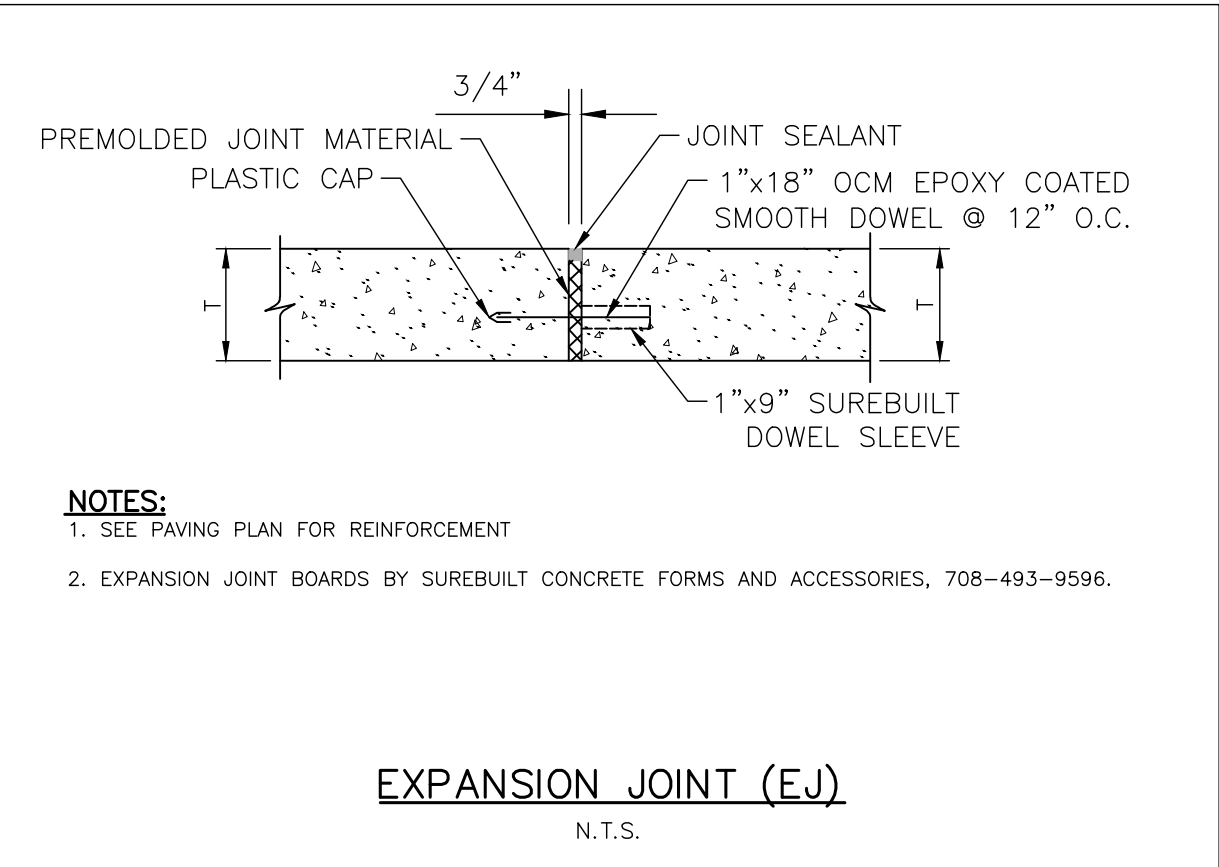
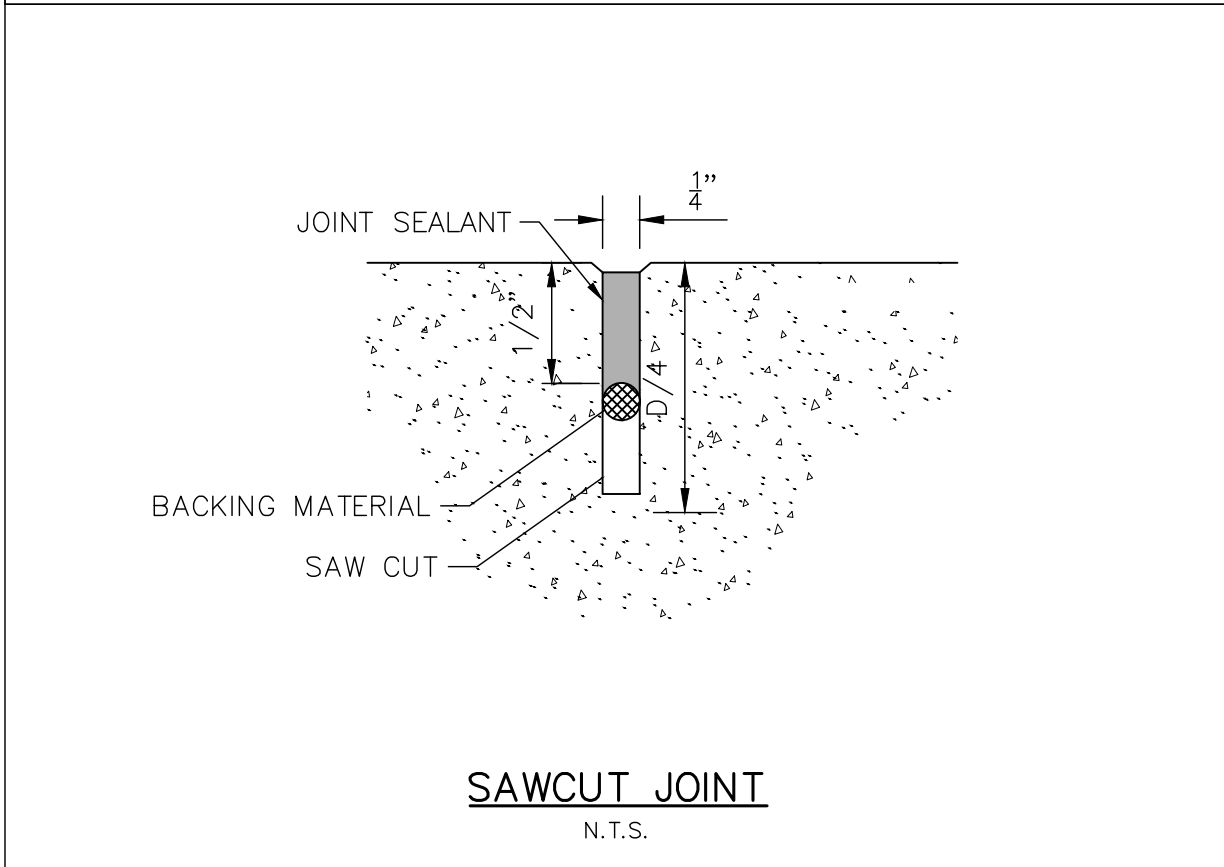
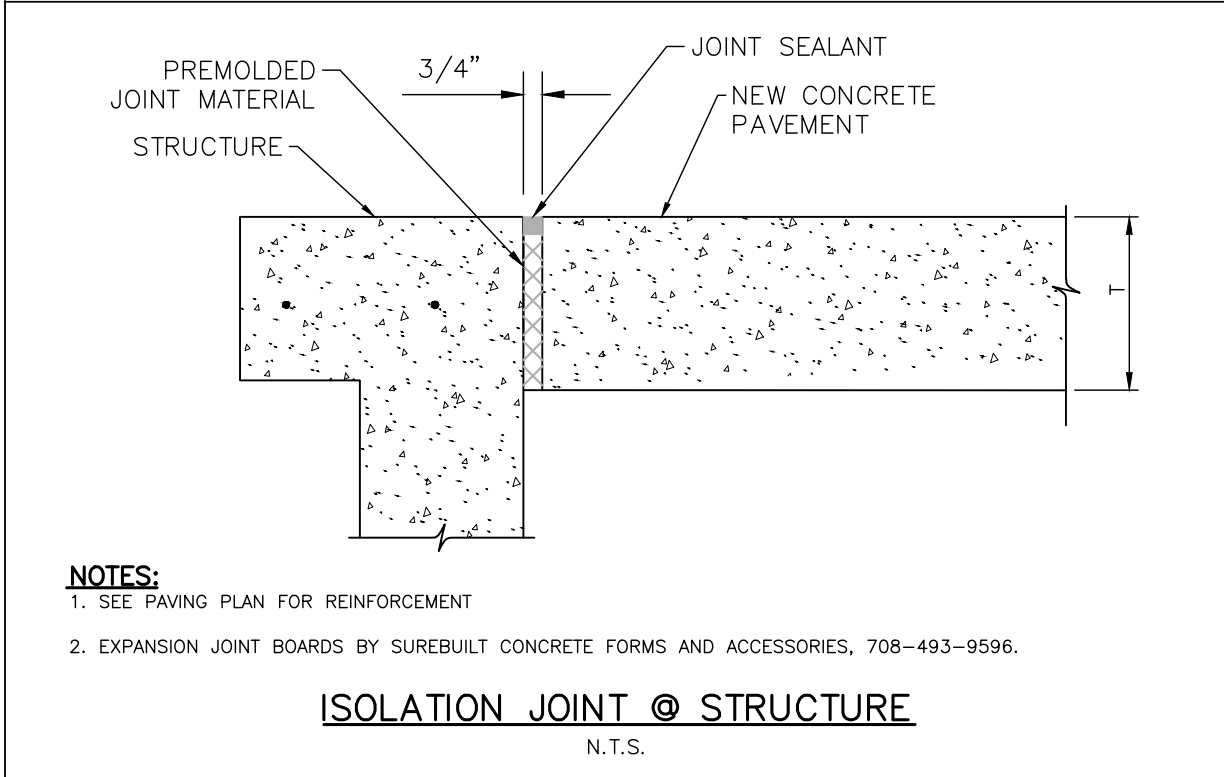
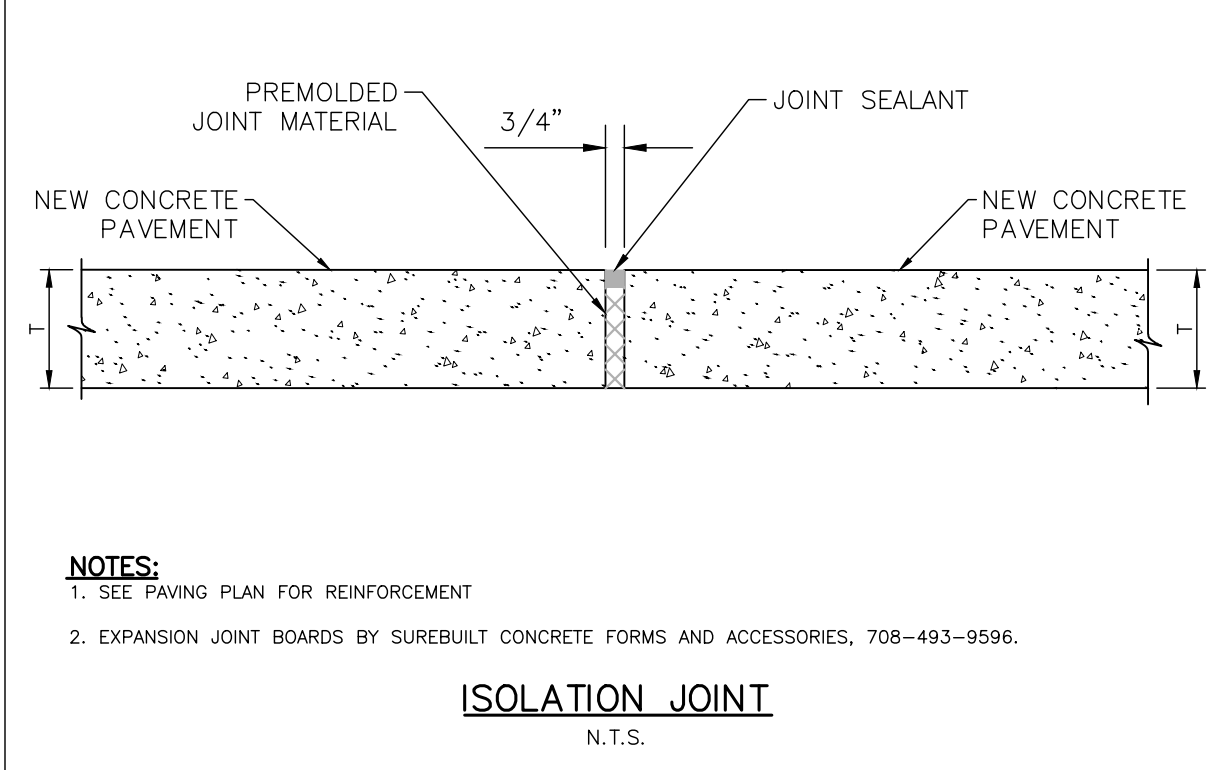
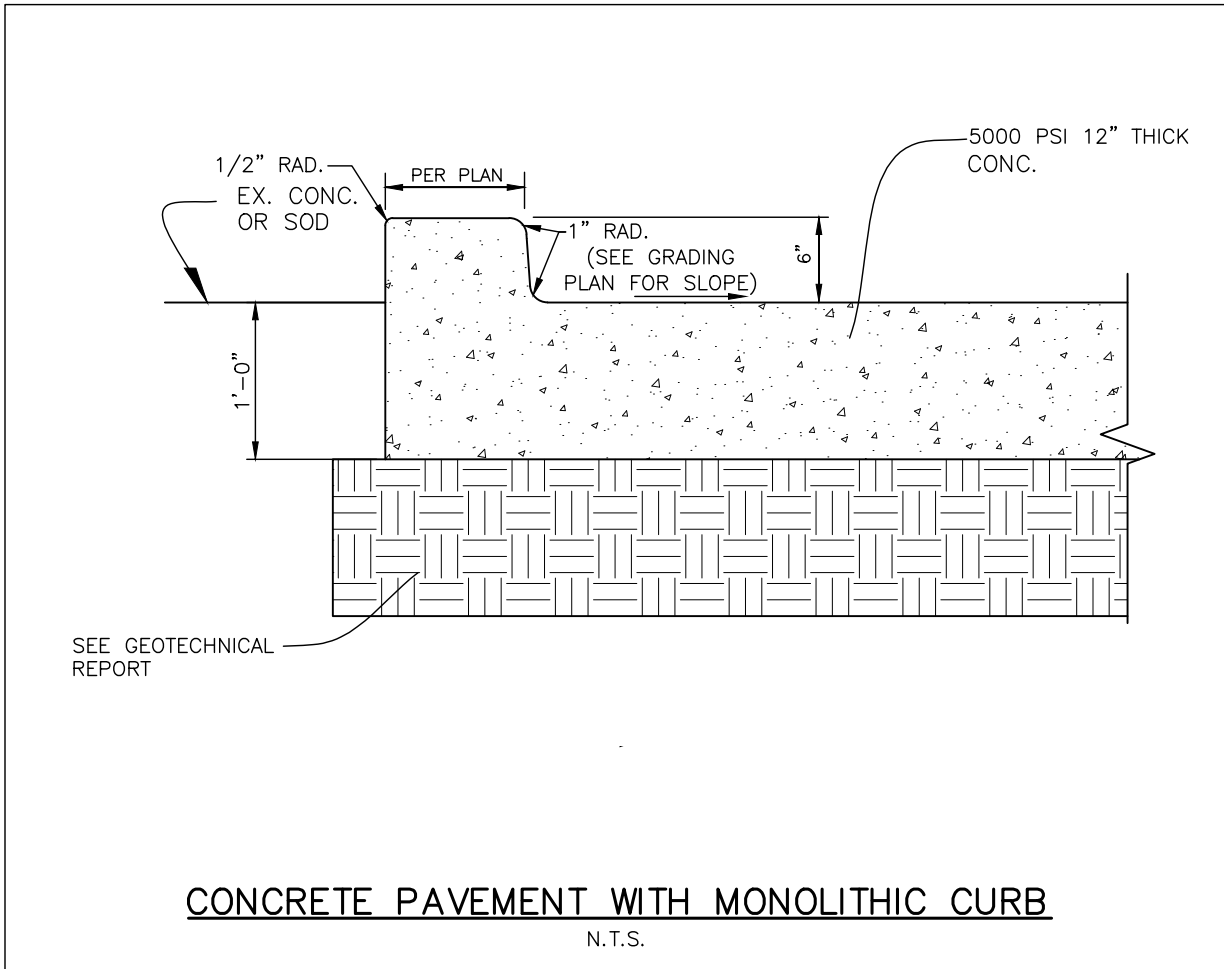
PROJECT NO.	WAU24001
FILENAME	WAU24001-D1
CHECKED BY	GMA
DRAWN BY	MJD
SCALE	NTS
DATE	06. 09. 2025

SHEET

SITE DETAILS

C8.00

X:\Projects\WAL\WAL24001\04-Production\Engineering\Construction Drawings\WAL24001-D1.dwg, 9/3/2025 2:47:23 PM, Matthew DeBryne



ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF ST. GEORGE
ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000
fax 919. 361. 2269
LA license number: EF.0007475

www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888. 458. 0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS		
NO.	DATE	DESCRIPTION
1	09.03.2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION	
PROJECT NO.	WAL24001
FILENAME	WAL24001-D1
CHECKED BY	GMA
DRAWN BY	MJD
SCALE	NTS
DATE	06.09.2025

SHEET

CONCRETE DETAILS

C8.02



www.mcadamsco.com

CLIENT



KAP
SINCE 1924

WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

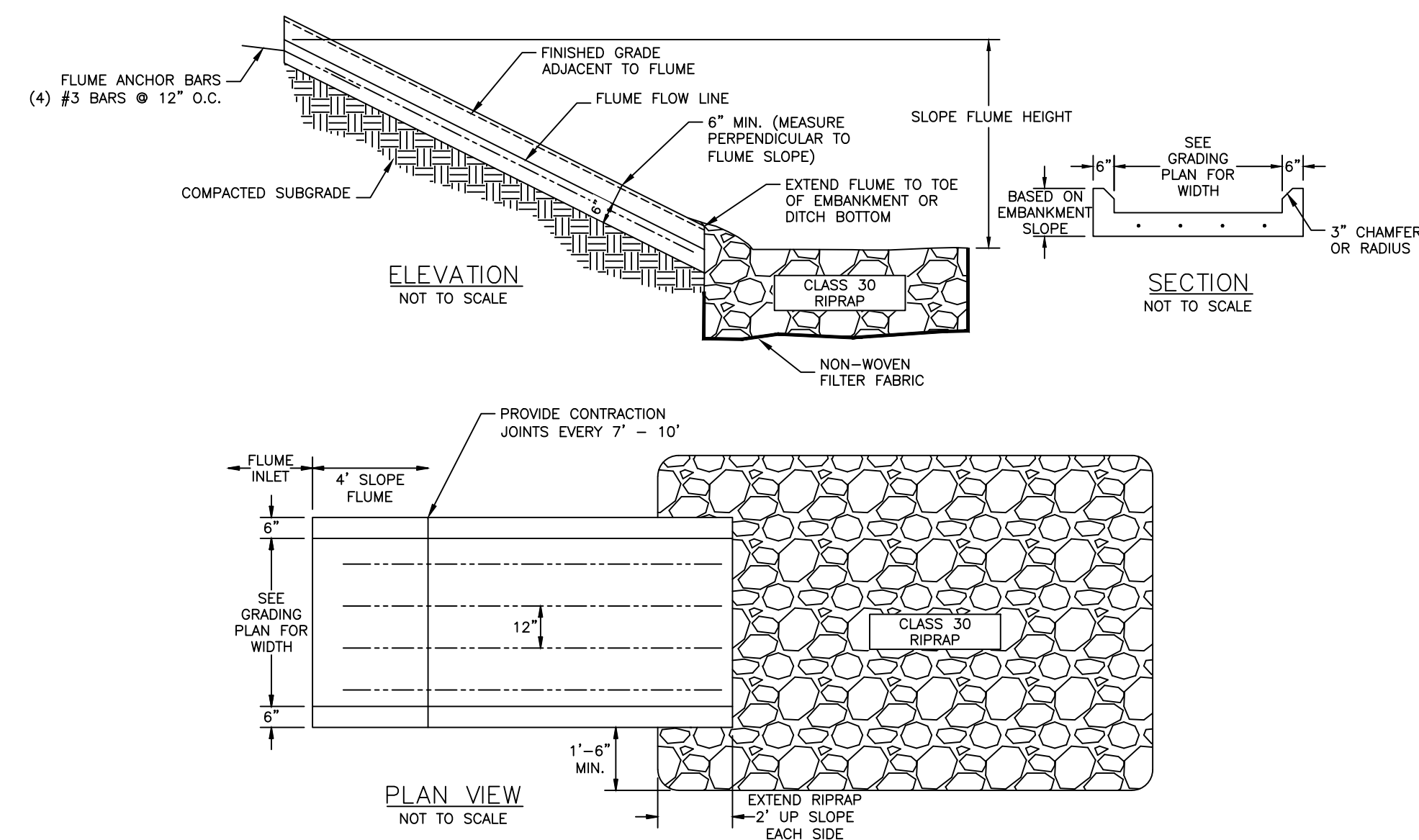
NO.	DATE	DESCRIPTION
1	09. 03. 2025	RESPONSE 1ST SITEPLAN COMMENT
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

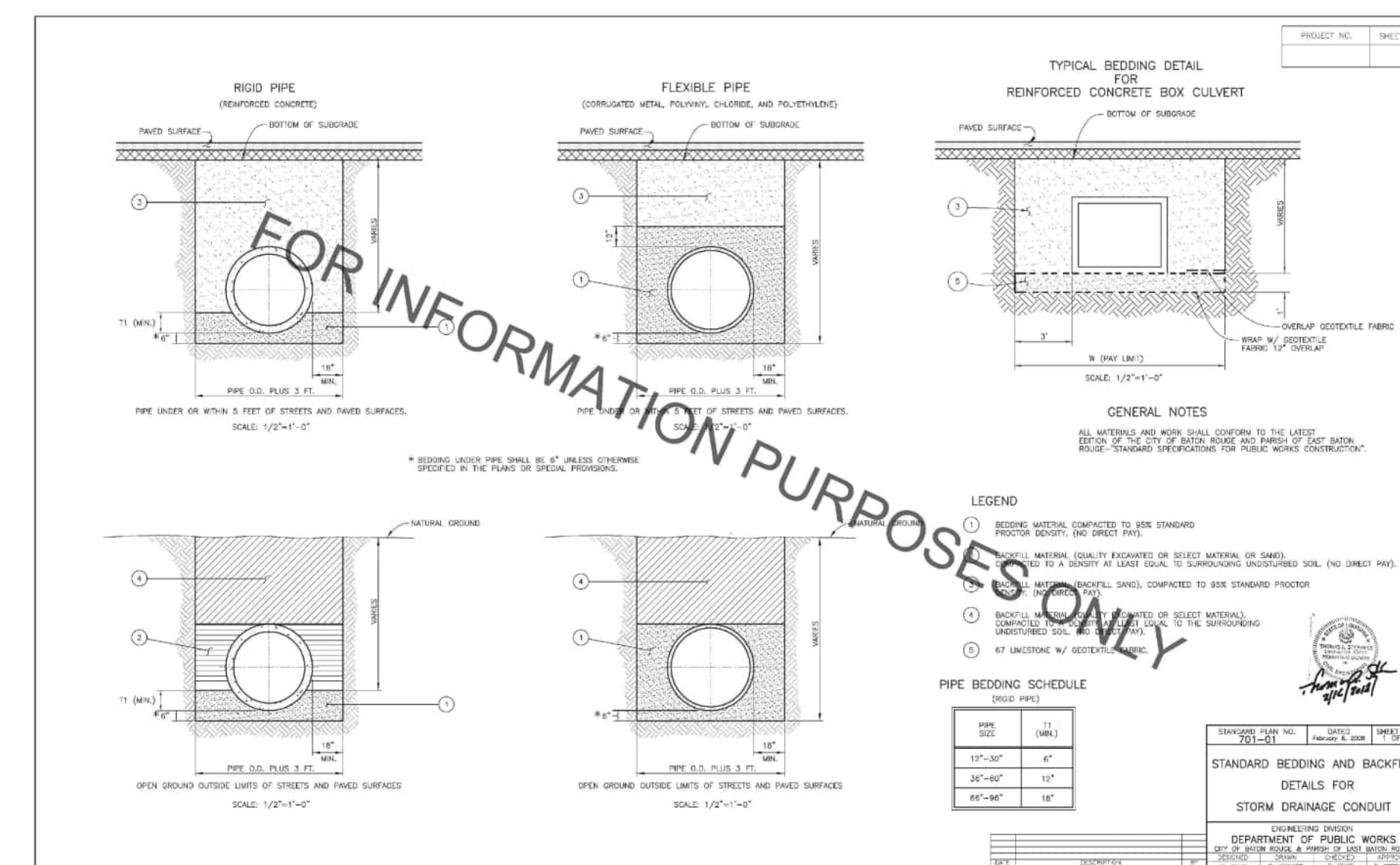
SHEET

STORM DETAILS

C8.03



CONCRETE DRAINAGE FLUME
N.T.S.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



phone 919. 361. 5000
fax 919. 361. 2269
A license number: EF.000

CLIENT

WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



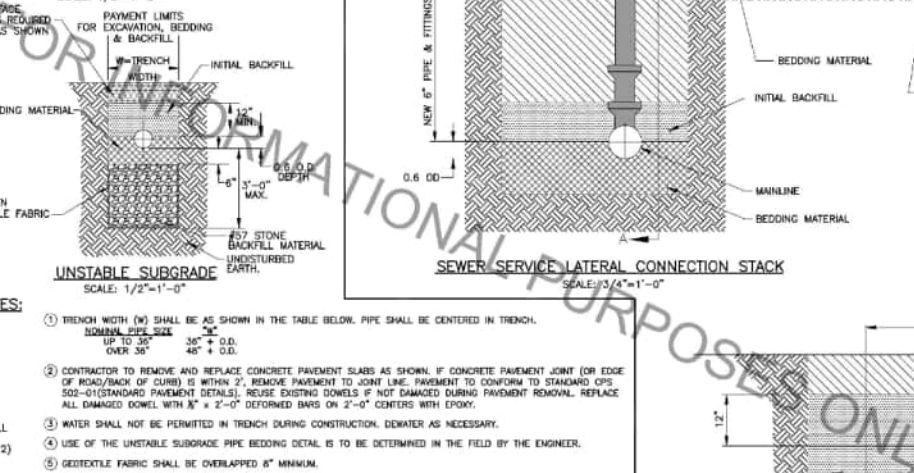
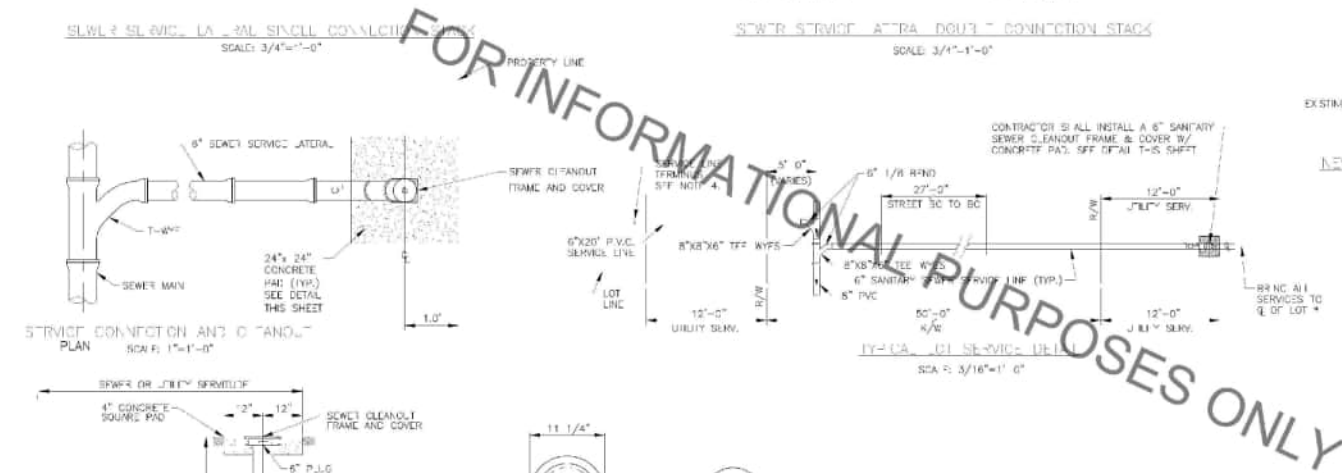
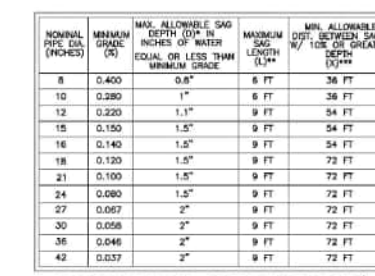
NO.	DATE	DESCRIPTION
1	09. 03. 2025	RESPONSE 1ST SITEPLAN COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

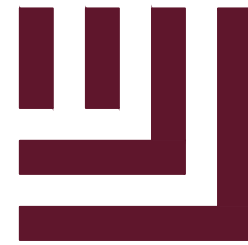
PROJECT NO.	WAU24001
FILENAME	WAU24001-D1
CHECKED BY	GMA
DRAWN BY	MJD
SCALE	NTS
DATE	06. 09. 2025

UTILITY DETAILS

C8.04

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000
fax 919. 361. 2269
LA license number: EF.0007475

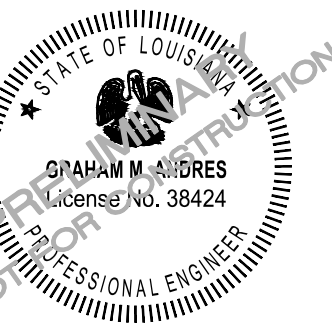
www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888. 458. 0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

NO.	DATE	DESCRIPTION
1	09. 03. 2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. WAU24001
FILENAME WAU24001-D1
CHECKED BY GMA
DRAWN BY MJD
SCALE NTS
DATE 06. 09. 2025

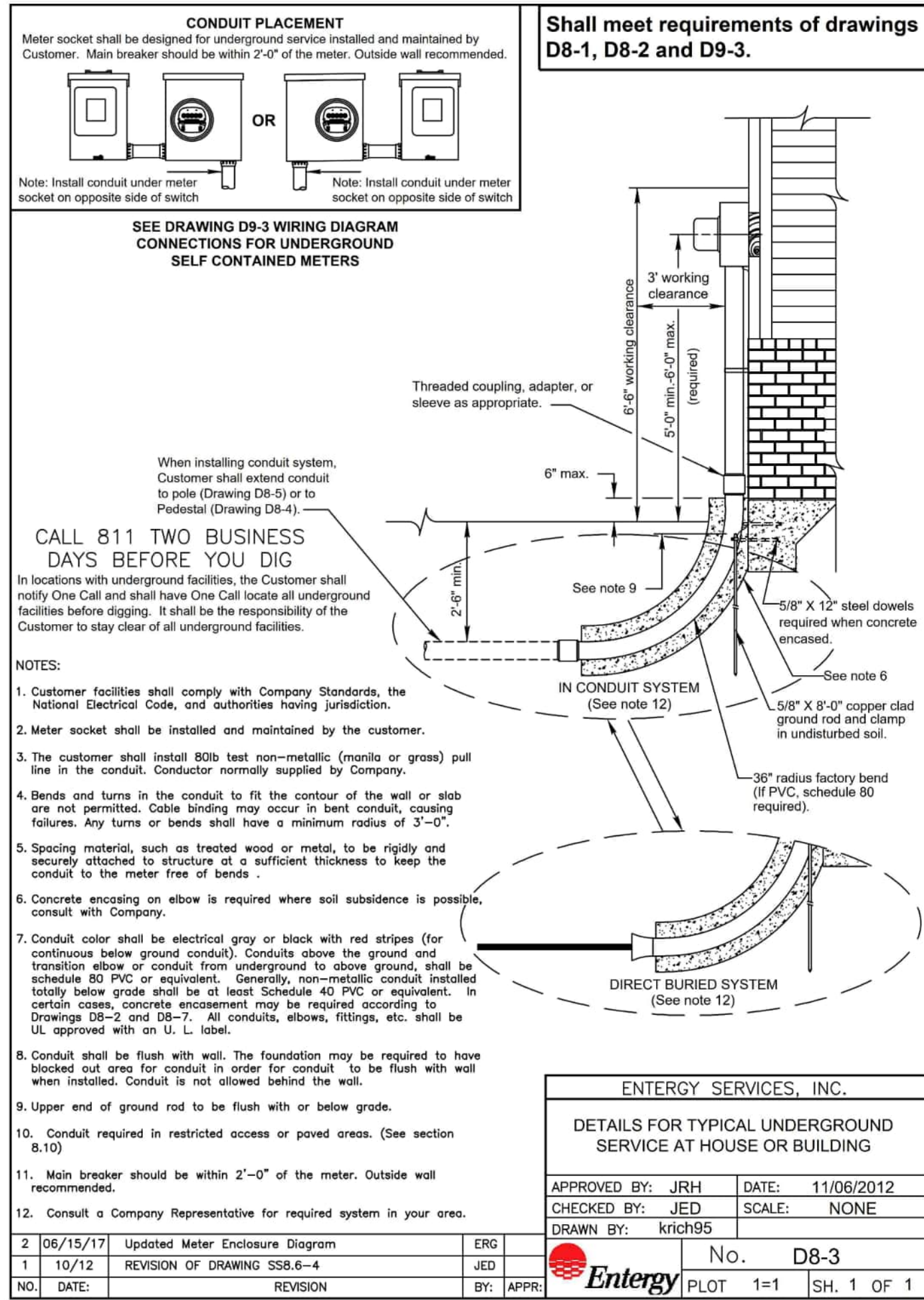
SHEET

ENTERGY DETAILS

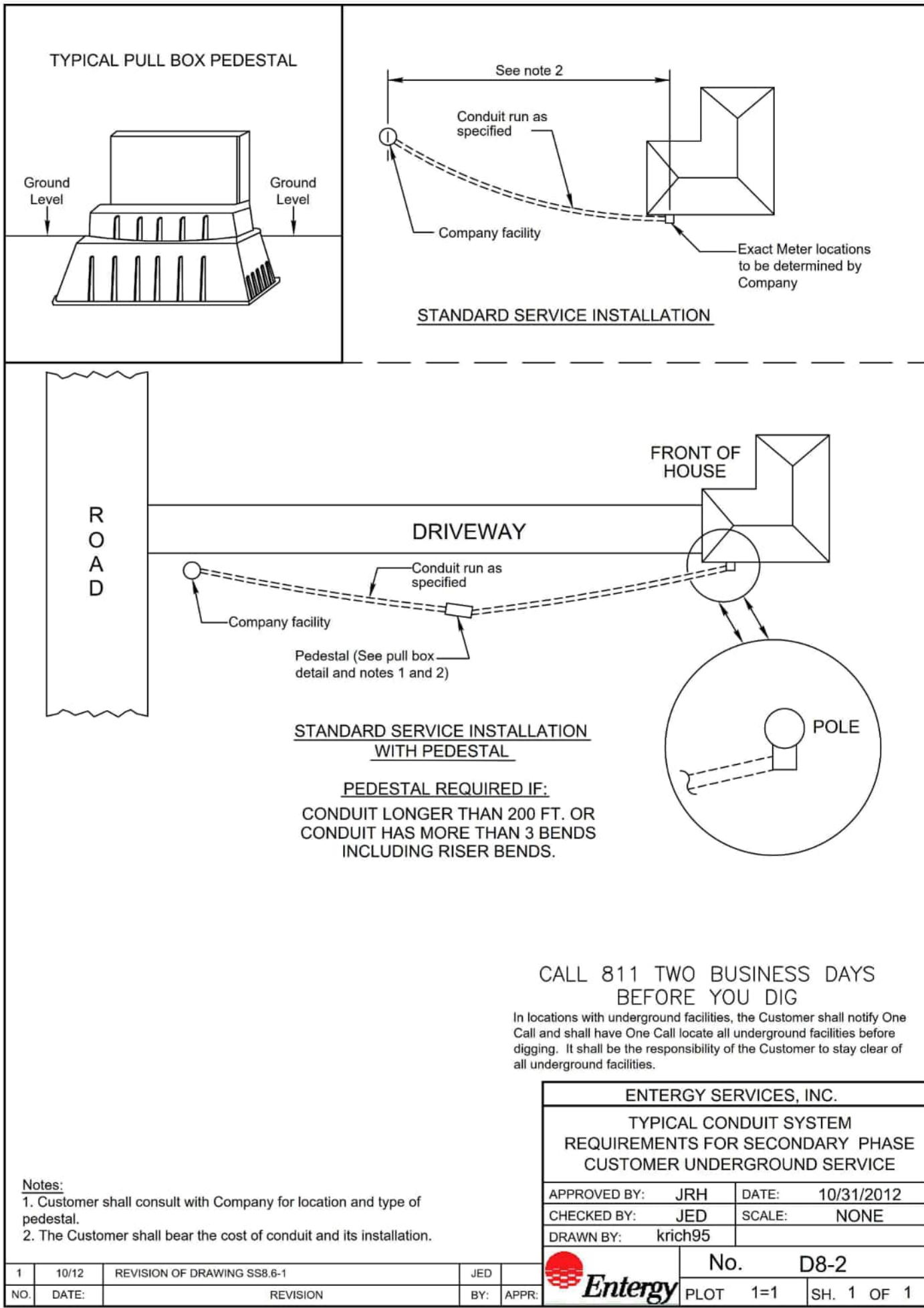
C8.05

ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF ST. GEORGE
ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS

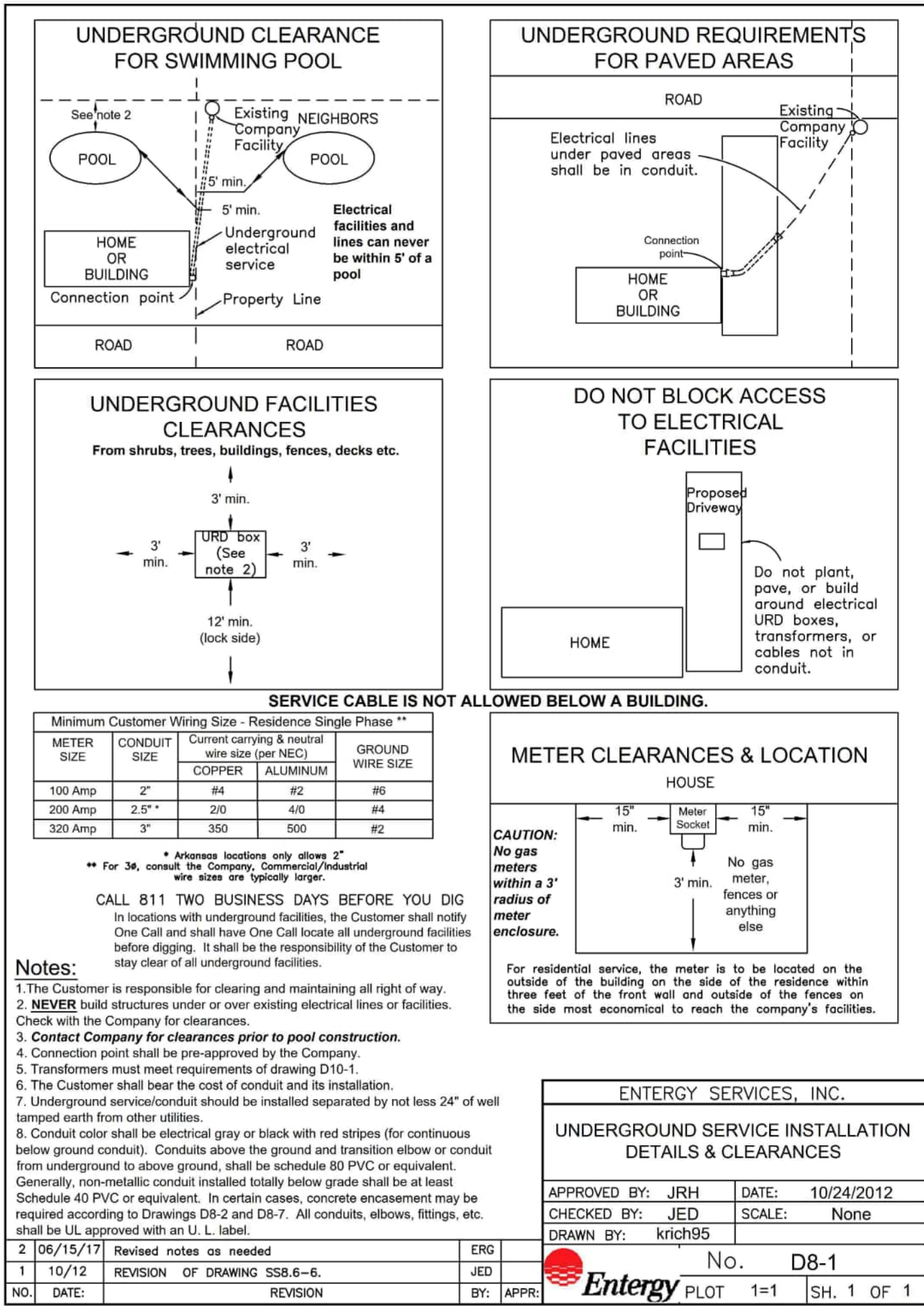
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



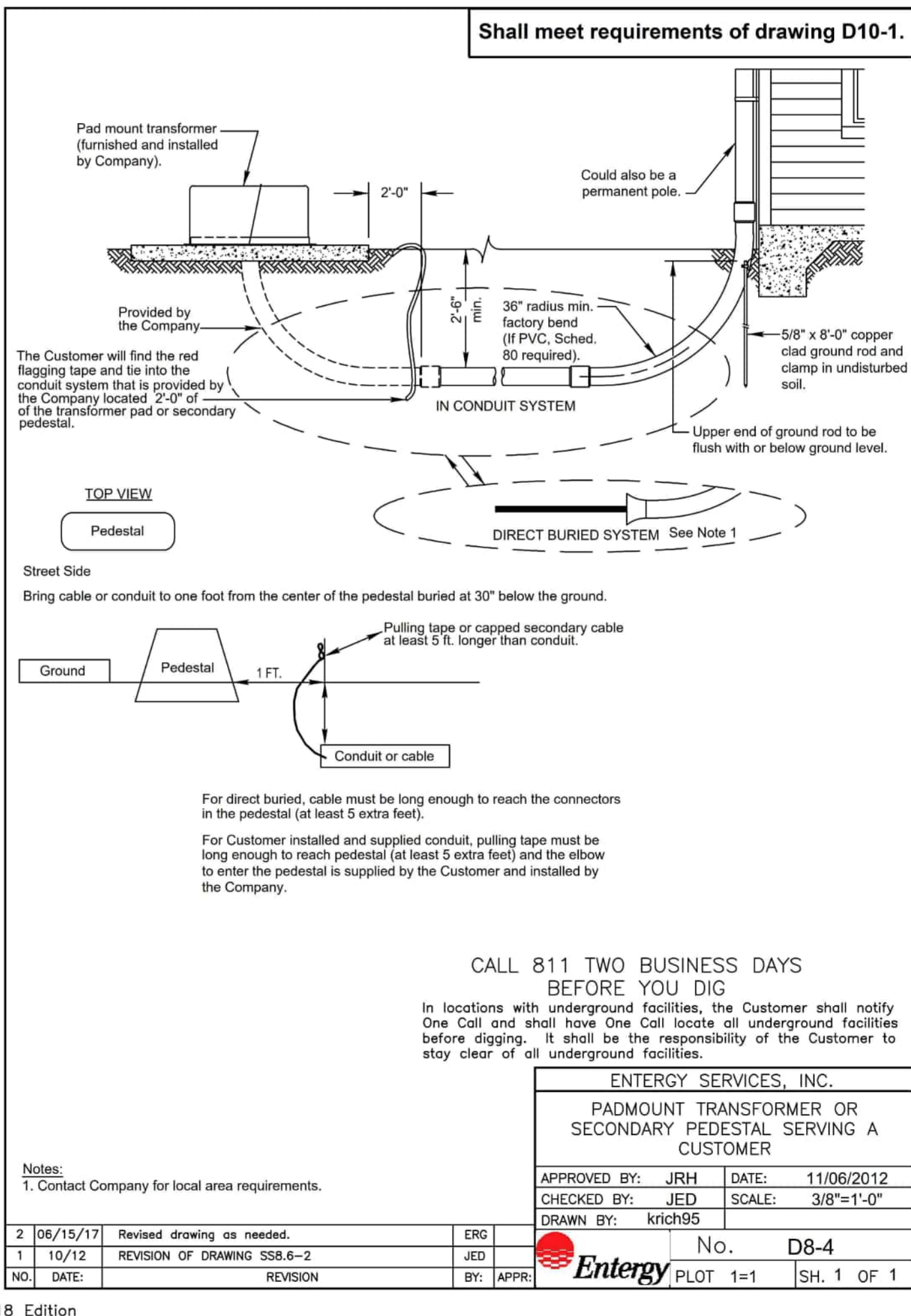
2018 Edition



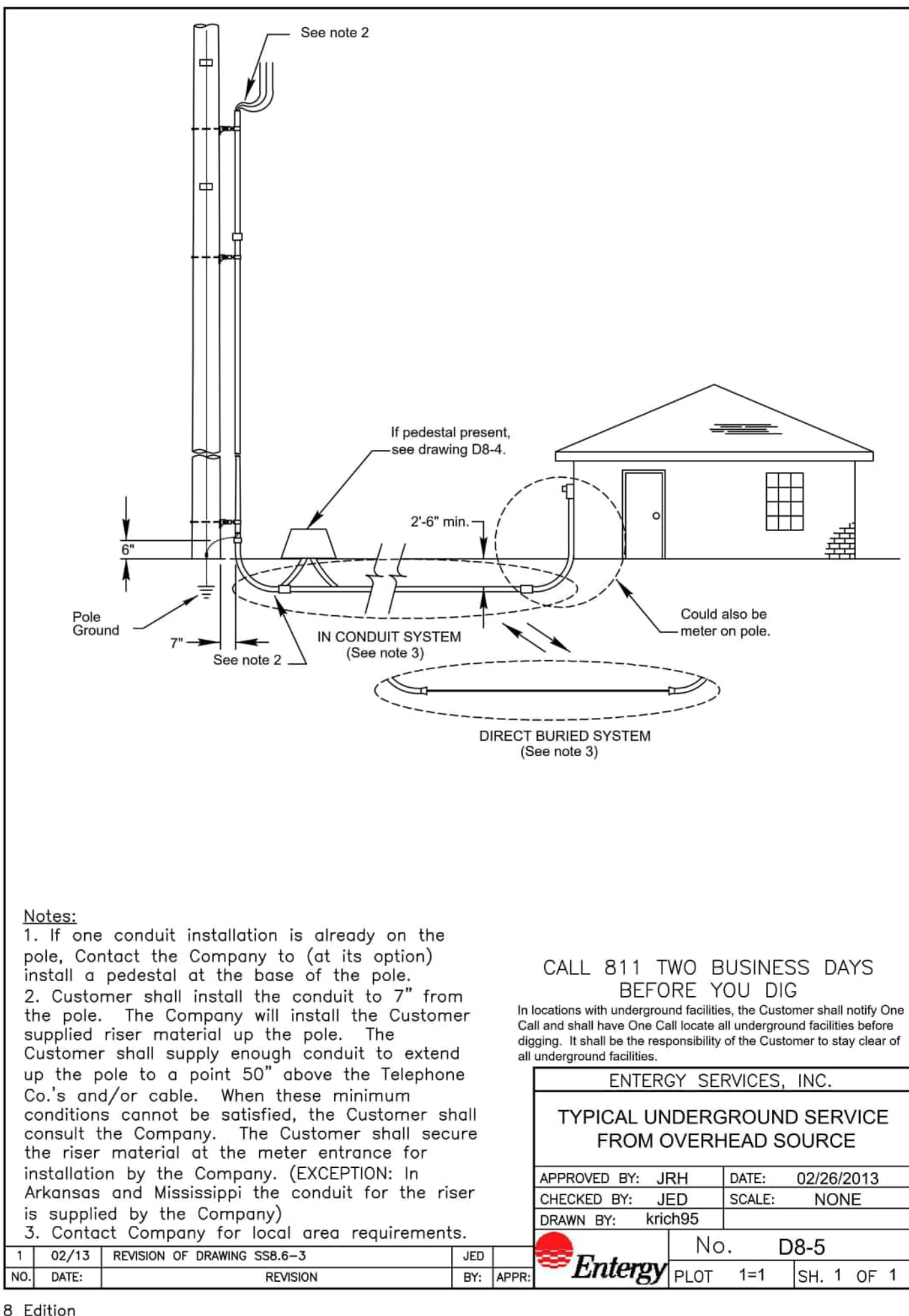
2018 Edition



2018 Edition



2018 Edition



2018 Edition

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888.458.0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

NO.	DATE	DESCRIPTION
1	09. 03. 2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	WAU24001
FILENAME	WAU24001-DT
CHECKED BY	GMA
DRAWN BY	MJD
SCALE	NTS
DATE	06. 09. 2025

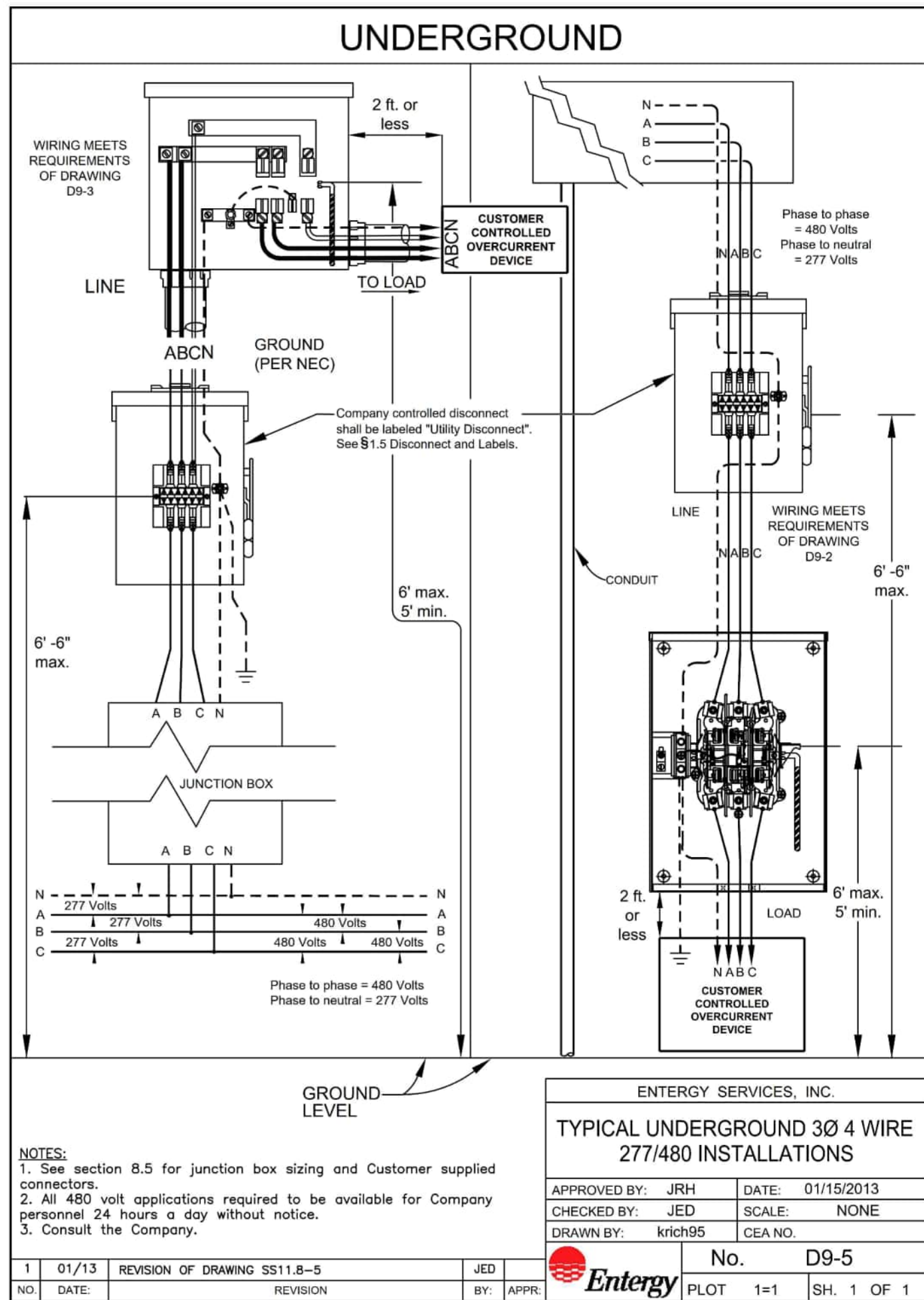
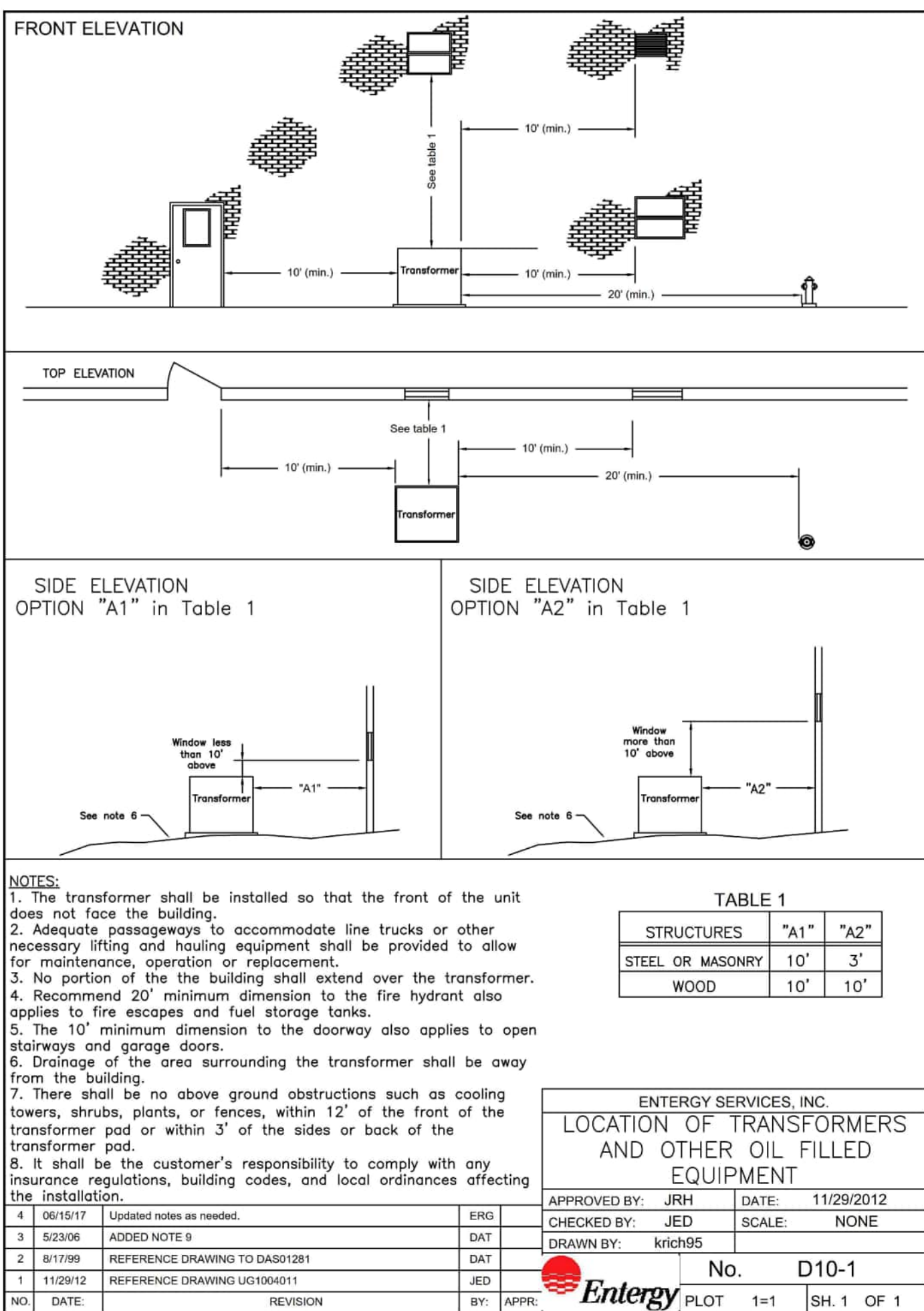
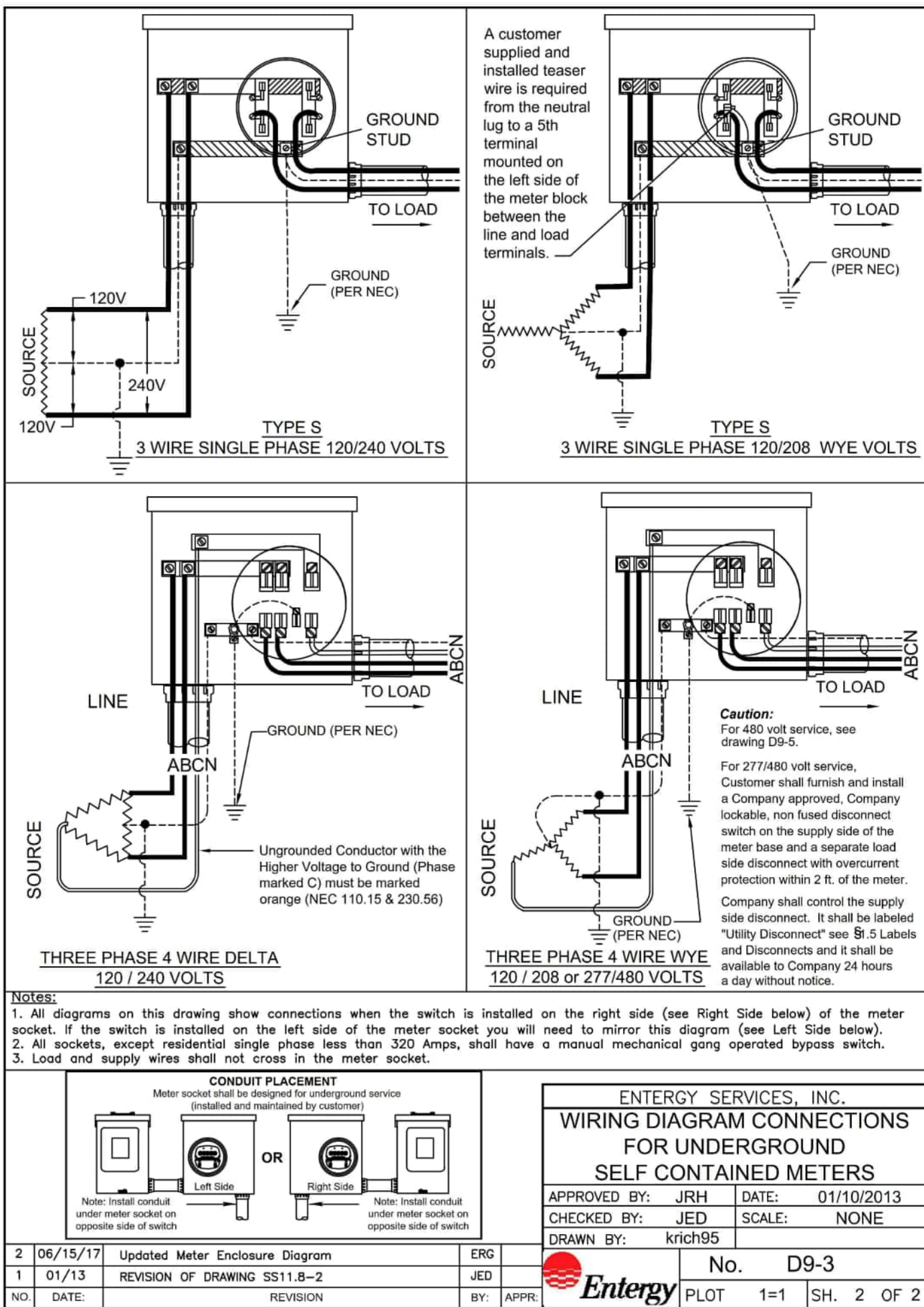
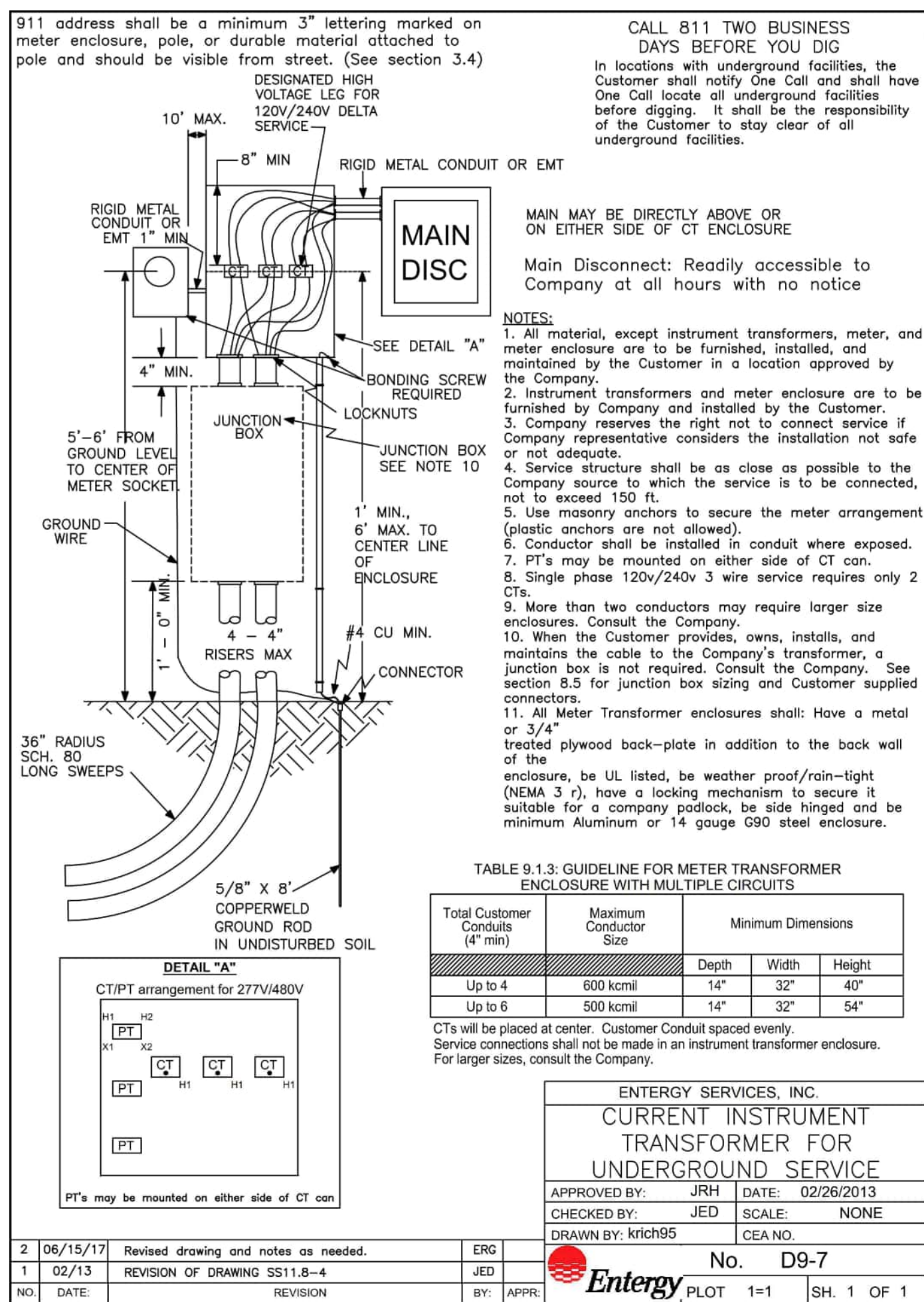
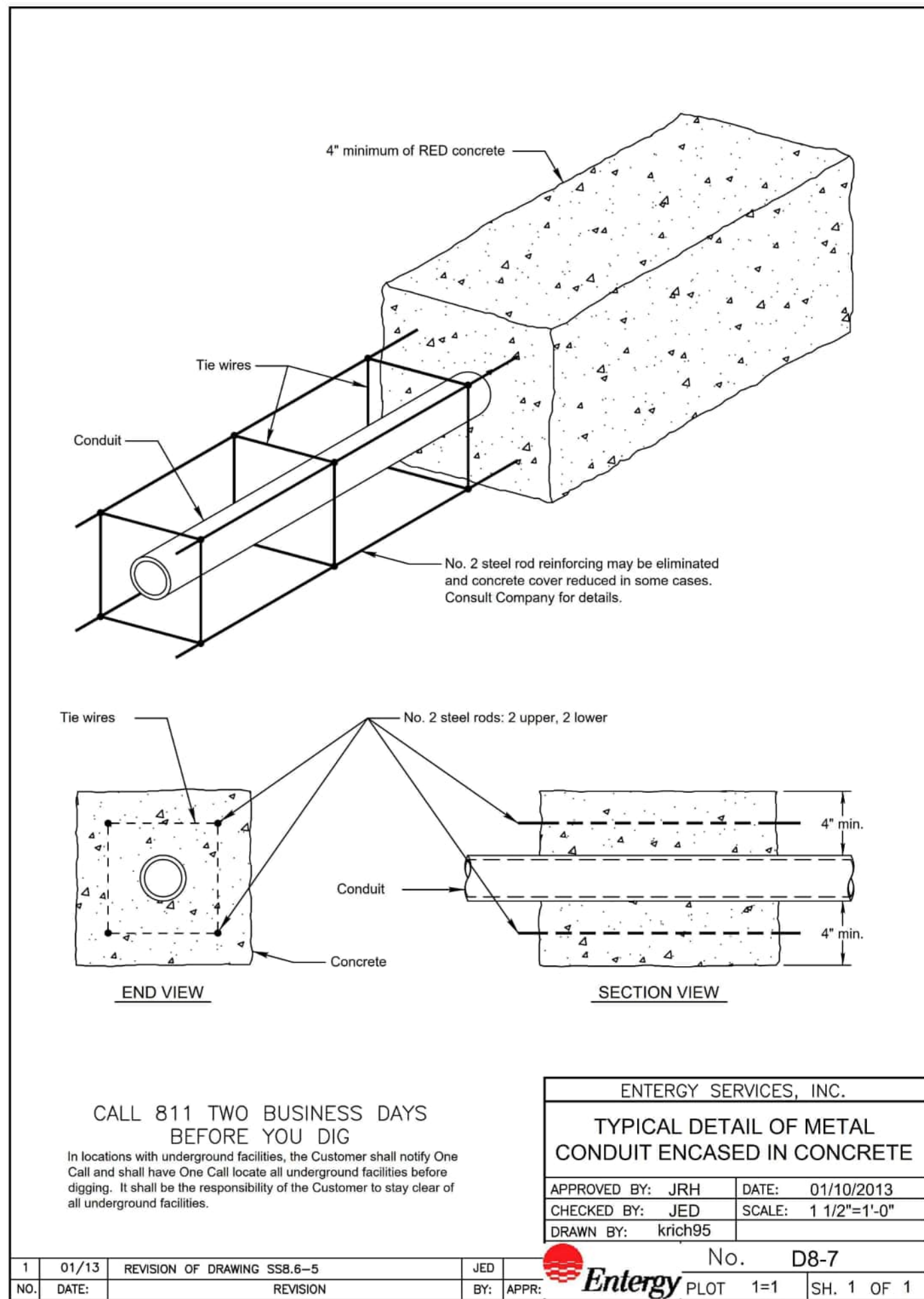
SHEET

ENTERGY DETAILS

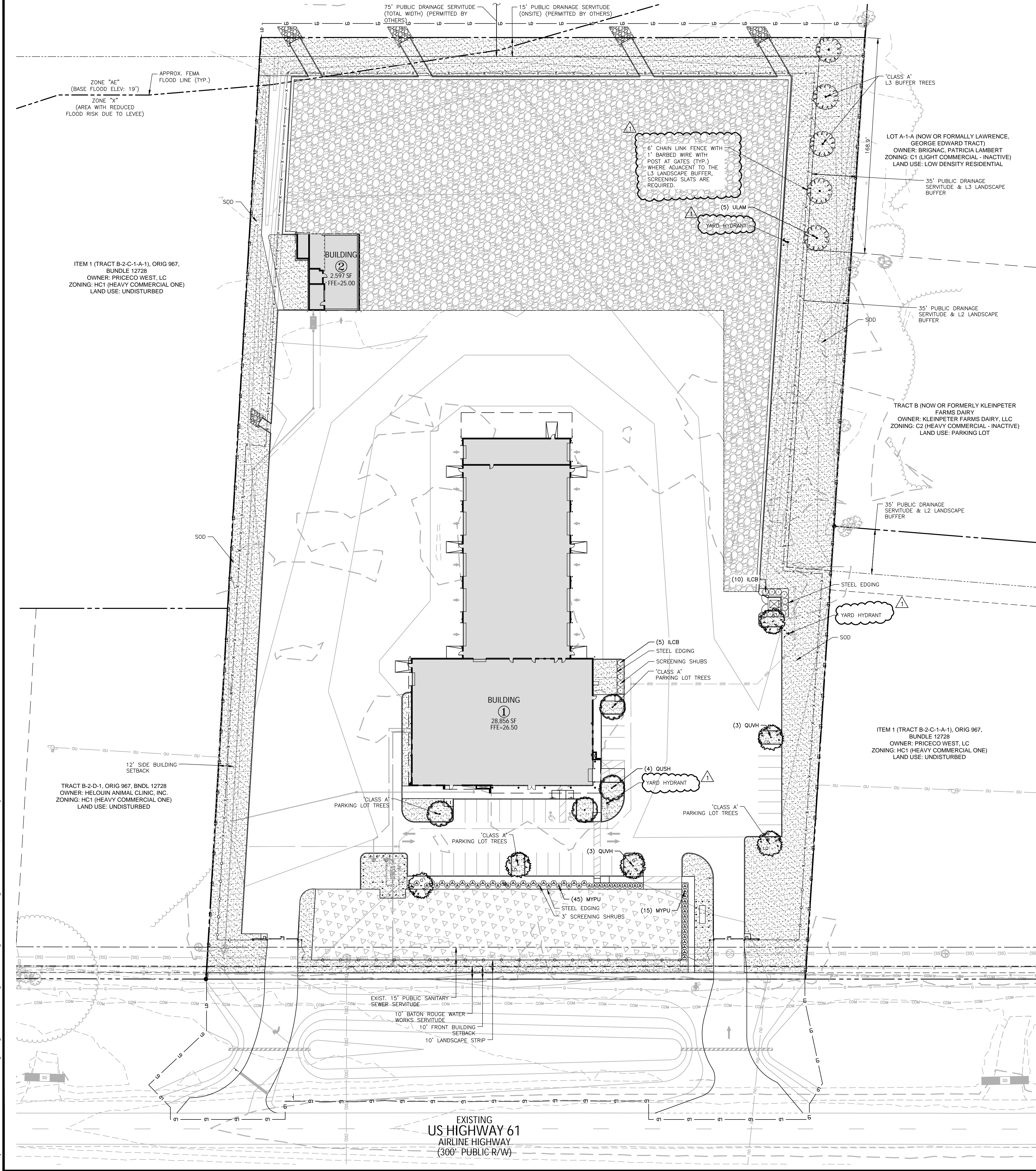
C8.06

ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF ST. GEORGE
ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



X:\Projects\WALU24001\04-Production\Engineering\Construction Drawings\WALU24001-LS1.dwg, 9/3/2025 2:48:04 PM, Matthew DeBryne



LANDSCAPING REQUIREMENTS, STANDARDS & CALCULATIONS:

PER CITY OF ST. GEORGE UNIFIED DEVELOPMENT ORDINANCE - ARTICLE 10 PART II:

PLANTING SUMMARY:

TOTAL LANDSCAPE AREA
LANDSCAPING IS REQUIRED IF BUILDING A STRUCTURE OF GREATER THAN 1,000 GROSS SQUARE FEET, DEVELOPING A NEW PARKING LOT THAT CONTAINS TEN OR MORE SPACES. AT LEAST 10% OF THE DEVELOPED SITE AREA, WHICH IS INCLUSIVE OF THE BUILDING FOOT PRINT, PARKING AREAS, DRIVEWAY AND SIDEWALKS, SHALL BE LANDSCAPE AREA

TOTAL DEVELOPED AREA: 255,324SF
REQUIRED: = 25,532 (10% OF DEVELOPED AREA)
PROVIDED: = 79,676

PERIMETER BUFFER

A REQUIRED BUFFER SHALL BE MEASURED FROM THE PROPERTY LINE AND MAY BE WHOLLY OR PARTIALLY WITHIN A REQUIRED SETBACK. WHERE A HEAVY COMMERCIAL (HC1) USE ABUTS A LIGHT COMMERCIAL USE IN THE SUBURBAN CHARACTER AREA A "L2 BUFFER" IS REQUIRED TO BE A MINIMUM OF 20 FT WIDE. WHERE A HEAVY COMMERCIAL (HC1) USE ABUTS A LOW-DENSITY RESIDENTIAL USE IN THE SUBURBAN CHARACTER AREA A "L3 BUFFER" IS REQUIRED TO BE A MINIMUM OF 20 FT WIDE.

A 20' WIDE "L3 BUFFER" WILL BE REQUIRED ALONG 2 LOTS WEST OF THE PROPERTY RESIDENTIALLY USED C1 & C2 ZONING DISTRICTS TO THE WEST OF THE PROPERTY

BUFFER REQUIREMENT:
REQUIRED: = 20 FT BUFFER
PROVIDED: = 20 FT BUFFER

SCREENING REQUIREMENT:
REQUIRED: = CONTINUOUS SIX FOOT TALL SCREEN
PROVIDED: = PROPOSED 6 FT FENCE RUNNING ALONG PROPERTY LINE

PLANTING REQUIREMENT: 1 CLASS A TREE PER 40LF

SOUTHWEST OF PROPERTY = APPROX. 169LF
REQUIRED: = 5 "CLASS A" TREES
PROVIDED: = 5 "CLASS A" TREES

STREET YARD REQUIREMENTS

STREET TREES ARE REQUIRED ALONG THE ENTIRE STREET FRONTAGE, EXCLUDING ALLEYS. TREES OF DIFFERENT CLASSES CAN BE COMBINED TO MEET STANDARD. TREES MAY BE GROUPED OR SPACED AT IRREGULAR INTERVALS. A CONTINUOUS THREE FOOT SCREEN IS REQUIRED BETWEEN ANY PARKING LOT AND THE ABUTTING SIDEWALK, CONSISTING OF CONTINUOUS EVERGREEN SHRUBS OR A WALL, FENCE OR BERM.

REQUIRED: = 3 FT CONTINUOUS SCREEN
PROVIDED: = 3 FT CONTINUOUS EVERGREEN

WITHIN THE SUBURBAN CHARACTER AREA, A LANDSCAPE STRIP THAT SHALL HAVE A MINIMUM WIDTH OF 10 FEET OR 10 PERCENT OF THE LOT DEPTH, WHICHEVER IS LESS, IS REQUIRED ALONG THE ENTIRE STREET FRONTAGE IMMEDIATELY BEHIND THE RIGHT-OF-WAY OR SERVITUDE OF PASSAGE, EXCLUSIVE OF DRIVEWAYS AND ACCESS WAYS AT POINTS OF INGRESS AND EGRESS TO THE LOT.

WHERE UNDERGROUND UTILITIES OR OTHER PRACTICAL DIFFICULTIES EXIST, THE DEVELOPMENT DIRECTOR MAY ALLOW STREET TREE PLANTING NO LESS THAN FIVE FEET AND NO MORE THAN 15 FEET FROM THE BACK OF THE SIDEWALK, UNLESS AN ALTERNATIVE PLAN IS APPROVED.

THE NUMBER OF TREES REQUIRED IS ONE CLASS A TREE PER 40 LINEAR FEET.
10' LANDSCAPE STRIP: PROVIDED = 12 TREES REQUIRED
REQUIRED: = NO STREET TREES HAVE BEEN PROVIDED WITHIN THE LANDSCAPE STRIP TO AVOID CONFLICT WITH EXISTING UTILITIES.

PARKING LOT LANDSCAPE REQUIREMENT

PARKING LOTS WITH TEN OR MORE SPACES OR EXPANDING BY SIX OR MORE SPACES SHALL PROVIDE PARKING LOT LANDSCAPING. NO PARKING SPACE SHALL BE LOCATED FURTHER THAN 100 FEET FROM THE TRUNK OF A CLASS A OR CLASS B TREE. TREES MAY BE PROVIDED IN A MIX OF INTERIOR ISLANDS, MEDIAN ISLANDS, TERMINAL ISLANDS, AND BUFFER AREAS. ALL ISLANDS SHALL HAVE A MINIMUM AREA OF 75 SQUARE FEET.

PARKING LOT TREES:
REQUIRED: = 10 TREES (REQUIREMENT DESCRIPTION)
PROVIDED: = 10 TREES

SCREENING REQUIREMENT

FOR ABOVE-GROUND UTILITIES AND APPURTENANCES TO UNDERGROUND UTILITIES THAT REQUIRE ABOVE-GROUND INSTALLATION, WITH THE EXCEPTION OF THOSE LOCATED IN THE RIGHT-OF-WAY, SHALL BE SCREENED BY A CONTINUOUS PLANTING OF SHRUBS, WITH A MINIMUM MATURE HEIGHT EQUAL TO THAT OF THE UTILITY STRUCTURE AND SHALL CONTAIN A BREAK FOR REQUIRED ACCESS.

TREES OR SHRUBS SHALL NOT BE PLANTED WITHIN TEN FEET OF FIRE HYDRANTS, PUBLIC UTILITIES SUCH AS TRAFFIC METER BOXES, DIRECTIONAL TRAFFIC SIGNS AND OTHER SIMILAR PUBLIC STRUCTURES.

NOTE: NO TREES TO BE PRESERVED FOR CREDIT.

PLANT SCHEDULE

SYMBOL CODE QTY BOTANICAL / COMMON NAME CAL HEIGHT

TREES

	QUSH	4	QUERCUS SHUMARDII SHUMARD RED OAK	3"	12'-14'
	QUVH	6	QUERCUS VIRGINIANA 'HIGHRISE' HIGHRISE LIVE OAK	3"	12'-14'
	ULAM	5	ULMUS AMERICANA AMERICAN ELM	3"	10'-12'

SYMBOL CODE QTY BOTANICAL / COMMON NAME CONT HEIGHT SPREAD

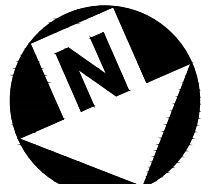
EVERGREEN SHRUBS

	ILCB	15	ILEX CORNUTA 'BURFORDII' NANA DWARF BURFORD HOLLY	5 GAL	18" - 24"	18" - 30"
	MYPV	60	MYRICA PUSILLA DWARF WAX MYRTLE	7 GAL	24" - 36"	18" - 30"

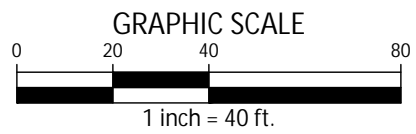
SYMBOL CODE QTY BOTANICAL / COMMON NAME CONT

	CYDA	79,676 SF	CYNODON DACTYLON BERMUDAGRASS	SOD	
--	------	-----------	-------------------------------	-----	--

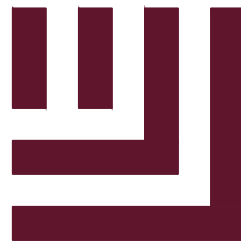
SPACING



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF ST. GEORGE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000

fax 919. 361. 2269

LA license number: EF-0007475

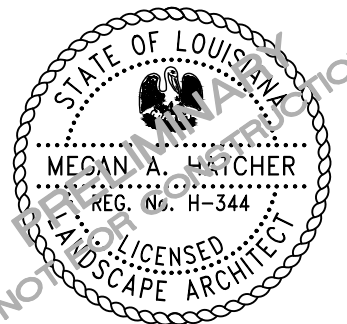
www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888. 458. 0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

NO.	DATE	DESCRIPTION
1	09.03.2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

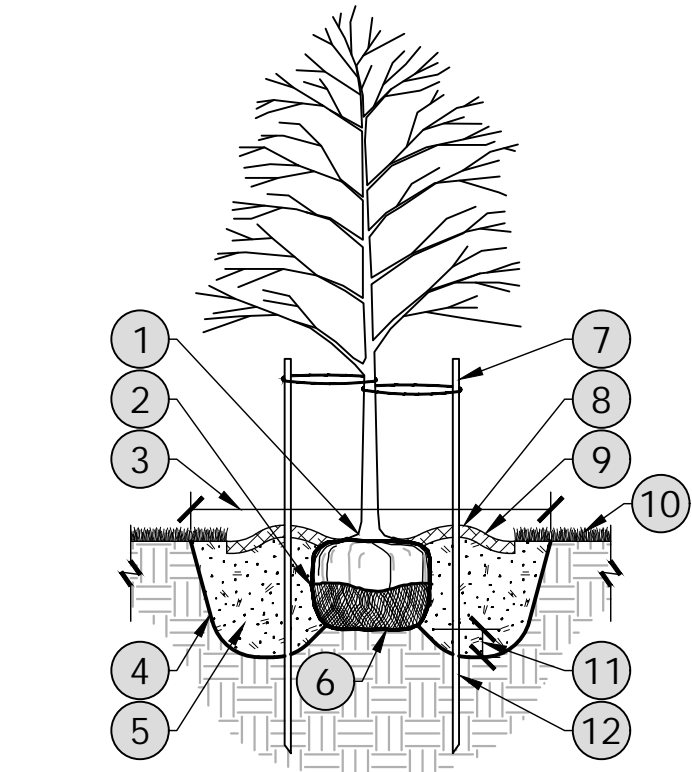
PROJECT NO. WAU24001
FILENAME WAU24001-LS1
CHECKED BY MAH
DRAWN BY AAO
SCALE 1" = 40'
DATE 06.09.2025

SHEET

LANDSCAPE PLAN

L5.00

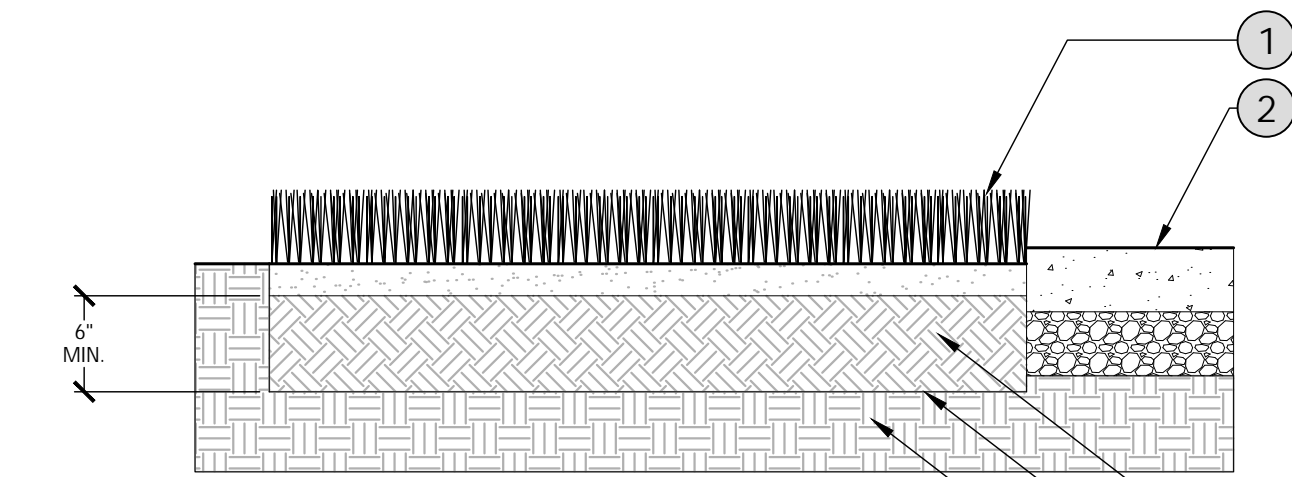
X:\Projects\WVAU\WVAU24001\04-Production\Engineering\Construction Drawings\WVAU24001-LD1.dwg, 9/3/2025 2:48:10 PM, Matthew Dubuque



- NOTES:
1. SELECT TREES THAT HAVE: STRONG CENTRAL LEADER; CROWN WITH FULL FOLIAGE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
 2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL. SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
 3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
 4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

01 TREE PLANTING

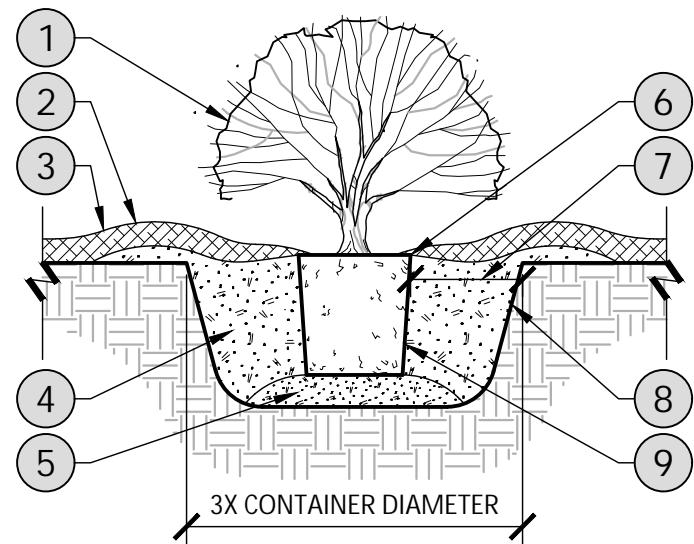
SCALE: 1/4" = 1'-0"



- SODDING PROCEDURE:
1. SCARIFY ENTIRE AREA TO A MINIMUM DEPTH OF 6" AND REMOVE DEBRIS.
 2. INSTALL 6" OF TOPSOIL AND MIX IN WITH SCARIFIED TOP LAYER.
 3. ADD ADDITIVES (PER SOIL TEST ANALYSIS) AND ROTOTILL.
 4. LAY AND ROLL SOD. WATER THOROUGHLY.
 5. THE GENERAL CONTRACTOR WILL PROVIDE GRADES TO ± 0.10 OF A FOOT OF PROPOSED GRADES.
1. SOD - PROVIDE CLEAN, SMOOTH, CONTINUOUS EDGE BETWEEN SOD AND MULCHED AREAS
 2. ADJACENT SURFACE (SEE SITE PLANS)
 3. BREAK THROUGH AND REMOVE ALL "HARDPAN" AND DEBRIS TO ALLOW FOR PERCOLATION AND POSITIVE DRAINAGE
 4. DISTURBED SUBGRADE
 5. UNDISTURBED SUBGRADE

03 SOD INSTALLATION

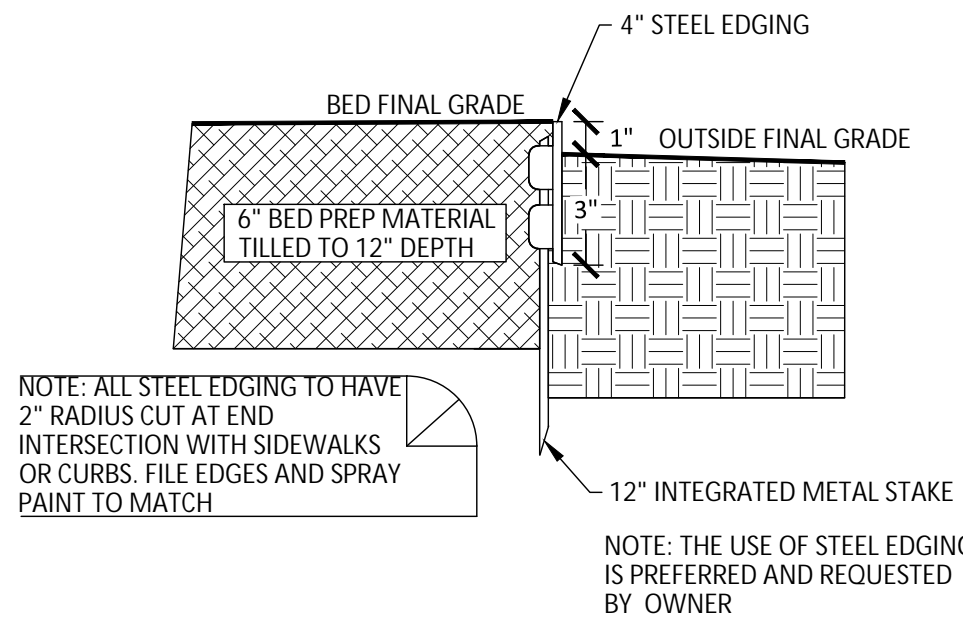
SCALE: 1" = 1'-0"



- NOTES:
1. SELECT SHRUBS THAT MEET THE SPECIFIED HEIGHT IN THE PLANT SCHEDULE, MEASURED PER THE AMERICAN STANDARD FOR NURSERY STOCK METHODS. PEST AND DISEASE FREE; CROWN WITH FULL FOLIAGE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
 2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL. SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
 3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC PLANT SPECIES.
 4. THOROUGHLY SOAK THE SHRUB ROOT BALLS AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

02 SHRUB PLANTING

SCALE: 1/2" = 1'-0"



- NOTE: ALL STEEL EDGING TO HAVE 2" RADIUS CUT AT END INTERSECTION WITH SIDEWALKS OR CURBS. FILE EDGES AND SPRAY PAINT TO MATCH
- NOTE: THE USE OF STEEL EDGING IS PREFERRED AND REQUESTED BY OWNER

04 STEEL EDGING

SCALE: 1/4" = 1'-0"

LANDSCAPE NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ST. GEORGE AND THE STATE OF LOUISIANA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
7. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
10. ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
12. ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
14. TURF INSTALLATIONS SHALL BE DEEMED SATISFACTORY IF THE FOLLOWING CRITERIA ARE MET:
 - 14.1. SATISFACTORY SEEDED TURF: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES.
 - 14.2. SATISFACTORY SODDED TURF: AT END OF MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE TURF HAS BEEN ESTABLISHED, FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES.
 - 14.3. SATISFACTORY PLUGGED TURF: AT END OF MAINTENANCE PERIOD, THE REQUIRED NUMBER OF PLUGS HAS BEEN ESTABLISHED AS WELL-ROOTED, VIABLE PATCHES OF GRASS, AND AREAS BETWEEN PLUGS ARE FREE OF WEEDS AND OTHER UNDESIRABLE VEGETATION.
 - 14.4. SATISFACTORY SPRIGGED TURF: AT END OF MAINTENANCE PERIOD, THE REQUIRED NUMBER OF SPRIGS HAS BEEN ESTABLISHED AS WELL-ROOTED, VIABLE PLANTS, AND AREAS BETWEEN SPRIGS ARE FREE OF WEEDS AND OTHER UNDESIRABLE VEGETATION.
- REESTABLISH TURF THAT DOES NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL TURF IS SATISFACTORY.
15. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
16. PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
17. PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
18. CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
19. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEIOUS MATERIAL.
20. LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
21. IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
22. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
23. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. PROVIDE TRIPLE-SHREDDED HARDWOOD MULCH. MULCH SHALL BE PROVIDED AROUND ALL SHRUB GROUPS.
24. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
25. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE. PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
26. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
27. EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
28. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
29. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
30. FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF ST. GEORGE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McAdams

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000
fax 919. 361. 2269
LA license number: EF-0007475

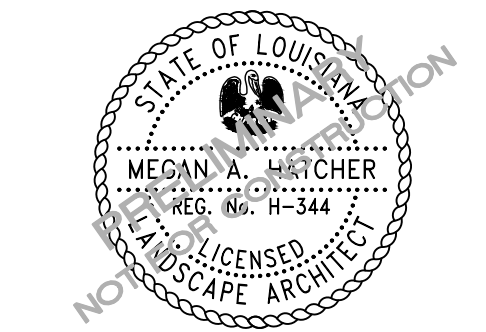
www.mcadamsco.com

CLIENT

WAUKESHA-PEARCE INDUSTRIES
12320 SOUTH MAIN ST
HOUSTON, TEXAS, 77305
PHONE: 888. 458. 0448



WPI BARINGER -
AIRLINE HIGHWAY
SITE PLAN DRAWINGS
LOT 3 BARINGER
COMMERCIAL SUBDIVISION
BATON ROUGE, LOUISIANA



REVISIONS

NO.	DATE	DESCRIPTION
1	09. 03. 2025	RESPONSE 1ST SITEPLAN COMMENTS-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	WAU24001
FILENAME	WAU24001-LD1
CHECKED BY	MAH
DRAWN BY	AAO
SCALE	AS NOTED
DATE	06. 09. 2025

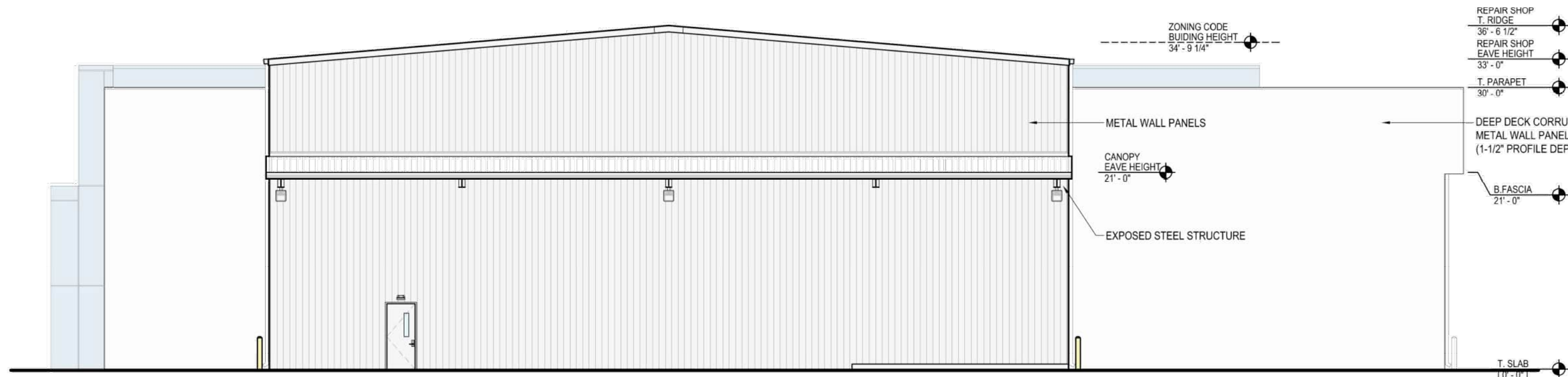
SHEET

LANDSCAPE DETAILS

L5.01



4 EAST ELEVATION
A-01 SCALE: 3/32"=1'-0"



3 SOUTH ELEVATION
A-01 SCALE: 3/32"=1'-0"



2 WEST ELEVATION
A-01 SCALE: 3/32"=1'-0"



5 AIRLINE HIGHWAY
FACADE RENDERING
A-01 SCALE: NTS



1 NORTH ELEVATION
(AIRLINE HIGHWAY)
A-01 SCALE: 3/32"=1'-0"

General Notes:

A

B

Submissions & Revisions

Owner



Owner's Representative



Architect



Civil Engineer

M c A D A M S

621 HILLSBOROUGH STREET, SUITE 500
RALEIGH, NC 27603
PHONE: (919)287-0904

Structural Engineer



M.E.P. & F.P. Engineers

INGENUITY ENGINEERS, INC.

6375 HAZELTINE NATIONAL DRIVE
ORLANDO, FL 32822
PHONE: 407.398.6887

General Contractor

F

Project Location

WPI - BATON ROUGE
AIRLINE HIGHWAY
BATON ROUGE, LA 70817

G

Drawing Title
BUILDING
ELEVATIONS

Seal

Date:
Drawn By:
Checked By:
Project No:

Drawing No.

A-01