



Earth Stabilization

Retaining Walls & Helical Piers

Hardscapes & Pools

Custom Pools, Pavers, Kitchens

Erosion & Drainage

Native Plants and Wildflowers...



Liability & Work Comp * 38+ Years of Experience* 20/30 Year Warranty

678-593-8546

MaurerCoRetainingWalls.com

MaurerCoRetainingWalls@Gmail.com



Maurer Co Retaining Walls proudly offers these services:

- **Earth Stabilization, Retaining Walls & Helical Piering**

*****Chance Piering Certified Installers***

- **Paver & Concrete Patios, Steps, Walks & Driveways**

*****ICPI Certified***

- **Erosion & Drainage, Creek Bank Stabilization**

*****Georgia Blue Card Certified***

- **Custom Swimming Pools & Spas**
- **Outdoor Kitchens, Fireplaces and Fire Pits**
- **Decks & Pergolas, Putting Greens**
- **Engineering Design & Permit Expediting**



Quality work that we stand behind...

Dear Valued Customer,

Thank you for your interest in Maurer Co Retaining Walls, Inc. We are family owned and operated with over 38+ years of experience in earth stabilization and hardscaping. We take pride in our work and stand behind it with a 20 year installation warranty on all retaining walls and 30 year warranty on all Chance Helical Piers, with honest customer service.

We look forward to working with you!

Pete, Lorelei & Tom Maurer



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Retaining Walls...

From Small...



To Really Big...



Army Corp of Engineers– Flood Protection Project



Cardinal Glennon Children's Hospital

And Everything in Between...



We Replace Rotten Timber Walls

Before...

After...



Retaining Walls- What you should know

Consider the following when interviewing a retaining wall contractor:

Liability Insurance And Worker's Compensation insurance certificate.

If someone is hurt on your property and your contractor does not have work comp, you will likely be responsible. Always ask for a current copy of any contractor's insurance certificate.

Critical Information and Questions

Will you warranty your work? If so, for how long? Warranty in writing?

Will you put **grid** in the wall? (3' tall and higher) then ask what kind of grid, to see if they know. If they are experienced, they will know.

What type of **compaction equipment** will you use? (Should be using equipment of some sort, like a Plate compactor, a Jumping Jack, a Sheepsfoot compactor)

Grid and compaction are key. If they aren't planning to use them or don't know how to correctly install them, your wall will likely fall down.

Will you use **rock** behind the wall? (If the answer is no or not much, you should not hire them. Period.)

How do you construct the footing? (Should be 6-8" of Compacted Rock depending on soil conditions)

Unless you know what questions to ask and insist on, you may very well end up paying twice for your retaining wall. We receive 2-3 calls monthly from consumers who went with the low bid and their retaining wall has fallen down. Ask for references for the same type of work. Someone who works in the field such as irrigation, tree and landscape companies aren't necessarily qualified to construct a permanent global stability structure. It is to your benefit to do your homework.

Retaining Wall Costs

While it is tempting to just go with the low bid, it is mostly true that You get What You Pay for.

Reputable installers should be pricing walls between \$36- \$70 per square foot. To figure your square footage multiply the length by the height then by the square foot price (100' long by 4' high= 400 square feet x \$50= \$20,000).

Things that affect the Cost per Square Foot

If you are replacing a rotten timber wall, the costs for removing, hauling off and properly disposing of the timbers will put you in the \$50-\$75 range. Access to the construction zone is also a huge factor in cost. Lack of access results in hand work and higher costs. The lower end of the range of \$40 per square foot or so, would be for large retaining walls of 1,600 square foot or more.

Materials also play in to the square footage cost

Block, Soil Baskets, dirt and rock prices and availability will vary. Block standard colors are gray or tan/buff. Color blends or scored block will increase the cost. Higher cost materials are natural stone looking products such as Heritage Stone, Creekside or masonry retaining walls. Availability varies.

Typical Retaining Wall Construction

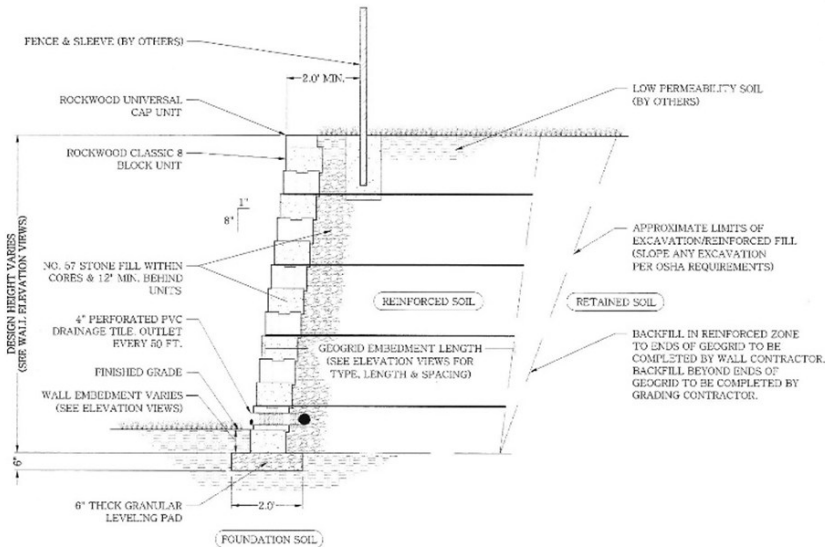


For more information call 678-593-8546 or MaurerCoRetainingWalls@Gmail.com

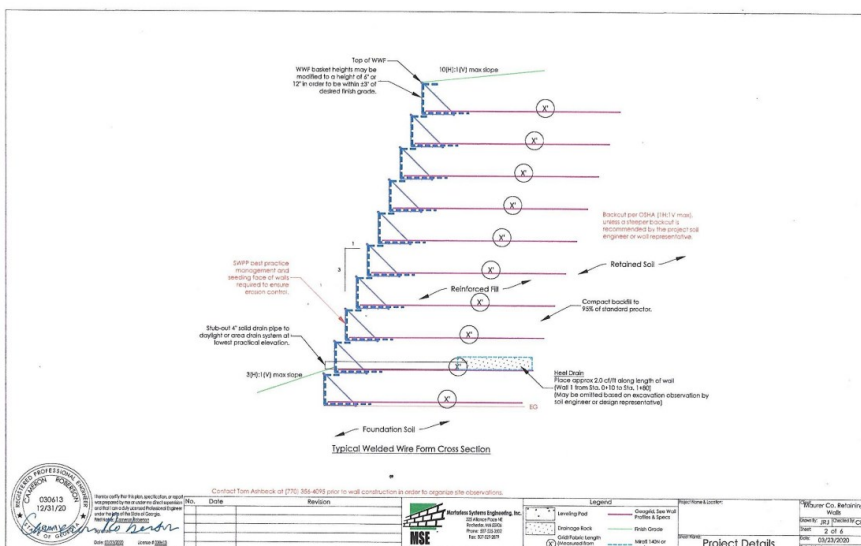
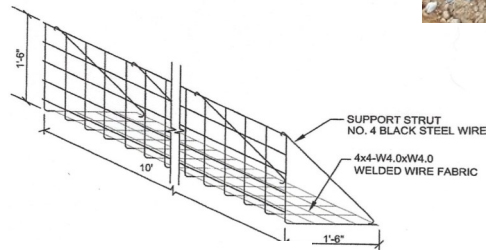
Top, Left & Right– Modular Block typical



Straight Split
Size: 8" H x 18" W x 12" D
Weight: 80 lbs.



Below & Right– Soil Basket typical detail



Maurer Co Retaining Walls

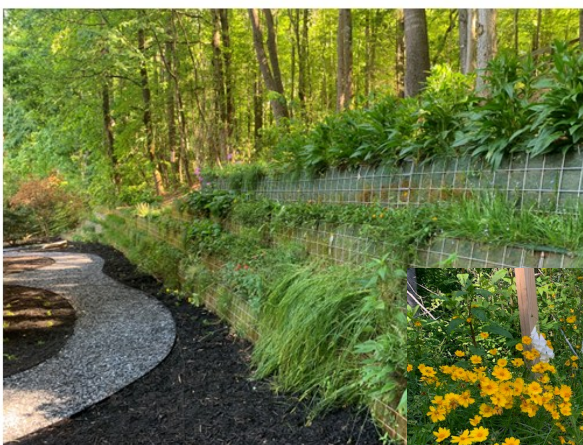
*20 Year Warranty * Better Health* Better Environment*



**Living
Retaining Walls**



Costs Less

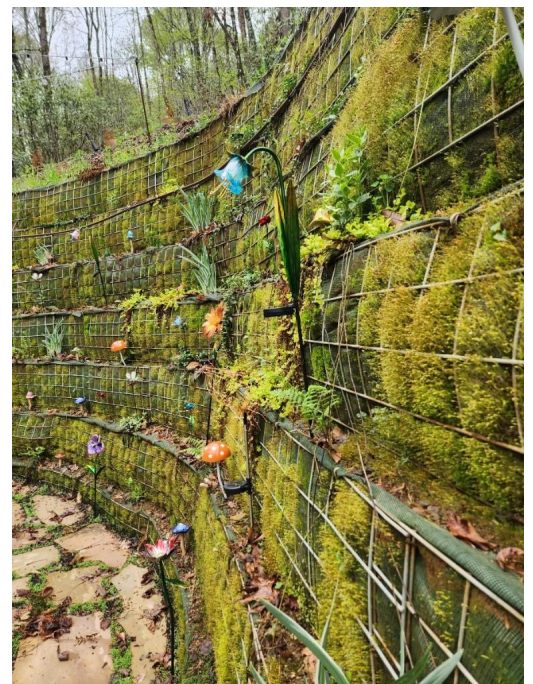


Living Walls...

The structure is achieved by installing galvanized welded wire forms known as Soil Baskets. Each basket is lined with a structural face wrap and geo-synthetic grid per specific engineered drawings. The baskets are backfilled and compacted with clean fill dirt and the face of the wall planted, preferably with native plants.

Benefits of Living Retaining Walls

- * Less expensive— The materials are lighter and easier to transport and they take less time to install.
- * Superior Earth stabilization—The Soil Basket design is applicable to most slopes that need to be retained. The design requires that the dirt backfill be clean and free of debris and compacted to meet strict design standards. The baskets are made of galvanized steel so, properly installed, will outlast many other products. In addition, the vegetated face of the structure will be key in the overall strength of the slope. Consideration should be given to the planting and watering needs of whatever is planted on the face. If near woods, the wall will be naturally seeded by nearby fauna. However, trees should not be allowed to grow out of the face of the wall, as they would jeopardize the structure.
- * Improves Drainage— The Living Wall will absorb the rainwater and allow it to drain gradually instead of encouraging runoff which leads to flooding.
- * Healthy for You, Your Family and Neighbors and the Earth— The manufacturing, delivery and installation of Soil Baskets have much less of a carbon footprint than concrete products. Adding a hillside of plants to any area will increase the welfare of the local biome. Making the choice to plant native on your wall will allow your property to be better integrated into the larger biome. Native perennial wildflowers can be hydroseeded onto the face.
- * Natural Beauty- Living walls allow you to infuse your retaining wall with shades of green, pops of color from flowers, interesting textures from varied plant shapes and sizes, and even amazing aromas from fragrant plants. You can create a lush vertical garden as a focal point in your landscape.



Maurer Co Retaining Walls

*20 Year Warranty * Better Health * Better Environment*



**Living
Retaining Walls**



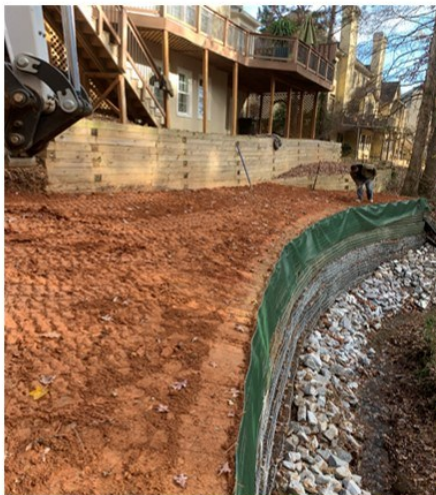
Costs Less





Soil Basket– Living Walls

- Cost Less than Block
- Better for the Environment
- Superior Earth Stabilization
- Adds Healthy Plants



We recommend native plants to improve local biomes and help the environment!

We Do It Right...

Permits:

Almost all of Georgia municipalities require a retaining wall permit. If the wall is over 4' tall you will definitely need a permit. Unfortunately, every municipality handles permits differently but they all require similar items.

Survey or Site plan- This is the layout of your property showing the house and how it sits in relation to the property lines. The survey should show any easements or setbacks along with any solid structures like a separate garage, an existing retaining wall and/or a driveway. A true survey will show all these things and include dimensions. In addition, it will be signed and stamped by a certified Georgia company. Each municipality is different. For example, unincorporated Cobb County will accept a GIS picture of the property from their website compared to City of Sandy Springs, which requires a stamped survey showing structures, property lines, topographic lines and all specimen trees with their critical root zones and ARC calculations. This type of survey usually costs a minimum of \$2,500 depending on the size of the property. The process of obtaining a survey of your property will take approximately 2-3 weeks. A survey is not included in our quote.

Engineered Drawings- If the wall is over 4' tall, it will require that a certified Georgia engineer creates drawings that are specific to the site and retaining wall. To do this, any engineer will need a copy of the survey. This part of the process will take approximately 2 weeks to complete. When completed you will have several pages of the bird's eye view of the site showing existing (if any) retaining walls and the proposed retaining wall along with elevation drawings showing the front view of the wall when it is completed. There will be design information and requirements as to how the wall should be built and with what materials including footing and backfill behind the wall. Your engineered drawings will also include design calculations. Maurer Co includes engineered drawings if they are required.

Permit- After the engineered drawings are completed, a permit can be applied for. Each municipality requires a different amount of copies, so it is best to call first. In most cases, you will take your engineered drawings that include your survey, the specific application and fees. Fees can range from \$75 in Cobb County to \$1,200 in Johns Creek. Also, some municipalities require indemnification forms to be signed by property owner and engineer and some require other various items such as driver's license, pictures of the material that you plan to use or a form signed stating that you will not harm any trees. The permit process can be as little as 45 minutes in Cobb County to 3-4 months in Sandy Springs, Johns Creek, Brookhaven or Atlanta, respectively. Maurer Co includes permits in our quote.

Before Starting Construction- Each municipality requires that you post the permit on site before and during construction. Often, you must install siltation control and/or safety fencing or tree protection and call for an inspection before you move any dirt. When you are given the go ahead to begin, inspections should be called in accordingly. If an engineered drawing was required, an independent inspector will inspect the wall and an engineered certification letter will be issued upon completion and final payment.

Critical Structures and Earth Stabilization

Before-



After-

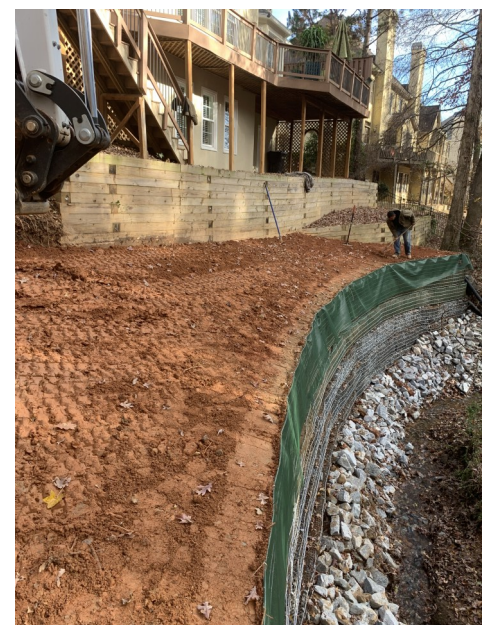
Permitted Replacement of Creek Containment structure and driveway replacement

– Marietta, GA 2021

Before-

After-DNR Permitted Creek Bank Stabilization

-Johns Creek, GA 2019



Helical Piers, Foundation Anchors, Soil Screws, & Tie Backs

It may not be pretty but sometimes it's the only thing that is going to make your dream possible...
From holding up your pool to supporting your homes foundation, piers will save the day.

Helical piers for new construction



Piering for a new pool



Securing a deck



Maurer Co is a Chance
Certified Installer

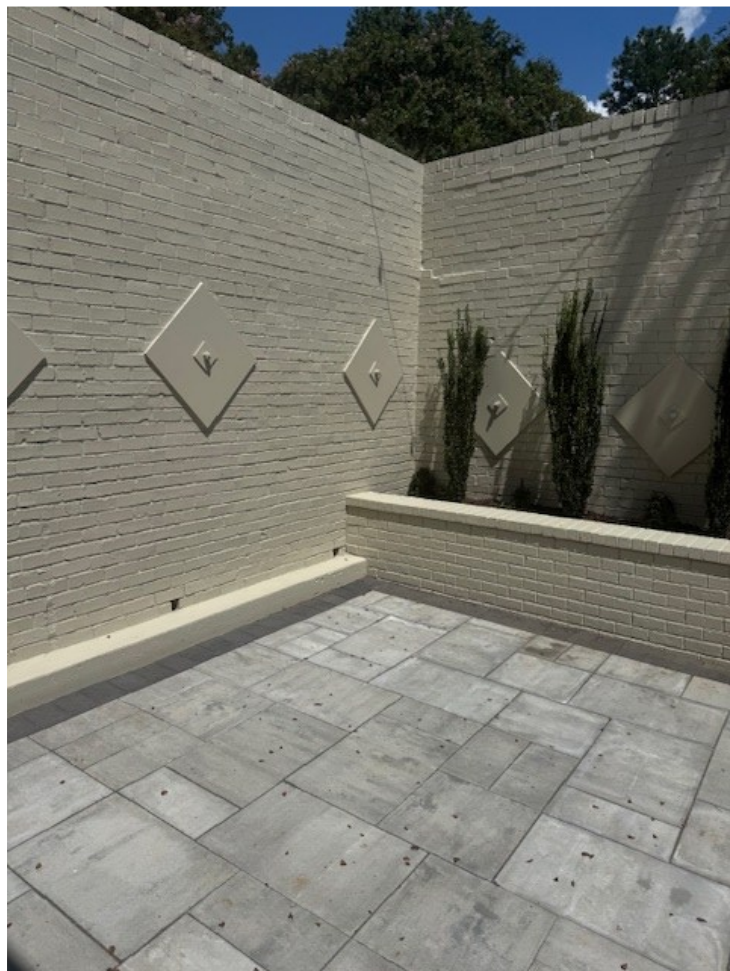
Tie Backs holding a sheer dirt cut



Lift and secure a foundation



Soil Screws realign & secure this brick wall for a new life



What to Expect...

#811 Utilities Locate will come and mark the utilities on your property. Please let us know if you notice kids or anyone else move or tamper with the flags or markings. It is possible that your phone or cable line could be accidentally cut during construction. If this occurs, it should be repaired within a day or so.

Mobilizing...

Mobilizing and starting your job will be done as quickly and as soon as possible. Everything that we touch is extremely heavy and hard to move. We will do our best to keep you updated on materials, equipment and crews moving to your home but within the week of mobilizing your job, it will be difficult to give exact times of arrival. Please be patient with us.

What to expect...Daily

We will make every effort to minimize the mess and disturbance to your property and neighborhood.

If you have any questions or concerns, please call the office or Pete directly. Please do not stop the crews from working. They are very experienced and have been given directions to follow the project scope. Do not ask the crews to do any additional work or change the scope at all. Any changes to the scope of work will only be done via a Change Order generated by the office.

The grass and landscaping within our 10' access path and construction area is going to be damaged. The disturbed areas will be graded and replaced with seed and straw unless a Change Order is requested.

As with any construction project of this type, your yard may be muddy, have rock piles and other large pallets of materials. We will consolidate our trash and materials and sweep the construction area often.

Our crews will always be courteous and respectful, we will minimize and park smart on the street.

Heavy rain events can impact our project schedule as much as 3 days per rain event. During or after heavy rain events, we may deem that it is unsafe and/or unproductive for us to work and may not conduct activities. However, we will secure the jobsite to minimize rain delays.

As with any excavation activity, there is risk of “unforeseen conditions” such as large deposits of rock underground, utilities or unsuitable soils. We will contact you immediately with any issue that may arise. Irrigation repair is the responsibility of the homeowner. If unsuitable soils are found within the construction area, you will be notified, and an independent engineer will be called to the site to inspect the soils. If the engineer and inspector deem the soil to be unsuitable to use as a base for the wall or as backfill for the wall, they will require that the unsuitable soil be removed and good soil be replaced before moving forward. The removal and replacement will be a change order and the costs will be the responsibility of the homeowner. This is rare but entirely possible.

Your cable line may be cut. It is marked but often only buried a few inches. Please let the office know if your cable/internet is out. The office will contact 811 but the fastest way to have your cable restored is for the homeowner to call and request that it be fixed.

Cautions...

Please do not let children play on or around our equipment and/or materials. It is unsafe to walk on top of the wall especially before the cap has been glued down, glueing will be one of the last things that we do.

During your project there may be times when open trenches, holes or pits may exist. Please take extra caution keeping kids and pets a safe distance from the site.

The dust that is created from cutting blocks and pavers is not safe to breath. We ask that you keep your doors and windows closed and keep yourself and others away from the cutting activities.

Please remember...

Our crew will perform the agreed upon scope of work, anything else will require a change order.

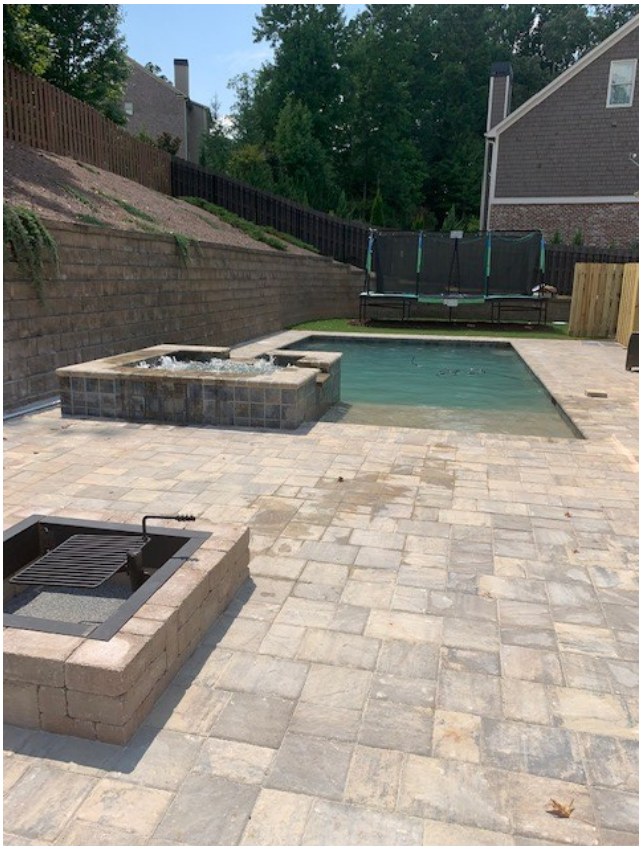
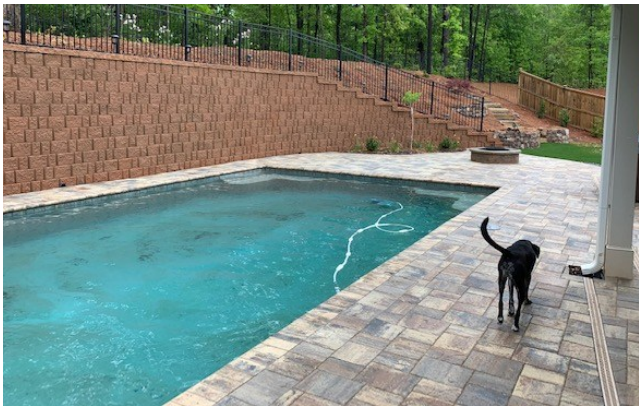
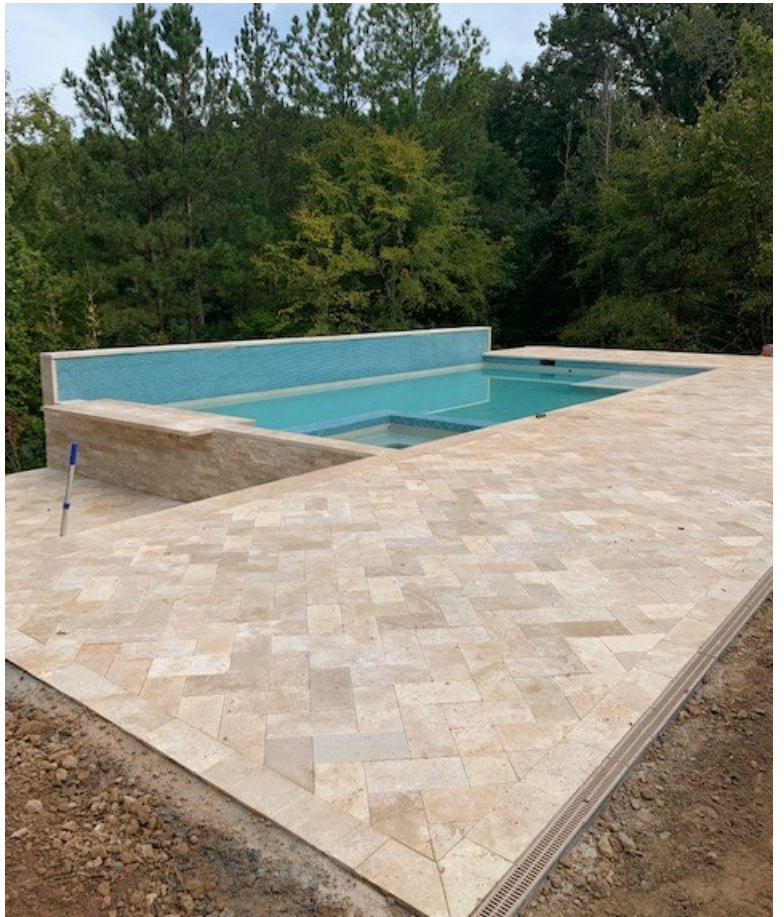
Your balance is due upon completion. Please have funds available.

We encourage you to...

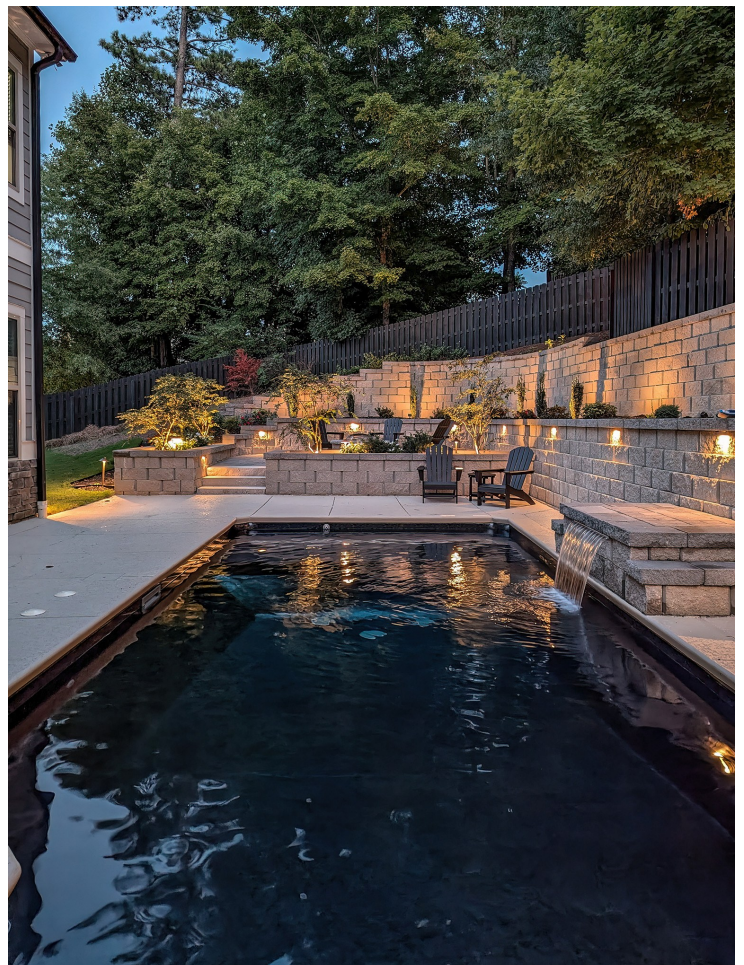
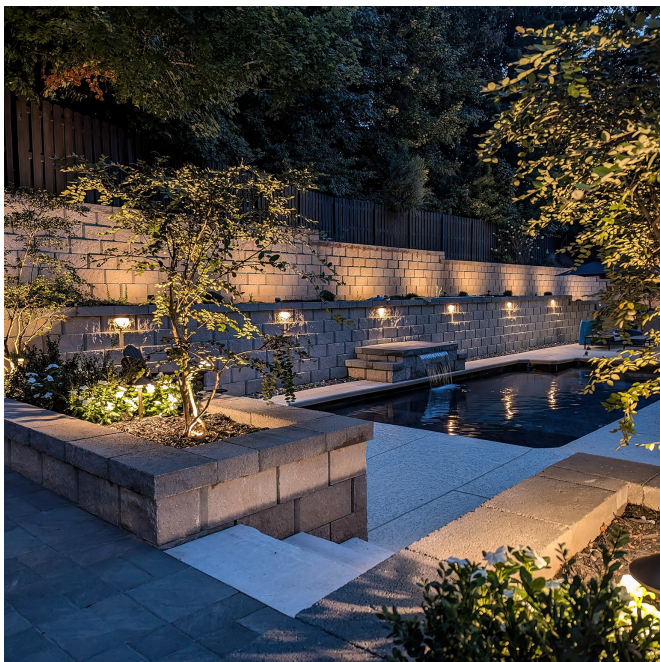
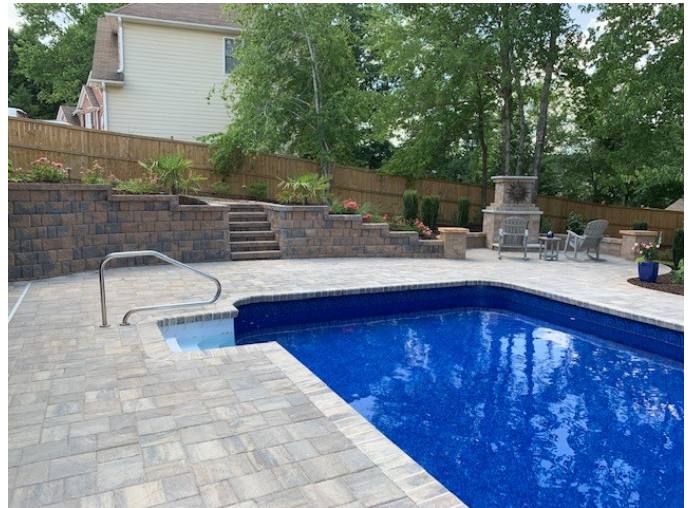
Please take pictures and share our information with your friends and neighbors.

Customer service is our highest priority, enjoy the progress of your project and let us know of any questions during or after construction.

Custom Gunnite/Shotcrete Pools...



Beautiful Retaining Walls, Pools and Hardscapes



Maurer Co Retaining Walls

*20 Year Warranty * A+ Customer Service*



Pools & Spas



Maurer Co Retaining Walls

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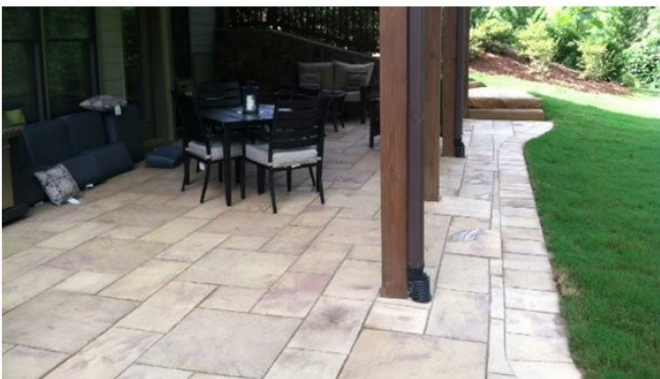
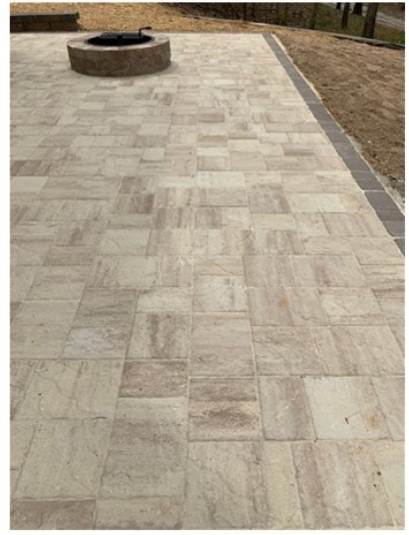


Outdoor Kitchens



Maurer Co Retaining Walls

*20 Year Warranty * A+ Customer Service*



Pavers



Maurer Co Retaining Walls

*20 Year Warranty * A+ Customer Service*



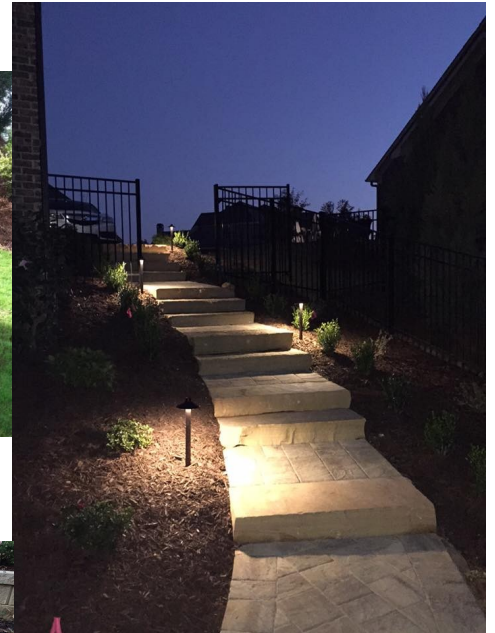
Fireplaces & Firepits



Maurer Co Retaining Walls

****Design– Build***

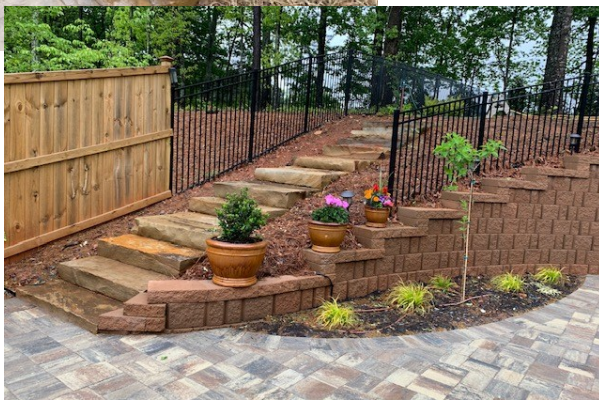
Steps



Crab Orchard Steps



**Modular Block Steps
with Corners or
Radius**



"This highly professional team transformed my back yard and added net value to the property. Despite a challenging project with steep grade and pre-existing (broken) block wall, MaurerCo came in with a fully engineered solution that fit perfectly to the terrain."

Rick, Canton, GA



Wow win win I selected the best contractor to replace rail road tie retaining wall. The complex project was done in 4 days with excellent skilled workers that left the job site clean each day. The new wall looks better than I expected. Top quality work at a reasonable price.

Paul, Marietta, GA



Pete was very clear on the steps of the project and the crew was diligent and hardworking. They took special care to keep the project site as tidy as possible, while staying on schedule. I highly recommend MaurerCo for any project you're considering.

Awesome job! CL, Acworth, GA

MaurerCo is the best in the business—seriously. They're creative problem solvers who don't just do the job, they figure out the smartest way to do it. The quality of their work is top-notch. Couldn't recommend them more. - David E,





Planning your project-

- Decide your “must haves” and your “would like to haves”
- Plan your budget, most of this type of work is not less than \$8,000 and can run into the hundreds of thousands. A typical retaining wall project is usually in the \$10,000-\$30,000 range.
- You will need to know if you have a septic system. If you do, you can get a sketch of where it is on your property from your county health board. You are not allowed to build over a septic tank or septic field.
- You need to know what municipality that you live in and if they require a survey of your property. Depending on what municipality you live in, this can be a big deal. A Google search and/or quick phone call can save you a lot of time and money.
- Will you need to cross your neighbor’s property? We will need written permission to cross anyone else’s property to complete your project.
- Will you need to apply to your Homeowner’s Association? We will supply an email package to submit with your application.

Liability & Work Comp * 38+ Years of Experience* 20 Year Warranty

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Please Share or Recycle! Thank you!

