

CLAYTON COMMERCE CENTER

**BREAKING GROUND Q4 2025
DELIVERING Q4 2026**

**NEW CONSTRUCTION INDUSTRIAL AND SHALLOW BAY SPACE
±380,000 SF AVAILABLE FOR LEASE OR SALE IN CLAYTON, NC ON 34 ACRES**

8121 - 8173 US 70 Business Highway (Clayton Boulevard) + 400 S. Tech Park Lane



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Location Overview



GRIFOLS

LANE
INSTALLATION

PCX

NE
Northeast Foods

CLAYTON
COMMERCE CENTER

Baker
THERMAL SOLUTIONS

FF
FluoroFusion


novo nordisk®

Builders
FirstSource

THE
HALES
COMPANY

Site Plan

Total SF | **382,880 SF**

Total Acreage | **34 Acres**



SHALLOW BAY WEST

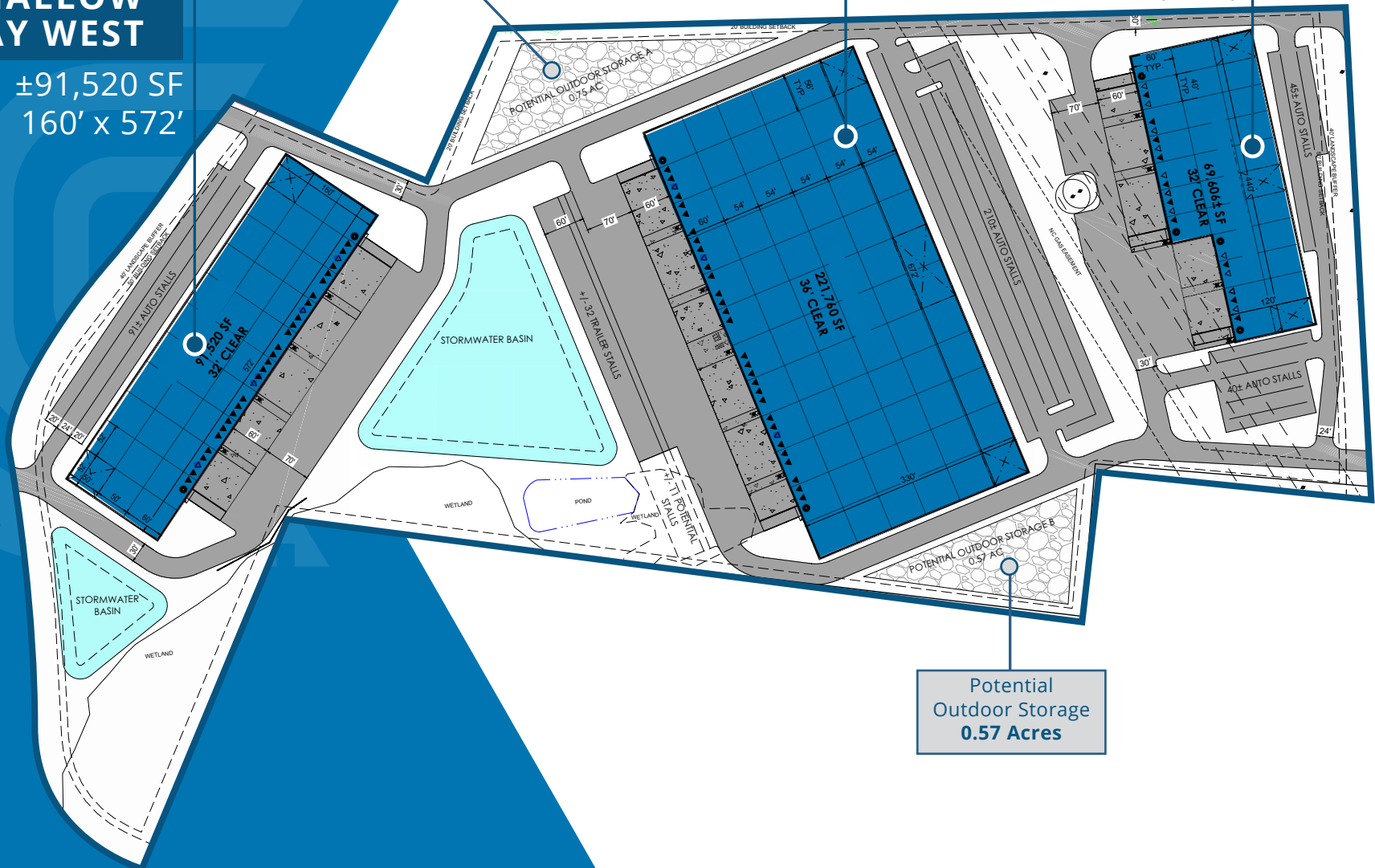
±91,520 SF
160' x 572'

INDUSTRIAL

±221,760 SF
330' x 672'

SHALLOW BAY EAST

±66,720 SF
440' x 180' (120')



SHALLOW BAY WEST

BUILDING SUMMARY

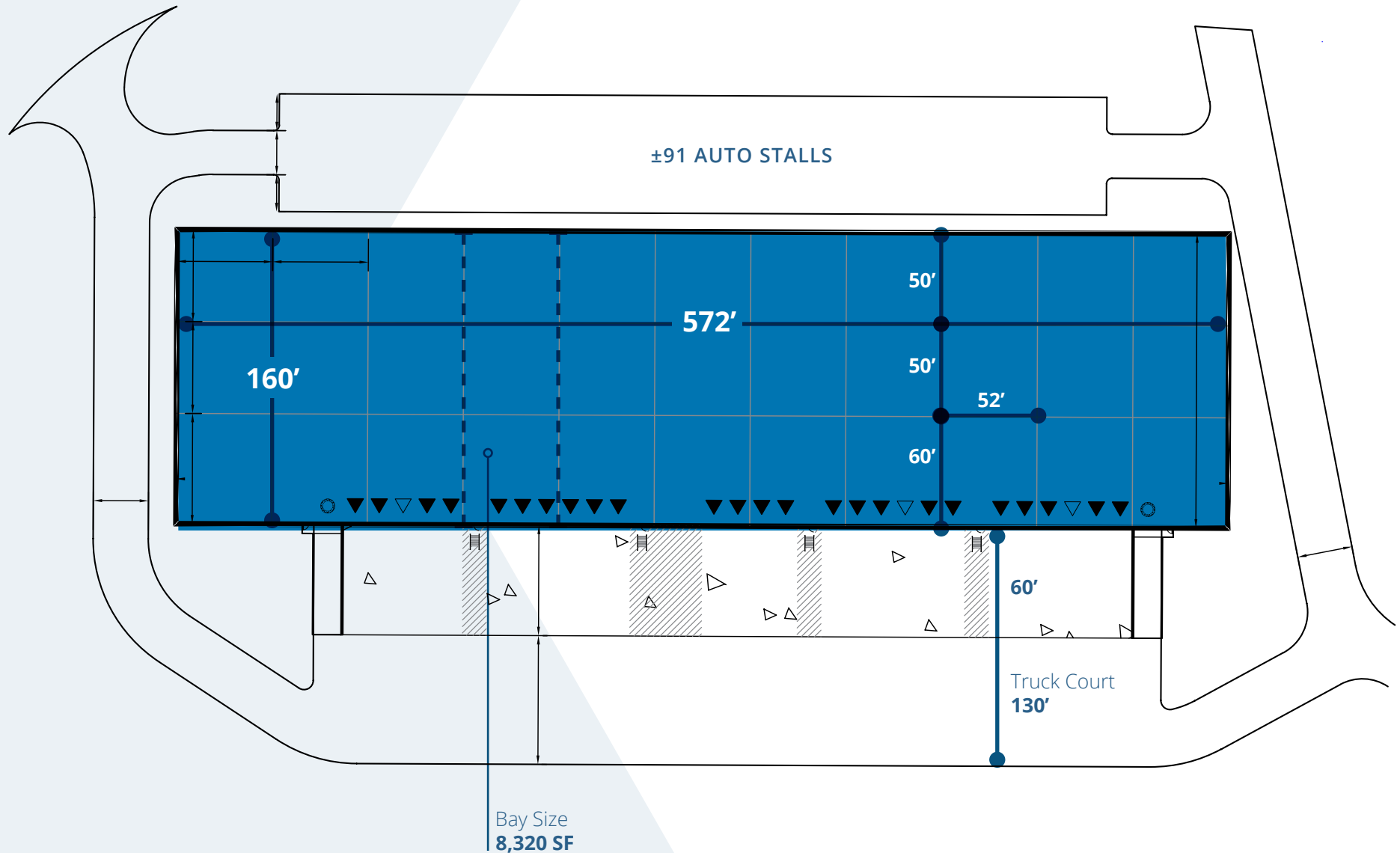


**BREAKING GROUND Q4 2025
DELIVERING Q4 2026**

BUILDING SIZE	±91,520 SF	ASSOCIATE PARKING	±91 spaces
ACREAGE	6.36 ac	SPRINKLER SYSTEM	ESFR
DIMENSIONS	572' x 160'	EXTERIOR WALL MATERIAL	Tilt Up
DATE AVAILABLE	± 14 months from lease execution	ROOFING	60 mil TPO membrane, 20 year warranty
OFFICE	To Suit	FLOOR/SLAB	7", 4,000PSI, non-reinforced
COLUMN SPACING	52' W x 50' D with 60' Speedbay	TRUCK COURT DEPTH	130'
BAY SIZE	8,320 SF (52' W x 160' D)	ZONING	I-2 Heavy Industrial
DOCK DOORS	Twenty-five (25) manual 9' x 10' dock doors, Four (4) additional knockouts, Two (2) 12'x14' drive-in doors	NATURAL GAS SERVICE PROVIDER	Piedmont Natural Gas
LIGHTING	LED motion sensor lighting	WATER AND SEWER PROVIDER	Town of Clayton
CLEAR HEIGHT	32'	WATER LINE	3" domestic water line along dock and end walls
ELECTRICAL	1,500A / 480V / 3P	SEWER LINE	8" underground sanitary to all 4 corners
		ELECTRICAL PROVIDER	Duke Progress Energy

SHALLOW BAY WEST | Floor Plan

±91,520 SF



SHALLOW BAY EAST

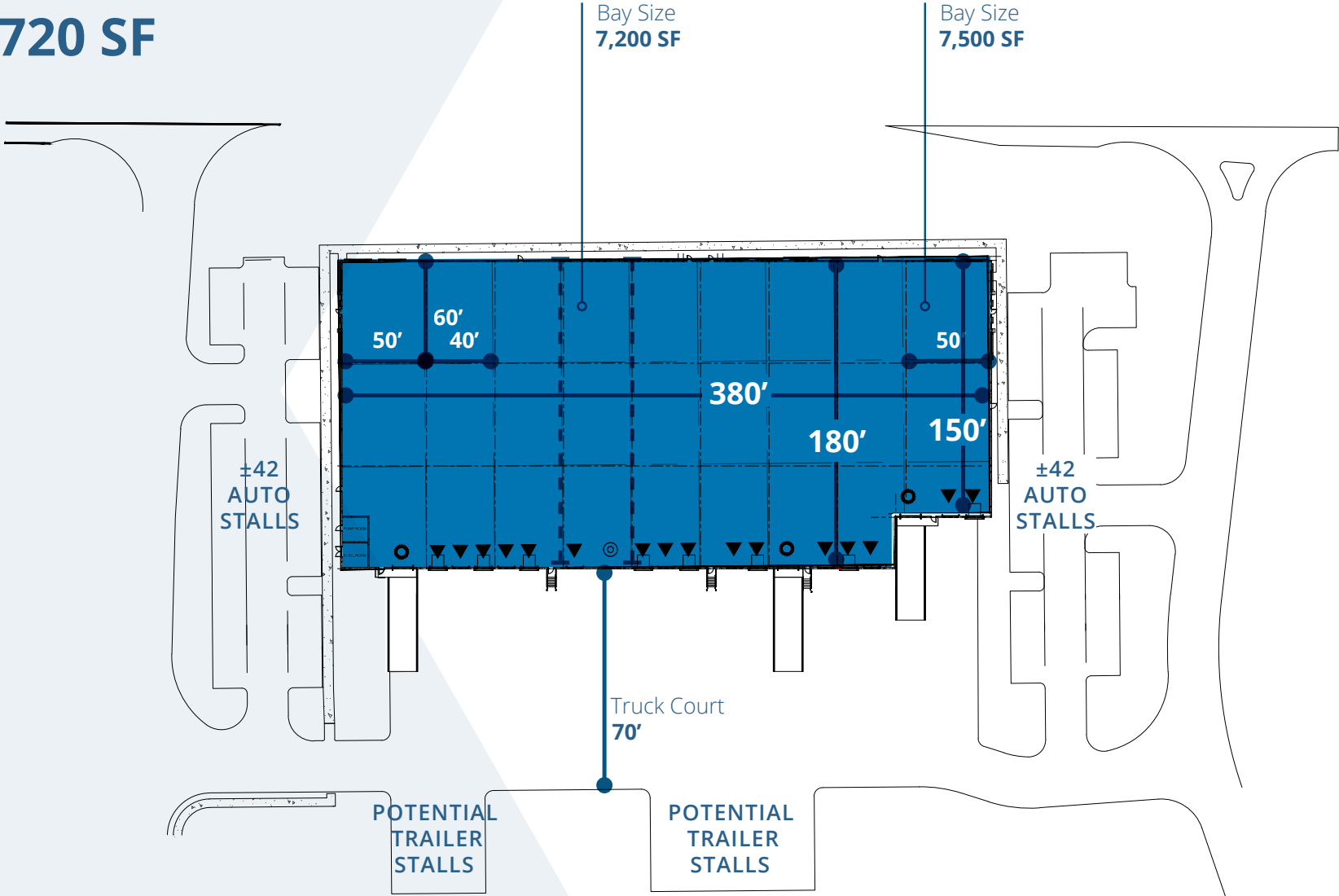
BUILDING SUMMARY



BUILDING SIZE	±66,720 SF	SPRINKLER SYSTEM	ESFR
ACREAGE	6.3 ac	EXTERIOR WALL MATERIAL	Tilt Up
DIMENSIONS	440' x 180' (150')	ROOFING	60 mil TPO membrane, 20 year warranty
DATE AVAILABLE	± 14 months from lease execution	FLOOR/SLAB	7", 4,000PSI, non-reinforced
OFFICE	To Suit	TRUCK COURT DEPTH	130'
COLUMN SPACING	40' W x 60' D	ZONING	I-2 Heavy Industrial
BAY SIZE	7,200 SF (40' W x 180' D) 7,500 SF (50' W x 150' D)	NATURAL GAS SERVICE PROVIDER	Piedmont Natural Gas
DOCK DOORS	Eleven (11) manual 9' x 10' dock doors, Twelve (12) additional knockouts, Three (3) 12' x 14' drive-in doors	WATER AND SEWER PROVIDER	Town of Clayton
LIGHTING	LED motion sensor lighting	WATER LINE	3" domestic water line along dock and end walls
CLEAR HEIGHT	32'	SEWER LINE	8" underground sanitary to all 4 corners
ELECTRICAL	1,500A / 480V / 3P	ELECTRICAL PROVIDER	Duke Progress Energy
ASSOCIATE PARKING	±85 spaces		

SHALLOW BAY EAST | Floor Plan

±66,720 SF



INDUSTRIAL

BUILDING SUMMARY

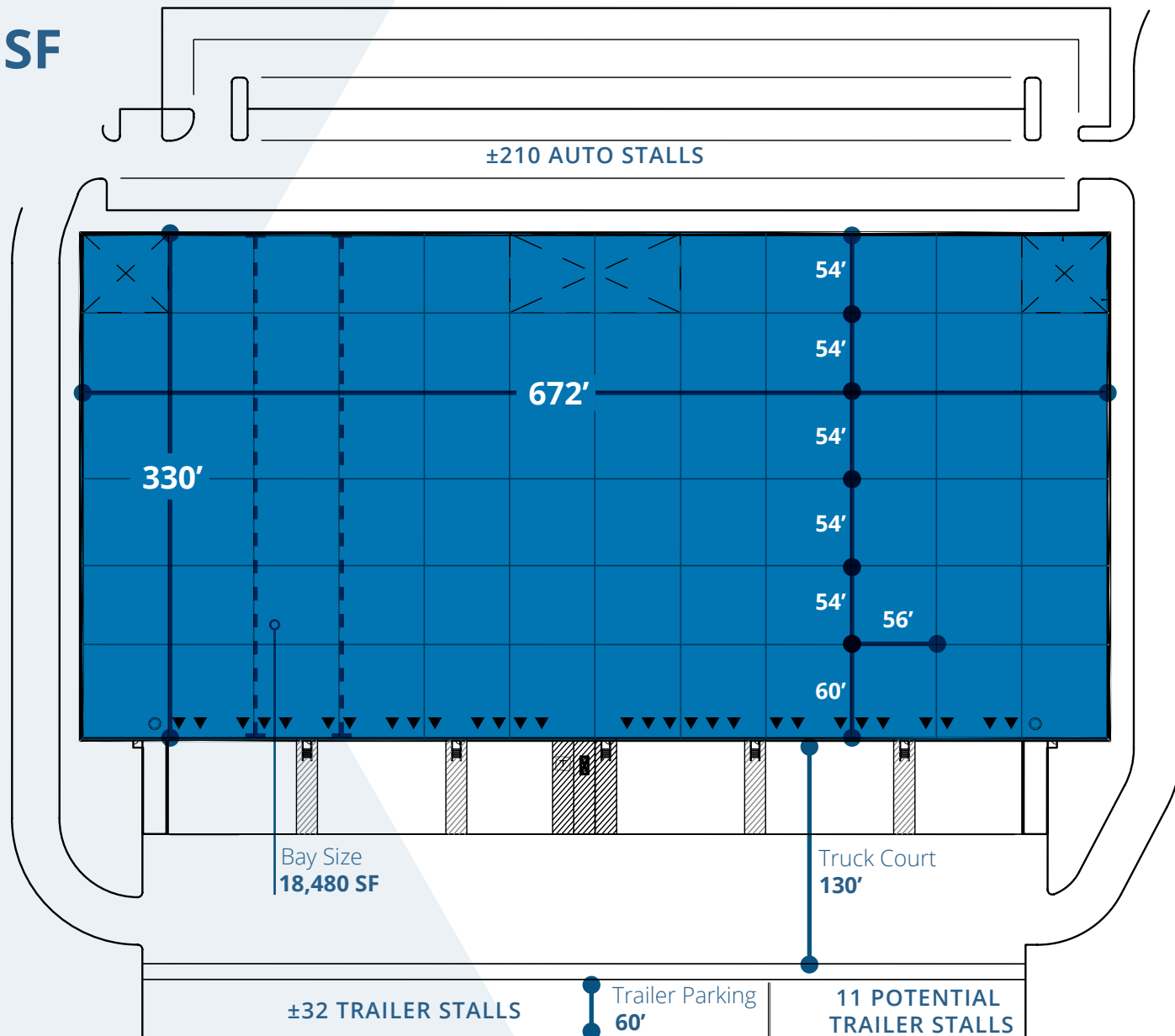


BUILDING SIZE	±221,760 SF
ACREAGE	11.45 ac
DIMENSIONS	672' x 330' Flexible depth for BTS (260' - 330')
DATE AVAILABLE	± 14 months from lease execution
OFFICE	To Suit
COLUMN SPACING	56' W x 54' D with 60' Speedbay
BAY SIZE	18,480 SF (56' W x 330' D)
DOCK DOORS	Twenty-eight (28) manual 9' x 10' dock doors, Three (3) additional knockouts, Two (2) 12' x 14' drive-in doors
LIGHTING	LED motion sensor lighting
CLEAR HEIGHT	36'
ELECTRICAL	2,000A / 480V / 3P
TRAILER PARKING	± 32 spaces + 11 potential spaces

ASSOCIATE PARKING	± 210 spaces
SPRINKLER SYSTEM	ESFR
EXTERIOR WALL MATERIAL	Tilt Up
ROOFING	60 mil TPO membrane, 20 year warranty
FLOOR/SLAB	7", 4,000PSI, non-reinforced
TRUCK COURT DEPTH	130'
ZONING	I-2 Heavy Industrial
NATURAL GAS SERVICE PROVIDER	Piedmont Natural Gas
WATER AND SEWER PROVIDER	Town of Clayton
WATER LINE	3" domestic water line along dock and end walls
SEWER LINE	8" underground sanitary to all 4 corners
ELECTRICAL PROVIDER	Duke Progress Energy

INDUSTRIAL | Floor Plan

±221,760 SF



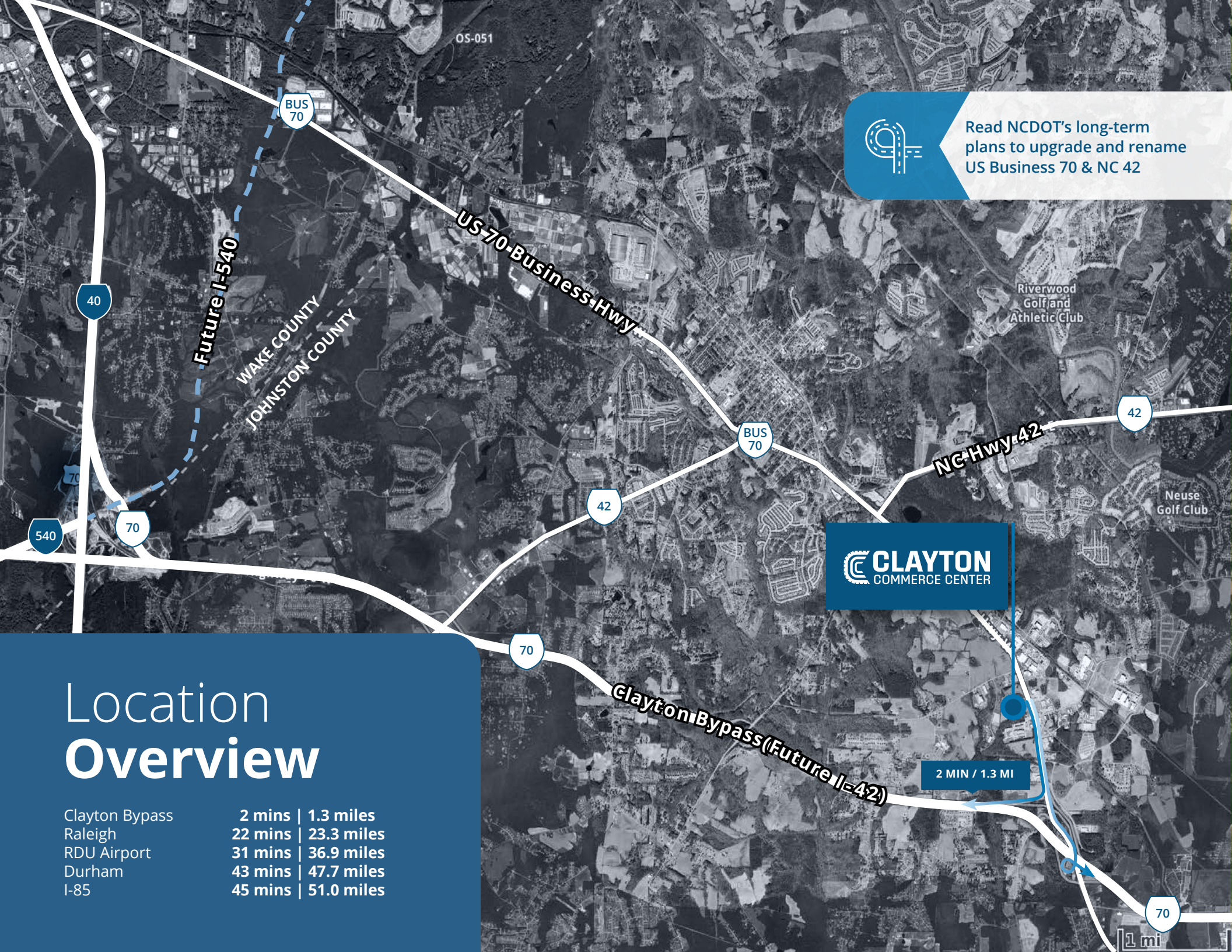


Read NCDOT's long-term plans to upgrade and rename US Business 70 & NC 42

Location Overview

Clayton Bypass
Raleigh
RDU Airport
Durham
I-85

2 mins	1.3 miles
22 mins	23.3 miles
31 mins	36.9 miles
43 mins	47.7 miles
45 mins	51.0 miles



Site Access



Highways

Clayton Bypass (Future I-42)	2 min 1.3 mi
Future I-540	9 min 9.5 mi
I-40	9 min 10.0 mi
I-95	16 min 13.3 mi



Airports

Johnston Regional Airport	6 min 5.3 mi
Raleigh-Durham International Airport	34 min 36.9 mi
Fayetteville Regional Airport	64 min 62.4 mi



Ports

Wilmington, NC	2 hr 118 mi
Morehead City, NC	2.5 hr 130 mi
Norfolk, VA	3 hr 186 mi
Charleston, SC	4 hr 271 mi
Savannah, GA	4.5 hr 314 mi
Jacksonville, FL	6.5 hr 445 mi



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A development by:



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