

PROVIDENCE REVOLVING FUND
Updated Contractor Bid Form
66 Armand St, Woonsocket, RI

By submitting this bid, the contractor attests that they will be available to begin work within 30 days of the bid due date.

ITEM	COST
GENERAL REQUIREMENTS: Contractor shall be responsible for obtaining any necessary permits for any and all work as is required by local and national and local code or jurisdiction requirements. Contractor shall also be responsible for any necessary drawings that may be required to obtain permits. Contractor shall be responsible for any required submittal to local authorities. Contractor shall be responsible for maintaining copies of any required permits at the job - site, and to supply Consultant copies of as requested. Contractor shall be responsible for supplying any bonds, insurance cert's, sub - contractor licenses, EPA licenses, specialty licenses to building departments and consultant. All documents shall be delivered in a timely fashion. Contractor shall apply for permits as soon as possible.	\$
REPLACEMENT WINDOWS (15): Install new replacement windows in existing openings. Windows shall be; new white vinyl thermal pane, double hung, with Low E366 glass, with Argon filled vapor barrier, with welded corners (no mechanical fasteners), with half screens. Work shall include but not be limited to; windows shall be properly shimmed, caulked, insulated, secured into the framed opening for proper operation, interior/exterior wood trim removed and replaced, pre-finished aluminum cladding on exterior trim. Contractor shall install windows in accordance with manufacturer's instructions. (ALL WINDOWS ON PRELIMINARYT MEASUREMENT FORMS EXCEPT W 212-214) (WINDOW ALLOWANCE \$330.00 - WINDOWS TO BE CHOSEN FROM SELECTION PROVIDED)	\$
ROOF: Roof Section RF-1,4,5,6,8,9,12,15-18 Pitch 4/12, 5/12, 6/12, 9/12 • Remove and dispose of existing shingles and underlayment • Inspect decking — Replace all decking 40 sheets • Install new OSB sheathing where required • Install ice & shield; water shield at eaves and valleys • Install synthetic felt underlayment over remaining deck • Install GAF Timberline HDZ starter strip at eaves and rakes • Install GAF Timberline HDZ shingles per manufacturer specs • Install ridge cap shingles at all ridges • Flash all penetrations, walls, and valleys • Install drip edge at eaves (under felt) and rakes (over felt) • Final inspection and cleanup Roof Section RF-2,3,7,10,13 Pitch 2/12 -3/12 (Low Slope) Roofing System EPDM (Rubber) Membrane Contractor shall: • Remove and dispose of existing roofing material down to deck • Replace any damaged OSB decking (4 sheets) • Install new OSB sheathing where required • Install EPDM membrane with full adhesion or mechanically fastened system • Install all perimeter metal edging and termination bars • Flash all penetrations with EPDM boots • Verify and ensure positive drainage to scuppers or drains • Final inspection and cleanup	\$

GUTTERS & DOWNSPOUTS: Contractor shall furnish and install new 5" aluminum pre-finished seamless gutters and downspouts. System shall be properly aligned for correct drainage of the roof dewatering system. Gutters and downspouts shall be properly secured to fascia and exterior walls at fastening points of a minimum of 24" within industry standards and practices. System shall be able to support snow and ice loads during heavy winter periods without failing. Contractor shall use ferrules screw fasteners. All joints and connections shall be caulked on the interior. Down spouts will be anchored to walls in at least 3 places with tail pieces diverting water from base of building not less than 3 feet. Gutters shall have the right amount of fall towards downspouts for proper drainage, slope will be 1/4 inch for every 25 ft of gutter.	\$
EAVES RETURN & FASCIA REPAIR (2 AREAS): Contractor to remove and dispose of damaged/rotted trim, wood soffit box components and aluminum coil capping at roof rake return sections above the gutter end. Inspect underlying fascia board and wall sheathing for hidden rot or water damage. Replace any soft or damaged wood with exterior grade lumber. Rebuild and enclose the soffit/fascia return box using rot resistant trim board. Fit matching aluminum trim coil (capping) over fascia and rake trim to match existing exterior capping colors and profile. Apply exterior sealant to all seams, wall transitions and trim joints.	
TOTAL:	\$

All work shall be completed in a Good Workmanship Like Fashion, and within industry standards. All work shall be in accordance with national and local code requirements. All material and labor shall be warranted. All dimensions, aerial measurements, drawings and square footage estimates provided by PRF, are for general references, scoping, and budgetary guidance purpose only. PRF does not guarantee the absolute accuracy or field readiness of these preliminary metrics. Contractor bears sole and absolute responsibility for performing their own comprehensive on-site field measurements and final physical verifications prior to ordering, fabricating, or purchasing any project material.

Contractor: _____

Date: _____

License No: _____

Complete Measurements

Areas	Siding	Other
Facades	634 ft ²	1242 ft ²
Openings	85 ft ²	314 ft ²
Trims*	20 ft ²	100 ft ²
Unknown (no photos)*	45 ft ²	-
Total	784 ft ²	1656 ft ²

*Any trim or unknown material that touches siding is included in the 'Siding' column. If it does not touch siding, then it's included in the 'Other' column.

Openings	Siding	Other
Quantity	6	16
Tops Length	21' 10"	38' 9"
Sills Length	18' 10"	61' 4"
Sides Length	59' 9"	127' 10"
Total Perimeter	100' 5"	227' 11"

Corners	Siding	Other
Inside Qty	3	4
Inside Length	24' 7"	12' 1"
Outside Qty	5	19
Outside Length	32' 10"	64'

Accessories	Siding	Other
Shutter Qty	0	4
Shutter Area	0 ft ²	16 ft ²
Vents Qty	0	0
Vents Area	0 ft ²	0 ft ²

Trim	Siding	Other
Level Starter	114' 5"	193' 1"
Sloped Trim	47' 4"	25' 11"
Vertical Trim	31'	48'

Roofline	Length	Avg. Depth	Soffit Area
Eaves Fascia	233' 10"	-	-
Level Frieze Board	196' 3"	1' 4"	303 ft ²
Rakes Fascia	177' 4"	-	-
Sloped Frieze Board	154' 2"	3"	38 ft ²

SIDING WASTE TOTALS

Siding & Trim Only*	Area	Squares
Zero Waste	701 ft ²	7¼
+10%	771 ft ²	7¾
+18%	829 ft ²	8½

+ Openings < 20ft ²	Area	Squares
Zero Waste	766 ft ²	7¾
+10%	844 ft ²	8½
+18%	905 ft ²	9¼

+ Openings < 33ft ²	Area	Squares
Zero Waste	786 ft ²	8
+10%	866 ft ²	8¾
+18%	929 ft ²	9½

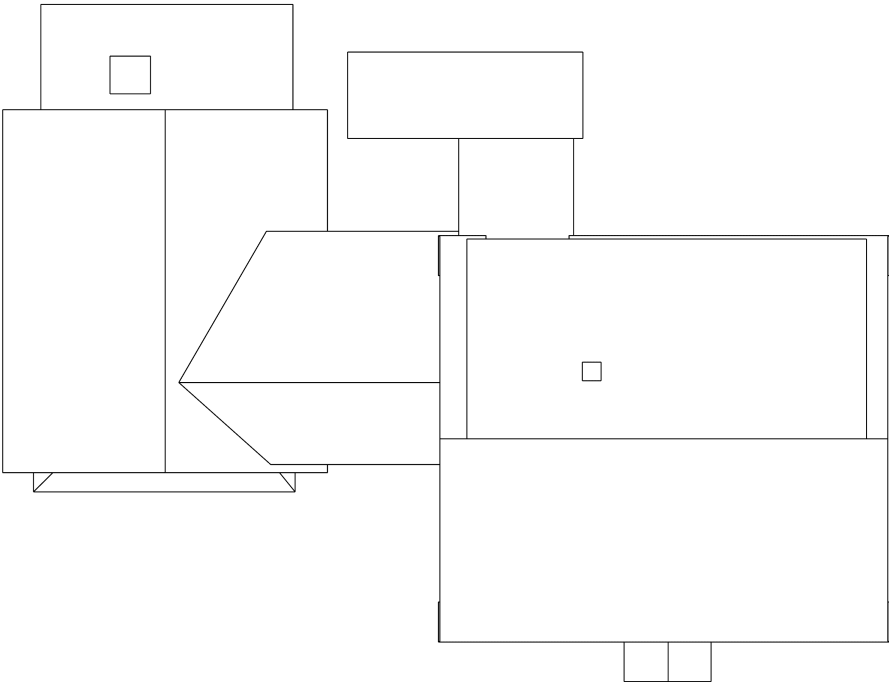
*The first three rows of the Siding Waste Factor table are calculated using the total ft² of siding facades, ft² of trim touching siding, and ft² of unknowns touching siding.

Complete Measurements

Roof	Area	Total	Length
Roof Facets	1936 ft ²	20	-
Ridges / Hips	-	12	79' 1"
Valleys	-	2	20' 3"
Rakes	-	21	177' 4"
Eaves	-	23	233' 10"
Flashing	-	22	80'
Step Flashing	-	17	67' 1"
Drip Edge/Perimeter	-	-	411' 2"

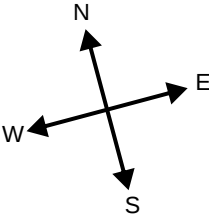
Roof Pitch*	Area	Percentage
3 / 12	598 ft ²	30.89%
9 / 12	582 ft ²	30.06%
5 / 12	559 ft ²	28.87%
4 / 12	117 ft ²	6.04%

* Only top 4 values shown. Reference Roof Pitch page for all values.

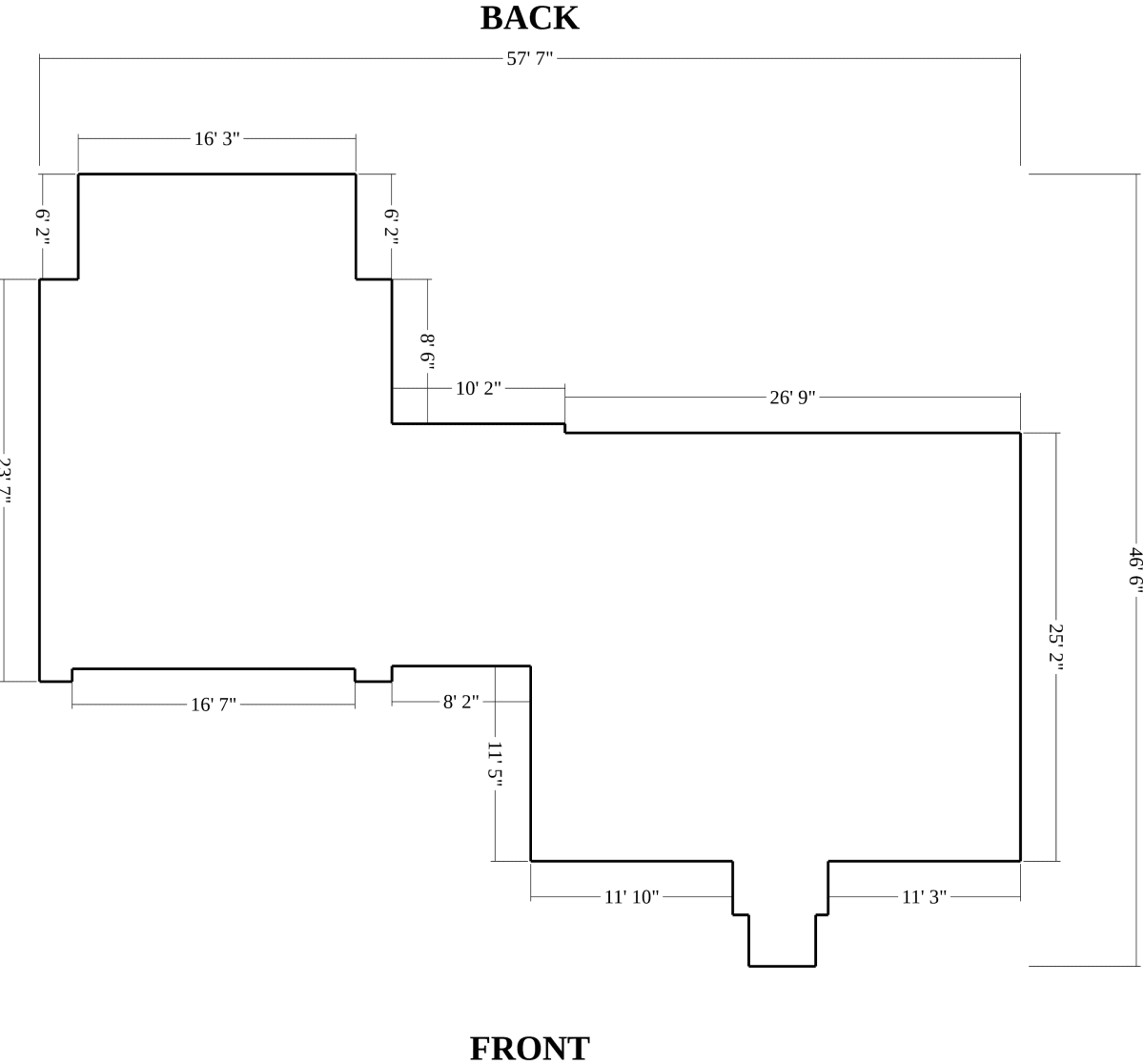


Example Waste Factor Calculations

	Zero Waste	+5%	+10%	+15%	+20%
Area	1936 ft ²	2033 ft ²	2130 ft ²	2226 ft ²	2323 ft ²
Squares	19⅔	20⅓	21⅓	22⅓	23⅓



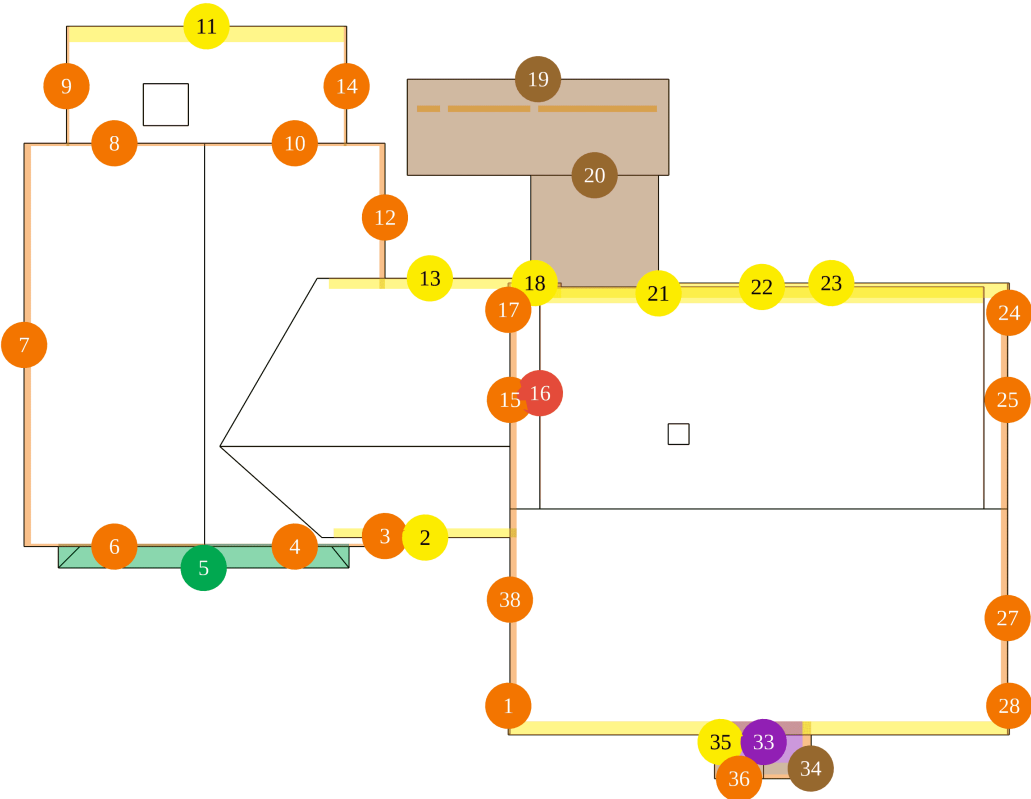
Number of Stories: 1
Footprint Perimeter: 211' 5"
Footprint Area: 1444 ft²



Complete Measurements

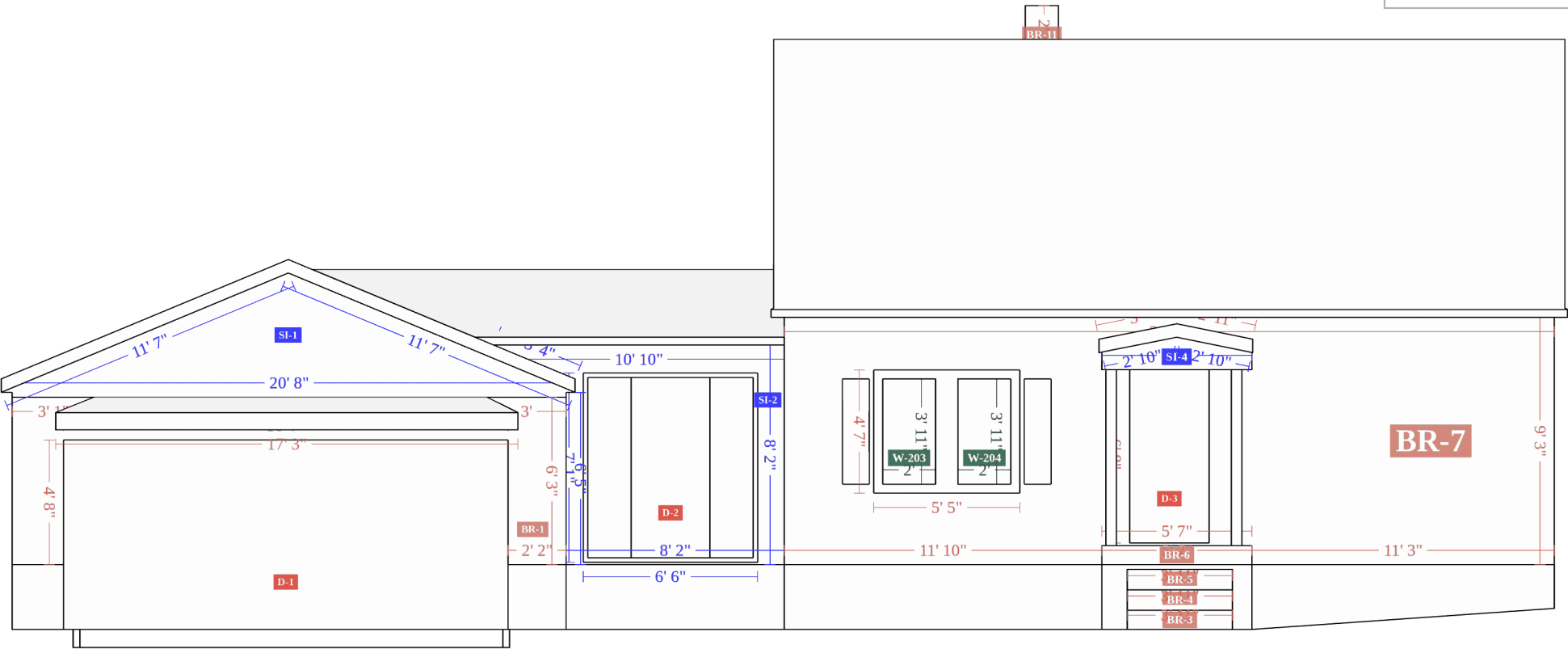
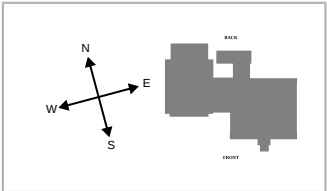
Soffit Summary

Depth	Type	Count	Total Length	Total Area
0" - 1"	rakes	2	25' 11"	2 ft ²
	eaves	1	3' 2"	0 ft ²
1" - 6"	rakes	12	129' 3"	36 ft ²
	eaves	9	45' 5"	18 ft ²
	-	3	13' 4"	5 ft ²
6" - 12"	eaves	9	128' 2"	104 ft ²
12" - 18"	eaves	1	17' 3"	25 ft ²
24" - 48"	eaves	1	4' 7"	11 ft ²
> 48"	eaves	3	23' 9"	146 ft ²
Totals			390' 11"	346 ft ²



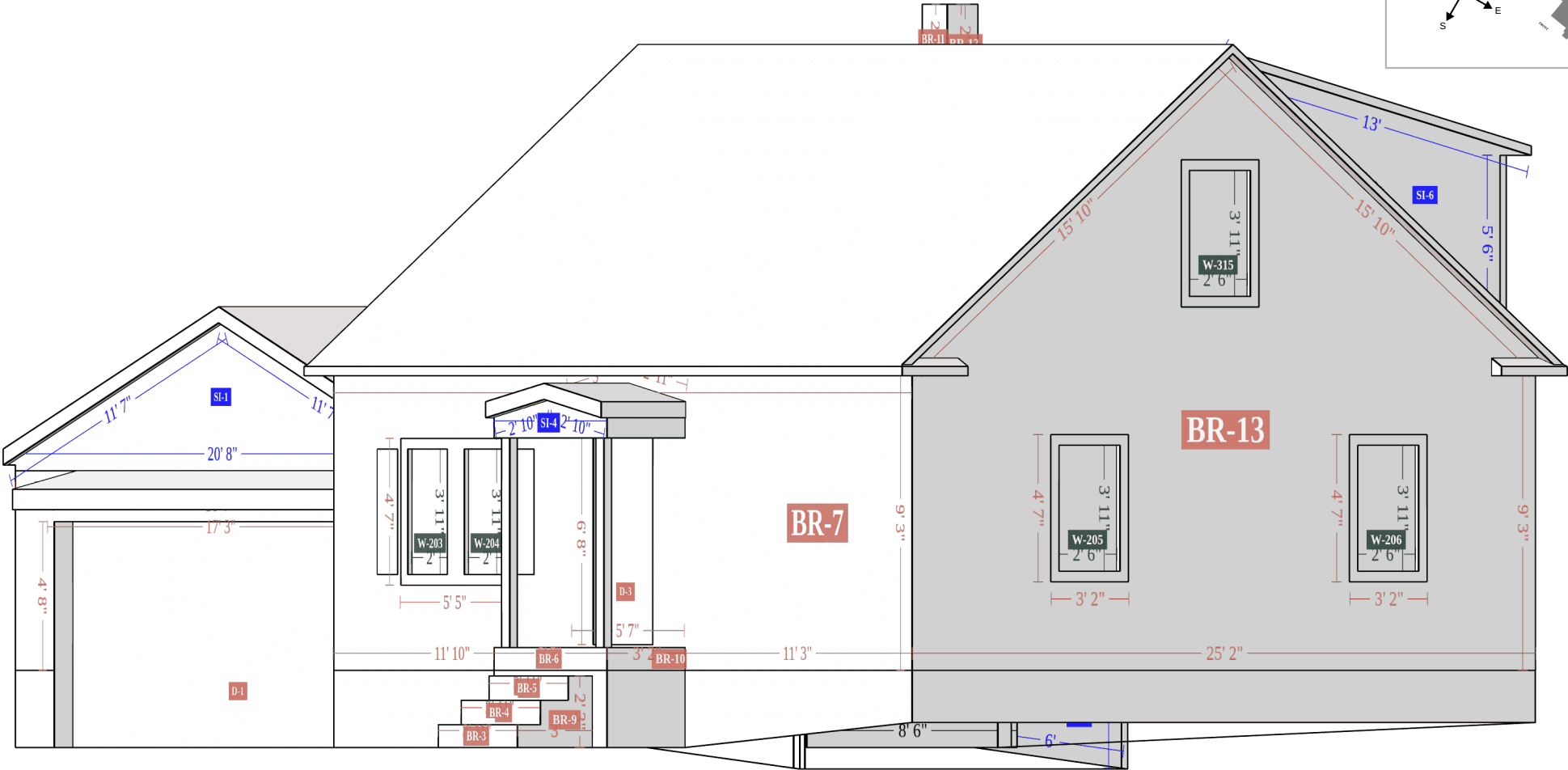
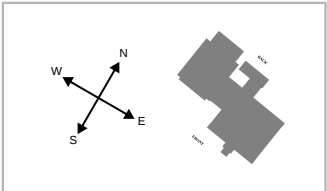
Complete Measurements

66 Armand, woonsocket, RI
FRONT



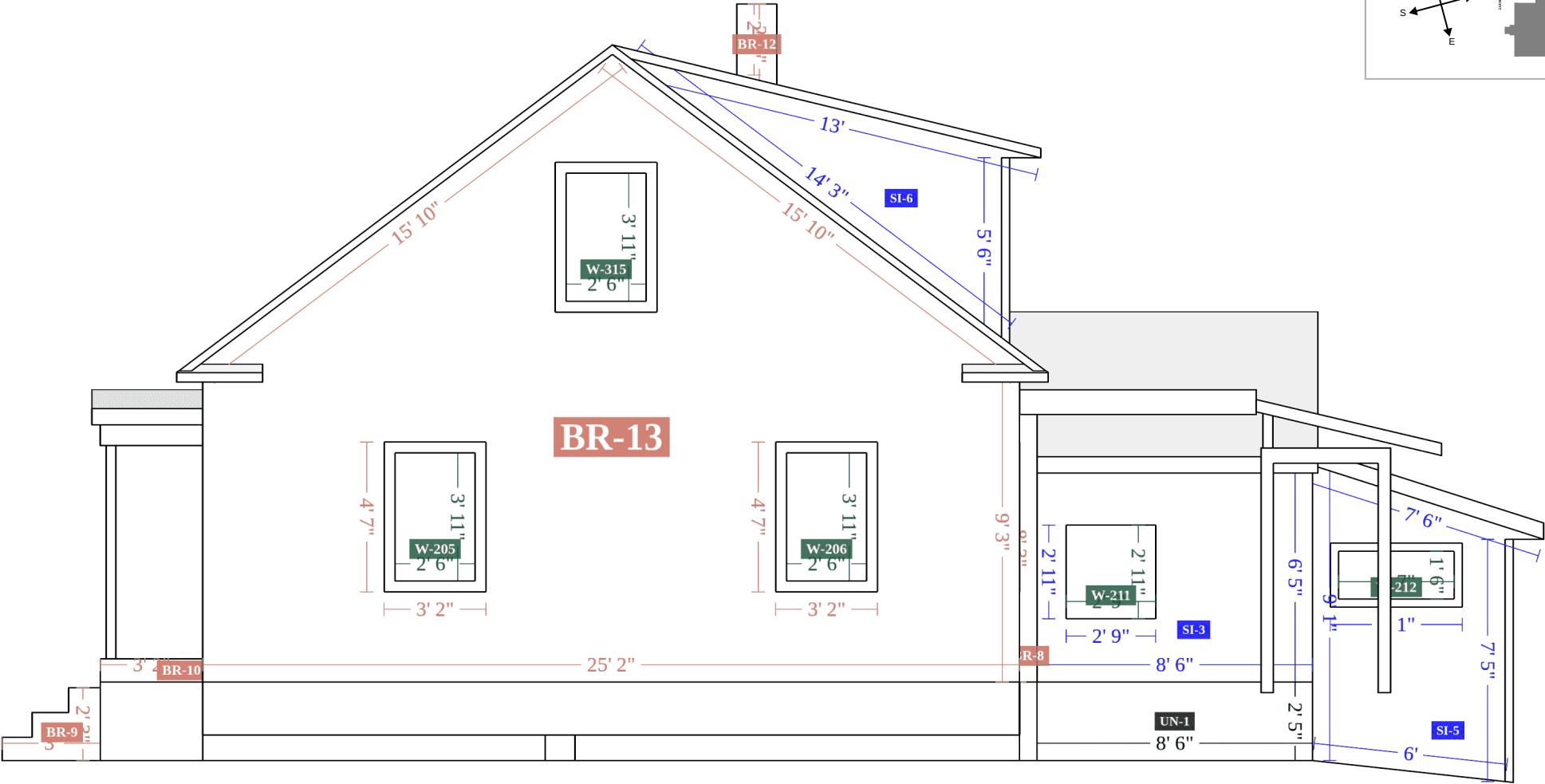
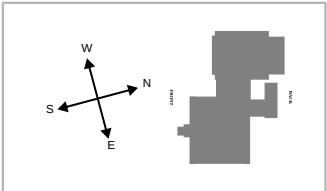
Complete Measurements

66 Armand, woonsocket, RI
FRONT-RIGHT



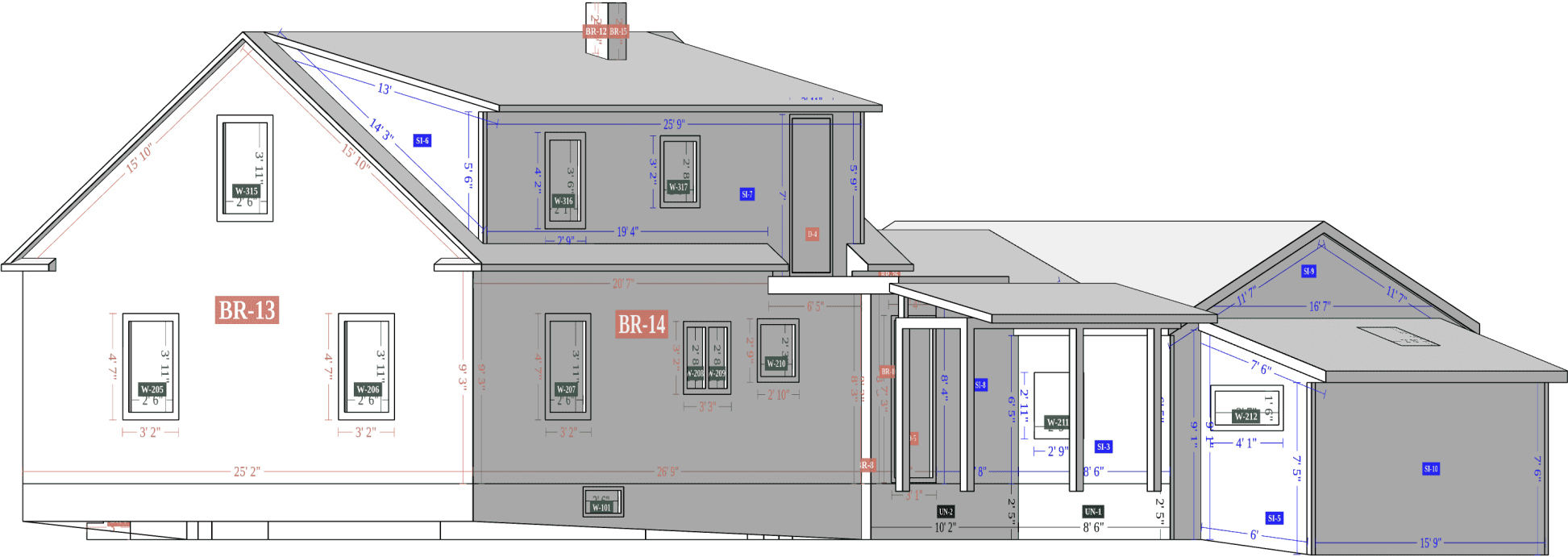
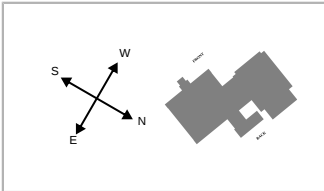
Complete Measurements

66 Armand, woonsocket, RI
RIGHT

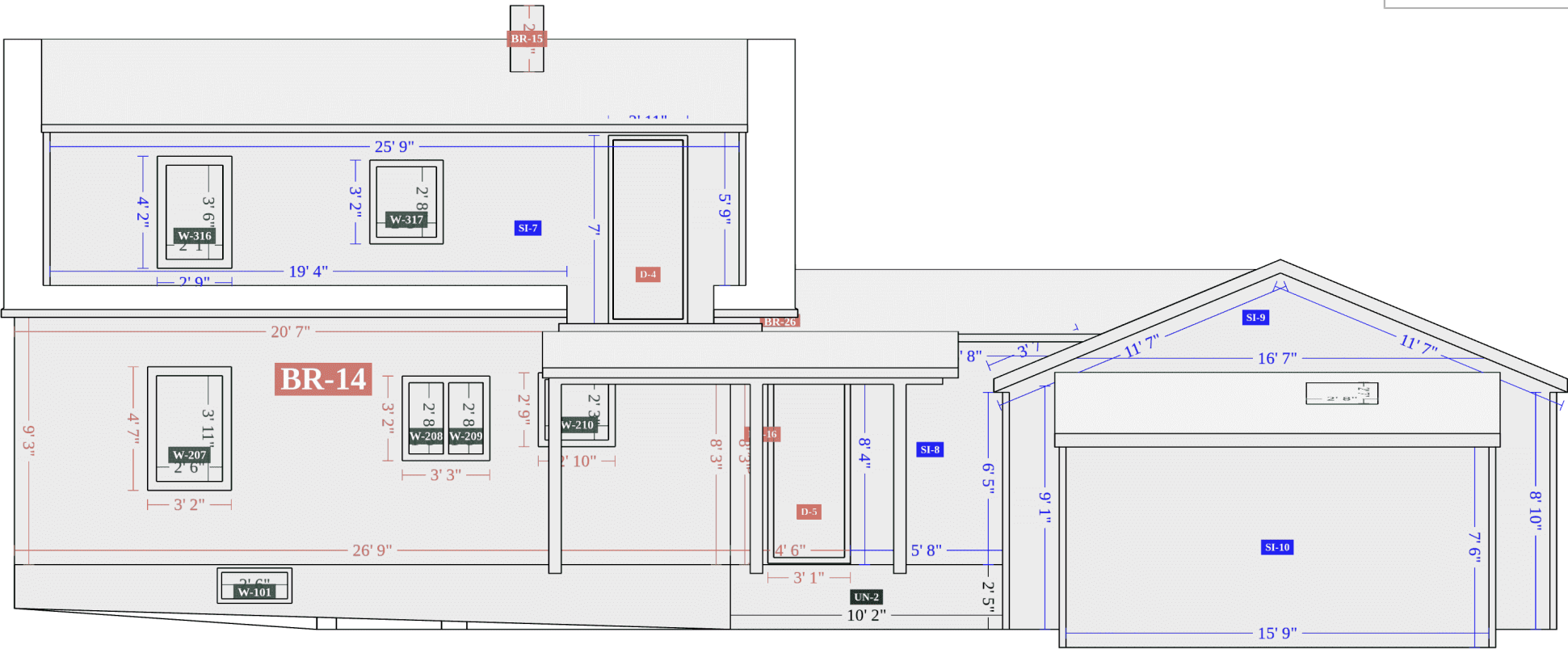
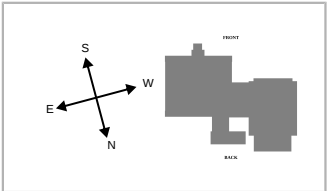


Complete Measurements

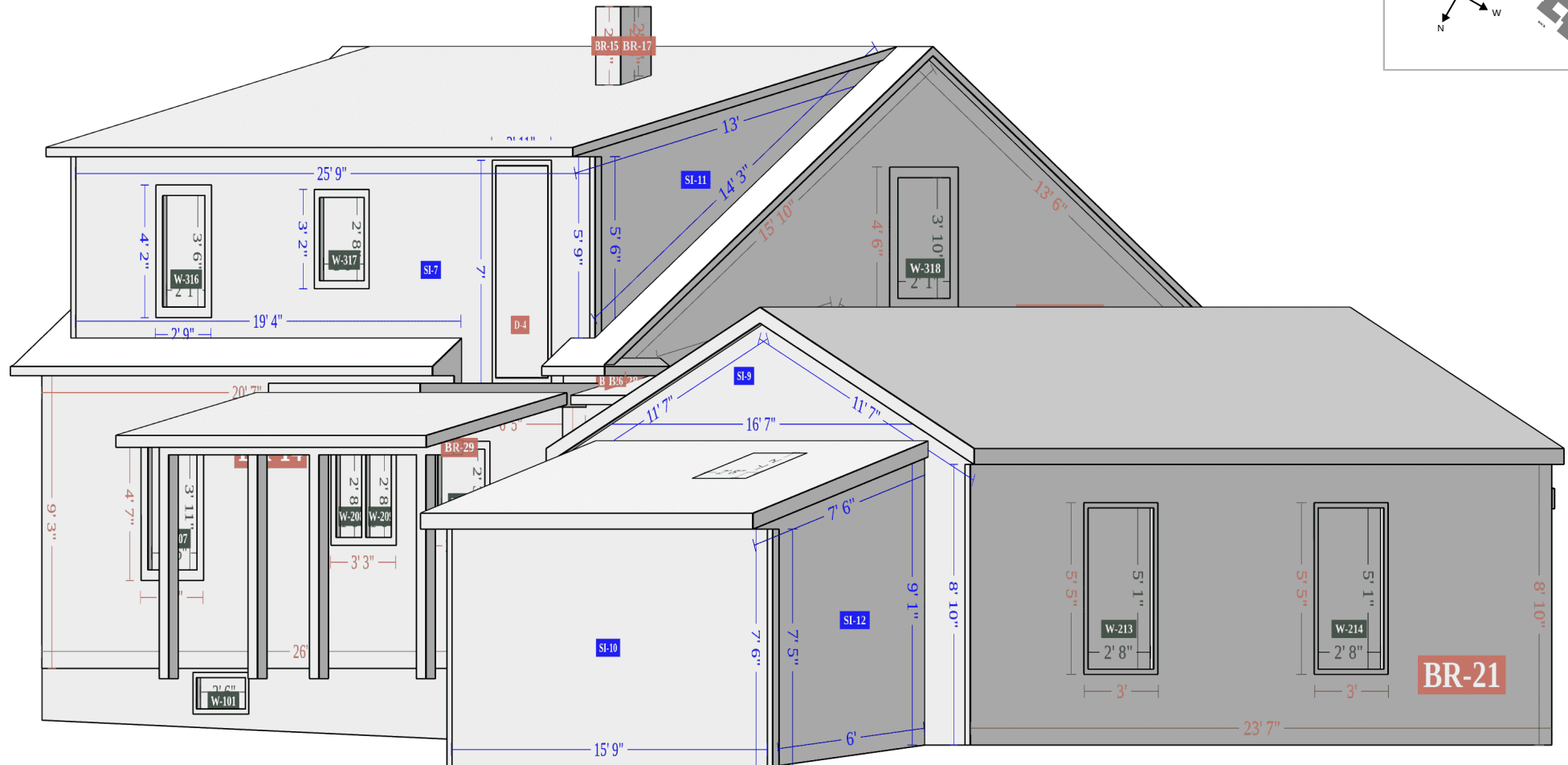
66 Armand, woonsocket, RI
RIGHT-BACK



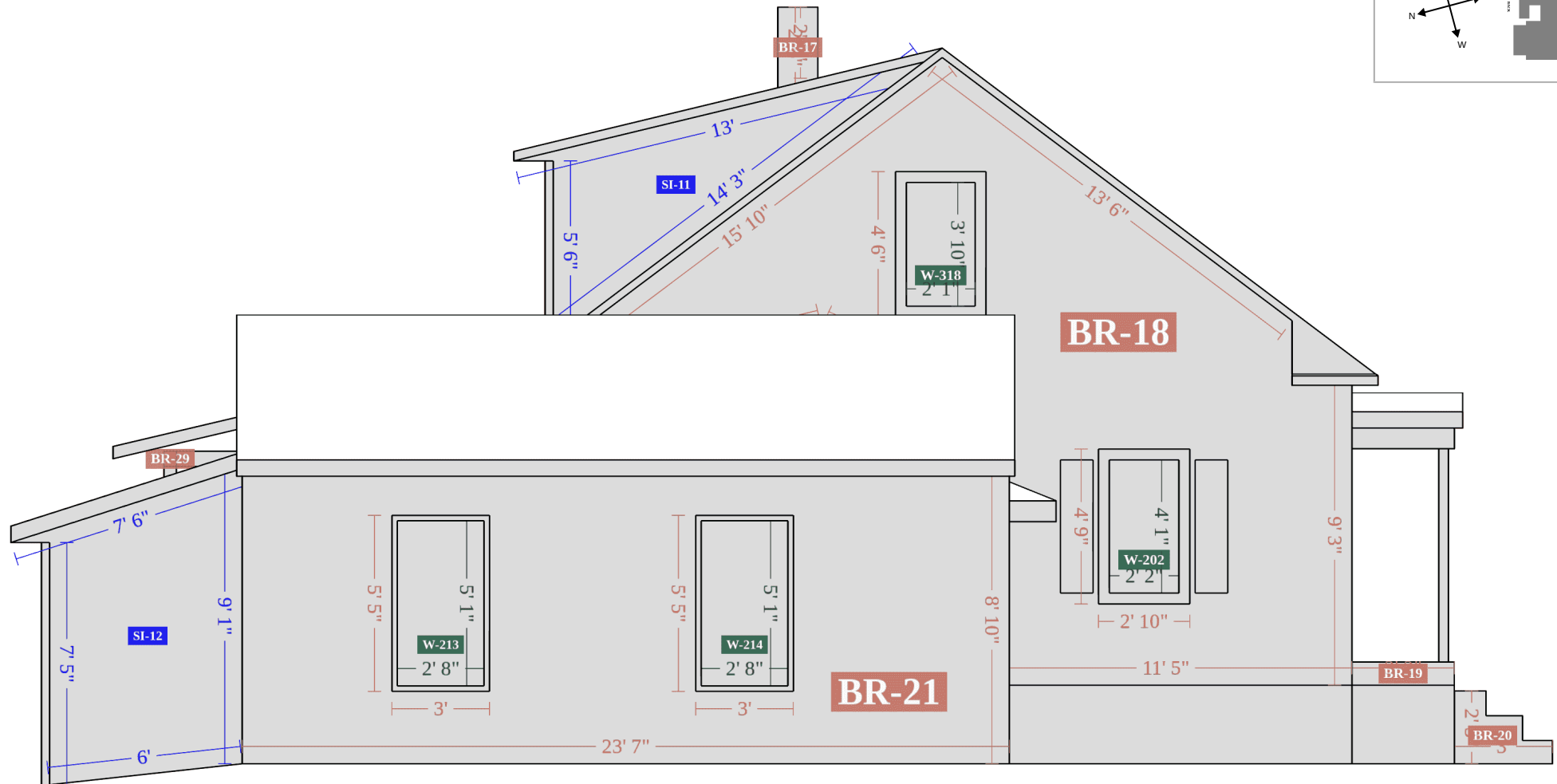
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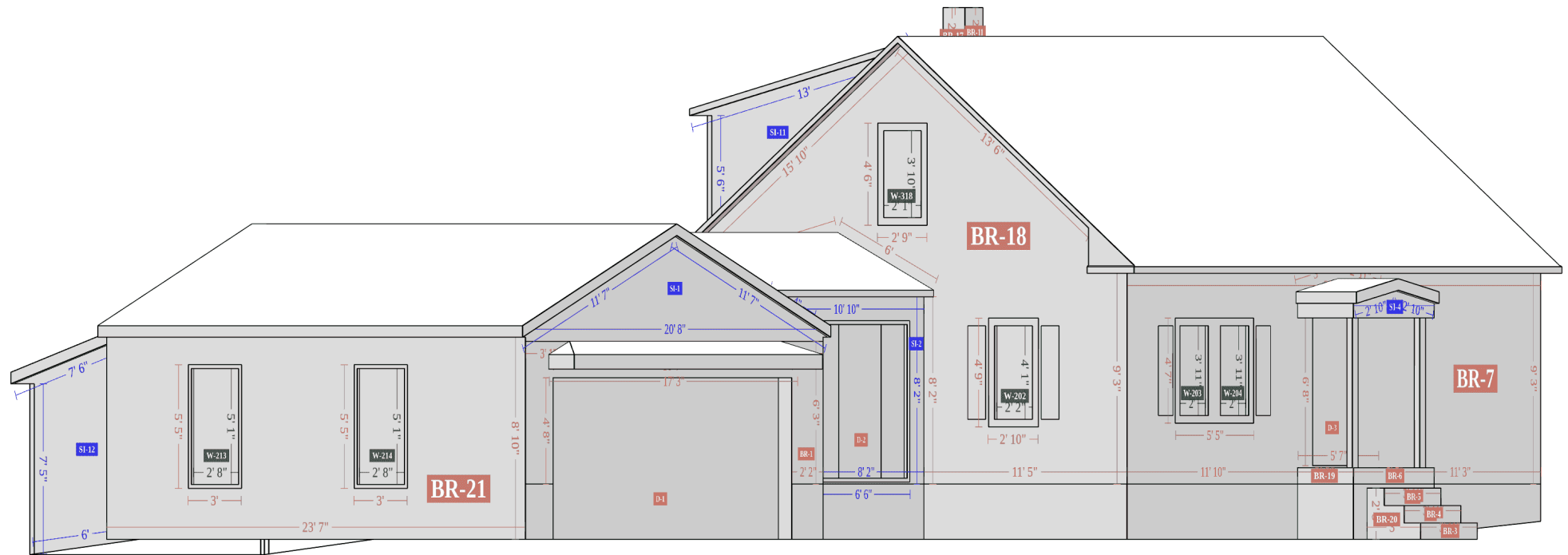
66 Armand, woonsocket, RI
BACK-LEFT



66 Armand, woonsocket, RI
LEFT



66 Armand, woonsocket, RI
LEFT-FRONT



Complete Measurements

Windows

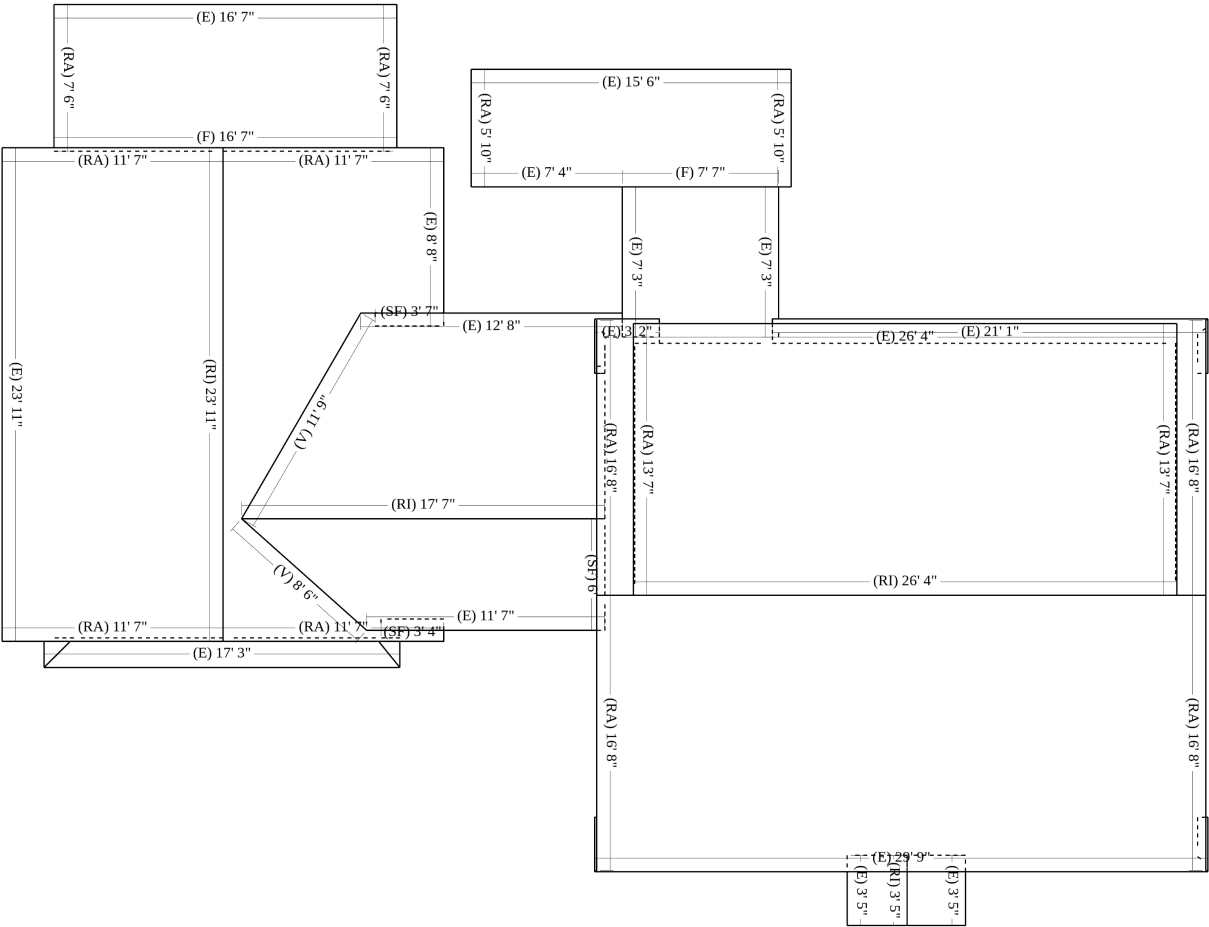
Group	Group Width x Height	Group United Inches	Opening	Width x Height	United Inches	Area
WG-1	30" x 12"	41"	W-101	30" x 12"	41"	2 ft²
WG-2	26" x 49"	75"	W-202	26" x 49"	75"	9 ft²
WG-3	57" x 47"	105"	W-203	24" x 47"	71"	8 ft²
			W-204	24" x 47"	71"	8 ft²
WG-4	30" x 47"	77"	W-205	30" x 47"	77"	10 ft²
WG-5	30" x 47"	77"	W-206	30" x 47"	77"	10 ft²
WG-6	30" x 47"	77"	W-207	30" x 47"	77"	10 ft²
WG-7	33" x 32"	65"	W-208	15" x 32"	47"	3 ft²
			W-209	15" x 32"	47"	3 ft²
WG-8	28" x 27"	56"	W-210	28" x 27"	56"	5 ft²
WG-9	33" x 35"	68"	W-211	33" x 35"	68"	8 ft²
WG-10	43" x 18"	60"	W-212	43" x 18"	60"	5 ft²
WG-11	32" x 61"	93"	W-213	32" x 61"	93"	14 ft²
WG-12	32" x 61"	93"	W-214	32" x 61"	93"	14 ft²
WG-13	30" x 47"	77"	W-315	30" x 47"	77"	10 ft²
WG-14	25" x 42"	68"	W-316	25" x 42"	68"	7 ft²
WG-15	27" x 32"	58"	W-317	27" x 32"	58"	6 ft²
WG-16	25" x 46"	71"	W-318	25" x 46"	71"	8 ft²
			Total	-	1290"	147 ft²

Complete Measurements

66 Armand, woonsocket, RI
ROOF MEASUREMENTS

Roof	Length
Ridges (RI)	74' 6"
Hips (H)	4' 7"
Valleys (V)	20' 3"
Rakes (RA)	177' 4"
Eaves (E)	233' 10"
Flashing (F)*	80'
Step Flashing (SF)*	67' 1"
Transition Line (TL)	-

*Please view the 3D model for more detail (e.g. flashing, step flashing and some other roof lines may be difficult to see on the PDF)

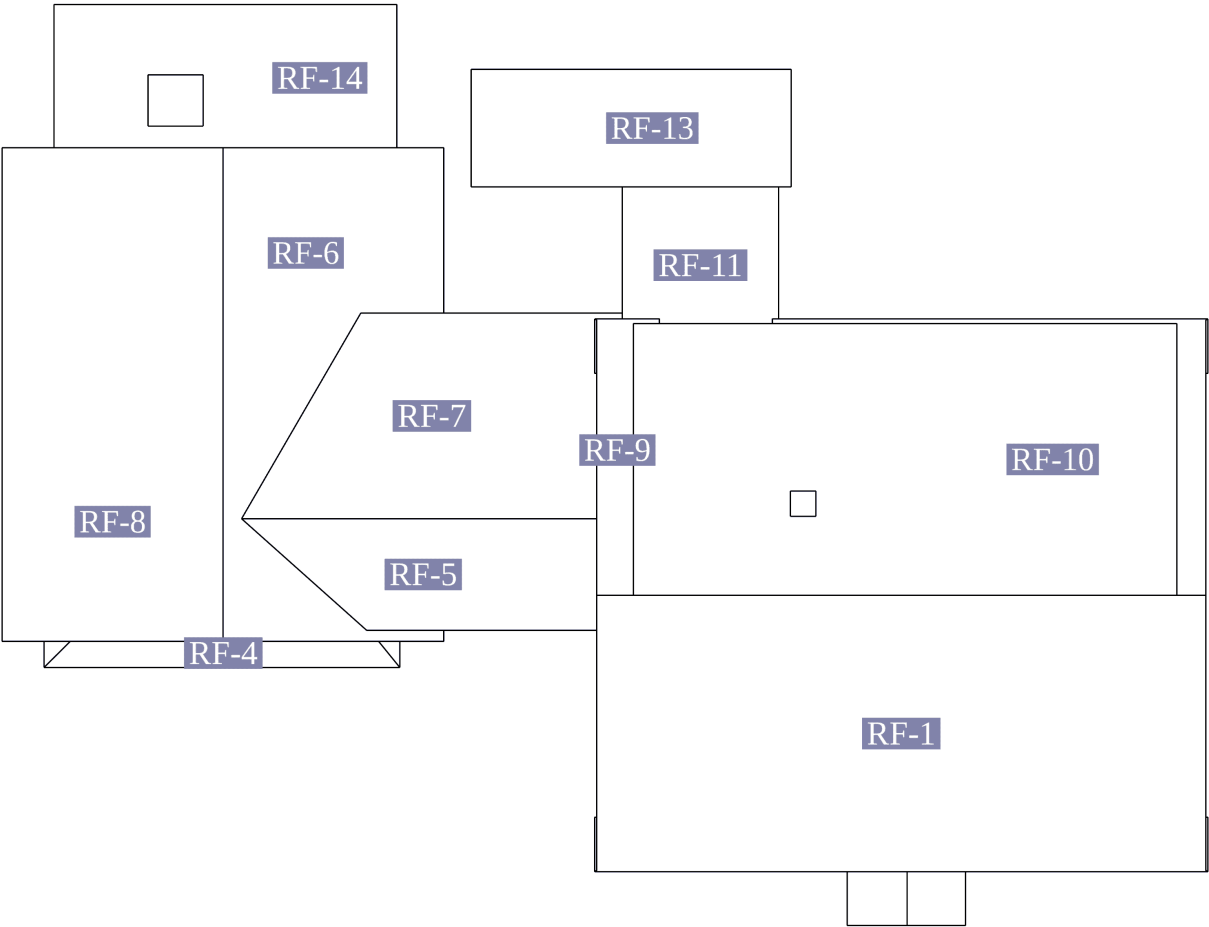


Complete Measurements

Roof Facets

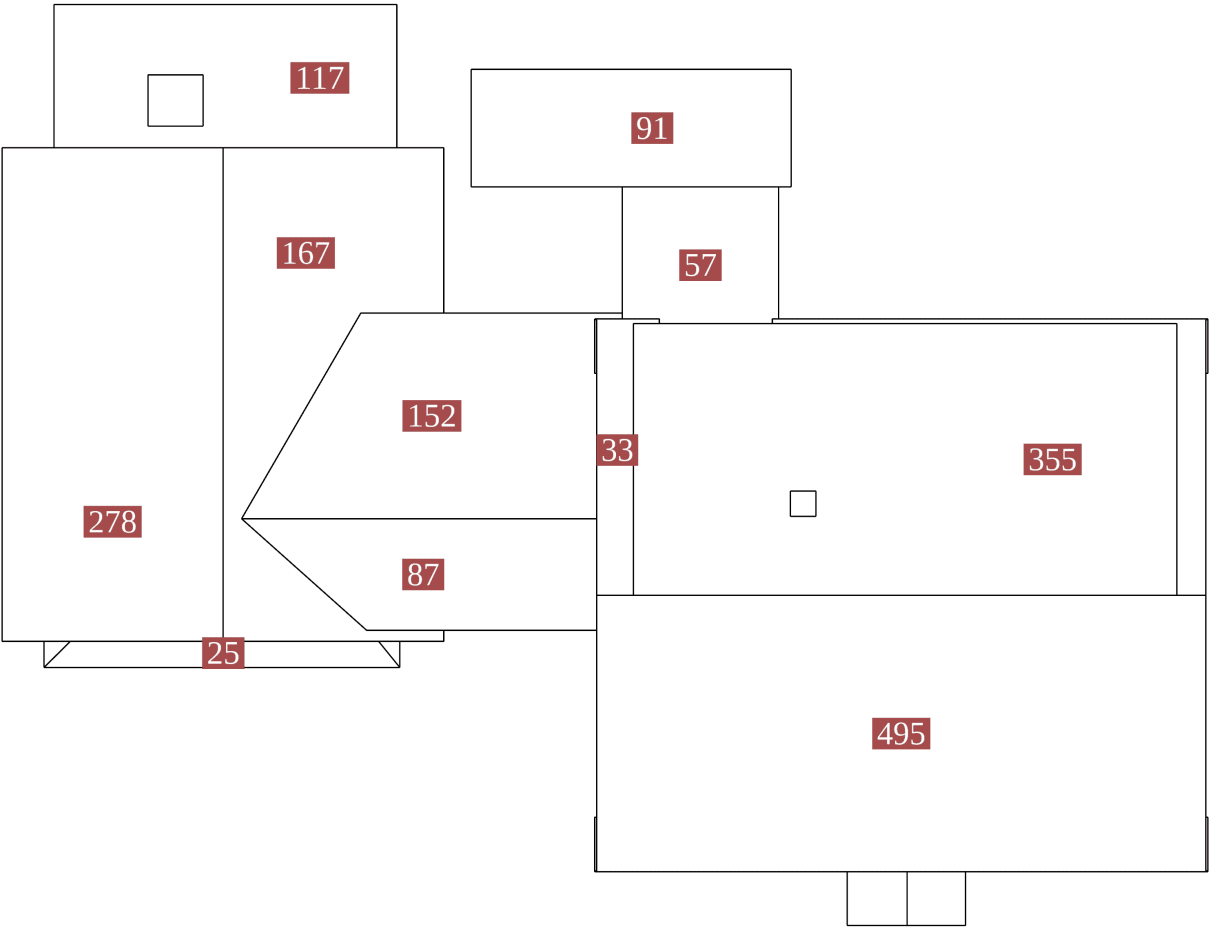
Facet	Area	Pitch
RF-1	495 ft ²	9/12
RF-2	10 ft ²	2/12
RF-3	10 ft ²	2/12
RF-4	25 ft ²	5/12
RF-5	87 ft ²	5/12
RF-6	167 ft ²	5/12
RF-7	152 ft ²	3/12
RF-8	278 ft ²	5/12
RF-9	33 ft ²	9/12
RF-10	355 ft ²	3/12
RF-11	57 ft ²	0/12
RF-12	54 ft ²	9/12
RF-13	91 ft ²	3/12
RF-14	117 ft ²	4/12
RF-15*	1 ft ²	6/12
RF-16*	1 ft ²	6/12
RF-17*	1 ft ²	6/12
RF-18*	1 ft ²	5/12

* Facet is not visible due to size or location, see **Small Facets** in summary table below.



Complete Measurements

Roof	Facets	Total
Labeled Facets	14	1931 ft ²
Small Facets	6	5 ft ²
Total	20	1936 ft ²



Complete Measurements

Roof Pitch	Area	Percentage
3 / 12	598 ft ²	30.89%
9 / 12	582 ft ²	30.06%
5 / 12	559 ft ²	28.87%
4 / 12	117 ft ²	6.04%
0 / 12	57 ft ²	2.94%
2 / 12	20 ft ²	1.03%
6 / 12	3 ft ²	0.15%

