

PROVIDENCE
REVOLVING FUND

SPECIFICATIONS FOR

65 Cumberland St,
Providence, Rhode Island

- 1 North Elevation
- 2 West Elevation
- 3 East Elevation
- 4 Southeast Elevation
- 5 South Elevation
- 6 South Elevation

372 West Fountain Street
Providence, Rhode Island
(401) 272-2760
E-mail: dumont@revolvingfund.org



Install replacement windows in all existing openings, remove and replace interior and exterior trim

**PROVIDENCE
REVOLVING
FUND**

372 West Fountain St.,
Providence, RI 02903
(401) 272-2760

Notes:

Scale: N/A

Drawn: MD

Date: 7/30/2026

Check:

Revisions:

65 CUMBERLAND
ST, PROVIDENCE,
RI

NORTH
ELEVATION



Columns:

- Repair defective cap or base prior to cleaning
- Clean out old material between top of column cap and bottom column cap
- Apply sealant
- Bridge all gaps between column and beam wrap
- Add weep hole gaps, left uncaulked (for moisture to escape)
- After 48hr cure time, apply 1 coat of paint to shaft, top, and lower column caps

Porch Header Trim (Beam Wrap)

- Replace missing aluminum trim
- Match to existing coil color
- Fasten using color matched stainless steel trim nails or trim screws driven into solid wood header beam

PROVIDENCE REVOLVING FUND 372 West Fountain St., Providence, RI 02903 (401) 272-2760
Notes:
Scale: N/A
Drawn: MD
Date: 7/30/2026
Check:
Revisions:
65 CUMBERLAND ST, PROVIDENCE, RI
WEST ELEVATION



Install replacement windows in existing openings, remove and replace interior and exterior trim

**PROVIDENCE
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FUND**

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Providence, RI 02903
(401) 272-2760

Notes:

Scale: N/A

Drawn: MD

Date: 7/30/2026

Check:

Revisions:

65 CUMBERLAND
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**EAST
ELEVATION**



Install replacement windows in existing openings, remove and replace interior and exterior trim

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Check:

Revisions:

65 CUMBERLAND
ST, PROVIDENCE,
RI

**SOUTHEAST
ELEVATION**



Install replacement windows in existing openings, remove and replace interior and exterior trim

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Notes:
Scale: N/A
Drawn: MD
Date: 7/30/2026
Check:
Revisions:
65 CUMBERLAND ST, PROVIDENCE, RI
SOUTH ELEVATION



Install replacement windows in existing openings, remove and replace interior and exterior trim

PROVIDENCE REVOLVING FUND 372 West Fountain St., Providence, RI 02903 (401) 272-2760
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Check:
Revisions:
65 CUMBERLAND ST, PROVIDENCE, RI
SOUTH ELEVATION

PROVIDENCE REVOLVING FUND

Contractor Bid Form

65 Cumberland St, Providence, RI

By submitting this bid, the contractor attests that they will be available to begin work within 30 days of the bid due date.

ITEM	COST
<u>GENERAL REQUIREMENTS:</u> Contractor shall be responsible for obtaining any necessary permits for any and all work as is required by local and national and local code or jurisdiction requirements. Contractor shall also be responsible for any necessary drawings that may be required to obtain permits. Contractor shall be responsible for any required submittal to local authorities. Contractor shall be responsible for maintaining copies of any required permits at the job - site, and to supply Consultant copies of as requested. Contractor shall be responsible for supplying any bonds, insurance cert's, sub - contractor licenses, EPA licenses, specialty licenses to building departments and consultant. All documents shall be delivered in a timely fashion. Contractor shall apply for permits as soon as possible.	\$
<u>REPLACEMENT WINDOWS (11):</u> Install new replacement windows in existing openings. Windows shall be; new white vinyl thermal pane, double hung, with Low E366 glass, with Argon filled vapor barrier, with welded corners (no mechanical fasteners), with half screens. Work shall include but not be limited to; windows shall be properly shimmed, caulked, insulated, secured into the framed opening for proper operation, interior/exterior wood trim removed and replaced, pre-finished aluminum cladding on exterior trim. Contractor shall install windows in accordance with manufacturer's instructions. (WINDOWS 208-222 ON REFERENCE DESIGN FORMS. WINDOW ALLOWANCE \$450.00 - WINDOWS TO BE CHOSEN FROM SELECTION PROVIDED)	\$
<u>PORCH HEADER TRIM (BEAM WRAP):</u> Contractor shall replace missing aluminum trim on porch header. Aluminum trim coil to match existing coil color. Replacement must be tucked securely underneath the upper drip edge/trim and extend down to meet the top of the column capitals. Fasten using color matched stainless steel trim nails or trim screws driven into the solid wood header beam.	\$
<u>COLUMN REPAIR (4):</u> Contractor to repair any defective column cap or base prior to cleaning. Contractor to clean out all old material between the top of the column cap as well as the bottom column cap. Apply a thick continuous bead of a UV- stabilized, paintable marine sealant. Bridge all gaps between column and beam wrap. Contractor to add weep holes' gaps (1/4-inch-wide) left uncaulked on the backside or lowest drainage point of the base column. Contractor to allow 48hrs of cure time, then applying 1 coat of paint (EXTERIOR SEMI GLOSS PAINT) to column shaft and top and lower caps. (DO NOT CAULK 100% CONTINOUS CIRCLE AROUND THE BOTTOM AS MOISTURE MUST HAVE A WAY TO ESCAPE)	\$
<u>DEMOLITION: BATHROOM</u> Contractor shall demo bathroom tub and tub surround down to studs.	\$
<u>BATHROOM:</u> Contractor shall furnish and install a fiberglass tub surround in bathroom. Contractor shall make sure surround is secure and level. Surround shall properly interface with drywall and tub. All perimeter areas shall be caulked. Bathtubs: Contractor shall furnish and install in Cast Fiberglass bath-tubs in bathroom. Product and finish to be selected by owner. Contractor shall verify proper sealant of all plumbing joints once unit has been run. Tub shall be properly secured in place and level with proper fall for drainage. Contractor shall make sure a plumbing access panel is in place for maintenance and repairs to plumbing. Tub shall be caulked (ALLOWANCE \$1,000.00)	\$

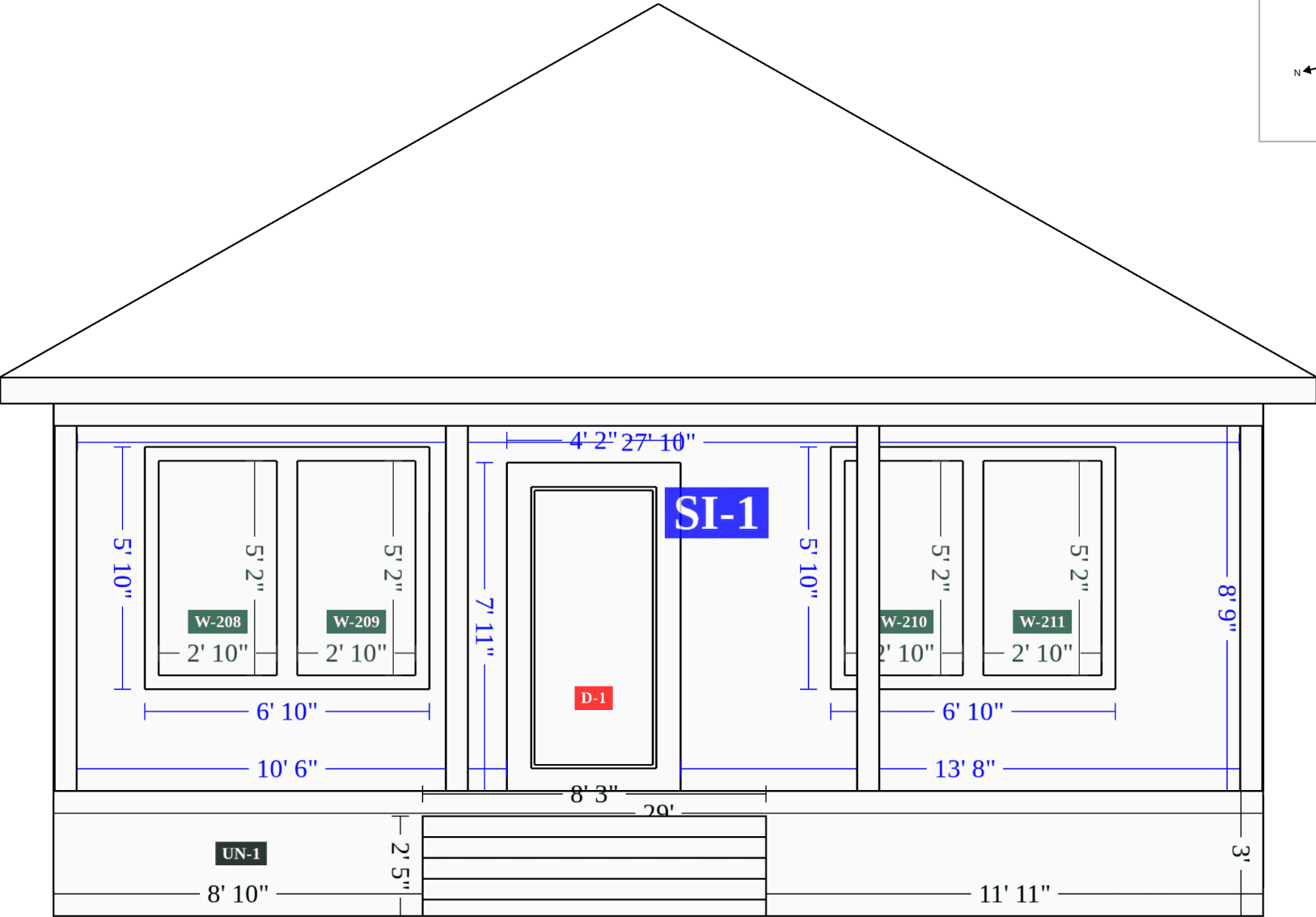
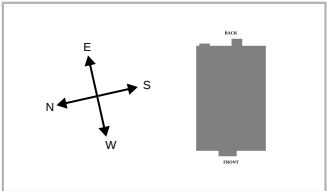
TUB /SHOWER FAUCET: Contractor shall furnish and install new tub / shower faucet as selected by owner. Faucet and fittings shall be installed in bathtub where missing or damaged. Work shall include any necessary plumbing for a complete installation. Exposed hardware shall be caulked. (ALLOWANCE \$180.00)	\$
TOTAL:	\$

All work shall be completed in a Good Workmanship Like Fashion, and within industry standards. All work shall be in accordance with national and local code requirements. All material and labor shall be warranted. All dimensions, aerial measurements, drawings and square footage estimates provided by PRF, are for general references, scoping, and budgetary guidance purpose only. PRF does not guarantee the absolute accuracy or field readiness of these preliminary metrics. Contractor bears sole and absolute responsibility for performing their own comprehensive on-site field measurements and final physical verifications prior to ordering, fabricating, or purchasing any project material.

Contractor: _____

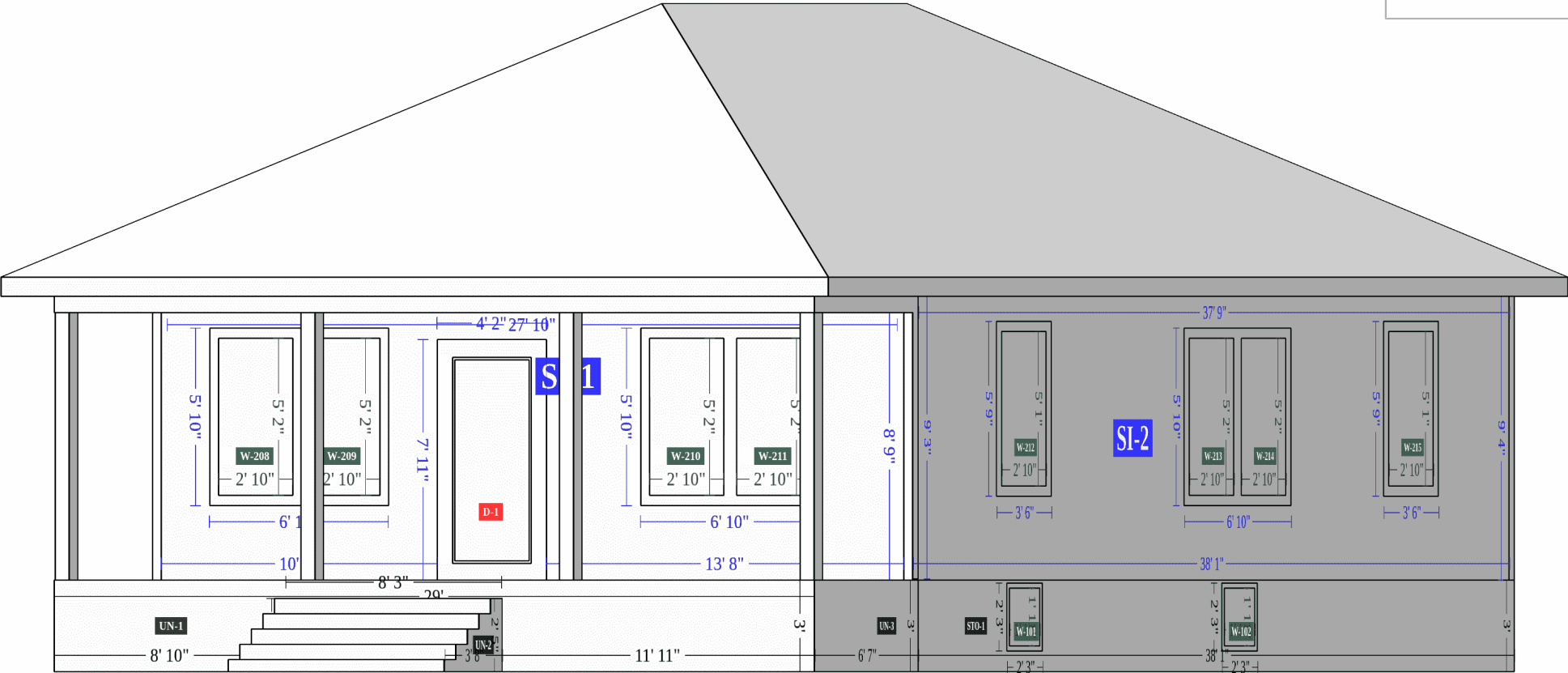
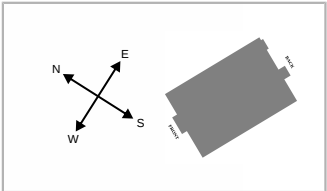
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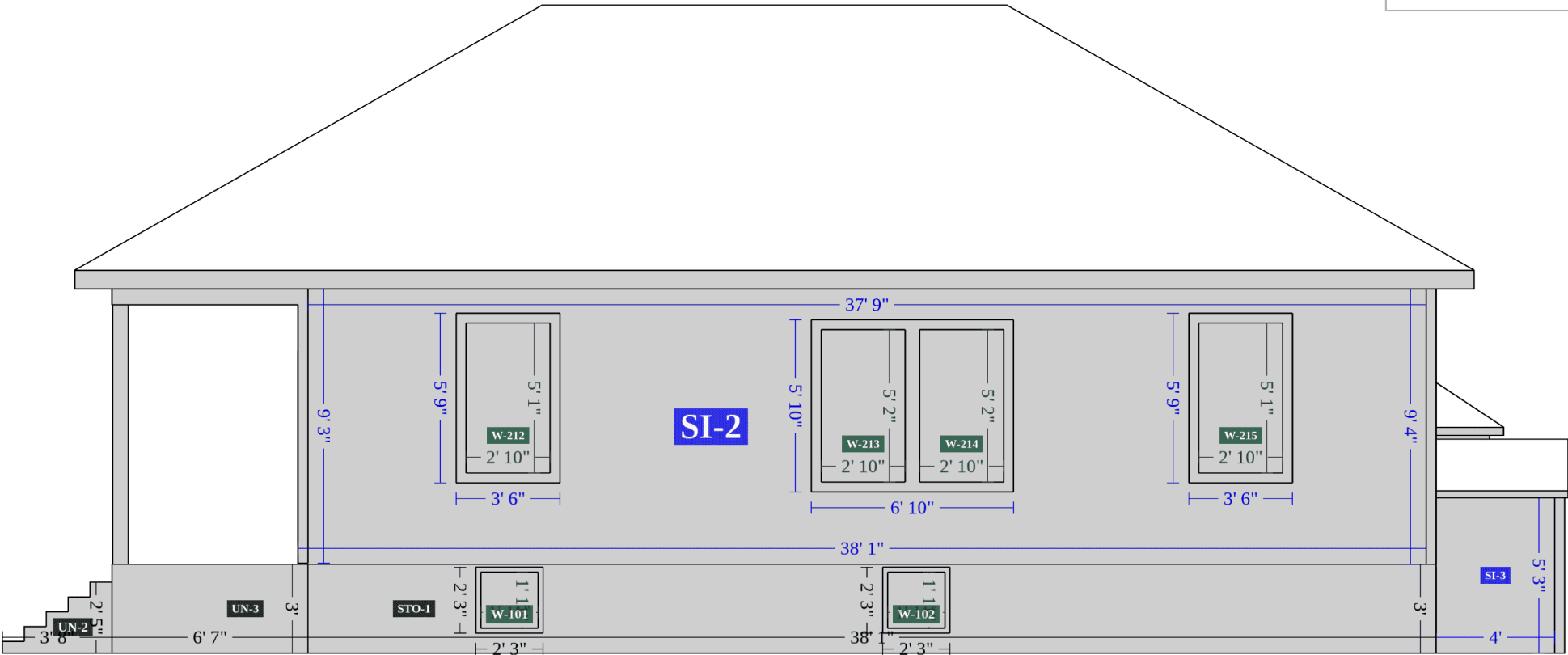
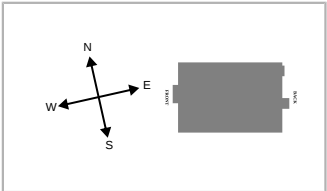
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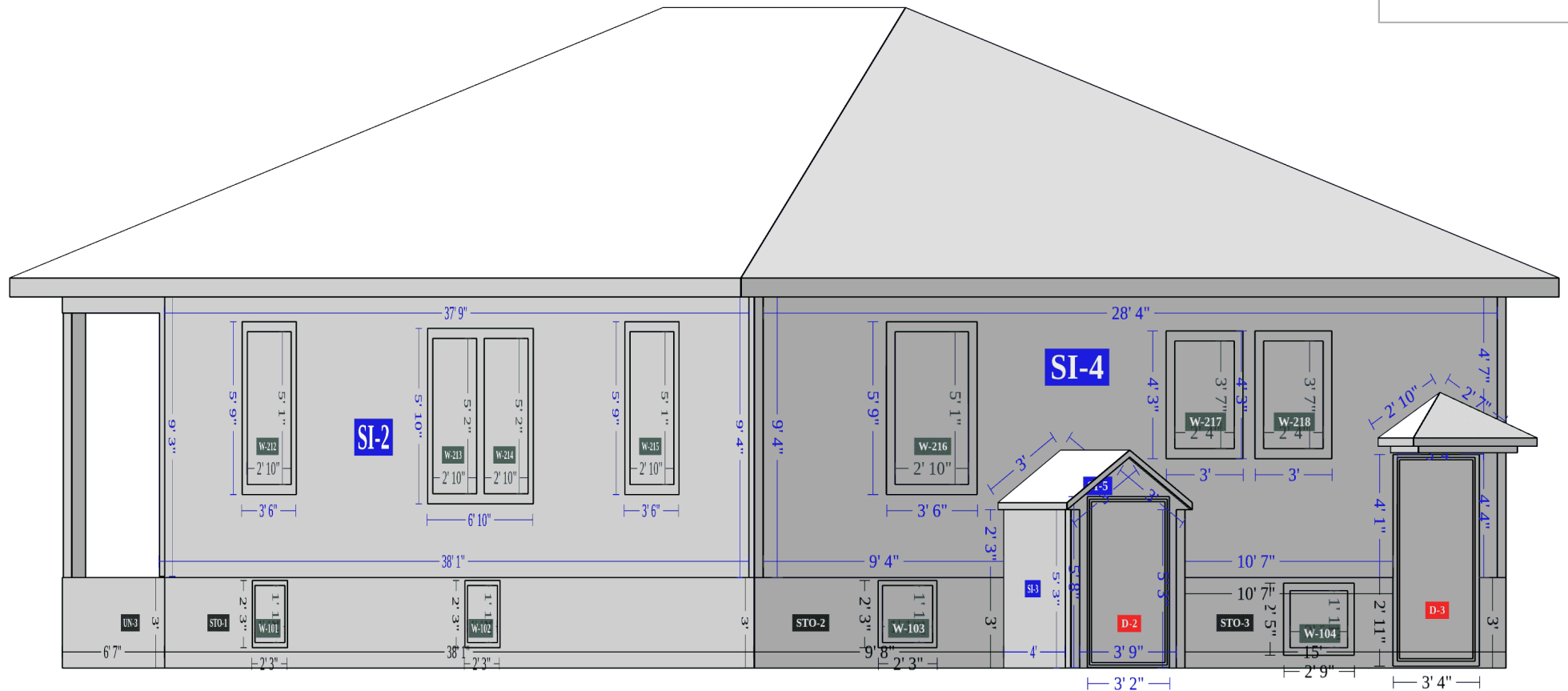
Complete Measurements

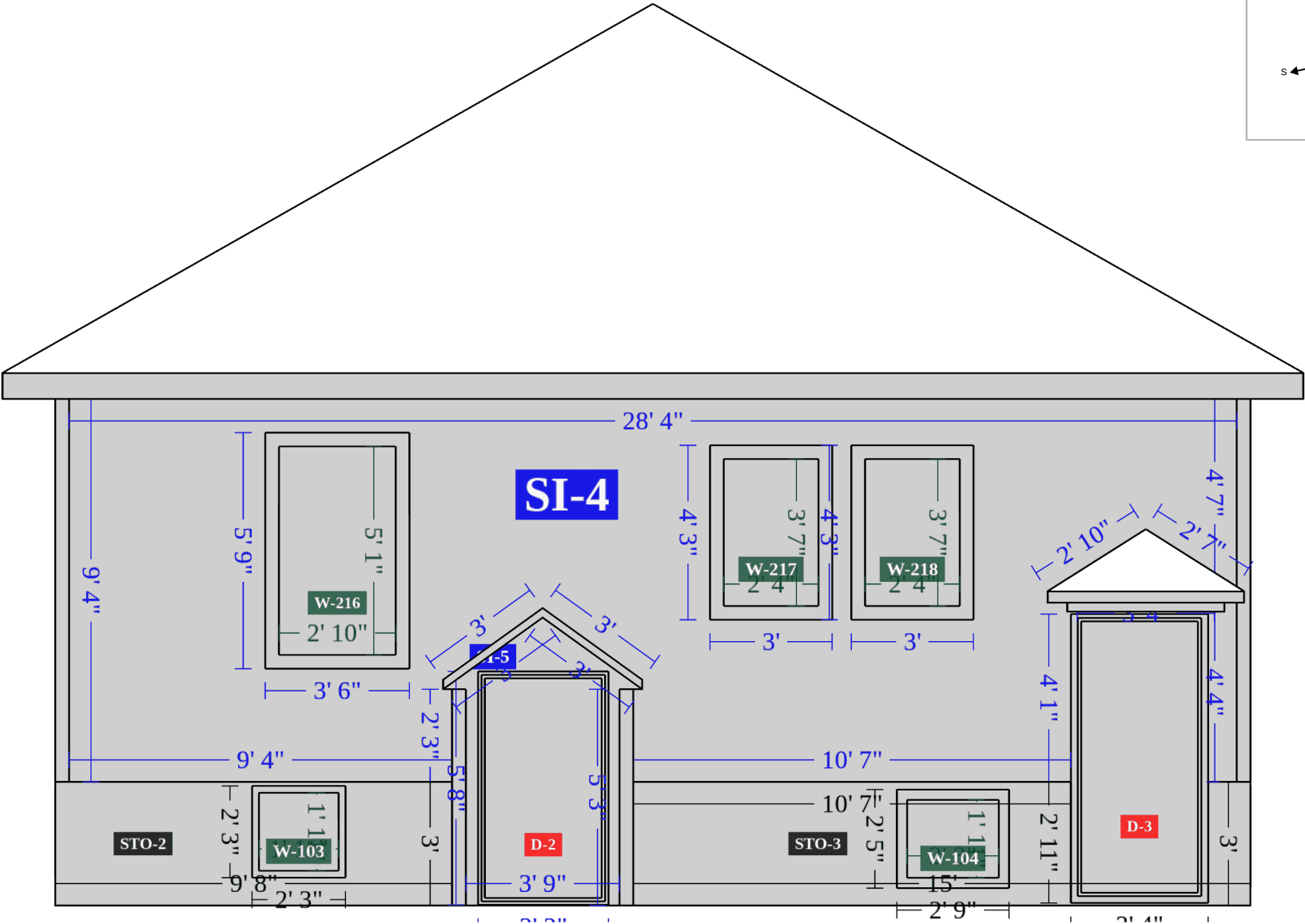
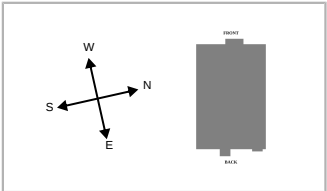
65 Cumberland, Providence, RI
FRONT-RIGHT





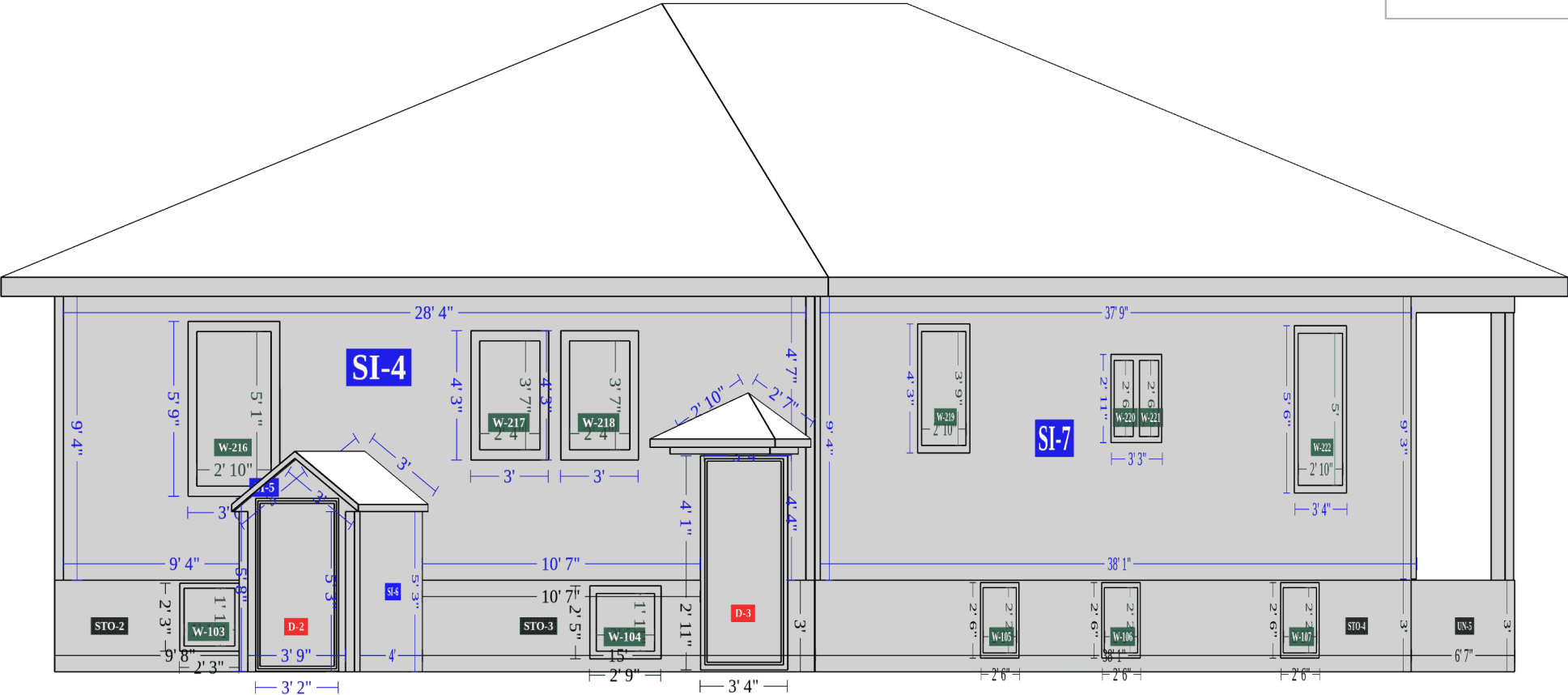
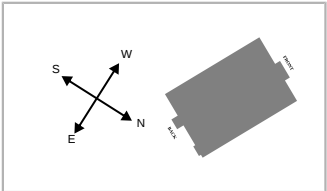
65 Cumberland, Providence, RI
RIGHT-BACK





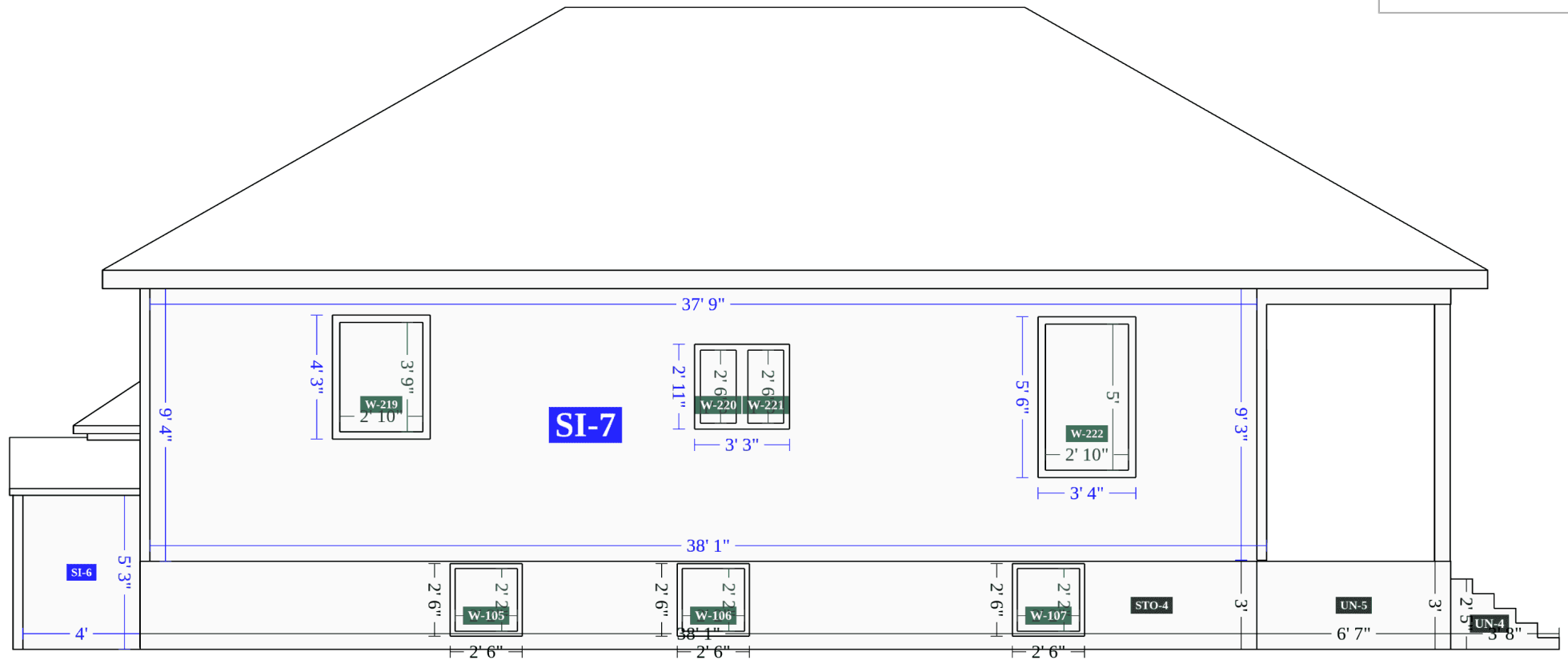
Complete Measurements

65 Cumberland, Providence, RI
BACK-LEFT



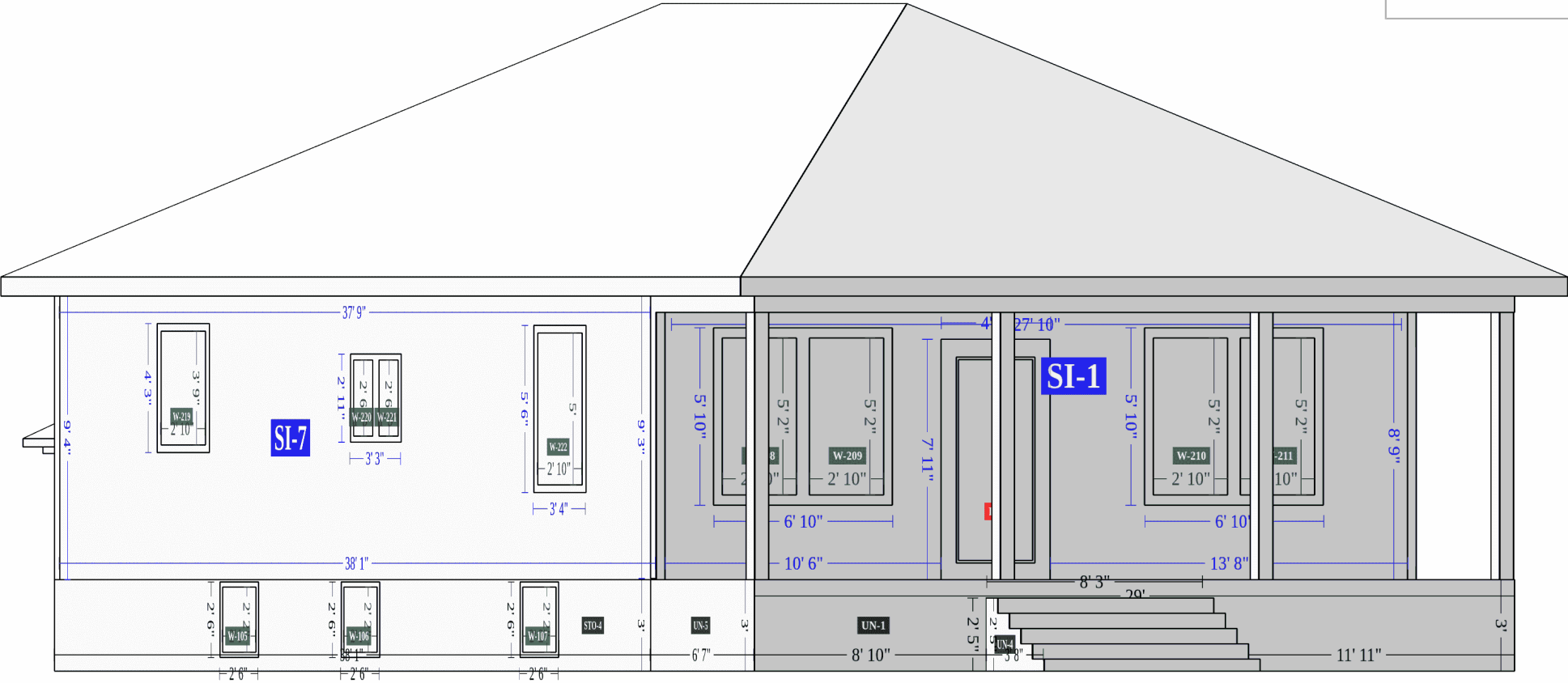
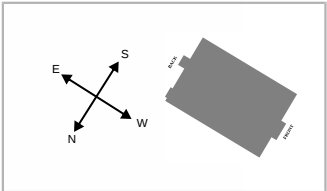
65 Cumberland, Providence, RI
LEFT

A diagram showing a rectangular block with a coordinate system. The vertical axis is labeled 'S' at the top and 'N' at the bottom. The horizontal axis is labeled 'E' on the left and 'W' on the right. A magnetic field vector $\vec{B}$ is shown pointing from the left towards the block. The block has a small rectangular protrusion on its left side and a small rectangular indentation on its right side.



Complete Measurements

65 Cumberland, Providence, RI
LEFT-FRONT



Complete Measurements

Windows

Group	Group Width x Height	Group United Inches	Opening	Width x Height	United Inches	Area
WG-1	23" x 23"	46"	W-101	23" x 23"	46"	4 ft²
WG-2	23" x 23"	46"	W-102	23" x 23"	46"	4 ft²
WG-3	23" x 23"	46"	W-103	23" x 23"	46"	4 ft²
WG-4	27" x 23"	49"	W-104	27" x 23"	49"	4 ft²
WG-5	26" x 26"	51"	W-105	26" x 26"	51"	5 ft²
WG-6	26" x 26"	51"	W-106	26" x 26"	51"	5 ft²
WG-7	26" x 26"	51"	W-107	26" x 26"	51"	5 ft²
WG-8	74" x 62"	136"	W-208	34" x 62"	96"	15 ft²
			W-209	34" x 62"	96"	15 ft²
WG-9	74" x 62"	136"	W-210	34" x 62"	96"	15 ft²
			W-211	34" x 62"	96"	15 ft²
WG-10	34" x 61"	95"	W-212	34" x 61"	95"	14 ft²
WG-11	74" x 62"	136"	W-213	34" x 62"	96"	15 ft²
			W-214	34" x 62"	96"	15 ft²
WG-12	34" x 61"	95"	W-215	34" x 61"	95"	14 ft²
WG-13	34" x 61"	95"	W-216	34" x 61"	95"	14 ft²
WG-14	28" x 43"	70"	W-217	28" x 43"	70"	8 ft²
WG-15	28" x 43"	70"	W-218	28" x 43"	70"	8 ft²

Windows (cont.)

Group	Group Width x Height	Group United Inches	Opening	Width x Height	United Inches	Area
WG-16	34" x 45"	79"	W-219	34" x 45"	79"	11 ft ²
WG-17	34" x 30"	64"	W-220	15" x 30"	45"	3 ft ²
			W-221	15" x 30"	45"	3 ft ²
WG-18	34" x 60"	94"	W-222	34" x 60"	94"	14 ft ²
			Total	-	1602"	210 ft ²