

PROVIDENCE REVOLVING FUND
UPDATED Contractor Bid Form
384 Montgomery Ave, Cranston, RI

By submitting this bid, the contractor attests that they will be available to begin work within 30 days of the bid due date.

ITEM	COST
<u>GENERAL REQUIREMENTS:</u> Contractor shall be responsible for obtaining any necessary permits for any and all work as is required by local and national and local code or jurisdiction requirements. Contractor shall also be responsible for any necessary drawings that may be required to obtain permits. Contractor shall be responsible for any required submittal to local authorities. Contractor shall be responsible for maintaining copies of any required permits at the job - site, and to supply Consultant copies of as requested. Contractor shall be responsible for supplying any bonds, insurance cert's, sub - contractor licenses, EPA licenses, specialty licenses to building departments and consultant. All documents shall be delivered in a timely fashion. Contractor shall apply for permits as soon as possible.	\$
<u>REPLACEMENT WINDOWS (13 REG WINDOWS) (7 BASEMENT WINDOWS):</u> Install new replacement windows in existing openings. Windows shall be; new white vinyl thermal pane, double hung, with Low E366 glass, with Argon filled vapor barrier, with welded corners (no mechanical fasteners), with half screens. Work shall include but not be limited to; windows shall be properly shimmed, caulked, insulated, secured into the framed opening for proper operation, interior/exterior wood trim removed and replaced, pre-finished aluminum cladding on exterior trim. Contractor shall install windows in accordance with manufacturer's instructions. (WINDOW ALLOWANCE \$330.00) (BASEMENT WINDOW ALLOWANCE \$225.00)	\$
<u>VINYL FENCING:</u> Fence Style & Material: Material Heavy-duty commercial-grade virgin PVC/Vinyl privacy fence (tongue-and-groove vertical pickets, steel-reinforced bottom rails, UV inhibited). Fence Height 6 Feet (72 Inches) above finished grade — Maximum allowable height per City of Cranston) Post Specifications 5" x 5" Heavy-duty routed vinyl posts. All posts must feature decorative post caps (Pyramid, New England, or Gothic). Post Cap Requirement 100% of fence posts must be capped with matching decorative vinyl caps. Front Access Gates Two (2) walk-through gates installed in the front section (one on the Left side, one on the Right side). Standard 4-ft width, full 6-ft height matching fence design. Rear Utility Gate One (2) utility/access gate positioned along the rear property line across the survey boundary to ensure neighbor access to the municipal sewer line/easement. Gate Hardware (3) Stainless steel / powder-coated black heavy-duty self-closing hinges, key-locking double-sided thumb latches, internal aluminum post stiffeners, and ground drop rods. Post Foundations Concrete footings poured to a minimum depth of 36 to 42 inches (below Rhode Island frost depth). Gate posts reinforced with aluminum/steel inserts. Survey Compliance: Set all fence lines, post footings, and gate openings strictly in according with the supplied property survey across all 3 lots.	\$

Utility Clearance: Contact Dig Safe at least 72 hours prior to excavation. Identify and protect all underground public and private utility lines. Sewer Easement Provision: Verify positioning of rear sewer access gate with owner/survey to ensure unhindered utility/neighbor access. Site Cleanup & Disposal: Remove and properly dispose of all soil excavation spoils, packaging, cutoffs, and job site debris. Leave property in broom-clean condition.	CONTINUATION FROM PREVIOUS PAGE
<u>DECKS:</u> Inspect all deck boards, joists, and structural framing. Mark any boards displaying dry rot, soft spots, severe cracking, cupping, or structural integrity failure. Carefully back out existing screws or pull nails without damaging adjacent sound decking or underlying framing joists. Examine underlying support joists once rotted boards are removed. Apply wood preserver/sealer to exposed joist tops. If minor joist rot is found, sister new pressure-treated material prior to board replacement. Install new Pressure-Treated (PT) pine decking boards matching the exact width, thickness and gap spacing of the existing structure. Secure using exterior-stainless steel deck screws (flush/countersunk). Contractor to hand-scrape 100% of the deck surface using carbide scrapers to remove all loose, peeling, flaking, or failed paint down to bare, sound wood. Power sand (60-80 grit) all transition edges between remaining sound paint and bare wood to create a smooth, feathered profile and prevent edge lifting. Apply an exterior deck cleaner/wood brightener to remove ground-in dirt, mildew stains, and wood graying. Scrub with a stiff-bristle brush. Thoroughly power wash / pressure rinse the deck surface (k. Prime Coat (Bare Wood) Apply 1 full coat of high-adhesion exterior oil-based or acrylic bonding primer to all exposed bare wood and newly replaced PT boards. First Finish Coat (Coat 1) Apply 1 full coat of exterior solid color acrylic deck stain or heavy-duty elastomeric deck coating. Back-brush into all board gaps and wood grain. Second Finish Coat (Coat 2) Apply 1 full coat following recommended recoat drying windows (min. 4–6 hours). Ensures uniform film build, color, and maximum foot-traffic durability.	\$
<u>PORCH CEILING REPAIR:</u> Remove all existing water-damaged, sagging, or rotted ceiling boards (tongue-and-groove/beadboard) and perimeter trim to fully expose the deck joists above. Inspect overhead floor/deck joists, ledger boards, and band joists for moisture intrusion or dry rot. Remove soft wood and sister affected joists using pressure-treated framing lumber. Ensure all remaining or new framing is structurally sound, and level. Confirm water intrusion from the deck surface above has been addressed before enclosing. Install a commercial-grade, breathable weather-resistive barrier (e.g., Tyvek HomeWrap, commercial housewrap) or a self-adhering waterproof underlayment membrane over framing. Fasten membrane flat against the joist undersides, overlapping all horizontal seams by a minimum of 6 inches and vertical seams by 12 inches. Tape all joints and perimeter edges using high-tack flashing tape. Attach 1x3 pressure-treated furring strips perpendicular to deck joists over the weather barrier. This creates an essential air/drainage gap preventing trapped moisture against the new soffit. Materials: Solid/Vented Vinyl Soffit panels, Aluminum Soffit, or designed for exterior ceiling applications. (J-Channel) Install matching J-channel or receiving molding along all exterior	\$
<u>DEMO:</u> Contractor shall demo existing walls leaving framing in place and prep for new drywall. Work shall include the following; removal of wall and ceiling drywall, prep all areas for framing repair and	\$

drywall, repair of any damaged areas where removed, removal of all debris from the job-site. All debris from demo shall be properly stored on site in debris collection container until emptied Contractor shall remove all existing finished flooring materials. Work shall include; removal of existing flooring materials, clean and prep area where removed for new flooring, repair any areas damaged from demo, removal of all debris from the job-site as necessary. Contractor shall prep flooring surfaces for new finish materials.	CONTINUATION FROM PREVIOUS PAGE
<u>PLUMBING (Main bathroom):</u> Contractor shall repair the existing plumbing system to be in good working condition, and without defects. Work shall include; Repair any loose or bad plumbing connections, replace any defective fixture device shut-off valves Replace any leaking supply lines, Replace any leaking waste lines, Repair leak from 2nd floor tub. Contractor shall remove the old toilet and install new toilet in existing or new areas, and in designated areas on any drawings. Each fixture shall have its own shut off valve at the fixtures. Contractor shall make sure installation is level, and properly secure to the floor. Contractor shall install with new wax ring Contractor shall test all units work properly, with no leaks. Contractor shall caulk the base of the toilet to the tile floor after proper operation is confirmed. Contractor shall furnish and install a fiberglass tub surround in bathroom. Contractor shall make sure surround is secure and level. Surround shall properly interface with drywall and tub. All perimeter areas shall be caulked. Contractor shall furnish and install in Fiberglass bath-tub. Contractor shall verify proper sealant of all plumbing joints once unit has been run. Tub shall be properly secured in place and level with proper fall for drainage. Contractor shall make sure a plumbing access panel is in place for maintenance and repairs to plumbing. Tub shall be caulked. Contractor shall furnish and install new tub / shower faucet. Faucet and fittings shall be installed in bathtub where missing or damaged. Work shall include any necessary plumbing for a complete installation. Exposed hardware shall be caulked. Contractor shall furnish and install new bathroom sink/counter combination unit. Sink/top combo shall be a minimum of medium grade product. Contractor shall install with all necessary accessories and sink/top shall be firmly secure to cabinet and sealed with caulk to wall. Contractor shall furnish and install new faucet in bathroom sinks or area designated on any drawings. Work shall include any necessary plumbing for a complete installation. Faucet shall have fixture shut-off valves installed below sink. Contractor shall furnish and install new bathroom exhaust fan. All new and renovated bathrooms shall receive a minimum of (1) exhaust fan. All exhaust fans shall be ducted to the exterior with proper supports. Contractor shall properly secure exhaust fan to the structure and shall properly interface with the finished ceilings. Contractor shall repair electrical wiring only (In bathroom if needed after demo), which shall include; Installing GFCI's in all wet areas (quantity of 1) Replacing any missing/defective switch/outlets (quantity of 2) Replace any defective switch/outlet cover plated (quantity of 2) Secure any loose wires in proper enclosed j-box, Cover any open j-box, Replace ungrounded 3-prong outlets with 2-pro Repair any defective wiring in the bathroom walls. Contractor shall furnish and install electrical fixture in bathroom (1)	\$

PLUMBING WASTE: Contractor shall remove all damaged waste systems and replace with new PVC system. Work shall include but not be limited to; new waste lines to all new and existing fixtures and devices. Line size shall be determined by a licensed plumber in accordance with national and local code and jurisdictional requirements.	\$
BATHROOM SINK REPLACEMENT (2ND FL): Contractor shall furnish and install new bathroom sink/counter combination unit. Sink/top combo shall be a minimum of medium grade product. Contractor shall install with all necessary accessories and sink/top shall be firmly secure to cabinet and sealed with caulk to wall. Contractor shall furnish and install new faucet in bathroom sinks or area designated on any drawings. Work shall include any necessary plumbing for a complete installation. Faucet shall have fixture shut-off valves installed below sink. (ALLOWANCE \$225.00)	\$
REAR PORCH REPLACEMENT: Contractor shall remove and dispose of existing wood stair structure in its entirety (stringers, treads, risers, posts and railings). Inspect and repair/replace landing pad. Construct new stair stringers, treads, and risers. Install 2 support posts set on concrete footings. Install continuous graspable handrail on house side. Install guard with handrail on driveway side. All fasteners, hardware, and connectors included. All structure and framing lumber to be PT.	\$
TOTAL:	\$

All work shall be completed in a Good Workmanship Like Fashion, and within industry standards. All work shall be in accordance with national and local code requirements. All material and labor shall be warranted. All dimensions, aerial measurements, drawings and square footage estimates provided by PRF, are for general references, scoping, and budgetary guidance purpose only. PRF does not guarantee the absolute accuracy or field readiness of these preliminary metrics. Contractor bears sole and absolute responsibility for performing their own comprehensive on-site field measurements and final physical verifications prior to ordering, fabricating, or purchasing any project material.

Contractor: _____

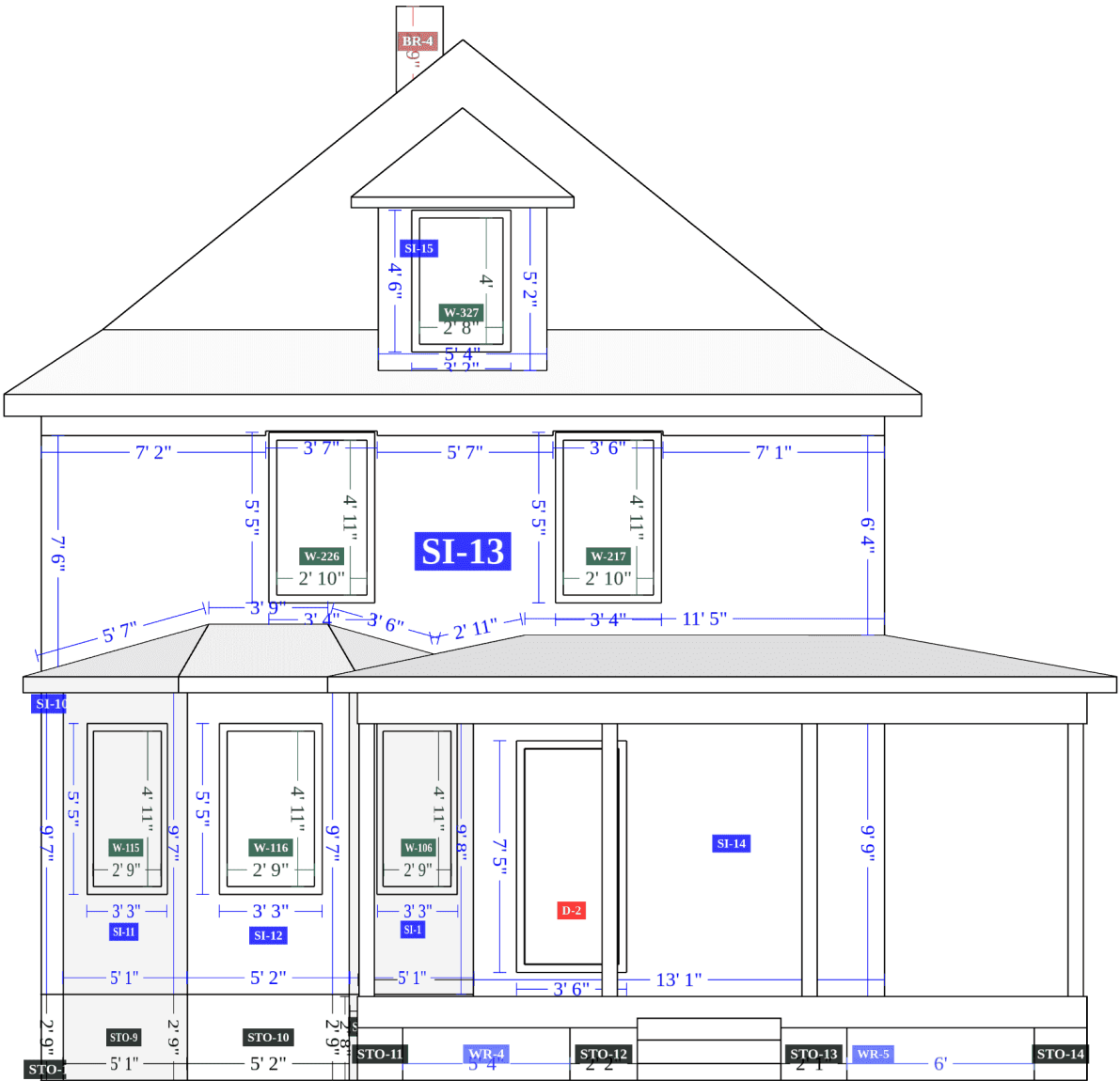
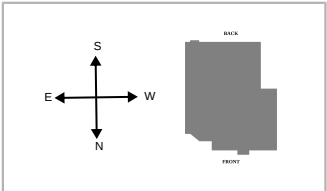
Date: _____

License No: _____



Complete Measurements

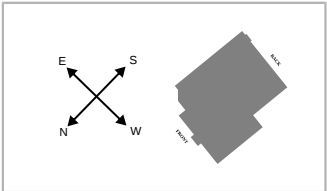
384 Montgomery Ave. , Cranston, RI
FRONT





Complete Measurements

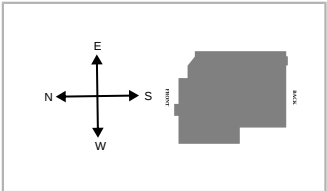
384 Montgomery Ave. , Cranston, RI
FRONT-RIGHT





Complete Measurements

384 Montgomery Ave. , Cranston, RI
RIGHT



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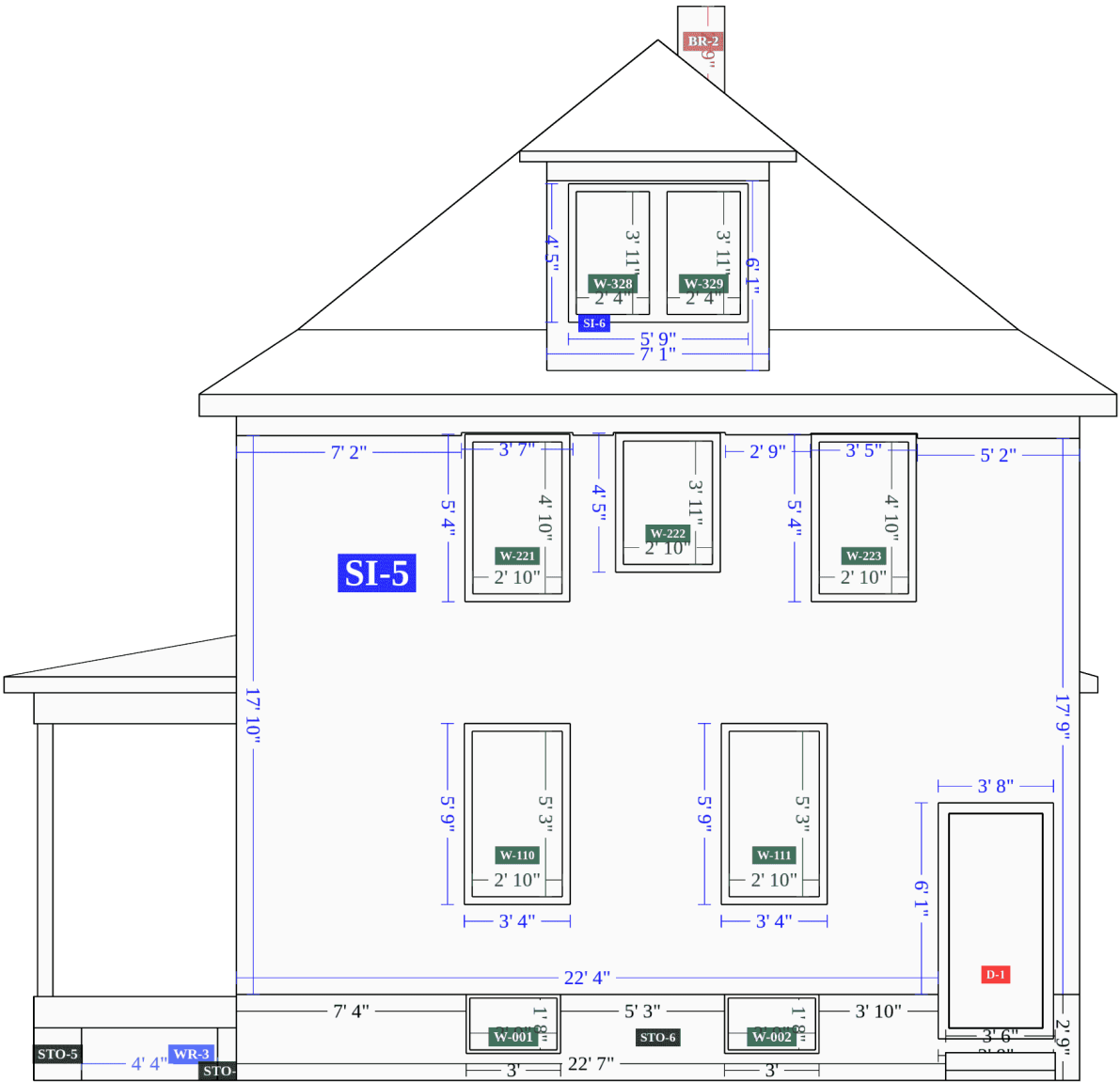
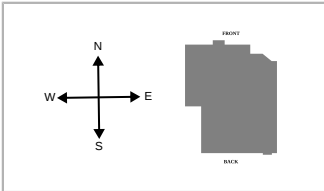
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PROPERTY ID: 22982918
MODEL ID: 23051333
384 MONTGOMERY
27 JUL 2026
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Complete Measurements

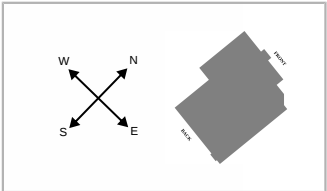
384 Montgomery Ave. , Cranston, RI
BACK





Complete Measurements

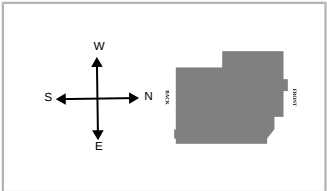
384 Montgomery Ave. , Cranston, RI
BACK-LEFT





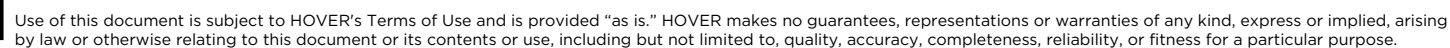
Complete Measurements

384 Montgomery Ave. , Cranston, RI
LEFT





LEFT-FRONT



PROPERTY ID: 22982918
MODEL ID: 23051333
384 MONTGOMERY
27 JUL 2026
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Windows

Group	Group Width x Height	Group United Inches	Opening	Width x Height	United Inches	Area
WG-1	33" x 20"	53"	W-001	33" x 20"	53"	5 ft ²
WG-2	33" x 20"	53"	W-002	33" x 20"	53"	5 ft ²
WG-3	35" x 19"	54"	W-003	35" x 19"	54"	5 ft ²
WG-4	35" x 19"	54"	W-004	35" x 19"	54"	5 ft ²
WG-5	35" x 19"	54"	W-005	35" x 19"	54"	5 ft ²
WG-6	33" x 59"	93"	W-106	33" x 59"	93"	14 ft ²
WG-7	34" x 63"	98"	W-107	34" x 63"	98"	15 ft ²
WG-8	34" x 63"	98"	W-108	34" x 63"	98"	15 ft ²
WG-9	34" x 63"	98"	W-109	34" x 63"	98"	15 ft ²
WG-10	34" x 63"	98"	W-110	34" x 63"	98"	15 ft ²
WG-11	34" x 63"	98"	W-111	34" x 63"	98"	15 ft ²
WG-12	42" x 63"	105"	W-112	42" x 63"	105"	18 ft ²
WG-13	42" x 63"	105"	W-113	42" x 63"	105"	18 ft ²
WG-14	42" x 63"	105"	W-114	42" x 63"	105"	18 ft ²
WG-15	33" x 59"	93"	W-115	33" x 59"	93"	14 ft ²
WG-16	33" x 59"	93"	W-116	33" x 59"	93"	14 ft ²
WG-17	34" x 59"	94"	W-217	34" x 59"	94"	14 ft ²
WG-18	34" x 59"	94"	W-218	34" x 59"	94"	14 ft ²





Windows (cont.)

Group	Group Width x Height	Group United Inches	Opening	Width x Height	United Inches	Area
WG-19	34" x 59"	94"	W-219	34" x 59"	94"	14 ft ²
WG-20	34" x 59"	94"	W-220	34" x 59"	94"	14 ft ²
WG-21	34" x 58"	92"	W-221	34" x 58"	92"	14 ft ²
WG-22	34" x 47"	81"	W-222	34" x 47"	81"	11 ft ²
WG-23	34" x 58"	92"	W-223	34" x 58"	92"	14 ft ²
WG-24	37" x 59"	95"	W-224	37" x 59"	95"	15 ft ²
WG-25	37" x 59"	95"	W-225	37" x 59"	95"	15 ft ²
WG-26	34" x 59"	94"	W-226	34" x 59"	94"	14 ft ²
WG-27	32" x 48"	80"	W-327	32" x 48"	80"	11 ft ²
WG-28	63" x 47"	110"	W-328	28" x 47"	75"	9 ft ²
			W-329	28" x 47"	75"	9 ft ²
			Total	-	2542"	366 ft ²

