

PROVIDENCE REVOLVING FUND**Contractor Bid Form****232 High St, Pawtucket, RI**

By submitting this bid, the contractor attests that they will be available to begin work within 30 days of the bid due date.

ITEM	COST
GENERAL REQUIREMENTS: Contractor shall be responsible for obtaining any necessary permits for any and all work as is required by local and national and local code or jurisdiction requirements. Contractor shall also be responsible for any necessary drawings that may be required to obtain permits. Contractor shall be responsible for any required submittal to local authorities. Contractor shall be responsible for maintaining copies of any required permits at the job - site, and to supply Consultant copies of as requested. Contractor shall be responsible for supplying any bonds, insurance cert's, sub - contractor licenses, EPA licenses, specialty licenses to building departments and consultant. All documents shall be delivered in a timely fashion. Contractor shall apply for permits as soon as possible.	\$
ROOF: Sections RF-1-3,5,6 Pitch: 6/12 Total Measured Area 1641 ft² Shingle System GAF Timberline HDZ Architectural Contractor shall: • Remove and dispose of existing shingles and underlayment • Replace damaged OSB (55 sheets) • Install new OSB sheathing where required • Install ice & shield; water shield at eaves and valleys • Install synthetic felt underlayment over remaining deck • Install GAF Timberline HDZ starter strip at eaves and rakes • Install GAF Timberline HDZ shingles per manufacturer specs • Install ridge cap shingles at all ridges • Flash all penetrations, walls, and valleys • Install drip edge at eaves (under felt) and rakes (over felt) • Final inspection and cleanup Roof Section RF-4 Roof Area (measured) 105 ft² Pitch 2/12 (Low Slope) Roofing System EPDM (Rubber) Membrane Contractor shall: • Remove and dispose of existing roofing material down to deck • Replace any damaged OSB decking (4 sheets) • Install new OSB sheathing where required • Install EPDM membrane with full adhesion or mechanically fastened system • Install all perimeter metal edging and termination bars • Flash all penetrations with EPDM boots • Verify and ensure positive drainage to scuppers or drains • Final inspection and cleanup	\$
GUTTERS & DOWNSPOUTS: Contractor shall furnish and install new 5" aluminum pre-finished seamless gutters and downspouts. System shall be properly aligned for correct drainage of the roof dewatering system. Gutters and downspouts shall be properly secured to fascia and exterior walls at fastening points of a minimum of 24" within industry standards and practices. System shall be able to support snow and ice loads during heavy winter periods without failing. Contractor shall use ferrules screw fasteners. All joints and connections shall be caulked on the interior. Down spouts will be anchored to walls in at least 3 places with tail pieces	\$

diverting water from base of building not less than 3 feet. Gutters shall have the right amount of fall towards downspouts for proper drainage, slope will be 1/4 inch for every 25 ft of gutter.	CONTINUATION FROM PREVIOUS PAGE
EXTERIOR PAINT: Pressure wash entire exterior to remove dirt, mildew, chalk, and loose paint. Allow minimum 48 hours drying time before any coating application. Hand scrape and wire-brush all areas with peeling, flaking, or failing paint. Feather edges smooth with 80-grit sandpaper. Set all protruding nail heads flush with surface using a nail set. Fill nail holes with exterior-grade wood filler (DAP Woodfiller or equivalent). Sand smooth after curing. Inspect all clapboard joints, window/door casings, corner boards, trim joints, and any open seams. Apply paintable exterior caulk (Sherwin-Williams Duration Caulk or equivalent) to all gaps and voids. Tool smooth and allow to fully cure before priming. Replace any cracked, split, or rotted clapboard sections as needed prior to painting. Contractor to identify and report all rot to owner before proceeding. Mask and protect all windows, doors, hardware, foundation, and landscaping prior to painting. Apply one (1) full coat of exterior oil-based or shellac-based primer to all bare wood, patched areas, and previously unpainted surfaces. Apply one (1) full coat of high-quality exterior latex primer to the entire siding surface over existing painted surfaces. Recommended primer: Sherwin-Williams Exterior Oil Primer (100% bare wood) or Benjamin Moore Fresh Start All-Purpose Primer. Allow full cure per manufacturer's instructions before applying finish coats. Apply two (2) full finish coats of premium exterior latex paint to all siding surfaces. Color: To be selected by owner (provide color chip to contractor prior to start). Recommended product: Sherwin-Williams Emerald Exterior or Benjamin Moore Aura Exterior. Each coat to be applied at full spread rate per manufacturer specs. No thinning without owner approval. Allow manufacturer-recommended dry time between coats (minimum 4 hours, 24 hours preferred). Apply one (1) finish coat of exterior semi-gloss white paint to ALL trim: window casings, door casings, corner boards, fascia boards, rake boards, soffits, and any other trim elements. Color: Bright White (Benjamin Moore OC-17 White Dove or Sherwin-Williams Extra White SW 7006 – or owner's selection). Recommended product: Benjamin Moore Aura Exterior Semi-Gloss or Sherwin-Williams Emerald Exterior Semi-Gloss. Wall Area Calculations: Footprint perimeter: 165' 9" ≈ 165.75 ft Net paintable siding: ~4,750 ft² Trim (windows, doors, corners, fascia, rake boards): ~650 ft²	\$
EXTERIOR: Repair siding, fascia, soffits & trim: Contractor shall remove any deteriorated wood siding and trim and dispose of as necessary. Contractor shall furnish new wood siding and trim of like materials, style, thickness where existing materials are removed. Contractor shall prep repaired/replacement areas as necessary for paint, which shall include any necessary caulk. Contractor shall install replacement materials to properly blend with existing. (4-6 sections)	\$
TOTAL:	\$

All work shall be completed in a Good Workmanship Like Fashion, and within industry standards. All work shall be in accordance with national and local code requirements. All material and labor shall be warranted. All dimensions, aerial measurements, drawings and square footage estimates provided by PRF, are for general references, scoping, and budgetary guidance purpose only. PRF does not guarantee the absolute accuracy or field readiness of these preliminary metrics. Contractor bears sole and absolute responsibility for performing their own comprehensive on-site field measurements and final physical verifications prior to ordering, fabricating, or purchasing any project material.

Contractor: _____

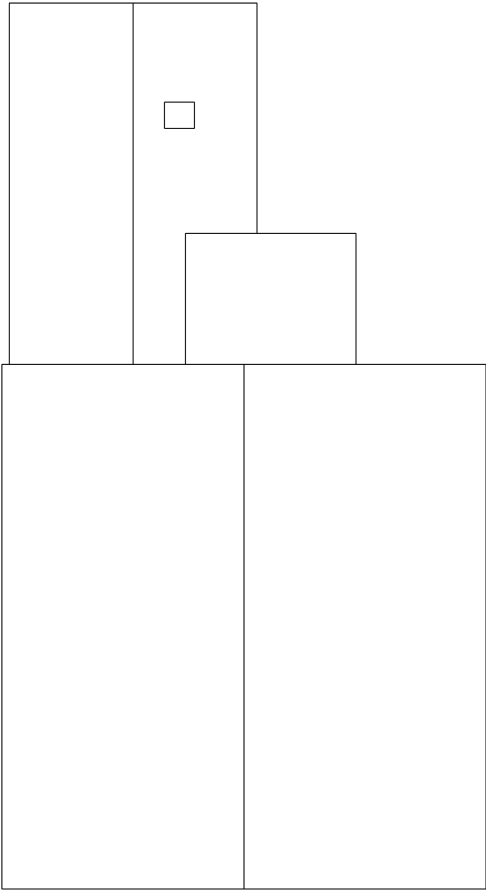
Date: _____

License No: _____

Roof Measurements

Roof	Area	Total	Length
Roof Facets	1641 ft ²	6	-
Ridges / Hips	-	2	57' 2"
Valleys	-	0	-
Rakes	-	8	96' 11"
Eaves	-	6	144'
Flashing	-	3	29' 7"
Step Flashing	-	6	30' 7"
Drip Edge/Perimeter	-	-	240' 11"

Roof Pitch*	Area	Percentage
6 / 12	1536 ft ²	93.6%
2 / 12	105 ft ²	6.4%



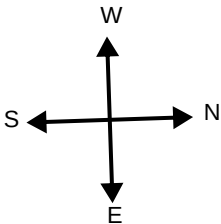
Example Waste Factor Calculations

	Zero Waste	+5%	+10%	+15%	+20%
Area	1641 ft ²	1723 ft ²	1805 ft ²	1887 ft ²	1969 ft ²
Squares	16⅔	17⅓	18⅓	19	20

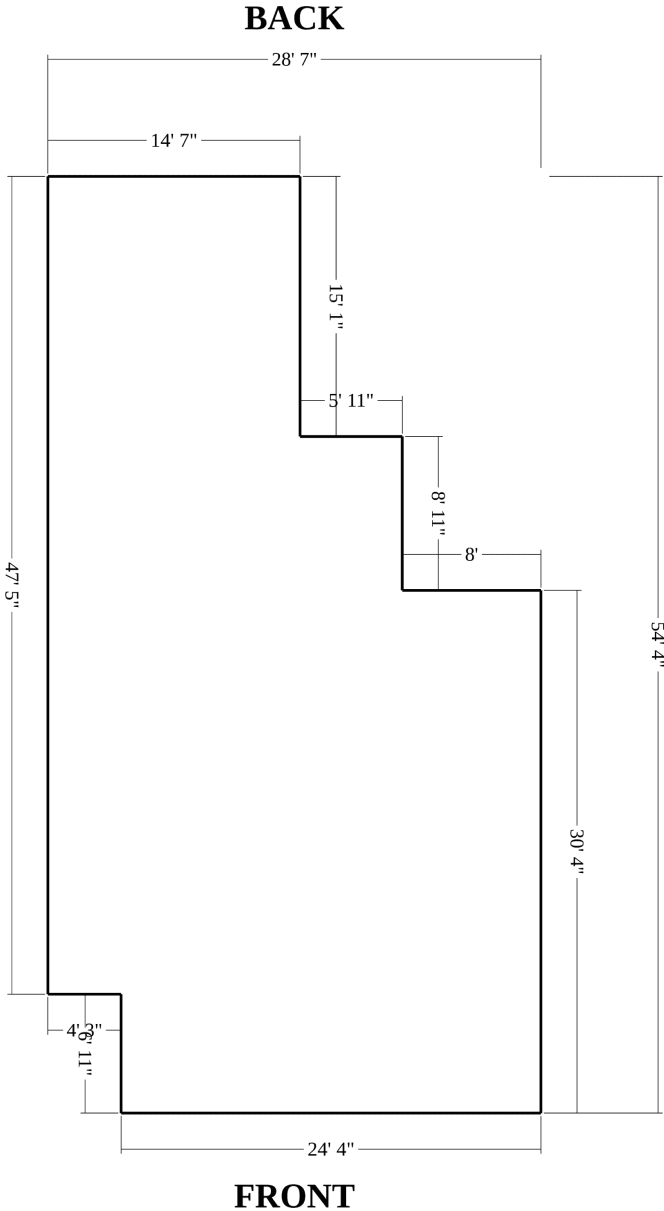
The table above provides the total roof area of a given property using waste percentages as noted. Please consider that area values and specific waste factors can be influenced by the size and complexity of the property, captured image quality, specific roofing techniques, and your own level of expertise. Additional square footage for Hip, Ridge, and Starter shingles are not included in this waste factor and will require additional materials. This table is only intended to make common waste calculations easier and should not be interpreted as recommendations.

Roof Measurements

232 High, Pawtucket, RI
FOOTPRINT



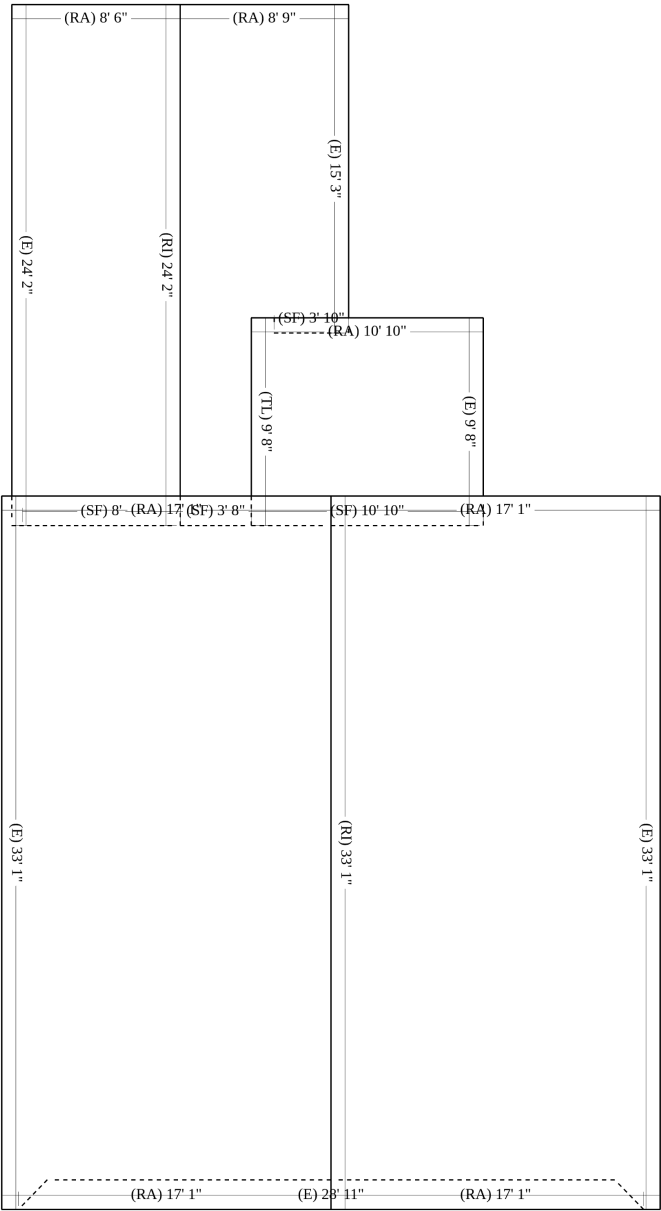
Number of Stories: > 1
Footprint Perimeter: 165' 9"
Footprint Area: 1241 ft²



Roof Measurements

Roof	Length
Ridges (RI)	57' 2"
Hips (H)	-
Valleys (V)	-
Rakes (RA)	96' 11"
Eaves (E)	144'
Flashing (F)*	29' 7"
Step Flashing (SF)*	30' 7"
Transition Line (TL)	9' 8"

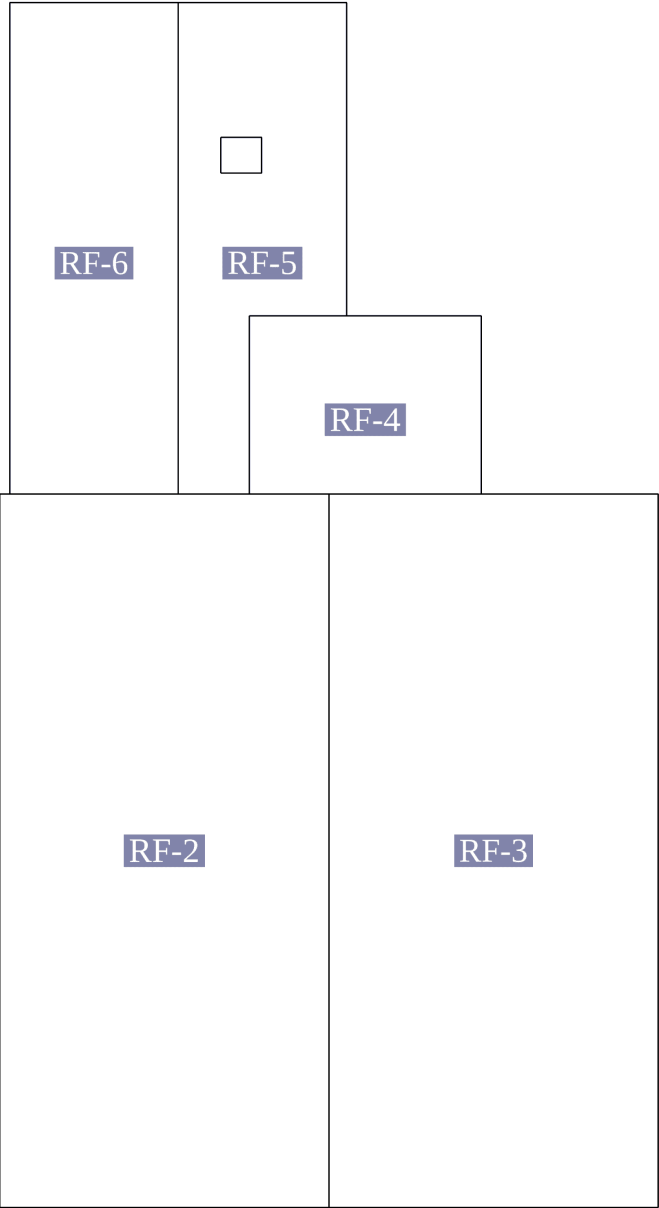
*Please view the 3D model for more detail (e.g. flashing, step flashing and some other roof lines may be difficult to see on the PDF)



Roof Measurements

Roof Facets

Facet	Area	Pitch
RF-1	42 ft²	6/12
RF-2	564 ft²	6/12
RF-3	564 ft²	6/12
RF-4	105 ft²	2/12
RF-5	161 ft²	6/12
RF-6	205 ft²	6/12



Roof Measurements

Roof Pitch	Area	Percentage
6 / 12	1536 ft²	93.6%
2 / 12	105 ft²	6.4%

