

PROVIDENCE REVOLVING FUND
Updated Contractor Bid Form
21 Callan St, Providence, RI 02908

By submitting this bid, the contractor attests that they will be available to begin work within 30 days of the bid due date.

ITEM	COST
<u>GENERAL REQUIREMENTS:</u> Contractor shall be responsible for obtaining any necessary permits for any and all work as is required by local and national and local code or jurisdiction requirements. Contractor shall also be responsible for any necessary drawings that may be required to obtain permits. Contractor shall be responsible for any required submittal to local authorities. Contractor shall be responsible for maintaining copies of any required permits at the job - site, and to supply Consultant copies of as requested. Contractor shall be responsible for supplying any bonds, insurance cert's, sub - contractor licenses, EPA licenses, specialty licenses to building departments and consultant. All documents shall be delivered in a timely fashion. Contractor shall apply for permits as soon as possible.	\$
<u>REPLACEMENT WINDOWS (13)(1 BAY WINDOW):</u> Install new replacement windows in existing openings. Windows shall be; new white vinyl thermal pane, double hung, with Low E366 glass, with Argon filled vapor barrier, with welded corners (no mechanical fasteners), with half screens. Work shall include but not be limited to; windows shall be properly shimmed, caulked, insulated, secured into the framed opening for proper operation, interior/exterior wood trim removed and replaced, pre-finished aluminum cladding on exterior trim. Contractor shall install windows in accordance with manufacturer's instructions. (WINDOWS 101-214 ON MEASUREMENT FORMS) (WINDOW ALLOWANCE \$330.00 – BAY WINDOW ALLOWANCE \$1,000.00)	\$
<u>ROOF:</u> ROOF: Roof Section RF-1-6,8,9 Pitch 6/12 • Remove and dispose of existing shingles and underlayment • Inspect decking — Replace all decking 40 sheets • Install new OSB sheathing where required • Install ice & shield; water shield at eaves and valleys • Install synthetic felt underlayment over remaining deck • Install GAF Timberline HDZ starter strip at eaves and rakes • Install GAF Timberline HDZ shingles per manufacturer specs • Install ridge cap shingles at all ridges • Flash all penetrations, walls, and valleys • Install drip edge at eaves (under felt) and rakes (over felt) • Final inspection and cleanup Shingle System GAF Timberline HDZ Architectural Roof Section RF-4 ONLY Pitch 2/12 (Low Slope) Roofing System EPDM (Rubber) Membrane Contractor shall: • Remove and dispose of existing roofing material down to deck • Inspect and repair any damaged OSB decking • Install new OSB sheathing where required • Install EPDM membrane with full adhesion or mechanically fastened system • Install all perimeter metal edging and termination bars	\$

• Flash all penetrations with EPDM boots • Verify and ensure positive drainage to scuppers or drains • Final inspection and cleanup • Flash all penetrations with EPDM boots • Verify and ensure positive drainage to scuppers or drains • Final inspection and cleanup	CONTINUATION: ENTER PRICE ON PREVIOUS PAGE
<u>SKYLIGHT REPLACEMENT</u> • Remove and dispose of all 4 existing skylight units, including old flashing kits and any deteriorated decking/sheathing at each opening. • Furnish and install 4 new venting skylights sized to match existing rough openings (field-verify each; do not assume the one dimension noted in Section 2 applies to all units). • Furnish and install manufacturer-matched venting flashing kits for the existing roof covering (step flashing + head/apron flashing, sized per unit). • Tie in new shingles/roofing material to match existing surrounding roof at each skylight, including step flashing integration along adjacent roof planes. • Install skylight-integrated insect screen and any exterior-facing rain sensor / vent motor hardware included with a venting unit. • Seal and weatherproof all 4 penetrations to manufacturer's installation standard. • Haul away and dispose of all removed materials and debris.	\$
<u>GUTTERS & DOWNSPOUTS:</u> Contractor shall furnish and install new 5" aluminum pre-finished seamless gutters and downspouts. System shall be properly aligned for correct drainage of the roof dewatering system. Gutters and downspouts shall be properly secured to fascia and exterior walls at fastening points of a minimum of 24" within industry standards and practices. System shall be able to support snow and ice loads during heavy winter periods without failing. Contractor shall use ferrules screw fasteners. All joints and connections shall be caulked on the interior. Down spouts will be anchored to walls in at least 3 places with tail pieces diverting water from base of building not less than 3 feet. Gutters shall have the right amount of fall towards downspouts for proper drainage, slope will be 1/4 inch for every 25 ft of gutter.	\$
TOTAL:	\$

All work shall be completed in a Good Workmanship Like Fashion, and within industry standards. All work shall be in accordance with national and local code requirements. All material and labor shall be warranted. All dimensions, aerial measurements, drawings and square footage estimates provided by PRF are for general references, scoping, and budgetary guidance purpose only. PRF does not guarantee the absolute accuracy or field readiness of these preliminary metrics. Contractor bears sole and absolute responsibility for performing their own comprehensive on-site field measurements and final physical verifications prior to ordering, fabricating, or purchasing any project material.

Contractor: _____

Date: _____

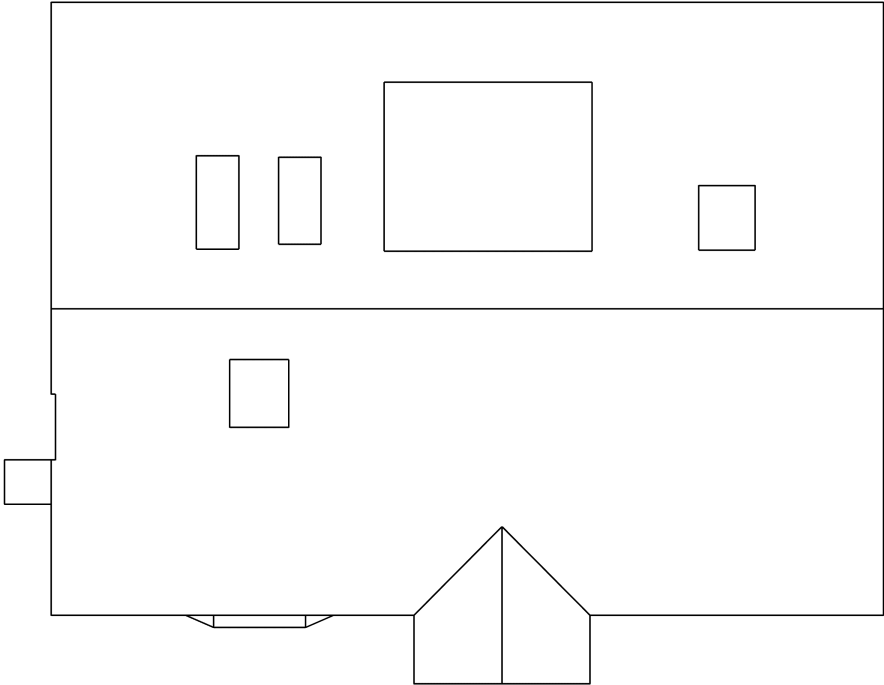
License No: _____

Complete Measurements

Roof	Area	Total	Length
Roof Facets	1118 ft ²	9	-
Ridges / Hips	-	4	44' 1"
Valleys	-	2	11' 10"
Rakes	-	10	86' 8"
Eaves	-	10	87' 2"
Flashing	-	10	19' 3"
Step Flashing	-	16	57' 5"
Drip Edge/Perimeter	-	-	173' 10"

Roof Pitch*	Area	Percentage
9 / 12	1044 ft ²	93.38%
1 / 12	62 ft ²	5.55%
8 / 12	5 ft ²	0.45%
12 / 12	5 ft ²	0.45%

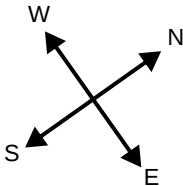
* Only top 4 values shown. Reference Roof Pitch page for all values.



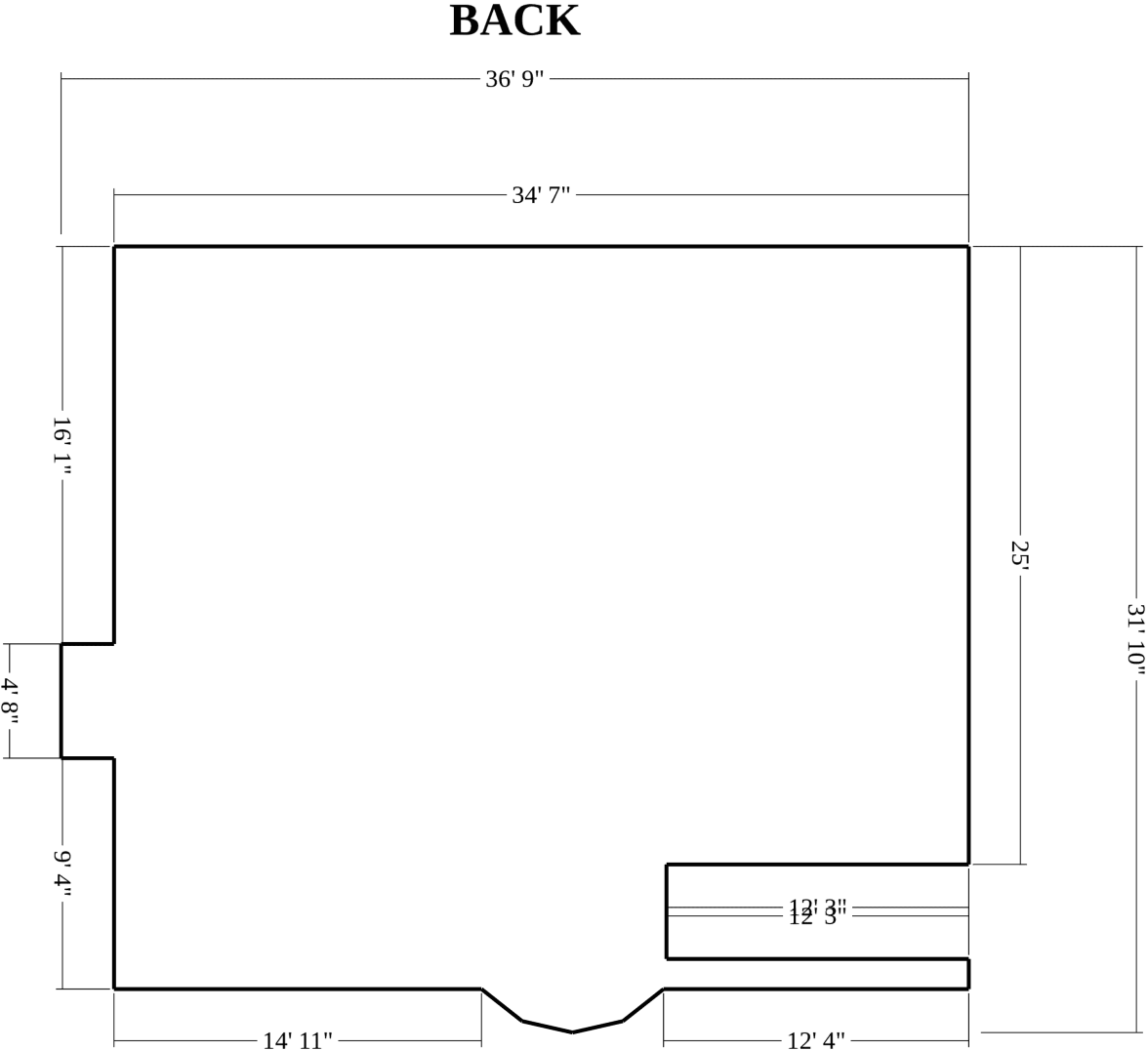
Example Waste Factor Calculations

	Zero Waste	+5%	+10%	+15%	+20%
Area	1118 ft ²	1174 ft ²	1230 ft ²	1286 ft ²	1342 ft ²
Squares	11⅓	12	12⅓	13	13⅓

The table above provides the total roof area of a given property using waste percentages as noted. Please consider that area values and specific waste factors can be influenced by the size and complexity of the property, captured image quality, specific roofing techniques, and your own level of expertise. Additional square footage for Hip, Ridge, and Starter shingles are not included in this waste factor and will require additional materials. This table is only intended to make common waste calculations easier and should not be interpreted as recommendations.



Number of Stories: > 1
Footprint Perimeter: 159' 3"
Footprint Area: 1013 ft²



FRONT

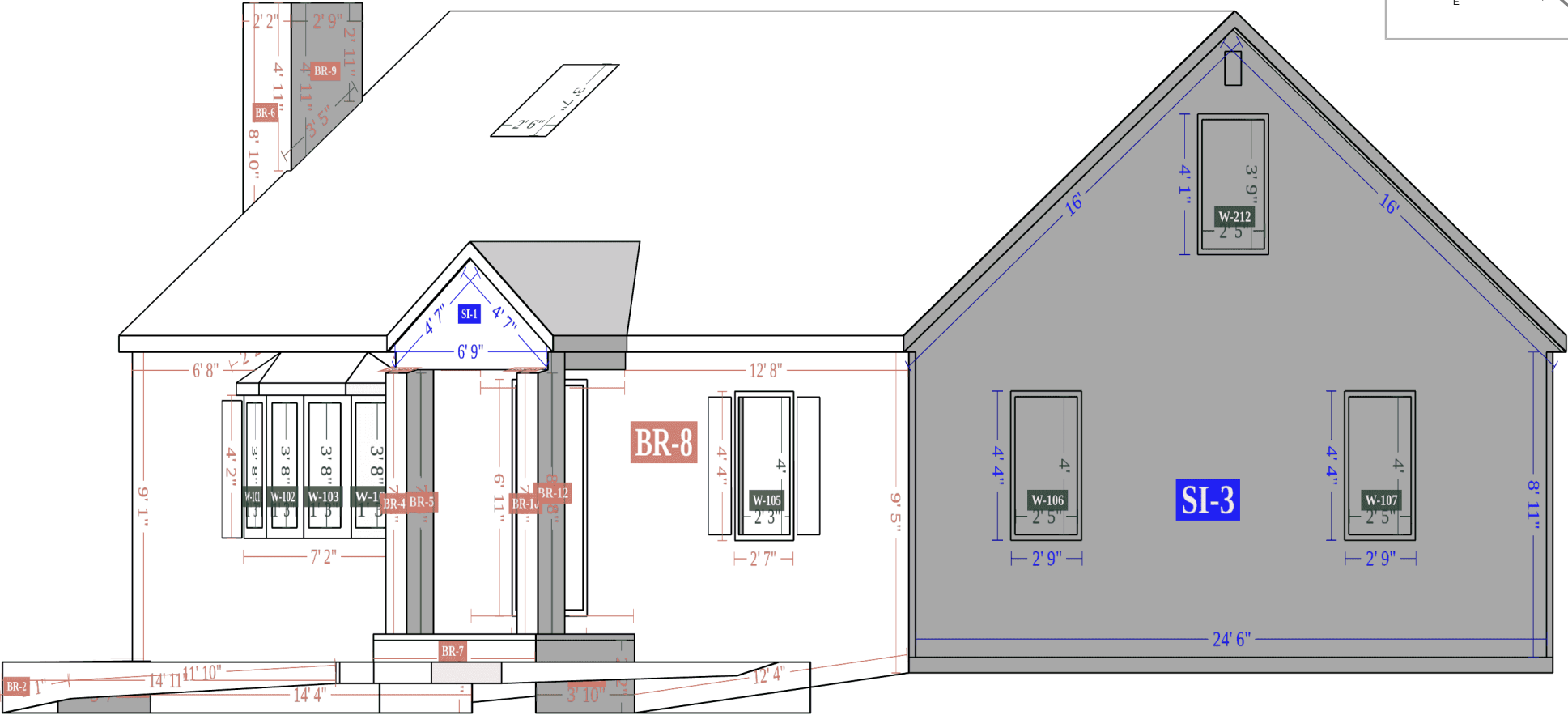
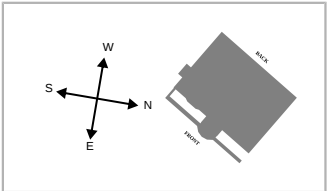
21 Callan, Providence, RI
FRONT

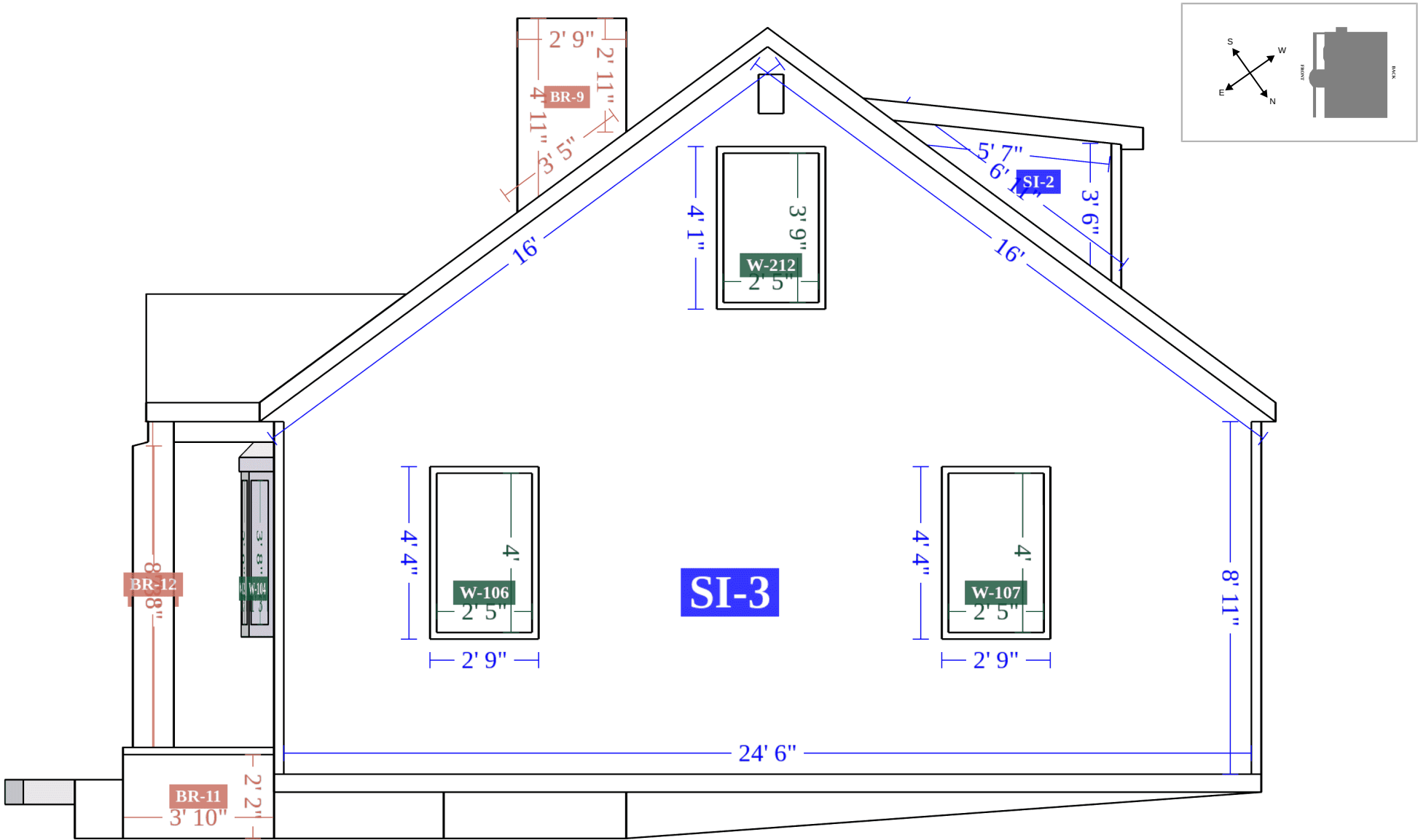
This architectural floor plan shows a building layout with the following features and dimensions:

- Overall Dimensions:** The building is 24' 2" wide and 14' 4" deep.
- Rooms and Features:**
 - BR-6:** A room at the top left, 4' 11" wide and 8' 10" deep.
 - BR-3:** A room at the bottom left, 2' 2" wide.
 - BR-2:** A room at the bottom left, 1" wide.
 - W-101, W-102, W-103, W-104:** Four windows, each 3' 8" wide and 4' 2" high, arranged in a row.
 - BR-4:** A room on the left side, 6' 8" wide and 9' 1" high.
 - D-1:** A central door, 6' 5" wide and 7' 3" high.
 - BR-7:** A room at the bottom center, 2' 4" wide.
 - BR-8:** A large room on the right side, 12' 8" wide and 9' 5" high.
 - W-105:** A window on the right side, 4' wide and 2' 3" high.
 - BR-10:** A room on the right side, 2' 7" wide.
- Other Features:**
 - SI-1:** A small square feature in the center, 4' 7" wide and 4' 7" high.
 - BR-6:** A room at the top right, 2' 6" wide and 3' 7" high.
 - BR-8:** A room at the top right, 2' 6" wide and 2' 6" high.
- Orientation:** A compass rose indicates North (N) is towards the top right, South (S) is towards the bottom left, East (E) is towards the bottom right, and West (W) is towards the top left.

Complete Measurements

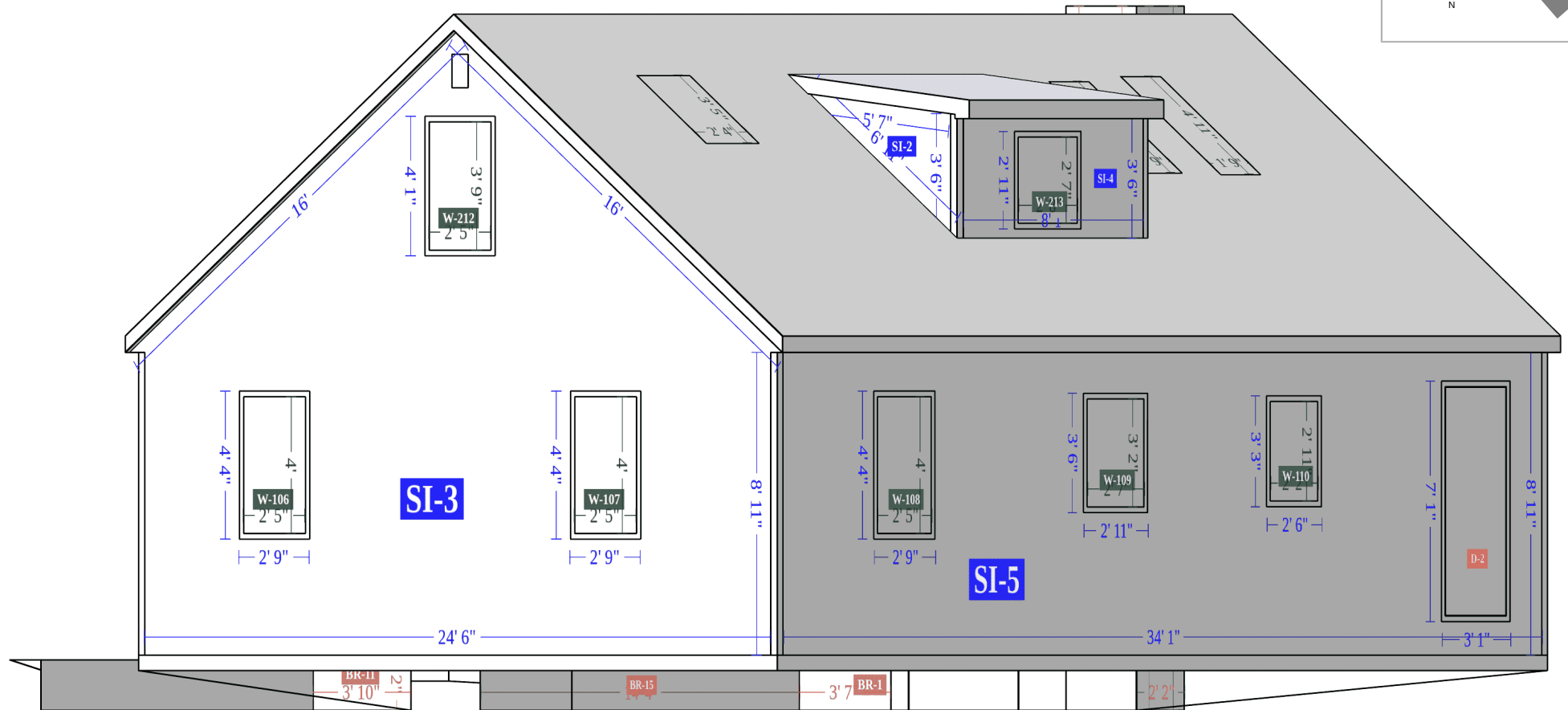
21 Callan, Providence, RI
FRONT-RIGHT

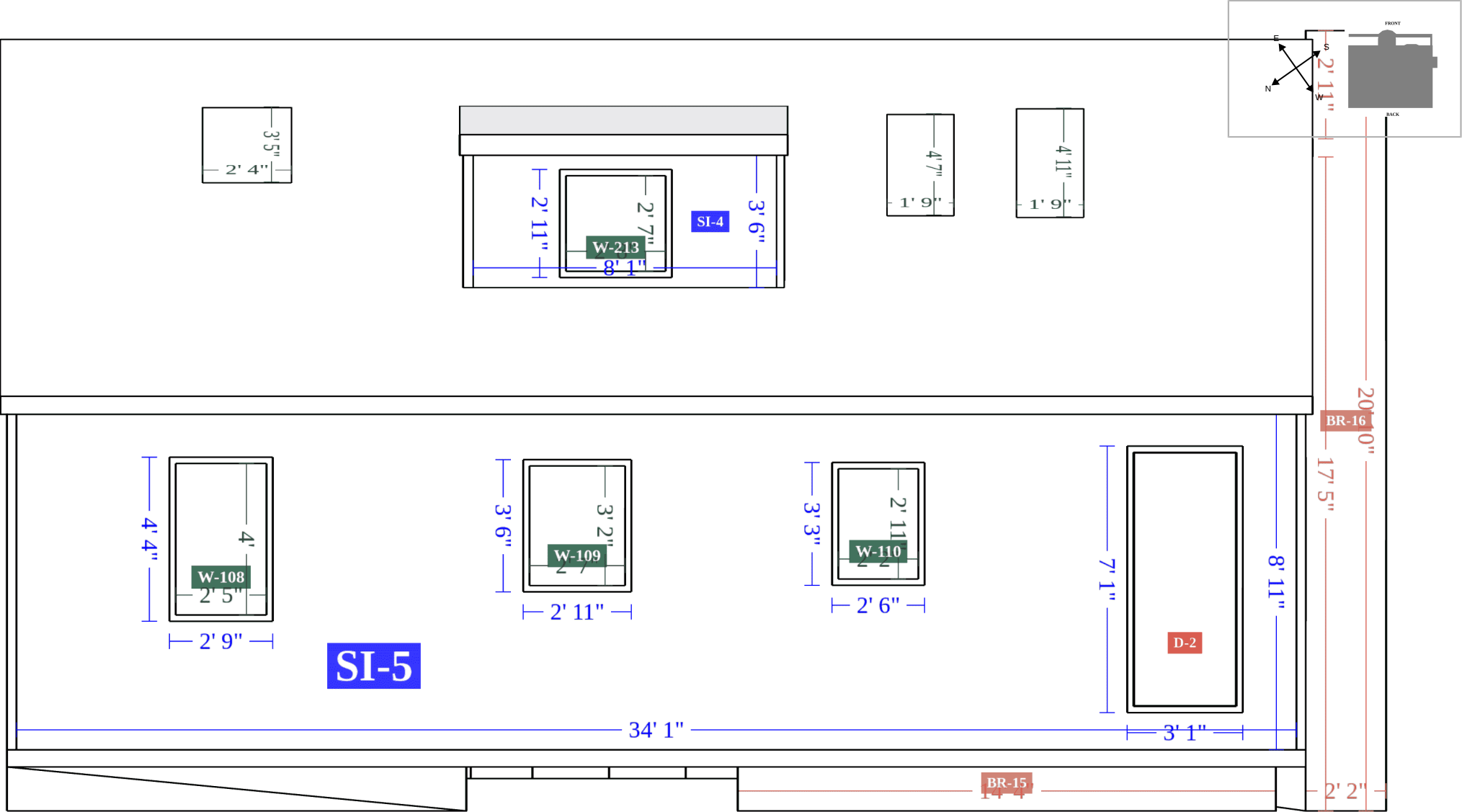




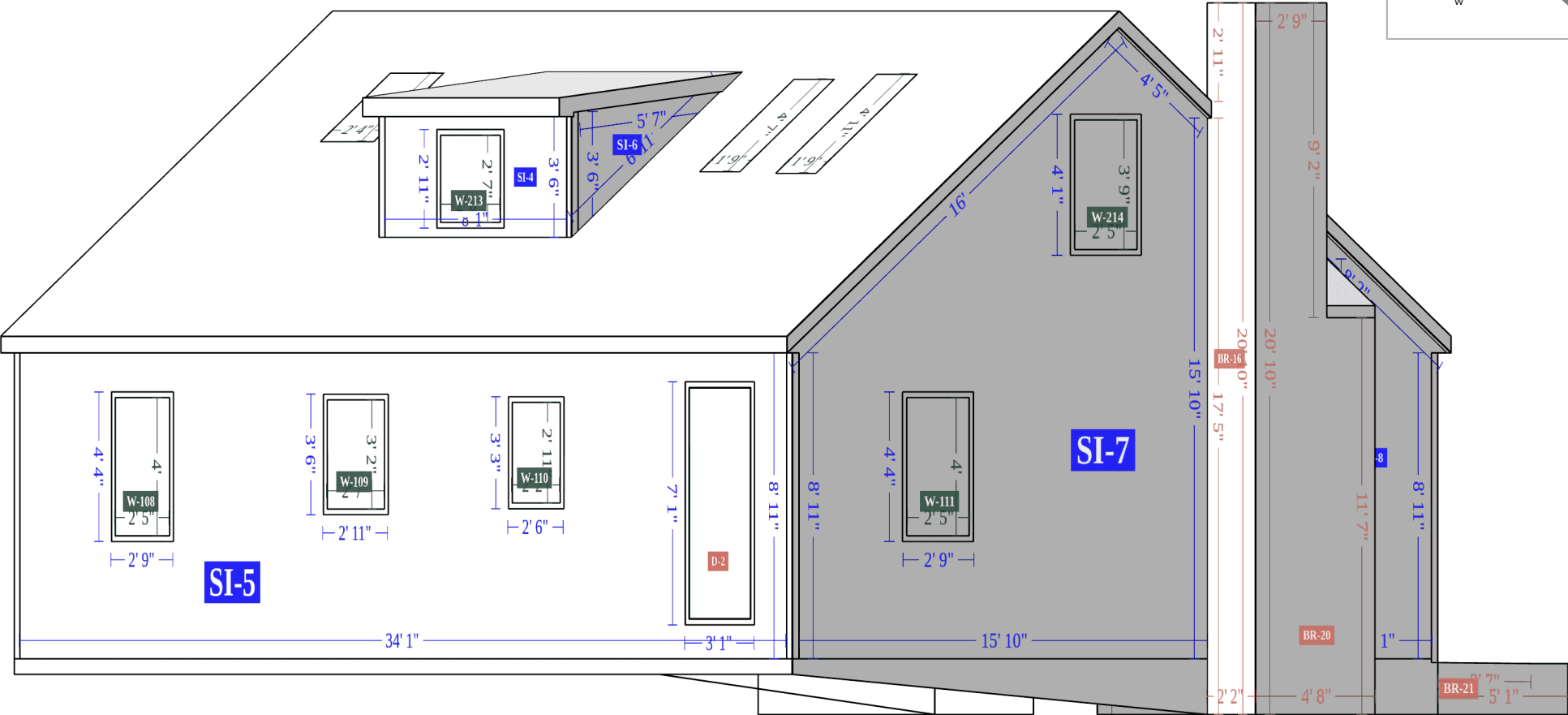
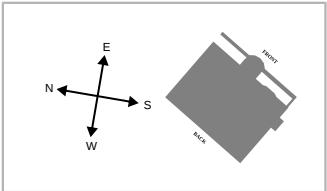
21 Callan, Providence, RI
RIGHT-BACK

RIGHT-BACK

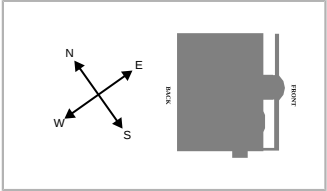
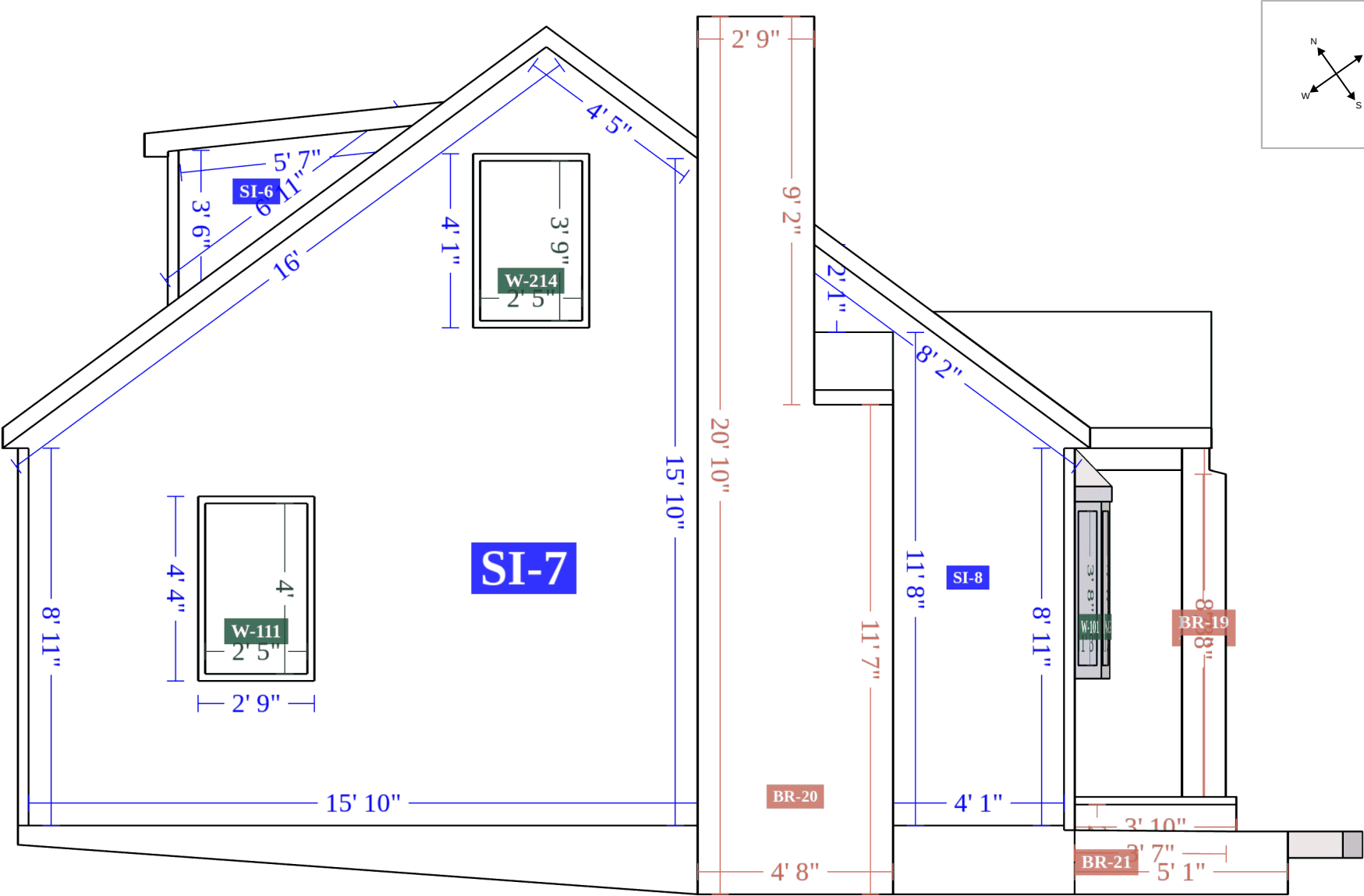




Complete Measurements

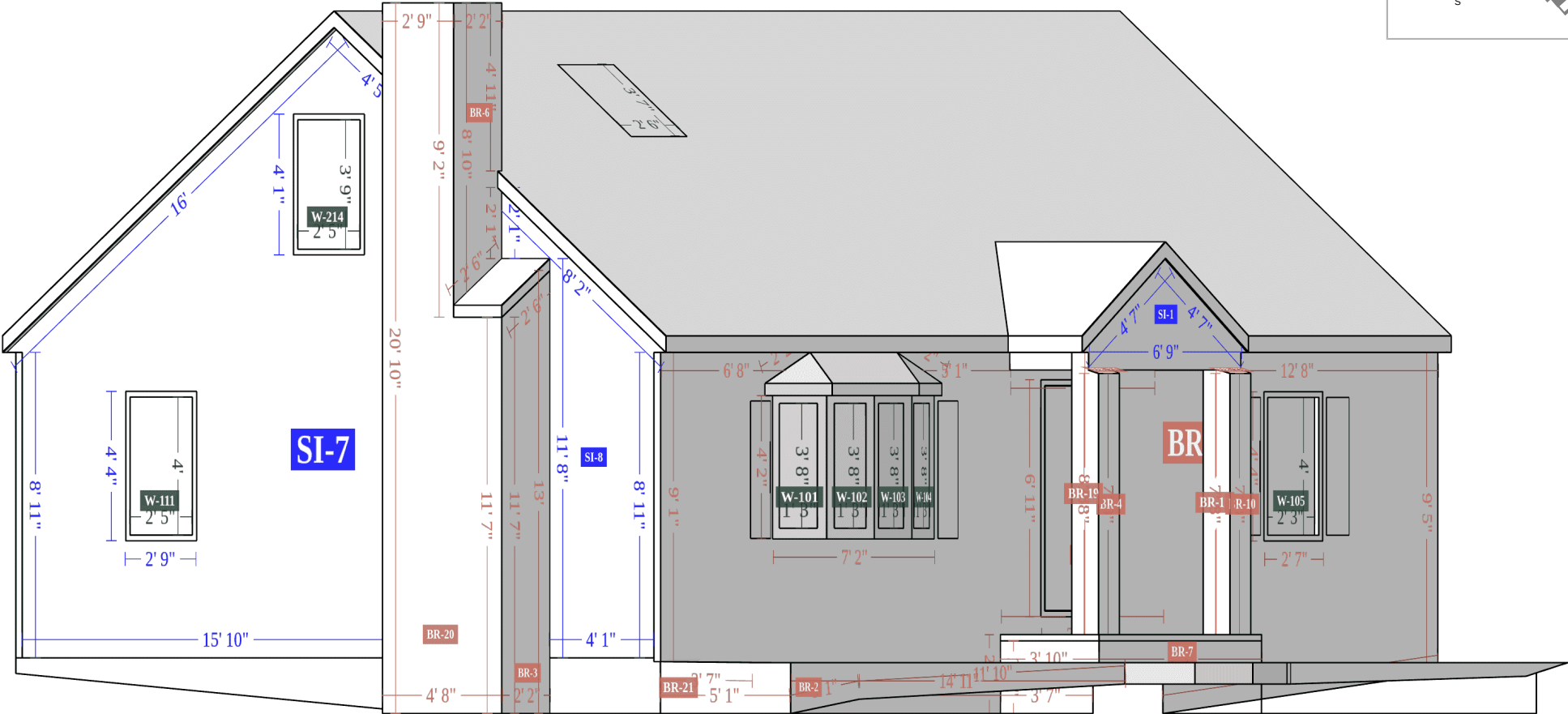
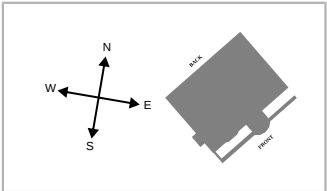


Complete Measurements



Complete Measurements

21 Callan, Providence, RI
LEFT-FRONT



Complete Measurements

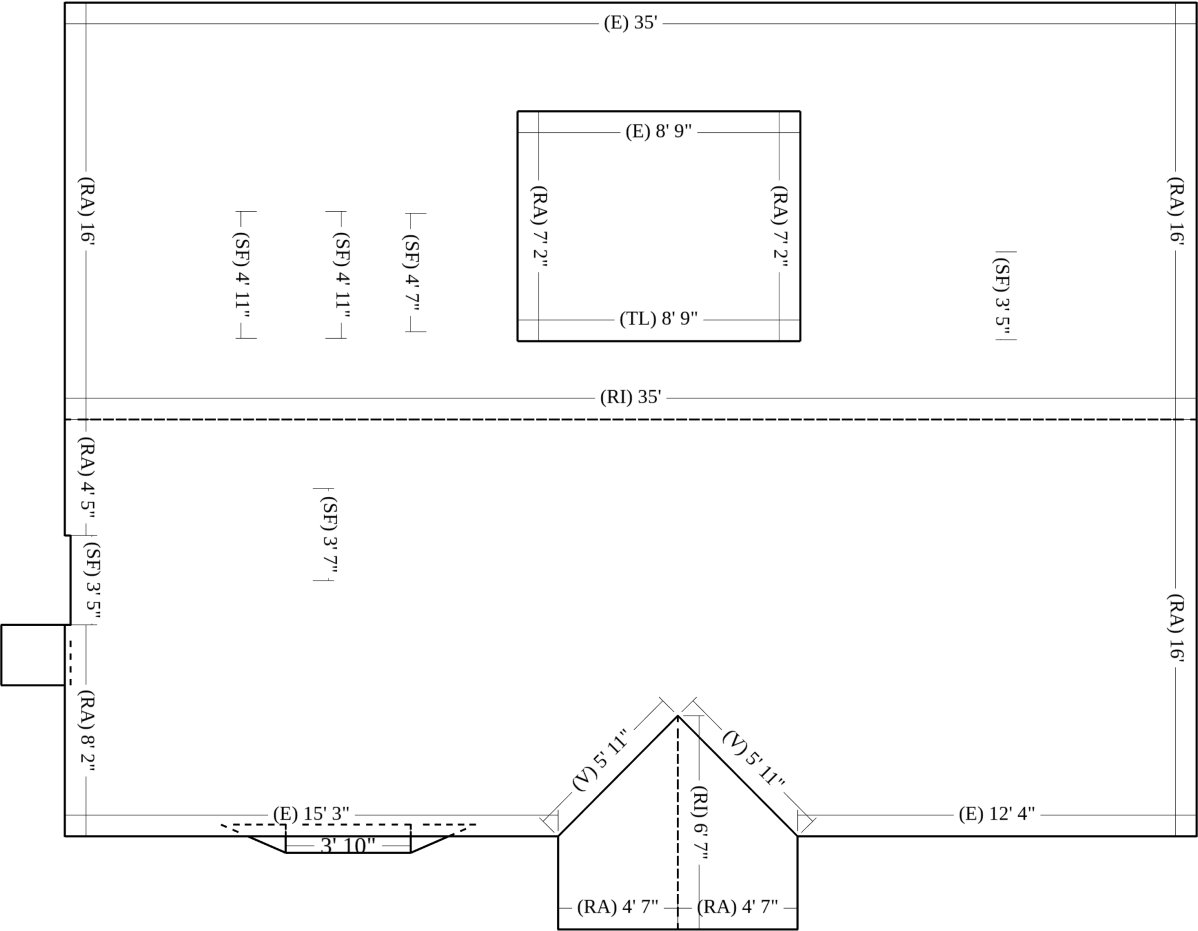
Windows

Group	Group Width x Height	Group United Inches	Opening	Width x Height	United Inches	Area
WG-1	15" x 44"	59"	W-101	15" x 44"	59"	5 ft ²
WG-2	15" x 44"	59"	W-102	15" x 44"	59"	5 ft ²
WG-3	15" x 44"	59"	W-103	15" x 44"	59"	5 ft ²
WG-4	15" x 44"	59"	W-104	15" x 44"	59"	5 ft ²
WG-5	27" x 48"	76"	W-105	27" x 48"	76"	9 ft ²
WG-6	29" x 48"	78"	W-106	29" x 48"	78"	10 ft ²
WG-7	29" x 48"	78"	W-107	29" x 48"	78"	10 ft ²
WG-8	29" x 48"	78"	W-108	29" x 48"	78"	10 ft ²
WG-9	31" x 38"	69"	W-109	31" x 38"	69"	8 ft ²
WG-10	26" x 35"	61"	W-110	26" x 35"	61"	6 ft ²
WG-11	29" x 48"	78"	W-111	29" x 48"	78"	10 ft ²
WG-12	29" x 45"	75"	W-212	29" x 45"	75"	9 ft ²
WG-13	32" x 31"	62"	W-213	32" x 31"	62"	7 ft ²
WG-14	29" x 45"	75"	W-214	29" x 45"	75"	9 ft ²
			Total	-	1261"	142 ft ²

Complete Measurements

Roof	Length
Ridges (RI)	41' 7"
Hips (H)	2' 6"
Valleys (V)	11' 10"
Rakes (RA)	86' 8"
Eaves (E)	87' 2"
Flashing (F)*	19' 3"
Step Flashing (SF)*	57' 5"
Transition Line (TL)	8' 9"

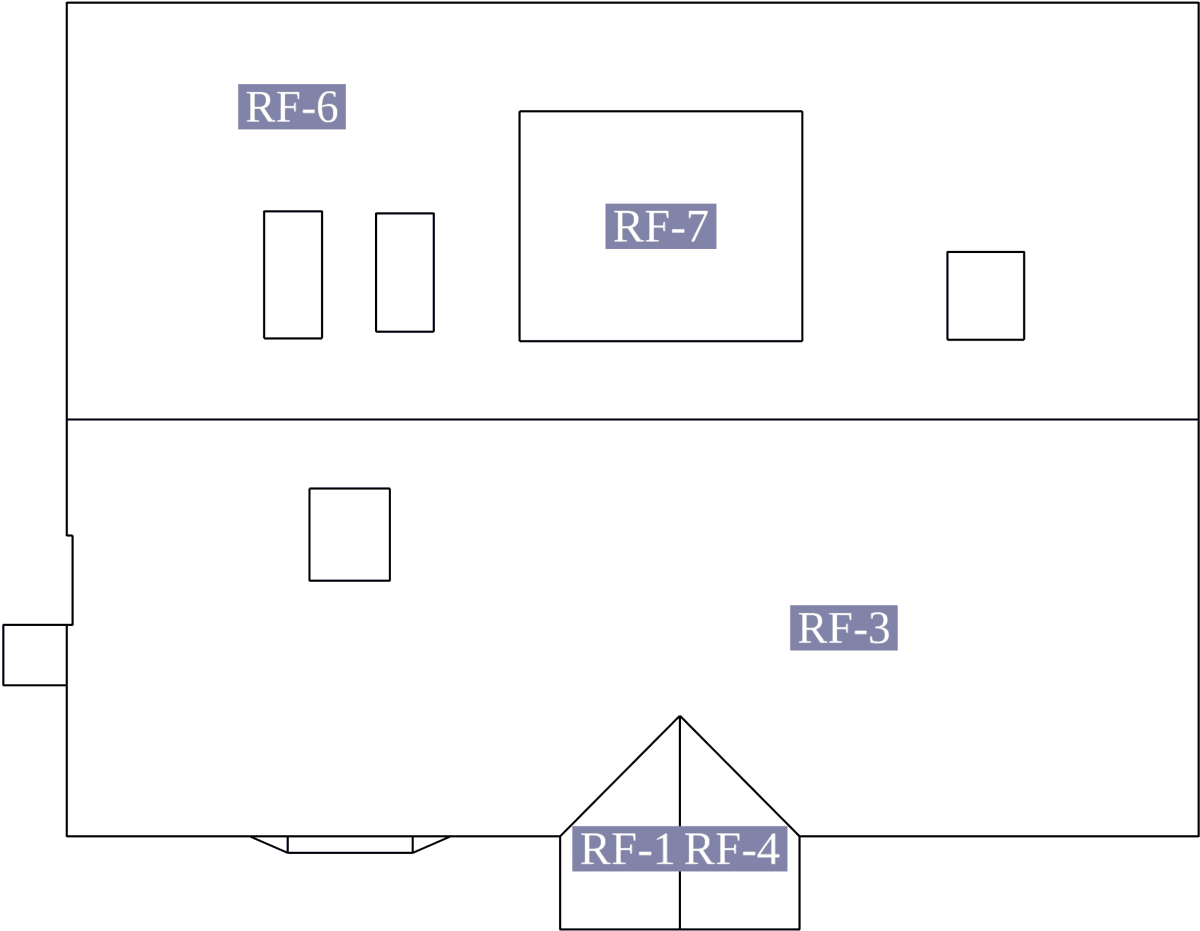
*Please view the 3D model for more detail (e.g. flashing, step flashing and some other roof lines may be difficult to see on the PDF)



Roof Facets

Facet	Area	Pitch
RF-1	22 ft ²	9/12
RF-2	5 ft ²	12/12
RF-3	534 ft ²	9/12
RF-4	22 ft ²	9/12
RF-5	5 ft ²	8/12
RF-6	466 ft ²	9/12
RF-7	62 ft ²	1/12
RF-8*	1 ft ²	14/12
RF-9*	1 ft ²	14/12

* Facet is not visible due to size or location, see **Small Facets** in summary table below.



Roof Pitch	Area	Percentage
9 / 12	1044 ft ²	93.38%
1 / 12	62 ft ²	5.55%
8 / 12	5 ft ²	0.45%
12 / 12	5 ft ²	0.45%
14 / 12	2 ft ²	0.18%

