

PROVIDENCE REVOLVING FUND
Updated Contractor Bid Form
183 Summit St, Pawtucket, RI

By submitting this bid, the contractor attests that they will be available to begin work within 30 days of the bid due date.

ITEM	COST
GENERAL REQUIREMENTS: Contractor shall be responsible for obtaining any necessary permits for any and all work as is required by local and national and local code or jurisdiction requirements. Contractor shall also be responsible for any necessary drawings that may be required to obtain permits. Contractor shall be responsible for any required submittal to local authorities. Contractor shall be responsible for maintaining copies of any required permits at the job - site, and to supply Consultant copies of as requested. Contractor shall be responsible for supplying any bonds, insurance cert's, sub - contractor licenses, EPA licenses, specialty licenses to building departments and consultant. All documents shall be delivered in a timely fashion. Contractor shall apply for permits as soon as possible.	\$
ROOF: Sections RF-5-10 Pitch: 8/12 Total Measured Area 1779 ft² Shingle System GAF Timberline HDZ Architectural Contractor shall: • Remove and dispose of existing shingles and underlayment • Replace damaged OSB (60 sheets) • Install new OSB sheathing where required • Install ice & shield; water shield at eaves and valleys • Install synthetic felt underlayment over remaining deck • Install GAF Timberline HDZ starter strip at eaves and rakes • Install GAF Timberline HDZ shingles per manufacturer specs • Install ridge cap shingles at all ridges • Flash all penetrations, walls, and valleys • Install drip edge at eaves (under felt) and rakes (over felt) • Final inspection and cleanup Roof Section RF-1-4,11-12 Roof Area (measured) 108 ft² Pitch 1/12, 2/12, 3/12 (Low Slope) Roofing System EPDM (Rubber) Membrane Contractor shall: • Remove and dispose of existing roofing material down to deck • Replace any damaged OSB decking (4 -6 sheets) • Install new OSB sheathing where required • Install EPDM membrane with full adhesion or mechanically fastened system • Install all perimeter metal edging and termination bars • Flash all penetrations with EPDM boots • Verify and ensure positive drainage to scuppers or drains • Final inspection and cleanup	\$
GUTTERS & DOWNSPOUTS: Contractor shall furnish and install new 5" aluminum pre-finished seamless gutters and downspouts.	\$

System shall be properly aligned for correct drainage of the roof dewatering system. Gutters and downspouts shall be properly secured to fascia and exterior walls at fastening points of a minimum of 24" within industry standards and practices. System shall be able to support snow and ice loads during heavy winter periods without failing. Contactor shall use ferrules screw fasteners. All joints and connections shall be caulked on the interior. Down spouts will be anchored to walls in at least 3 places with tail pieces diverting water from base of building not less than 3 feet. Gutters shall have the right amount of fall towards downspouts for proper drainage, slope will be 1/4 inch for every 25 ft of gutter.	CONTINUATION FROM PREVIOUS PAGE
CHIMNEY CAP: Contractor shall furnish and install new chimney cap with spark arrestor. Work may include, but not be limited to: installing new chimney caps where missing, properly securing the chimney cap to the existing chimney, properly interface with existing chimney.	
TOTAL:	\$

All work shall be completed in a Good Workmanship Like Fashion, and within industry standards. All work shall be in accordance with national and local code requirements. All material and labor shall be warranted. All dimensions, aerial measurements, drawings and square footage estimates provided by PRF, are for general references, scoping, and budgetary guidance purpose only. PRF does not guarantee the absolute accuracy or field readiness of these preliminary metrics. Contractor bears sole and absolute responsibility for performing their own comprehensive on-site field measurements and final physical verifications prior to ordering, fabricating, or purchasing any project material.

Contractor: _____

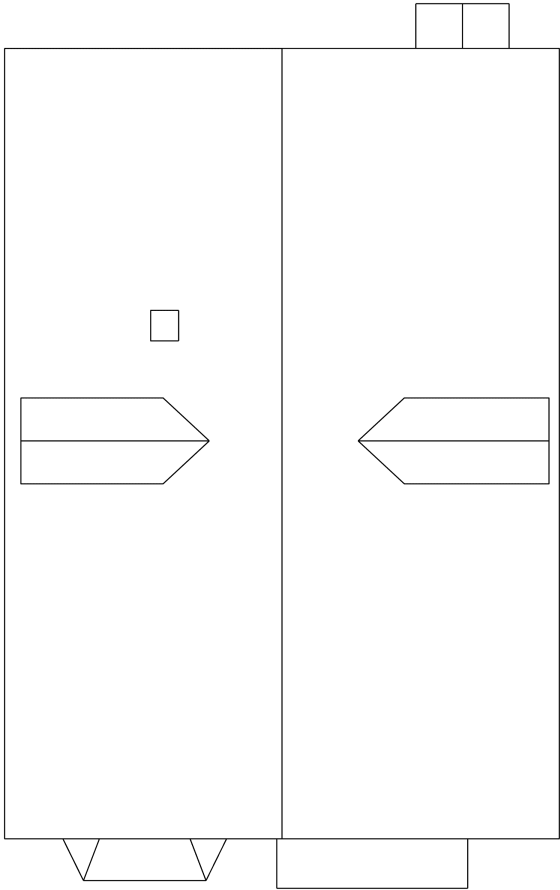
Date: _____

License No: _____

Roof Measurements

Roof	Area	Total	Length
Roof Facets	1887 ft ²	12	-
Ridges / Hips	-	6	80' 3"
Valleys	-	4	16' 2"
Rakes	-	12	103' 4"
Eaves	-	12	159' 3"
Flashing	-	6	25' 3"
Step Flashing	-	10	49' 7"
Drip Edge/Perimeter	-	-	262' 7"

Roof Pitch*	Area	Percentage
8 / 12	1779 ft ²	94.28%
1 / 12	49 ft ²	2.6%
3 / 12	37 ft ²	1.96%
2 / 12	22 ft ²	1.17%



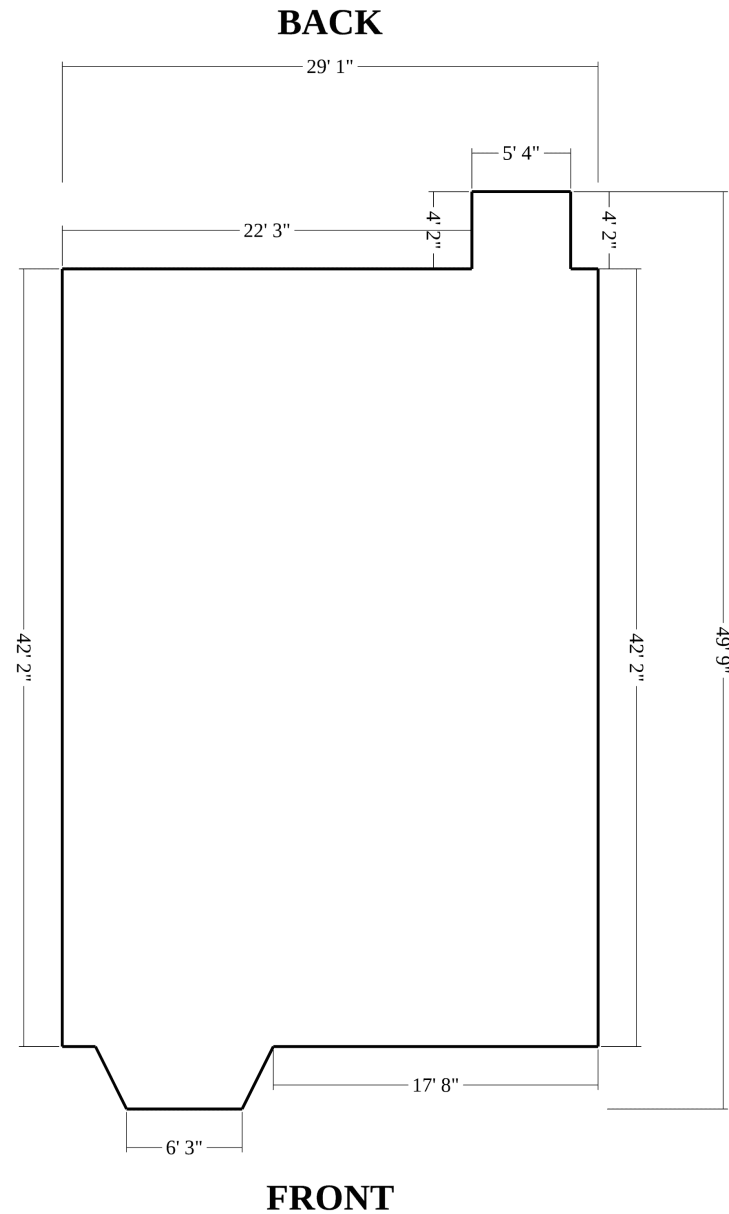
Example Waste Factor Calculations

	Zero Waste	+5%	+10%	+15%	+20%
Area	1887 ft ²	1981 ft ²	2076 ft ²	2170 ft ²	2264 ft ²
Squares	19	20	21	22	22⅔

The table above provides the total roof area of a given property using waste percentages as noted. Please consider that area values and specific waste factors can be influenced by the size and complexity of the property, captured image quality, specific roofing techniques, and your own level of expertise. Additional square footage for Hip, Ridge, and Starter shingles are not included in this waste factor and will require additional materials. This table is only intended to make common waste calculations easier and should not be interpreted as recommendations.

183 Summit, Pawtucket, RI
FOOTPRINT

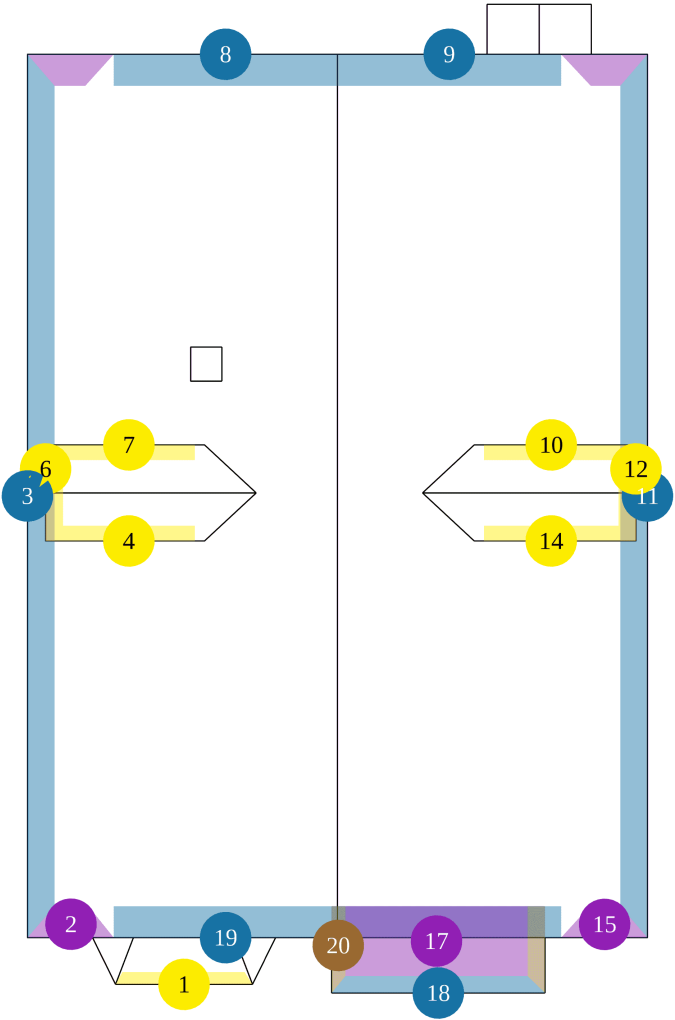
Footprint Area: 1277 ft²



Roof Measurements

Soffit Summary

Depth	Type	Count	Total Length	Total Area
6" - 12"	rakes	4	12' 2"	11 ft ²
	eaves	5	33' 11"	27 ft ²
18" - 24"	rakes	4	55' 4"	90 ft ²
	eaves	3	75' 1"	163 ft ²
24" - 48"	eaves	3	13' 1"	45 ft ²
	-	2	3' 8"	11 ft ²
> 48"	eaves	1	1' 10"	7 ft ²
	-	1	1' 11"	8 ft ²
Totals			196' 11"	362 ft ²



Soffit Breakdown

	num	Type	Depth	Length	Area	Pitch
●	1	eave	10"	6' 6"	6 ft²	3 / 12
●	2	eave	43"	1' 10"	6 ft²	8 / 12
●	3	eave	20"	32' 5"	72 ft²	8 / 12
●	4	eave	9"	6' 9"	5 ft²	8 / 12
⚡	5	rake	11"	3' 1"	3 ft²	8 / 12
●	6	rake	11"	3' 1"	3 ft²	8 / 12
●	7	eave	9"	6' 9"	5 ft²	8 / 12
●	8	rake	19"	13' 10"	22 ft²	8 / 12
●	9	rake	19"	13' 10"	22 ft²	8 / 12
●	10	eave	9"	6' 11"	5 ft²	8 / 12
●	11	eave	20"	32' 5"	72 ft²	8 / 12
●	12	rake	11"	3' 1"	3 ft²	8 / 12
⚡	13	rake	11"	3' 1"	3 ft²	8 / 12
●	14	eave	9"	6' 11"	5 ft²	8 / 12
●	15	eave	42"	1' 10"	6 ft²	8 / 12
⌀	16	rake	19"	13' 10"	22 ft²	8 / 12
●	17	eave	43"	9' 4"	34 ft²	1 / 12
●	18	eave	22"	10' 3"	19 ft²	1 / 12
●	19	rake	19"	13' 10"	22 ft²	8 / 12

	num	Type	Depth	Length	Area	Pitch
●	20	eave	54"	1' 10"	7 ft²	1 / 12
⌀	21	-	42"	1' 10"	6 ft²	8 / 12
⌀	22	-	42"	1' 10"	5 ft²	8 / 12
⌀	23	-	54"	1' 11"	8 ft²	1 / 12

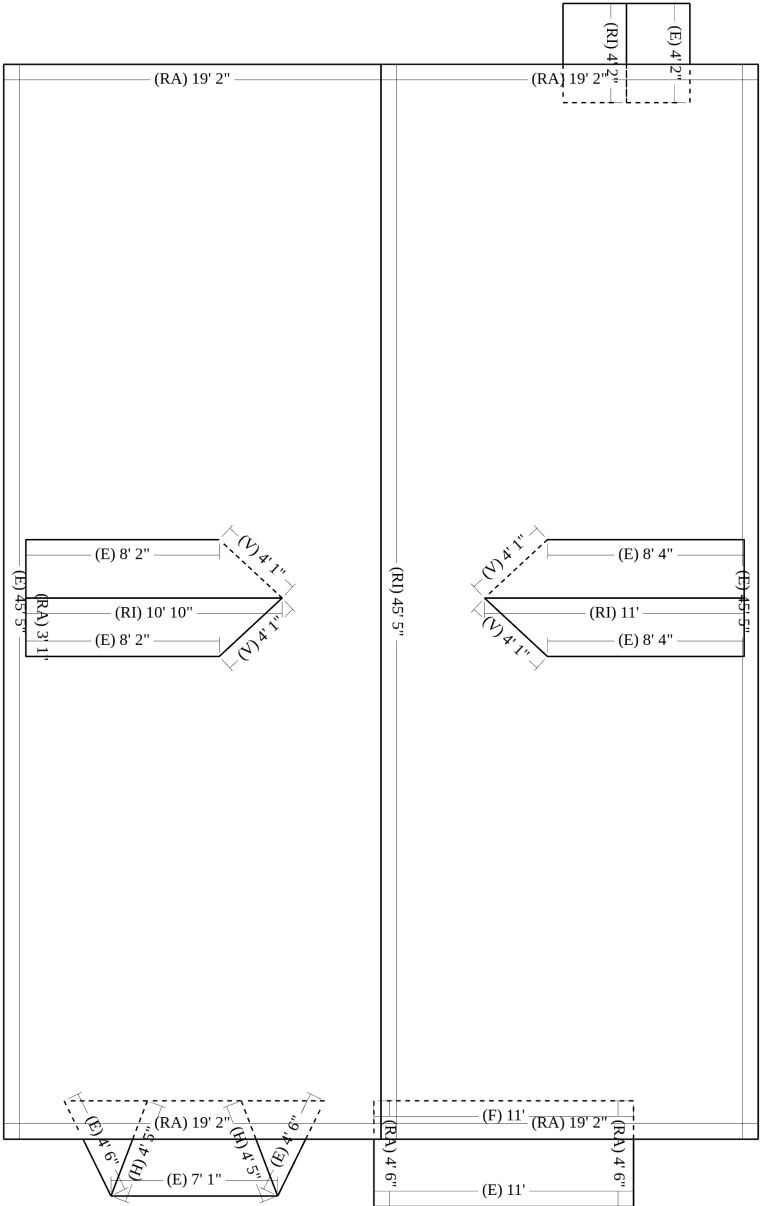
⌀ Feature is too small to label on the plan diagram

- Feature could not be labelled with complete certainty

Roof Measurements

Roof	Length
Ridges (RI)	71' 5"
Hips (H)	8' 10"
Valleys (V)	16' 2"
Rakes (RA)	103' 4"
Eaves (E)	159' 3"
Flashing (F)*	25' 3"
Step Flashing (SF)*	49' 7"
Transition Line (TL)	-

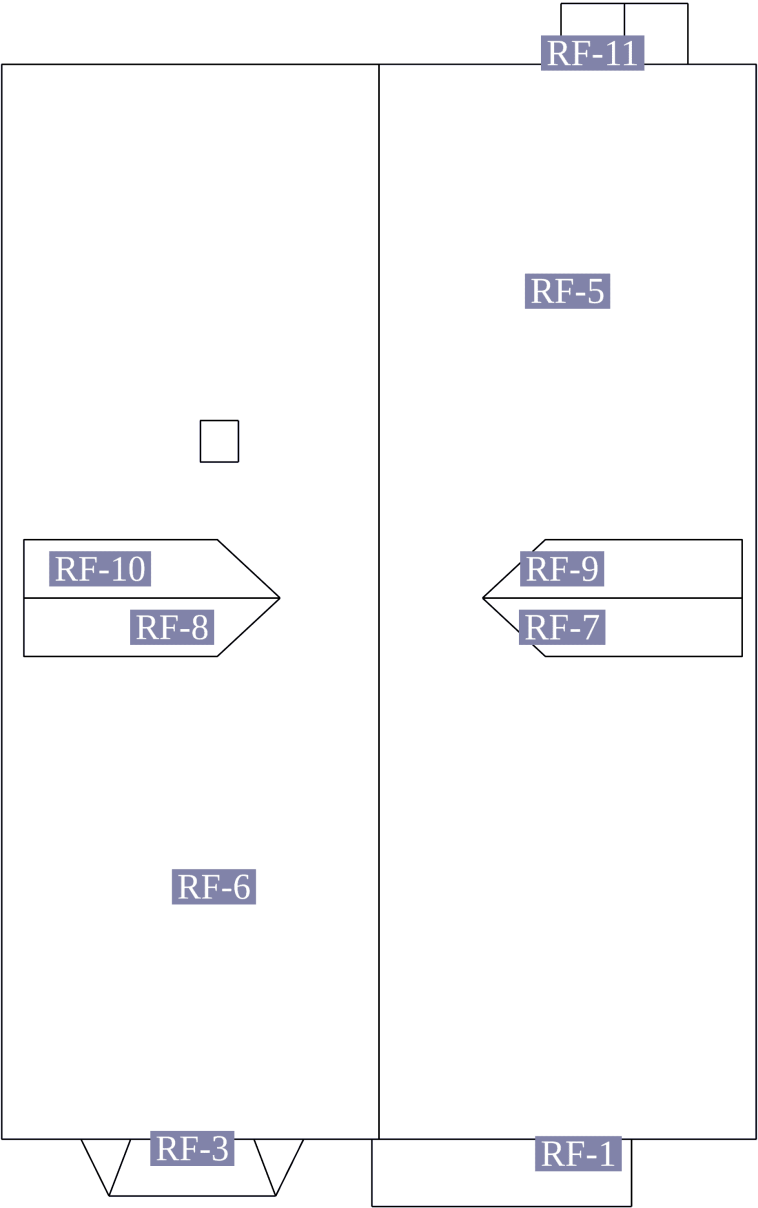
*Please view the 3D model for more detail (e.g. flashing, step flashing and some other roof lines may be difficult to see on the PDF)



Roof Measurements

Roof Facets

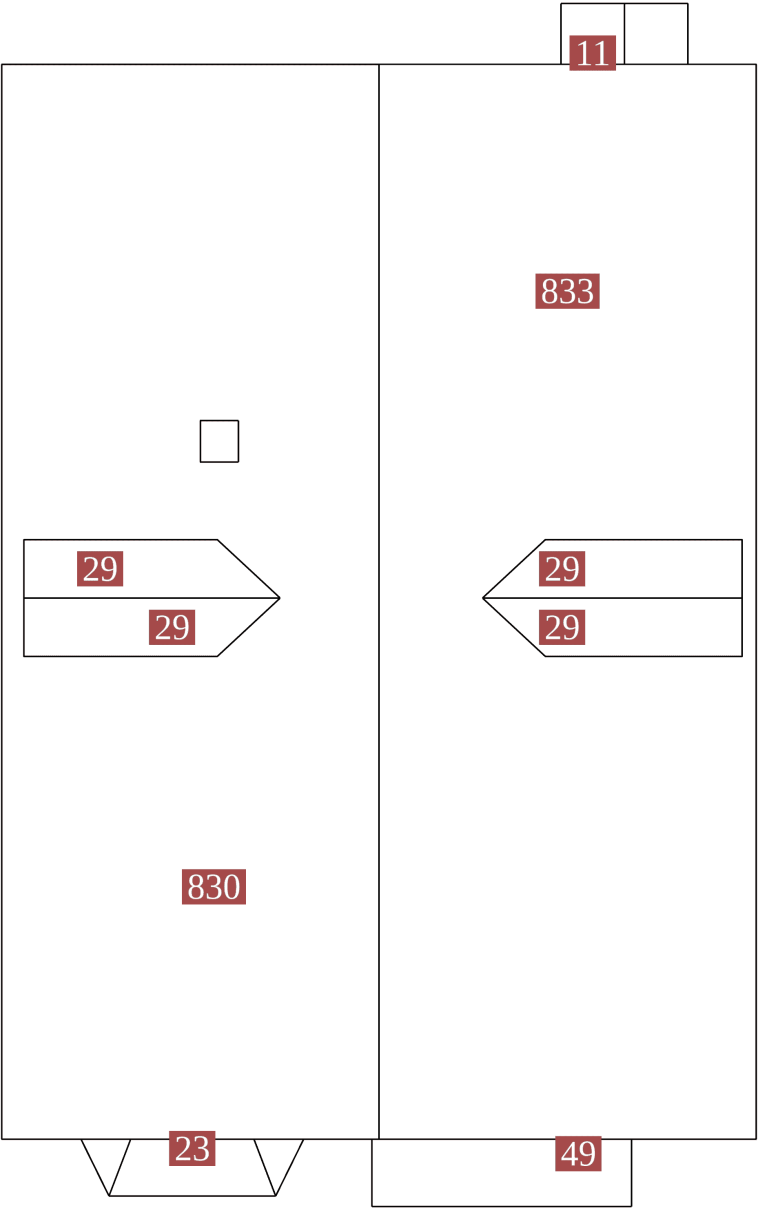
Facet	Area	Pitch
RF-1	49 ft ²	1/12
RF-2	7 ft ²	3/12
RF-3	23 ft ²	3/12
RF-4	7 ft ²	3/12
RF-5	833 ft ²	8/12
RF-6	830 ft ²	8/12
RF-7	29 ft ²	8/12
RF-8	29 ft ²	8/12
RF-9	29 ft ²	8/12
RF-10	29 ft ²	8/12
RF-11	11 ft ²	2/12
RF-12	11 ft ²	2/12



Roof Measurements

183 Summit, Pawtucket, RI
ROOF AREA

Roof	Facets	Total
Total	12	1887 ft ²



Roof Measurements

Roof Pitch	Area	Percentage
8 / 12	1779 ft ²	94.28%
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