

**AGENDA**  
**POCONO TOWNSHIP PLANNING COMMISSION**  
**REGULAR MEETING**  
**MARCH 26<sup>th</sup>, 2018 - 7:00 p.m.**

**DRAFT**

**A. CALL TO ORDER (followed by the Pledge of Allegiance)**

**B. ROLL CALL**

**C. NOTIFICATIONS OF COMMENTS**

**D. CORRESPONDENCE:**

**E. MINUTES:** Minutes of the Pocono Township Planning Commission Meeting - 03/12/2018

**F. NEW PLANS AND SUBMISSIONS FOR PLANNING COMMISSION REVIEW:**

1. Pocono Logistics LDP - Boucher & James Completeness Review dated 03/22/2018 received.

**G. FINAL PLANS UNDER CONSIDERATION:**

1. Ertle Enterprises Auto Sales LDP - Plan fees paid. Plans were accepted at the 02/12/2018 P.C. Mtg. Plans were tabled at the 02/26/2018 P.C. Mtg. Twp. Engineer Letters dated 03/08/2018 received.

**H. PRELIMINARY PLANS UNDER CONSIDERATION:**

1. Sheldon Kopelson, Commercial Development (Lot 3) - Plans were administratively accepted at the 8/13/2013 P.C. Mtg. The configuration of the minor subdivision is dependent on the Rt. 715 realignment. Tabled at the 02/26/2018 P.C. Mtg. A resubmission has not occurred. Deadline for P.C. consideration extended to 06/11/2018.
2. Spa Castle Land Development - Land Development on Birchwood Road. The plans were administratively accepted at the 12/14/2015 P.C. Mtg. Tabled at the 02/26/2018 P.C. Mtg. Time extension requested until 10/20/2018. Deadline for P.C. consideration is 10/08/2018.
3. Running Lane Land Development Plan and Minor Subdivision/Lot Combination Plan - The plans were administratively accepted at the 08/14/2017 P.C. Mtg. Plans were tabled at the 02/26/2018 P.C. Mtg. Time extension requested until 04/23/2018. Deadline for P.C. consideration is extended to 04/09/2018.

**DRAFT**

**SKETCH PLANS:**

**PRESENTATION OF SPECIAL EXCEPTIONS, CONDITIONAL USE, ET AL,  
APPLICATIONS:**

**PERMITS:**

1. Wagner Millwork, LLC - Forestry Permit - Boucher & James, Inc.  
Review No. 1 dated 03/22/2018 received.

**ORDINANCES:**

**UNFINISHED BUSINESS:**

**NEW BUSINESS:**

**COMMENTS BY AUDIENCE:**

**ADJOURNMENT:**

**POCONO TOWNSHIP PLAN STATUS**

Project Name (Acceptance Date)	Application Type	Prelim/Final	Review Period Expires	Last PC Mtg	Last BOC Mtg	Latest Comment Letter	Last Meeting Tabled	PC Recommendation Approve/Deny	BOC Approved/Rejected
Kopelson Lot 3 Land Development (8/13/13)	Commercial Land Dev	Prelim	6/30/2018	6/11/2018	6/18/2018	unknown date	3/12/2018		
Spa Castle Land Development (Prelim) (12/14/15)	Commercial Land Dev	Prelim	10/20/2018	10/8/2018	10/15/2018	Planning Rev 9/9/16 Technical Rev 11/9/16	3/12/2018		
Running Lane LDP (8/14/17) *Submitted one application	Land Dev	Prelim	4/23/2018	4/9/2018	4/16/2018	2/22/2018	3/12/2018		
Running Lane LDP (8/14/17)	Lot Combo	Prelim	4/23/2018	4/9/2018	4/16/2018	2/22/2018	3/12/2018		
Ertle Enterprises Auto Sales LDP (02/12/2018)	LDP	Prelim/Final	5/10/2018	4/23/2018	5/7/2018	3/8/2018	3/12/2018		
Pocono Logistics LDP (03/26/2018)	LDP								

POCONO TOWNSHIP PLANNING COMMISSION  
REGULAR MEETING MINUTES  
MARCH 12<sup>th</sup>, 2018 - 7:00 p.m.

DRAFT

The Pocono Township Planning Commission Regular meeting was held on March 12<sup>th</sup>, 2018 at the Pocono Township Municipal Building, Tannersville, PA and opened by Chairman Ron Swink at 7:00 p.m., followed by the Pledge of Allegiance.

**ROLL CALL:** Ron Swink, present; Scott Gilliland, present; Dennis Purcell, present; Bob DeYoung, present; Marie Guidry, present; and Jeremy Sawicki, present; and Chad Kilby, present.

Lisa Pereira, Twp. Solicitor; Jon Tresslar, Twp. Engineer; Donna Asure, Twp. Manager; and Pamela Tripus, Twp. Secretary/Recording Secretary were present.

**CORRESPONDENCE:**

1) E&S-Review Letter for Pocono Logistics was received.

**MINUTES:**

S. Gilliland made a motion, seconded by D. Purcell, to approve the minutes 02/26/2018 PC meeting. All in favor. Motion carried.

**NEW PLANS AND SUBMISSIONS FOR PLANNING COMMISSION REVIEW:** None

**FINAL PLANS UNDER CONSIDERATION:**

Ertle Enterprises Auto Sales LDP - Plan fees were received on 02/09/2018. Plan was accepted at the 02/12/2018. Plan tabled at the 02/26/2018 P.C. Meeting. Jim Ertle, Ertle Enterprises, represented the plan. Twp. Engineer's review letters dated 03/08/2018 were received. J. Sawicki made a motion, seconded by D. Purcell, to accept the Ertle Enterprises Auto Sales LDP for review. All in favor. Motion carried.

**PRELIMINARY PLANS UNDER CONSIDERATION:**

Sheldon Kopelson, Commercial Development (Lot 3) - Plans were administratively accepted at the 8/13/2013 P.C. Mtg. The configuration of the minor subdivision is dependent on the Rt. 715 realignment. Plan tabled at the 02/26/2018 P.C. Meeting. A resubmission has not occurred. Deadline for P.C. consideration extended to 06/11/2018. S. Gilliland made a motion, seconded by C. Kilby, to table the Sheldon Kopelson Commercial Development (Lot 3). All in favor. Motion carried.

Spa Castle Land Development - Land Development on Birchwood Road. The plans were administratively accepted at the 12/14/2015 P.C. Mtg. Plan tabled at the 02/26/2018 P.C. Meeting. Time extension requested until 10/20/2018. Deadline for P.C. consideration is 10/08/2018. D. Purcell made a motion, seconded by C. Kilby, to table the Spa Castel Land Development Plan. All in favor. Motion carried.

DRAFT

Running Lane Land Development Plan and Minor Subdivision/Lot Combination Plan - The plans were administratively accepted at the 08/14/2017 P.C. Mtg. Plan tabled at the 02/26/2018 P.C. Meeting. Time extension requested until 04/23/2018. Deadline for P.C. consideration is extended to 04/09/2018. At the 02/26/2018 P.C. mtg., the structure was mistakenly identified as at 3 story structure. The RFMs were based on a three story. It was confirmed the structure is 4 stories, which requires several RFMs to be revisited. Sarah Bue-Morris, Bue-Morris Associates, Inc., represented the plan. She noted the height of the building will be between 40' and 53' conditioned upon the agreement with the hotel company.

S. Bue-Morris reviewed her memo of 02/27/2018

a) SALDO Sec. 406.3.G Viewshed Analysis - S. Bue-Morris provided photos from the property line. She noted the applicant had agreed to a 20' buffer on the neighboring property owned by the applicant. S. Bue-Morris agreed to add additional planting. Pete Terry, Benchmark Civil Engineering Services, Inc. discussed the proposed changes to Rt. 611. Discussion followed on the Traffic study, proposed improvements for Rt. 611 and entrance, turning lanes, ownership of the right-of-way, and viewshed of the hotel from neighboring residents. C. Kilby stated he was in favor of requiring the viewshed analysis.

D. Purcell made a motion, seconded by J. Sawicki, to recommend the RFM for SALDO Sec. 406.3.G - Viewshed Analysis. R. Swink called for a rollcall vote. D. Purcell, yes; B. DeYoung, yes; S. Gilliland, yes; R. Swink, yes; M. Guidry, no; C. Kilby, no; and J. Sawicki, yes. Motion carried.

b) SALDO Sec. 615.6 - Buffers & Screens - along Southern and Northern property lines. S. Bue-Morris explained trees will be added to limit glare. C. Kilby made a motion, seconded by S. Gilliland, to recommend the RFM for SALDO Sec. 615.6 - Buffers along Southern and Northern property lines - conditioned upon additional evergreens being planted. All in favor. Motion carried.

c) SALDO Sec. 615.6 - Buffer & Screens along loading areas - S. Bue-Morris explained the loading areas, noting the rear loading area was for trucks, the remaining areas for guests to unload vehicles. The loading area to the rear of the property has an 8' berm. Discussion followed on the turning radius for trucks around the rear loading area and if an adjustment could be made to accommodate fire trucks. C. Kilby noted the Fire Company has received a copy of the plan for review.

C. Kilby made a motion, seconded by B. DeYoung, to recommend approval of SALDO Sec. 615.6 - Buffer & Screens along loading areas conditioned upon the discussed adjustment for fire truck access on the rear truck loading area. All in favor. Motion carried.

DRAFT

Bue-Morris - Memo dated 02/27/2018 - Note 13 - S. Bue-Morris explained they had provided a color photo of the hotel's façade. She noted until the agreement is signed with the Hotel, they would not have the actual plans for the exterior elevation. Discussion followed.

B. DeYoung made a motion, seconded by C. Kilby, to accept the concept photo of the building in lieu of the provision of exterior elevations. All in favor. Motion carried.

J. Sawicki made a motion, seconded by M. Guidry, to table the Running Lane Land Development Plan and Minor Subdivision/Lot Combination Plan. All in favor. Motion carried.

**SKETCH PLANS:** None

**PRESENTATION OF SPECIAL EXCEPTIONS, CONDITIONAL USE, ET AL, APPLICATIONS:** None

**ORDINANCES:**

**UNFINISHED BUSINESS:** M. Guidry asked the status of the Rt. 715 realignment. J. Tresslar noted no new information has been received.

**NEW BUSINESS:** None

**COMMENTS BY AUDIENCE:** None

ADJOURNMENT: S. Gilliland made a motion, seconded by J. Sawicki, to adjourn the meeting at 7:15 p.m., until 03/26/2018 at 7:00 p.m., at the Pocono Township Municipal Building. All in favor. Motion carried.



**Boucher & James, Inc.**  
CONSULTING ENGINEERS

AN EMPLOYEE OWNED COMPANY

1111 N. O. V. A. S. T. R. O. U. T. I. N. G. P. A. T. H. I. N. G. E. N. G. I. N. E. E. R. S.

Fountainville Professional Building  
1456 Ferry Road, Building 500  
Doylestown, PA 18901  
215-345-9400  
Fax 215-345-9401

2738 Rimrock Drive  
Stroudsburg, PA 18360  
570-629-0300  
Fax 570-629-0306

559 Main Street, Suite 230  
Bethlehem, PA 18018  
610-419-9407  
Fax 610-419-9408

[www.bjengineers.com](http://www.bjengineers.com)

March 22, 2018

Pocono Township Planning Commission  
112 Township Drive  
P.O. Box 197  
Tannersville, PA 18372

**SUBJECT: POCONO LOGISTICS PRELIMINARY/FINAL LAND DEVELOPMENT  
COMPLETENESS REVIEW  
POCONO TOWNSHIP, MONROE COUNTY, PENNSYLVANIA  
PROJECT NO. 1830066R**

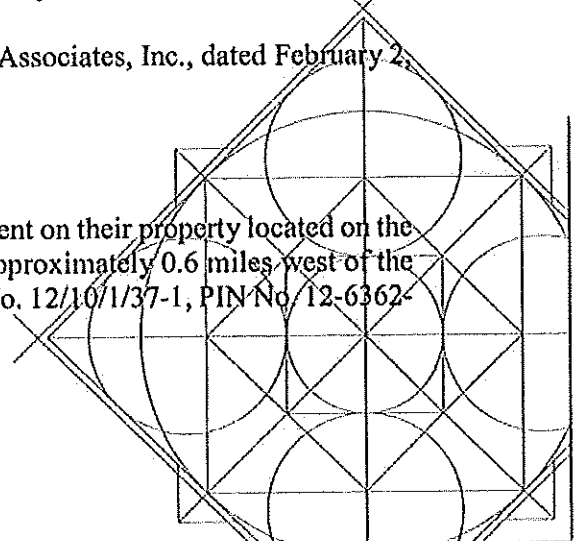
Dear Planning Commission Members:

Pursuant to the Township's request, we have completed a completeness review of the Preliminary/Final Land Development Plan Application for Pocono Logistics. The submitted information consists of the following items.

- Pocono Township Land Development Application.
- Appendix G, Request for Modification, SALDO Section 303.
- Appendix G, Request for Modification, SALDO Section 406.2.B.
- Appendix G, Request for Modification, SALDO Section 607.16.B & 607.16.C.
- Appendix G, Request for Modification, SWMO Section 301.G.
- Wetland Presence/Absence Survey and Phase I Bog Turtle Habitat Assessment prepared by Liberty Environmental, Inc., dated January 24, 2018.
- Erosion and Sedimentation Pollution Control Plan prepared by Gilmore & Associates, Inc., dated January 2018, revised March 2018.
- Post Construction Stormwater Management Plan prepared by Gilmore & Associates, Inc., dated January 2018.
- Land Development Plan (7 sheets) prepared by Gilmore & Associates, Inc., dated February 2, 2018, revised March 14, 2018.

**BACKGROUND INFORMATION**

The Applicant, Pocono Logistics, is proposing a land development on their property located on the northern side of Railroad Avenue across from Toccoa Road, approximately 0.6 miles west of the intersection of Railroad Avenue and State Route 0715 (Parcel No. 12/10/1/37-1, PIN No. 12-6362-00-76-189).



Pocono Township Planning Commission  
March 22, 2018  
Page 2 of 2

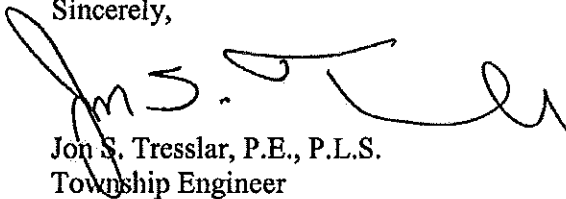
The existing property is located within the C, Commercial Zoning District and has an existing lot area of 4.96 acres. The existing property takes access from Railroad Avenue via a paved driveway and consists of an existing building, stone parking areas between the Railroad Avenue and the existing building, and a large stone and asphalt parking area to the rear of the existing building. Aerial photography show tractor trailer parking exists. The existing property is served by on-site water and sewer.

The proposed development includes the designation of tractor trailer, tractor, trailer, and passenger vehicle parking spaces. Twenty-five (25) tractor trailer parking spaces, one (1) tractor parking space, and seventeen (17) trailer parking spaces are proposed in gravel and asphalt areas. Nine (9) gravel passenger vehicle parking spaces, and twelve (12) paved passenger vehicle parking spaces are proposed. Underground stormwater management and a detention basin are also proposed. Public water service is proposed, and the on-site sewer service will remain.

Based upon our review, we recommend the Planning Commission accept the Preliminary/Final Land Development Plan for review providing all other requirements have been met including, but not limited to, formal written applications and application fees with establishment of an escrow to cover the costs of review.

If you should have any questions, please call me.

Sincerely,



Jon S. Tresslar, P.E., P.L.S.  
Township Engineer

JST/mep

cc: Donna Asure – Township Manager  
Pam Tripus – Township Secretary  
Michael Tripus – Township Zoning Officer  
Leo DeVito, Esquire – Township Solicitor  
Lisa Pereira, Broughal & DeVito, LLP  
Wesley Wojtanowicz, Pocono Logistics – Property Owner/Applicant  
Sean F. Policelli, P.E., Gilmore & Associates, Inc. – Applicant's Engineer  
Melissa E. Prugar, P.E. – Boucher & James, Inc.





5100 Tilghman Street  
 Suite 150  
 Allentown, PA 18104  
 (610) 366-8064  
 Fax (610) 366-0433  
 www.gilmore-assoc.com

**LETTER OF TRANSMITTAL**

Date: 3/14/2018  
 File No.: 1304013A  
 Reference: Pocono Logistics  
 LD Plan Submission

VIA Fed Ex

Pam Tripus, Assistant Township Secretary  
 Pocono Township Municipal Building  
 112 Township Drive  
 P.O. Box 197  
 Tannersville, PA 18372

RECEIVED

MAR 15 2018

POCONO TOWNSHIP

WE ARE SENDING YOU  Attached  Under separate cover via \_\_\_\_\_ the following items:

- Shop Drawings/ Submittals  Prints  Plans  Samples  Specifications  
 Copy of Letter  Change Order  Other

COPIES	DATE	NO.	DESCRIPTION
12		1	Application & submission fee (ck# 12048-\$1,000)
1		2	Plan Checklist, Professional Services Escrow Agreement, and ck#12049-\$7500
12		3	Requests for Modifications (4 requests are included with this submission)
12	1/24/18	4	Wetland Report
3	3/14/18	5	E&S Report
3	3/14/18	6	PCSM Report

THESE ARE TRANSMITTED as checked below:

- For approval  Approved as submitted  Resubmit \_\_\_ copies for approval  
 For your use  Approved as noted  Submit \_\_\_ copies for distribution  
 As requested  Returned for corrections  Return \_\_\_ corrected prints  
 For review and comment  PRINTS RETURNED AFTER LOAN TO US  
 For BIDS DUE \_\_\_\_\_ 20

REMARKS:

Pam,  
 Attached are plans, reports, and documents for the Land Development at Pocono Logistics. If you have any questions or need any additional information, please let me know. Thanks.

cc.: Brian Telesh (via email), file

Signed: Sean F. Policelli

Sean F. Policelli, P.E.

*If enclosures are not included with this transmittal, kindly contact this office at once.*

BUILDING ON A FOUNDATION OF EXCELLENCE  
 65 E. Butler Avenue | Suite 100 | New Britain, PA 18901 | 215-345-4330 | 215-345-8606  
 508 Corporate Drive West | Langhorne, PA 19047 | 215-369-3955 | 215-345-8606  
 184 W. Main Street | Suite 300 | Trappe, PA 19426 | 610-489-4949 | 610-489-8447  
 119 East Linden Street | Kennett Square, PA 19348 | 610-444-9006 | 610-444-7282  
 5100 Tilghman Street | Suite 150 | Allentown, PA 18104 | 610-366-8064 | 610-366-0433  
 One Penn Center at Suburban Station | 1617 JFK Blvd. | Suite 425 | Philadelphia, PA 19103 | 215-687-4248 | 215-564-1780  
 www.gilmore-assoc.com

**POCONO TOWNSHIP LAND DEVELOPMENT APPLICATION**

Pocono Township  
P.O. Box 197  
Tannersville, PA 18372

RECEIVED  
MAR 15 2018

POCONO TOWNSHIP

The undersigned hereby applies for review by the Pocono Township Planning Commission and review and approval of the Board of Commissioners of Pocono Township for the plans submitted herewith and described below:

- 1.  Preliminary Plan Submission \_\_\_\_\_ Lot Line Adjustment
- Final Plan Submission \_\_\_\_\_ Lot Combination
- \_\_\_\_\_ Final Plan-Minor Subdivision \_\_\_\_\_ Sketch Plan

2. Name of Land Development: Pocono Logistics

Plan Dated: \_\_\_\_\_ County Deed Book No.: 2331

Volume No.: \_\_\_\_\_ Page No. : 9020

Property located in the Township's Designated \_\_\_\_\_ Zone.

3. Name of Property Owner(s): Wesley Wojtanowicz  
(If corporation, provide corporations' name and address and two officers of corporation)

Address: 5422 Shellbrook Drive, Stroudsburg, PA 18360

Phone No.: 570-369-7302

4. Name of Applicant: Same as Owner  
(If other than owner)

Address: \_\_\_\_\_

Phone No.: \_\_\_\_\_

5. Applicant's Interest If other than owner: \_\_\_\_\_

6. Engineer, Architect, Land Surveyor, or Landscape Architect responsible for plan:

Gilmore & Associates, Inc. (Sean Policelli, P.E.)

Address: 5100 Tilghman St., Suite 150, Allentown, PA 18104

Phone No.: 610-366-8064

7. Total Acreage: 4.96 Total Number of Lots: 1

8. Acreage of adjoining land in same ownership (if any): n/a

- 9. Type of Development Planned: Single Family: \_\_\_\_\_
- Two-Family: \_\_\_\_\_
- Multi-Family: \_\_\_\_\_
- Commercial: X
- Industrial: \_\_\_\_\_
- Other: \_\_\_\_\_

**POCONO TOWNSHIP LAND DEVELOPMENT APPLICATION**

10. Will construction of building be undertaken Immediately \_\_\_\_ Yes \_\_\_\_ No X N/A  
By Whom: \_\_\_\_\_ Person Subdividing  
\_\_\_\_\_ Other Developer  
\_\_\_\_\_ Purchasers of Individual lots

11. Type of water supply proposed: X Public (Municipal) system  
\_\_\_\_\_ Private (Centralized)  
\_\_\_\_\_ Individual (On Site)

12. Type of sanitary sewage Disposal proposed: \_\_\_\_\_ Public (Municipal) system  
\_\_\_\_\_ Private (Centralized)  
X Individual (On Site)

13. Are all streets proposed for dedication: \_\_\_\_ Yes \_\_\_\_ No X N/A

14. Acreage proposed for park or other public or semi-public use as per Ordinance 121, Article IX, Section 3.212:  
0.0 Ac.

15. Present zoning classification and zoning changes, if any, to be requested:  
C - Commercial

16. Have appropriate public utilities been consulted: X Yes \_\_\_\_ No

17. Material accompanying this Land Development Application:

Number	Item
a) <u>X</u>	Preliminary Plan
b) <u>X</u>	Final Plan
c) _____	Final Plan-Minor Subdivision
d) <u>X</u>	Development Agreement
e) _____	Street Profiles and Cross-sections
f) _____	Other

18. List all subdivision standards and requirements which have not been met and for which a waiver or change is to be required: Section 303 - Simultaneous Submission of a Preliminary/Final Plan, Stormwater Ordinance 301.G - Providing a 50-ft easement on either side of the stream, Section 607.16.B & C - demonstrating clear sight distance for the existing driveway & field verifying same, Section 406.2.B Showing existing contours across the entire site.

The undersigned represents that to the best of his knowledge and belief, all the above statements are true and correct, and complete.

Date: 3/5/18.  
Signature of Owner or Applicant: 

(By) \_\_\_\_\_

**POCONO TOWNSHIP PLAN RECEIPT CHECK LIST**

Name of Subdivision or Land Development Plan: Pocono Logistics

Property Identification # 12-6362-00-76-189

Date: 3/14/2018

Name of Developer: Pocono Logistics

Name of Engineer or Surveyor: Gilmore & Associates, Inc.

Address: 585 Railroad Avenue  
Stroudsburg, PA 18036

Address: 5100 Tilghman St., Suite 150  
Allentown, PA 18104

Phone: 570-369-7302

Phone: 610-366-8064

Email: brian34pl@gmail.com

Email: spollicelli@gilmore-assoc.com

**RECEIVED**

**MAR 15 2018**

**POCONO TOWNSHIP**

**Preliminary Major Subdivision and/or Land Development**

- | Yes                                 | No                                  |   |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Signed dated Application – 12 copies  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Plan - 12 copies - (3 full sets, 9 - 11"x17", and 1 electronic -CD)   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Planning Modules Information as per DEP requirement - 4 copies  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Wetland Study or abbreviated Study (if warranted) – 12 copies   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Copy of Erosion and Sedimentation Narrative (may be submitted with final unless applicant opts to build under Preliminary plan approval) – 3 copies |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Storm Water Management (SWM) Report - 3 copies  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Modification Request Application for all requested Modifications – 12 copies  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | PennDot Highway Occupation Permit (HOP) or acknowledgement of project if fronting state road and non-residential – 4 copies                         |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Professional Services Agreement and Escrow payment – 1 copy with W-9 form   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Required Application Fees   |

Plan is either Preliminary or Final. There are no provisions in the ordinance for a Preliminary/Final Submission. Such Submission would require a Modification Request with the plan application.

**Final Major Subdivision and/or Land Development**

- | Yes                                 | No                                  |  |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Signed dated Application - 12 copies   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Plan -12 copies - (3 full sets, 9 - 11"x17", and 1 electronic- CD)   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Professional Services Agreement and Escrow payment   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Required Application Fees  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Storm Water Management (SWM) Report - 3 copies   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Copy of Erosion and Sedimentation Narrative – 3 copies   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Wetland Study or abbreviated Study (if warranted) (if preliminary plan submittal was waived) -12 copies  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Planning Modules Information ( if preliminary plan submittal was waived) as per DEP requirement- 4 copies  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Modification Request Application for all requested Modifications (if Modifications approved with Preliminary Plan, then provide listing on Final Plan) – 12 copies |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | PennDot Highway Occupation Permit (HOP) or acknowledgement of project if fronting state road and non-residential – 4 copies  |

Plan is either Preliminary or Final. There are no provisions in the ordinance for a Preliminary/Final Submission. Such Submission would require a Modification Request with the plan application.

**Minor Subdivision Plan Check List**

- | Yes                      | No                       |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Signed dated Application – 12 copies   |
| <input type="checkbox"/> | <input type="checkbox"/> | Professional Services Agreement and Escrow payment   |
| <input type="checkbox"/> | <input type="checkbox"/> | Required Application Fees  |
| <input type="checkbox"/> | <input type="checkbox"/> | Plan -12 copies - (3 full sets, 9- 11"x17", and 1 electronic- CD)  |
| <input type="checkbox"/> | <input type="checkbox"/> | Wetland Study or abbreviated Study (if warranted) – 12 copies  |
| <input type="checkbox"/> | <input type="checkbox"/> | Modification Request for all requested Modifications – 12 copies   |
| <input type="checkbox"/> | <input type="checkbox"/> | Tract History for verification of minor plan consideration – 12 copies   |
| <input type="checkbox"/> | <input type="checkbox"/> | Minor Planning Modules as per DEP Requirement – 4 copies   |
| <input type="checkbox"/> | <input type="checkbox"/> | PennDot Highway Occupation Permit (HOP) or acknowledgement of project if fronting state road and non-residential – 4 copies if Applicable. |
| <input type="checkbox"/> | <input type="checkbox"/> | Four (4) copies of all other required supporting data and documentation as required in Article IV of SALDO                                 |

**Minor Plans for Lot Line Adjustments and Revisions to Previously Approved Plans (SALDO Sec. 308)**

- | Yes                      | No                       |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Signed dated Application – 9 copies  |
| <input type="checkbox"/> | <input type="checkbox"/> | Professional Services Agreement and Escrow payment   |
| <input type="checkbox"/> | <input type="checkbox"/> | Required Application Fees  |
| <input type="checkbox"/> | <input type="checkbox"/> | Plan -9 copies and 1 electronic- CD)   |
| <input type="checkbox"/> | <input type="checkbox"/> | Wetland Study or abbreviated Study (if warranted) – 9 copies   |
| <input type="checkbox"/> | <input type="checkbox"/> | Modification Request for all requested Modifications – 9 copies  |
| <input type="checkbox"/> | <input type="checkbox"/> | Tract History for verification of minor plan consideration – 9 copies  |
| <input type="checkbox"/> | <input type="checkbox"/> | Minor Planning Modules as per DEP Requirement – 4 copies   |
| <input type="checkbox"/> | <input type="checkbox"/> | PennDot Highway Occupation Permit (HOP) or acknowledgement of project if fronting state road and non-residential – 4 copies if Applicable. |
| <input type="checkbox"/> | <input type="checkbox"/> | Required Application Fees  |
| <input type="checkbox"/> | <input type="checkbox"/> | Copies of all other required supporting data and documentation as required in Article IV of SALDO  |

Submission Receipt- After the Commission has determined that the Plan Submission included all of the required material as specified by this Ordinance, the Commission shall issue a receipt for the Plan at a regular meeting. The date the submission receipt is issued (the Submission Receipt Date) constitutes the official date of submission for purposes of plan review. Plans and supportive data, which are incomplete, shall be rejected and the Applicant shall be notified of the nature and extent of the omissions.

These Items are requirements for plan receipt issuance only. No other acceptance or approval is implied.

APPENDIX G

REQUEST FOR MODIFICATION

RECEIVED  
MAR 15 2018  
POCONO TOWNSHIP

Name of Applicant: Wesley Wojtanowicz

Name of Subdivision or Land Development: Pocono Logistics

Section of Subdivision and Land Development Ordinance: 303

Justification for Relief: Requesting that a single Preliminary/Final Plan be accepted for review. The scope of the project does not warrant two stages of plan submission.

Is the hardship self-imposed? \_\_\_ Yes X No

Is the hardship related to financial issues? \_\_\_ Yes X No

Will relief from the referenced section of the Subdivision and Land Development Ordinance alter the intent of the Ordinance?

Yes (No) Explain: The SALDO makes provisions for the submission of a preliminary/final plan in section 306. There will not be any transfer of land ownership and there are minimal improvements proposed.

APPENDIX G

REQUEST FOR MODIFICATION

RECEIVED  
MAR 15 2018  
POCONO TOWNSHIP

Name of Applicant: Wesley Wojtanowicz

Name of Subdivision or Land Development: Pocono Logistics

Section of Subdivision and Land Development Ordinance: 406.2.B

Justification for Relief: Relief is requested from the requirement to show existing contours on the steeply sloping, northerly portion of the site since no work is proposed in that area.

Is the hardship self-imposed? \_\_\_ Yes X No

Is the hardship related to financial issues? \_\_\_ Yes X No

Will relief from the referenced section of the Subdivision and Land Development Ordinance alter the intent of the Ordinance?

Yes  No  Explain: No work is proposed on or near that portion of the property. Aerial and topographic maps have been provided within the submitted plans and reports.

RECEIVED  
MAR 15 2018  
POCONO TOWNSHIP

APPENDIX G

REQUEST FOR MODIFICATION

Name of Applicant: Wesley Wojtanowicz

Name of Subdivision or Land Development: Pocono Logistics

Section of Subdivision and Land Development Ordinance: 607.16.B & C

Justification for Relief: Relief is requested from providing the required sight distance.

Relief is requested from field verifying the clear sight distance for the driveway entrance.

Is the hardship self-imposed? \_\_\_ Yes X No

Is the hardship related to financial issues? \_\_\_ Yes X No

Will relief from the referenced section of the Subdivision and Land Development Ordinance alter the intent of the Ordinance?

Yes  No  Explain: No changes are proposed to the driveway or to the existing use of the site. No changes are proposed to the amount or type of traffic utilizing the driveway.



APPENDIX G

REQUEST FOR MODIFICATION

RECEIVED  
MAR 15 2006  
POCONO TOWNSHIP

Name of Applicant: Wesley Wojtanowicz

Name of Subdivision or Land Development: Pocono Logistics

Stormwater Management  
Section of Subdivision and Land Development Ordinance: 301.G

Justification for Relief: Relief is requested from providing a 50-ft wide drainage easement on either side of the existing drainage channel that traverses the property.

The stream is ephemeral and has minimal flow.

Is the hardship self-imposed? \_\_\_ Yes X No

Is the hardship related to financial issues? \_\_\_ Yes X No

Will relief from the referenced section of the Subdivision and Land Development Ordinance alter the intent of the Ordinance?

Yes  No Explain: A drainage easement conforming to the tops of the banks of the channel will be provided. The land area on both sides of the channel is already graded and/or improved with asphalt and gravel drives and parking areas and other structures, as shown on the existing features plan. The proposed detention basin is located within 50 feet of the top of bank of the drainage channel between the two driveways on the site. An easement for the detention basin will be provided. The gravel parking area located on the westerly side of the existing stone driveway is within 20 to 25 feet of the top of bank of the channel. The grades in that area will not be changed, other than that necessary to restore the channel and swale as shown on the grading and utility plan.

**GENERAL NOTES**

1. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES OF THE COMMONWEALTH OF PENNSYLVANIA.

2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES OF THE COMMONWEALTH OF PENNSYLVANIA.

3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES OF THE COMMONWEALTH OF PENNSYLVANIA.

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5. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES OF THE COMMONWEALTH OF PENNSYLVANIA.

**GENERAL NOTES**

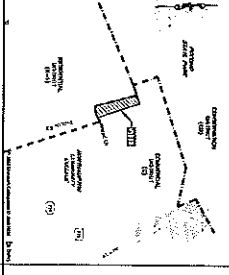
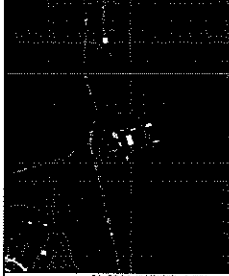
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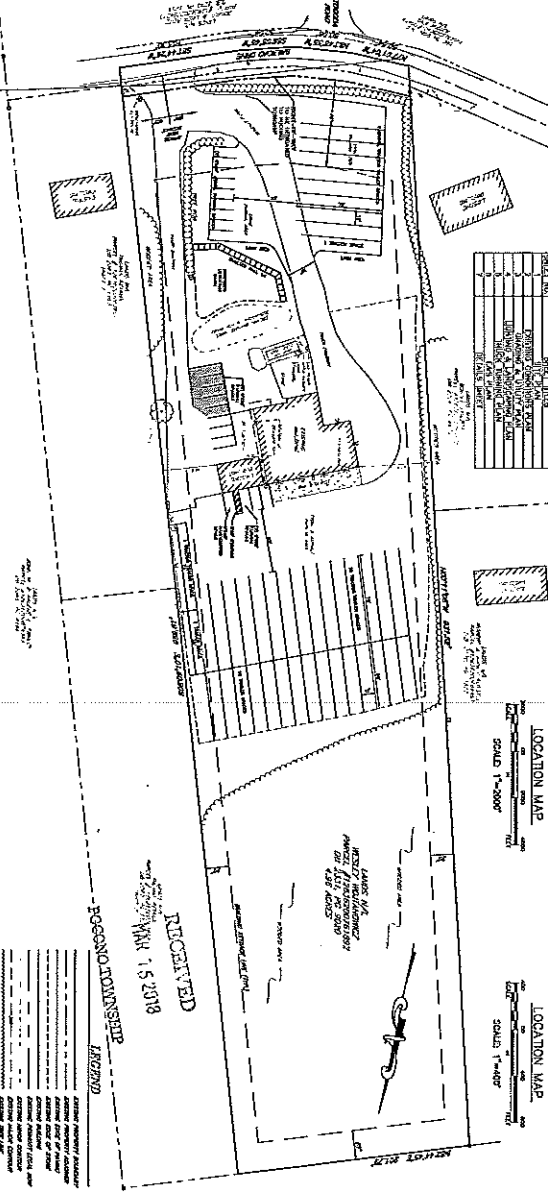
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**PLAN SHEET INDEX**

NO.	TITLE
1	GENERAL NOTES
2	GENERAL NOTES
3	GENERAL NOTES
4	GENERAL NOTES
5	GENERAL NOTES
6	GENERAL NOTES
7	GENERAL NOTES
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46	GENERAL NOTES
47	GENERAL NOTES
48	GENERAL NOTES
49	GENERAL NOTES
50	GENERAL NOTES



**NOTES AND COVENANTS**

1. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES OF THE COMMONWEALTH OF PENNSYLVANIA.

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5. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES OF THE COMMONWEALTH OF PENNSYLVANIA.

**CERTIFICATE OF AGREEMENT & COMPLIANCE**

I, the undersigned, hereby certify that the above described project complies with all applicable laws, codes, and regulations of the Commonwealth of Pennsylvania and the County of Lehigh.

DATE: \_\_\_\_\_  
 NAME: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP & ACKNOWLEDGMENT OF PLAN**

I, the undersigned, hereby certify that I am the owner of the above described property and I acknowledge the contents of the above described plan.

DATE: \_\_\_\_\_  
 NAME: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

**RECOMMENDED BY THE POCONO TOWNSHIP BOARD OF COMMISSIONERS**

I, the undersigned, hereby recommend the above described project to the Board of Commissioners of the Township of Pocono.

DATE: \_\_\_\_\_  
 NAME: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

**RECOMMENDED BY THE POCONO TOWNSHIP PLANNING COMMISSION**

I, the undersigned, hereby recommend the above described project to the Planning Commission of the Township of Pocono.

DATE: \_\_\_\_\_  
 NAME: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

**LAND DEVELOPMENT PLAN SITE PLAN**

**POCONO LOGISTICS**

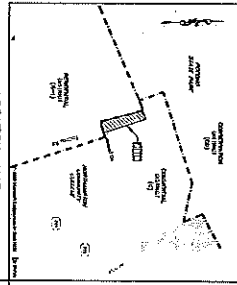
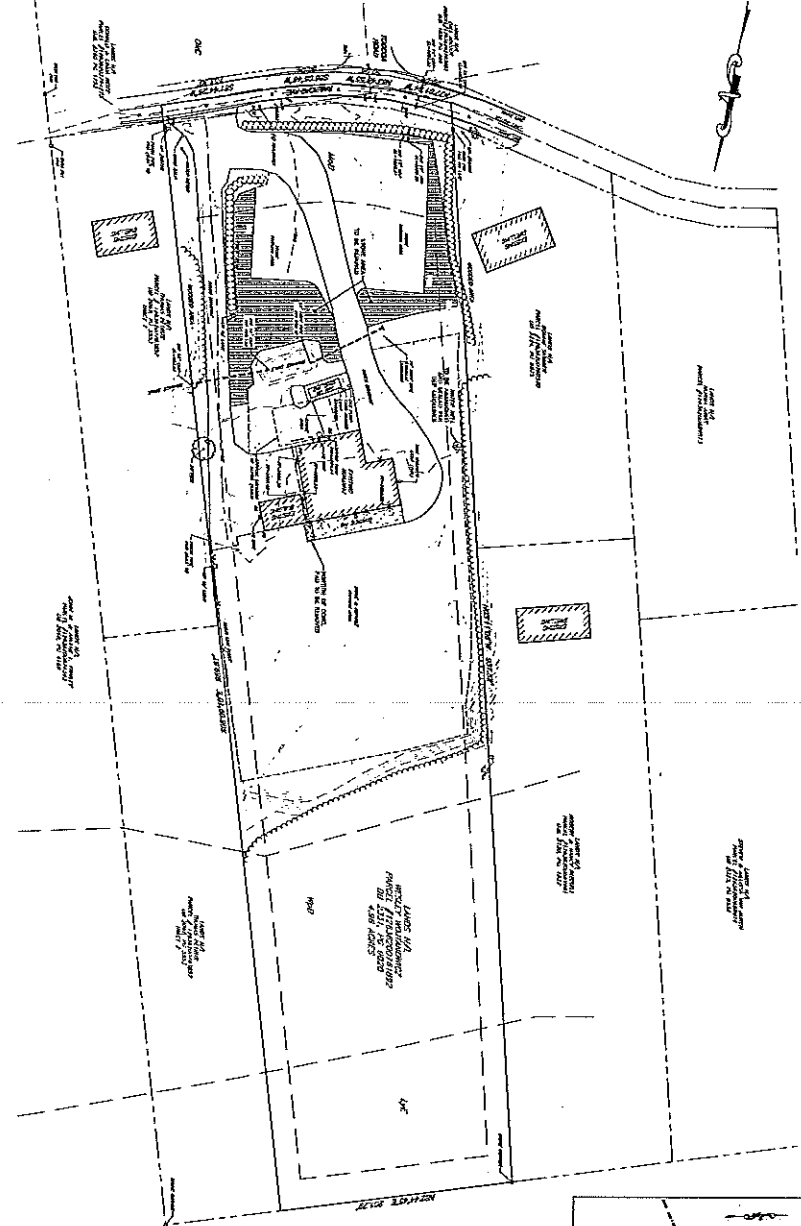
POCONO TOWNSHIP, MONROE COUNTY, PENNSYLVANIA

NO.	DATE	DESCRIPTION
1	10/15/17	PRELIMINARY PLAN
2	11/15/17	FINAL PLAN
3	12/15/17	FINAL PLAN
4	01/15/18	FINAL PLAN
5	02/15/18	FINAL PLAN
6	03/15/18	FINAL PLAN
7	04/15/18	FINAL PLAN
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99	12/15/25	FINAL PLAN
100	01/15/26	FINAL PLAN

**GILMORE & ASSOCIATES, INC.**  
 ENGINEERING & CONSULTING SERVICES

1000 W. MARKET ST., SUITE 200  
 POCONO, PA 18342  
 TEL: 610-861-1111  
 FAX: 610-861-1112  
 WWW.GILMORE-ASSOCIATES.COM

DATE: 11/15/23  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO: [Number]



LOCATION MAP  
SCALE 1"=100'

**LEGEND**

	EXISTING BUILDING
	NEW BUILDING
	EXISTING PARKING
	NEW PARKING
	EXISTING ROAD
	NEW ROAD
	EXISTING PROPERTY LINE
	NEW PROPERTY LINE
	EXISTING UTILITY
	NEW UTILITY
	OTHER

**GENERAL NOTES**

1. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
2. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
3. ALL LOT DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL LOT DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
5. ALL LOT DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

NO.	DATE	REVISION
1	01/15/78	PREPARED

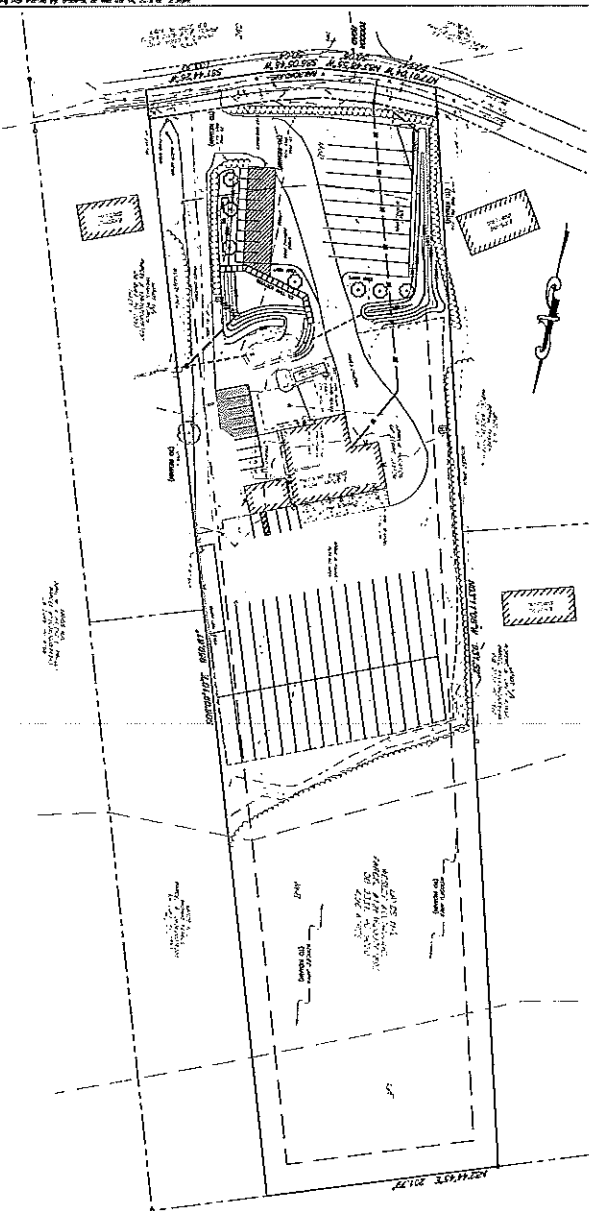
<b>PROJECT TITLE</b> LAND DEVELOPMENT PLAN EXISTING CONDITIONS PLAN <b>POCONO LOGISTICS</b> POCONO TOWNSHIP, MONROE COUNTY, PENNSYLVANIA		<b>OWNER</b> POCONO LOGISTICS, INC. 11500 STATE STREET POCONO, PA. 18342	<b>DATE PREPARED</b> 01/15/78	<b>DATE FIELD WORK</b> 01/15/78	<b>DRAWN BY</b> J.G.A.	<b>CHECKED BY</b> J.G.A.
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**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

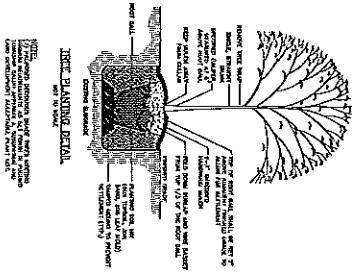
POCONO, PA.

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118  
GILMORE & ASSOCIATES, INC.  
ENGINEERING & CONSULTING SERVICES



**TREE PLANTING DETAIL**

1. TREE IS TO BE PLANTED WITHIN THE SCHEDULED AREA.

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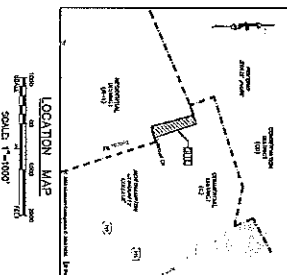
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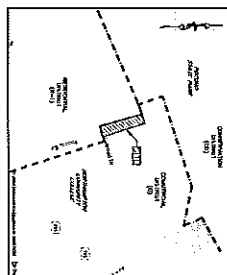
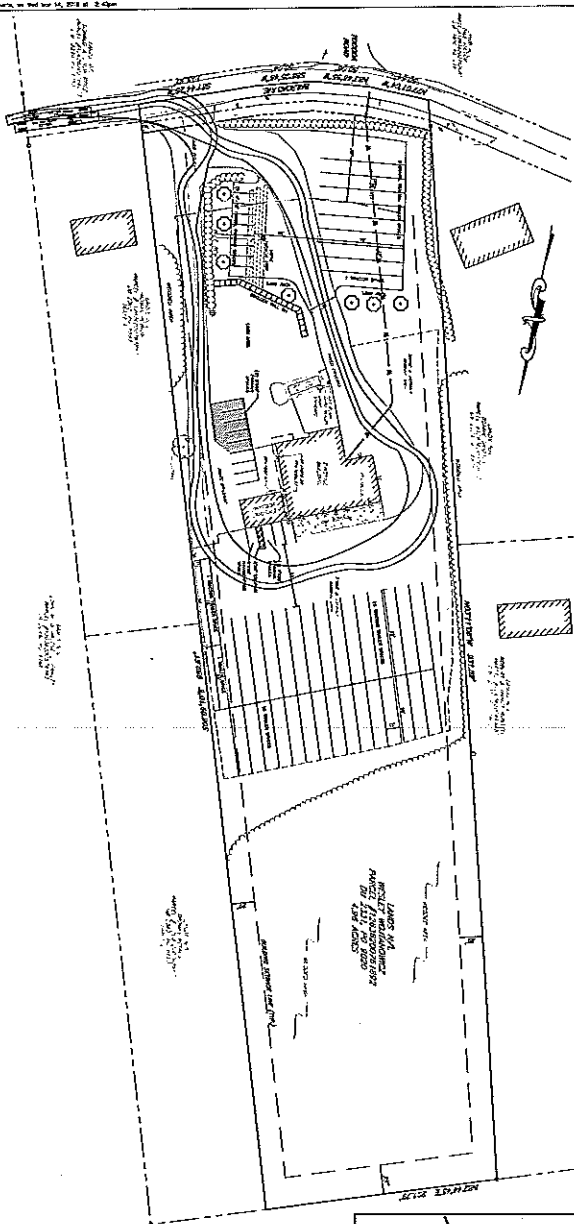
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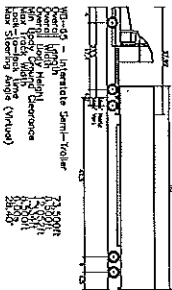


<b>LAND DEVELOPMENT PLAN LIGHTING &amp; LANDSCAPING PLAN</b>  <b>POCONO LOGISTICS</b>  POCONO LOGISTICS, MOORE CANYON, PENNSYLVANIA	OWNER: POCONO LOGISTICS 1000 EAST STATE ST POCONO, PA 18342	DATE: 05/20/2014 DRAWING NO.: 15050207P-002 MUNICIPAL FILE NO.: 15050207P-002		<b>GILMORE &amp; ASSOCIATES, INC.</b> ENGINEERING & CONSULTING SERVICES 1000 EAST STATE ST POCONO, PA 18342
	DESIGNER: GILMORE & ASSOCIATES, INC. 1000 EAST STATE ST POCONO, PA 18342	DATE: 05/20/2014 DESIGNER: [Signature] CHECKED BY: [Signature] SCALE: AS SHOWN	SHEET NO.: 15050207P-002 TOTAL SHEETS: 15050207P-002	PROJECT NO.: 15050207P-002 CLIENT: POCONO LOGISTICS



**LEGEND**

Proposed Building	Proposed Access Road
Proposed Parking	Proposed Utility
Proposed Fencing	Proposed Storm Drain
Proposed Retention Wall	Proposed Wetland
Proposed Slope Protection	Proposed Right-of-Way
Proposed Utility	Proposed Easement
Proposed Storm Drain	Proposed Survey
Proposed Wetland	Proposed Boundary
Proposed Right-of-Way	Proposed Easement
Proposed Easement	Proposed Survey
Proposed Survey	Proposed Boundary
Proposed Boundary	Proposed Easement
Proposed Easement	Proposed Survey
Proposed Survey	Proposed Boundary
Proposed Boundary	Proposed Easement
Proposed Easement	Proposed Survey
Proposed Survey	Proposed Boundary
Proposed Boundary	Proposed Easement



PROPERTY LINE OF GILMORE, INC.



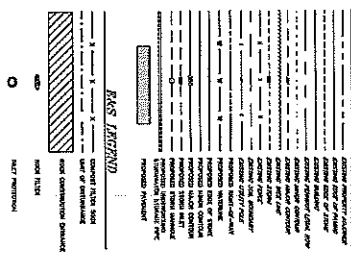
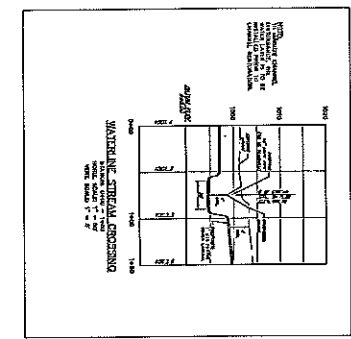
LAND DEVELOPMENT PLAN  
TRUCK TURNING PLAN  
POCONO LOGISTICS

OWNER	POCONO LOGISTICS
PROJECT NAME	POCONO LOGISTICS
PROJECT ADDRESS	POCONO LOGISTICS
DATE	NOV 20 2006
DRAWN BY	[Blank]
CHECKED BY	[Blank]
APPROVED BY	[Blank]
SCALE	AS SHOWN



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF GILMORE & ASSOCIATES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GILMORE & ASSOCIATES, INC.

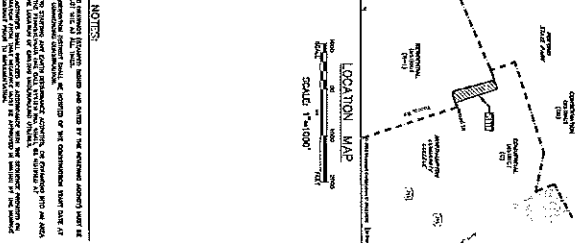
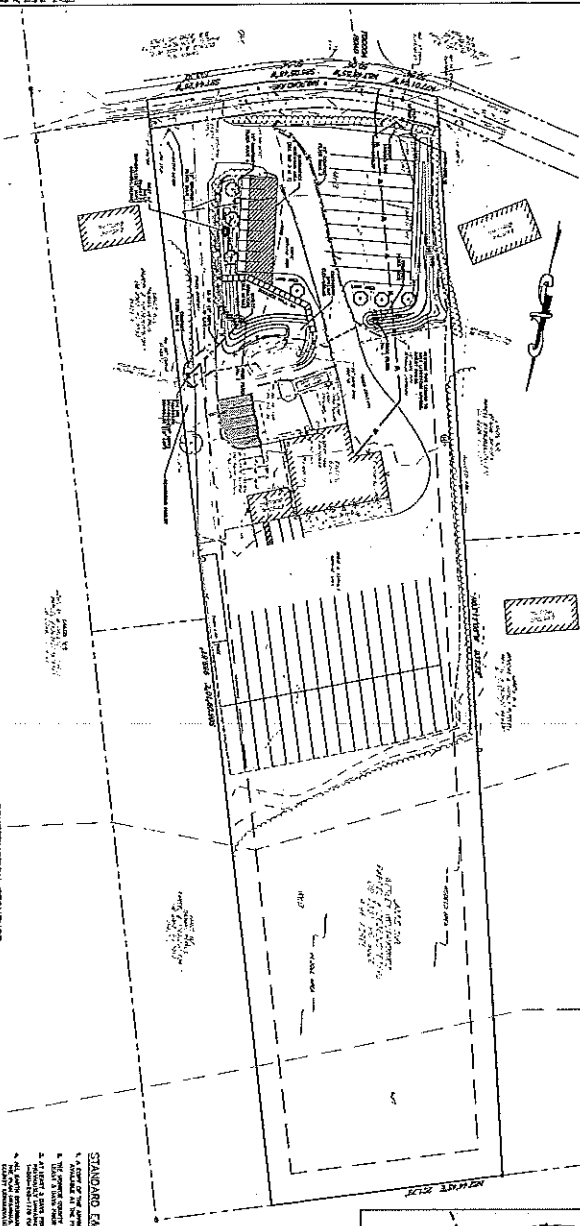


**CONSTRUCTION SEQUENCE**

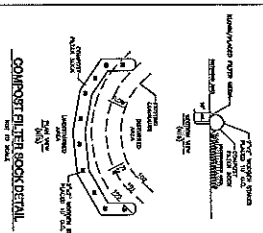
1. Clear and grade all areas to be constructed.
2. Install all utility lines (water, sewer, gas, etc.) as shown on the plan.
3. Construct all foundations and footings for all structures.
4. Erect all structural steel framing for all structures.
5. Complete all exterior masonry and concrete work.
6. Install all interior partitions and finishes.
7. Complete all mechanical, electrical, and plumbing (MEP) systems.
8. Install all exterior siding and roofing.
9. Complete all site work, including paving, landscaping, and signage.

**STANDARD EAS NOTES**

1. All work shall be in accordance with the Pennsylvania Building Code, 26 Pa.C.S. Chapter 2601.
2. All materials and workmanship shall be in accordance with the Pennsylvania Building Code, 26 Pa.C.S. Chapter 2601.
3. All work shall be subject to inspection and approval by the local authority having jurisdiction.
4. The contractor shall be responsible for obtaining all necessary permits.
5. The contractor shall be responsible for protecting all existing utilities.
6. The contractor shall be responsible for maintaining access to all adjacent properties.
7. The contractor shall be responsible for maintaining traffic flow during construction.
8. The contractor shall be responsible for maintaining safety during construction.
9. The contractor shall be responsible for maintaining cleanliness during construction.
10. The contractor shall be responsible for maintaining noise levels during construction.
11. The contractor shall be responsible for maintaining dust levels during construction.
12. The contractor shall be responsible for maintaining air quality during construction.
13. The contractor shall be responsible for maintaining water quality during construction.
14. The contractor shall be responsible for maintaining soil quality during construction.
15. The contractor shall be responsible for maintaining vegetation during construction.
16. The contractor shall be responsible for maintaining wildlife during construction.
17. The contractor shall be responsible for maintaining historic resources during construction.
18. The contractor shall be responsible for maintaining cultural resources during construction.
19. The contractor shall be responsible for maintaining archaeological resources during construction.
20. The contractor shall be responsible for maintaining paleontological resources during construction.

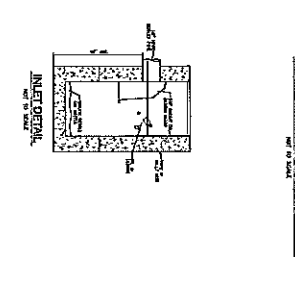
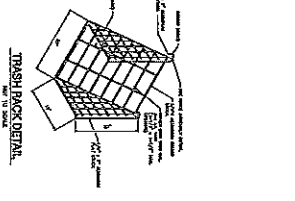
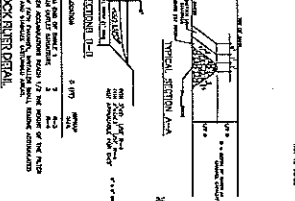
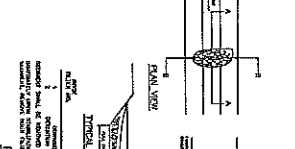
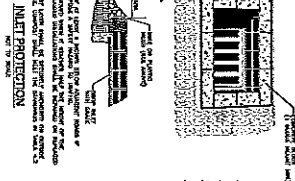
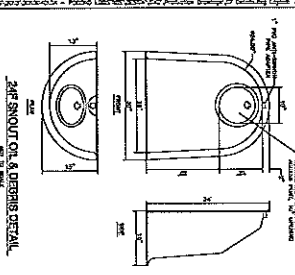


<b>OWNER</b> POCONO LOGISTICS 1000 W. MAIN ST. POCONO, PA 18342	<b>JOB NO.</b> 2010-03-01	<b>TAX MAP PARCEL NO.</b> 123456789		<b>GILMORE &amp; ASSOCIATES, INC.</b> ENGINEERING & CONSULTING SERVICES 1000 W. MAIN ST. POCONO, PA 18342
<b>PROJECT NO.</b> 1000	<b>SCALE</b> 1" = 100'	<b>DATE</b> 12/15/2010	<b>BY</b> EAS	<b>CHECKED BY</b> [Signature]

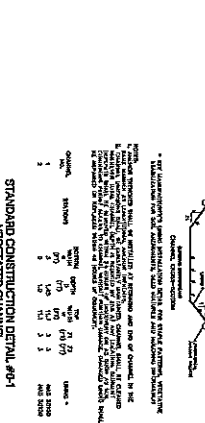
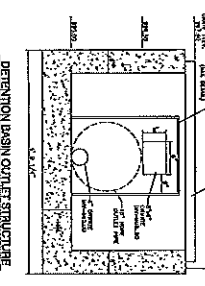
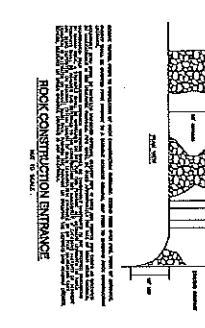


NO.	DESCRIPTION	QTY	UNIT	REMARKS
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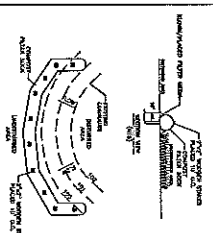
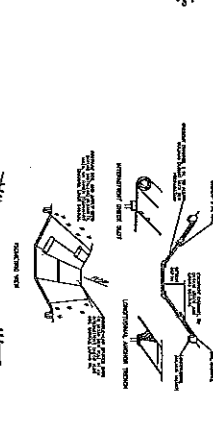
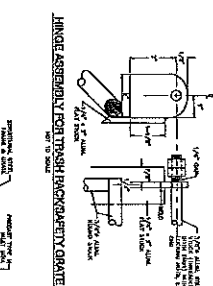
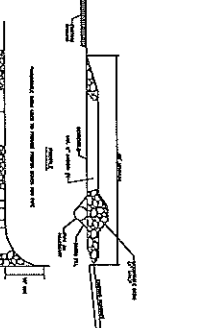
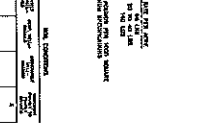
CONSTRUCTION NOTES:  
 1. ALL MATERIALS TO BE USED SHALL BE OF THE HIGHEST QUALITY AVAILABLE.  
 2. THE FILTER SOCK SHALL BE INSTALLED AS SHOWN IN THE DETAIL DRAWING.  
 3. THE FILTER SOCK SHALL BE MAINTAINED IN A CLEAN AND OPEN CONDITION AT ALL TIMES.  
 4. THE FILTER SOCK SHALL BE REPLACED AS NECESSARY.  
 5. THE FILTER SOCK SHALL BE INSTALLED IN A MANNER THAT WILL ALLOW FOR EASY ACCESS AND MAINTENANCE.



NO.	DESCRIPTION	QTY	UNIT	REMARKS
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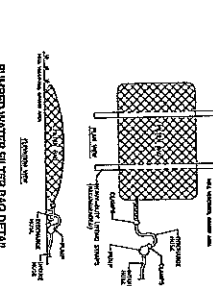


NO.	DESCRIPTION	QTY	UNIT	REMARKS
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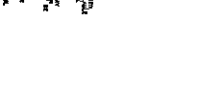


NO.	DESCRIPTION	QTY	UNIT	REMARKS
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NO.	DESCRIPTION	QTY	UNIT	REMARKS
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SHEET NO. 7 OF 7	<b>LAND DEVELOPMENT PLAN</b> <b>DETAILS SHEET</b>  <b>POCONO LOGISTICS</b>	OWNER: POCONO LOGISTICS, INC. 1000 POCONO AVENUE POCONO, PA 18342	JOB NO.: 1000-1000-1000	TAX MAP PARCEL NO.: 1000-1000-1000	<b>GILMORE &amp; ASSOCIATES, INC.</b> <b>ENGINEERING &amp; CONSULTING SERVICES</b>  1000 POCONO AVENUE POCONO, PA 18342
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NOT APPROVED FOR CONSTRUCTION





**Boucher & James, Inc.**  
CONSULTING ENGINEERS

AN EMPLOYEE OWNED COMPANY

INNOVATIVE ENGINEERING

Fountainville Professional Building  
1456 Ferry Road, Building 500  
Doylestown, PA 18901  
215-345-9400  
Fax 215-345-9401

2738 Rimrock Drive  
Stroudsburg, PA 18360  
570-629-0300  
Fax 570-629-0306

559 Main Street, Suite 230  
Bethlehem, PA 18018  
610-419-9407  
Fax 610-419-9408

www.bjengineers.com

March 22, 2018

Mike Tripus  
Pocono Township Zoning Officer  
112 Township Drive  
P.O. Box 197  
Tannersville, PA 18372

**SUBJECT: WAGNER MILLWORK, LLC – FORESTRY PERMIT REVIEW NO. 1  
BROOKDALE ENTERPRISES LLC PROPERTY  
POCONO TOWNSHIP, MONROE COUNTY, PENNSYLVANIA  
PROJECT NO. 1730058B**

Dear Mr. Tripus:

Pursuant to the Township’s request, we have completed our first review for the above referenced project. The submitted information consists of the following:

- Forestry Permit Application including Erosion and Sediment Control Plan for a Timber Harvesting Operation.

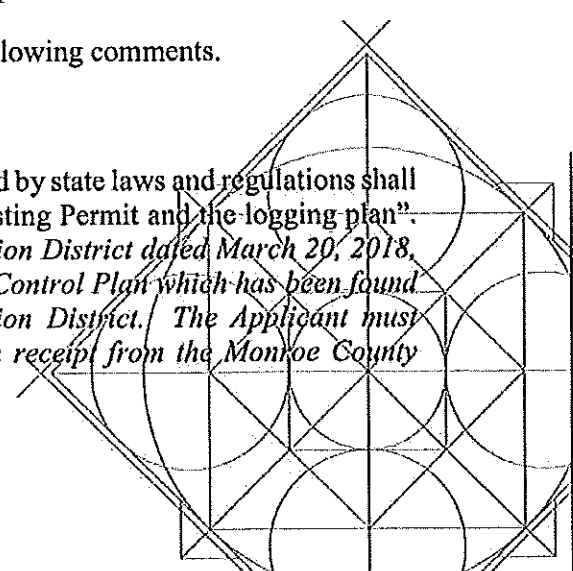
**BACKGROUND INFORMATION**

A Forestry Permit Application has been submitted to perform timber harvesting at 2455 Back Mountain Road. The area to be harvested is located on the former Caesar’s Brookdale at the Lake Resort and includes portions of proposed Lots 1 through 4 as shown on the Brookdale Enterprises, LLC and Vincent J. & Charlie Lynn Trapasso Final Minor Subdivision Plan. The area of timber harvesting will be 120 acres with 75% of the existing trees proposed to remain.

Based on our review of the above information, we offer the following comments.

**ZONING ORDINANCE COMMENTS**

1. In accordance with Section 904.D, “any permits required by state laws and regulations shall be attached to and become a part of the Timber Harvesting Permit and the logging plan”. *Per a letter received by the Monroe County Conservation District dated March 20, 2018, the Applicant has submitted an Erosion and Sediment Control Plan which has been found complete and accepted for review by the Conservation District. The Applicant must provide an approved Timber Harvesting Permit upon receipt from the Monroe County Conservation District.*

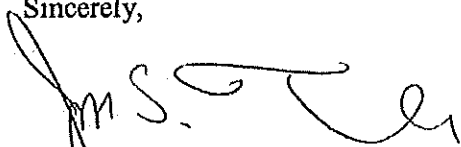


**STORMWATER MANAGEMENT AND EARTH DISTURBANCE ORDINANCE COMMENTS**

2. In accordance with Section 202, earth disturbance, which is a regulated activity per Section 104, is defined as “any activity including, but not limited to, construction, mining, farming, timber harvesting and grubbing which alters, disturbs, and exposes the existing land surface.” *In addition to the submitted Forestry Permit Application, an application for Stormwater Management and Earth Disturbance must also be submitted to the Township for review and approval under this Ordinance.*
  
3. In accordance with Section 402.E, “forest management/timber operations are exempted from the stormwater management site plan preparation and submittal requirements. Said operations shall submit an Erosion and Sediment Pollution Control Plan to the Monroe County Conservation District for approval if the operation affects ten (10) acres or more.” *As discussed in Comment 1, the Applicant must provide an approved Timber Harvesting Permit upon receipt from the Monroe County Conservation District. In addition, although stormwater management is not required, an application for Stormwater Management and Earth Disturbance must also be submitted to the Township for review and approval under this Ordinance.*

If you should have any questions regarding the above comments, please call me.

Sincerely,



Jon S. Tresslar, P.E., P.L.S.  
Township Engineer

JST/mep/cg

cc: Doug Beaulieu, Wagner Millwork, LLC – Applicant  
Brookdale Enterprises, LLC – Property Owner  
Melissa E. Prugar, P.E. – Boucher & James, Inc.



MONROE COUNTY  
CONSERVATION DISTRICT

*Conserving Natural Resources for the Future*

Technical Section Tel (570) 629-3060 • Environmental Education Tel (570) 629-3061  
8050 Running Valley Road • Stroudsburg, PA 18360 • Fax (570) 629-3063 • [www.mcconservation.org](http://www.mcconservation.org)

ACKNOWLEDGEMENT OF RECEIPT OF COMPLETE APPLICATION

March 20, 2018

Sent via regular and email

TO: Brookdale Enterprises, LLC  
c/o Eddie Abraham  
PO Box 531  
Tannersville, PA 18372

SITE LOCATION: Pocono Township, Monroe County, PA

SITE DESCRIPTION: Brookdale Timber Harvest  
High Quality Waters

Dear Mr. Abraham:

Your application for an Erosion and Sediment Control Plan review was received on March 19, 2018 by the Monroe County Conservation District.

The application was checked for completeness and all necessary items were found to be included.

The Erosion and Sediment Control Plan will be reviewed for compliance with the Department of Environmental Protection's (DEP) rules and regulations (Chapter 102 Erosion and Sediment Control) by District staff.

If the review of the plan reveals inadequacies, you will be notified by a review letter from the District staff. If revisions of design, facilities or other plan components are required, the additional data must be submitted before a determination of adequacy can be secured.

Inquiries regarding the status of the application and review should be directed to the Monroe County Conservation District, 8050 Running Valley Road, Stroudsburg, PA 18360, telephone (570) 629-3060.

Sincerely,

John Motz  
Resource Conservation Specialist

JM/ds

cc: Pocono Township Supervisors, Planning Commission and Zoning Officer (via email)  
Pocono Township Engineer (via email)  
Future Forest Timber Management c/o Jon Regan (via email)  
File

RECEIVED

MAR 12 2018

POCONO TOWNSHIP

**POCONO TOWNSHIP  
DEPARTMENT OF ZONING AND CODE ENFORCEMENT  
P.O. BOX 197  
TANNERSVILLE, PA 18372  
PHONE: 570-629-1922 FAX: 570-629-7325**

# FORESTRY PERMIT

PERMIT # \_\_\_\_\_ TAX PARCEL # 12/11/1/32  
12/11/1/32-1  
ISSUE DATE \_\_\_\_\_ PIN # 12636400649401  
12636400531080

Authorization hereby granted to Wagner Millwork, LLC

Representing Brookdale Enterprises, LLC

Forestry Location 2455 Back Mountain Road, Tannersville, PA 18372

Zoning District R1 \_\_\_\_\_ R2 \_\_\_\_\_ RD \_\_\_\_\_ C \_\_\_\_\_ I \_\_\_\_\_

Total acreage to be harvested 120

Percentage of trees to remain 75% Selective Cutting yes

\_\_\_\_\_  
, Zoning Officer Date

## Erosion and Sediment Control Plan for a Timber Harvesting Operation

### 1. GENERAL INFORMATION

1/16/2018

Date

A. Location Pocongo Township  
Municipality

Monroe


County

B. Timber sale area # 120 acres

C. Landowner Brookdale Enterprises, LLC  
Name

570-656-0352  
Home Phone Work Phone

PO Box 531  
Street Address

  
Signature of Landowner

Tannersville PA 18372  
City State Zip Code

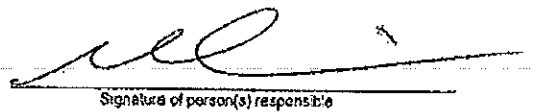
D. Person(s) responsible for construction and maintenance of erosion and sediment control BMPs during earth disturbance activities.  
(NOTE: If duties are assigned to more than one party, list all others under Section 12 of this plan.)

Wagner Millwork, LLC, Attention Doug Beaulieu  
Name

607-687-5362  
Home Phone

607 7605435  
Work Phone

4060 Gaskill Road  
Street Address

  
Signature of person(s) responsible

Owego NY 13827  
City State Zip Code

E. Erosion and Sediment Control Plan prepared by:

Future Forest Timber Management, LLC, C/O Jon Regan  
Name

Phone 607-425-5046

PO Box 871  
Street Address

  
Signature of Plan Preparer

Saviorsburg PA 18353  
City State Zip Code

### 2. TOPOGRAPHICAL MAP

The map must include the location of the project with respect to roadways, streams, wetlands, lakes, ponds, floodplains, type and extent of vegetation and other identifiable landmarks. A United States Geologic Service (USGS) quadrangle map may be used to show the existing topographical features of the project site and the immediate surrounding area. The map scale site must be large enough to clearly depict the topographical features of the project. Enlargements of the USGS quadrangle map are sufficient.

The scale and north arrow must be plainly marked. A complete legend of all symbols used on the map must also be included.

### 3. SOIL MAP

Soils information is available in soil survey reports, published by the USDA Natural Resource Conservation Service in cooperation with Penn State University, College of Agriculture and others. These reports are available for review at the county conservation district offices.

The soils drainage classes must be examined to determine areas with the best drainage for the placement of haul roads and log landings, and to determine proper retirement treatments.

Provide the following soils information for all disturbed areas.

Map Symbols	Soil Series	Limiting Characteristics <sup>1</sup> That May Apply to Timber Harvesting Activities (Check as Appropriate)		
		Erosion Hazards <sup>2</sup>		
		Slight	Moderate, severe	Seasonably Wet <sup>3</sup>
<u>LbC</u>	<u>Lackawanna</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>WpB</u>	<u>Wellsboro</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>WyA</u>	<u>Wyoming</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>MoB</u>	<u>Morris</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>MgB</u>	<u>Morris</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<sup>1</sup> Soils with a moderate or severe erosion hazard or seasonably wet are poor choices for log landing and road locations, and, if possible, alternatives should be considered.

<sup>2</sup> The degree or ease by which soil particles can be detached from the soil surface. Moderate or severe ratings require additional consideration of soil erosion and sediment control BMPs during logging and road construction.

<sup>3</sup> Somewhat poorly drained soils remain wet for a longer period after rain and would be susceptible to disturbance. These soils may be hydric, indicating a possible wetland. They may have to be logged during dry seasons, when the profile may be relatively dry, or when the soils are frozen. They are poor choices for log landing and road locations, and, if possible, alternate areas should be considered.

**4. SKETCH MAP**

The characteristics of the earth disturbance activity. The limits of the harvesting area must be shown on a map(s). Such information as the limits of clearing and grubbing and the areas of cuts and fills for roads and landings, and other proposed disturbances for the timber harvesting area are to be included. Roads, skid roads and landings located within 50 ft. of a stream bank may require a Department Chapter 105 Water Obstruction and Encroachment. The following should be clearly shown on the sketch map:

- Dimensions
- North Arrow
- Landings
- Haul Roads
- Skid Roads
- Wetland Crossings
- Stream Crossings
- Equipment Maintenance/Fueling Areas
- Existing Roads

**5. RUNOFF**

The amount of runoff from the timber harvest area and its upstream watershed area. You do not have to provide runoff calculations unless you plan to use BMPs different from those described in Section 8. If you use different BMPs, your calculations must include an analysis showing any impact that runoff may have on existing downstream watercourses and their resistance to erosion.

**6. RECEIVING WATERS**

All streams in Pennsylvania are classified based upon their designated and existing uses and water quality criteria. Designated uses for waters of this Commonwealth are found in 25 Pa. Code §93.9a-z at <http://www.pacode.com/secure/data/025/chapter93/chap93toc.html>. Existing uses of waters of this Commonwealth are found at the DEP Web site [www.depweb.state.pa.us](http://www.depweb.state.pa.us). Type the phrase "existing use" in the DEP Keyword box. The county conservation district office can also supply this information. List the bodies of water likely to receive direct runoff within or from the timber harvest area.

Name	Designated/Existing Use
UNT to Scot Run	HQ
Scot Run	HQ-CWF

**7. ESTIMATED DISTURBED AREA**

	Total Length (ft)	Average Width (ft)	Area (sq ft)	
Haul Roads	225	12	= 2,700	
Skid Roads	15,840	10	= 158,400	
Landings	350	350	= 122,500	
Total Area (sq. ft.)			= 283,600	+ 43,560 sq ft/A = 6.51 acres

Acres disturbed by earth disturbance activities.

If the total area of earth disturbance activities (sum of area disturbed by haul roads, skid roads and landings) consists of 25 acres or more, an Erosion and Sediment Control Permit must be obtained.

Has application been made for required stream crossing permits?    Yes     No     Not Applicable

At all stream crossing locations, runoff must be directed to a sediment removal area, i.e., filter strip, straw bale, silt fence, sump, a trap for treatment. Waterbars and/or broad based dips should be installed and maintained as required on the approaches to the stream crossing.

**B. Waterbars**

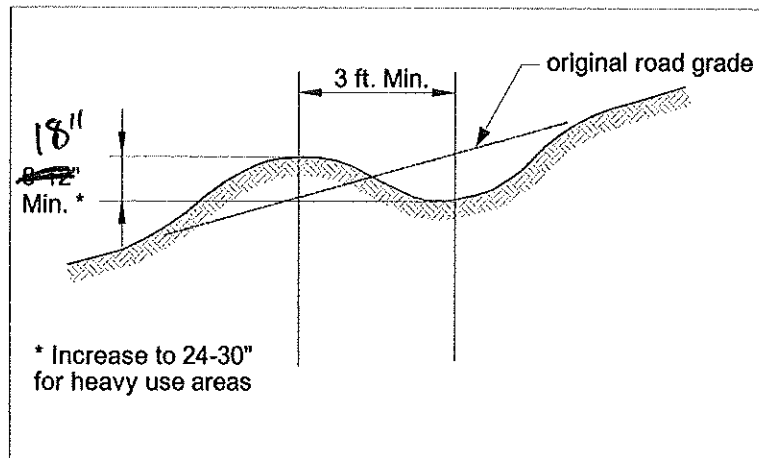
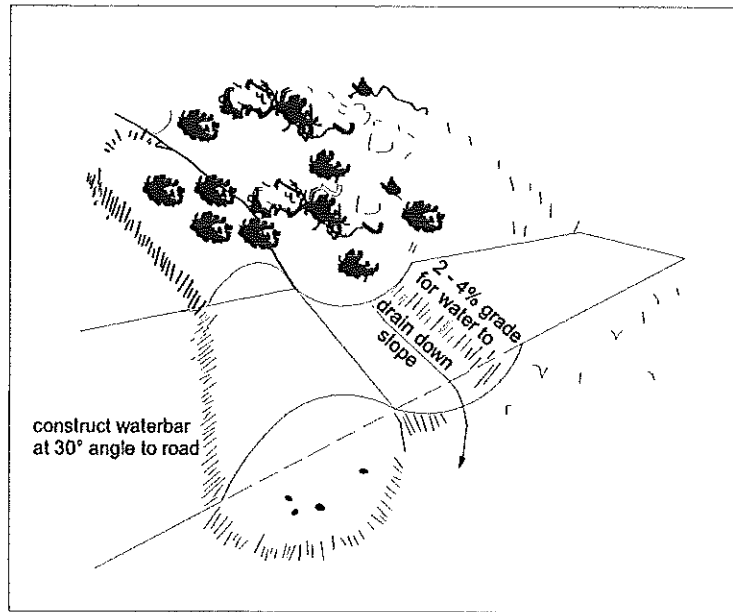
Waterbars on skid roads will be maintained throughout the entire job and installed permanently upon job completion.

Waterbars will be installed before the ground freezes and will be spaced as indicated below.

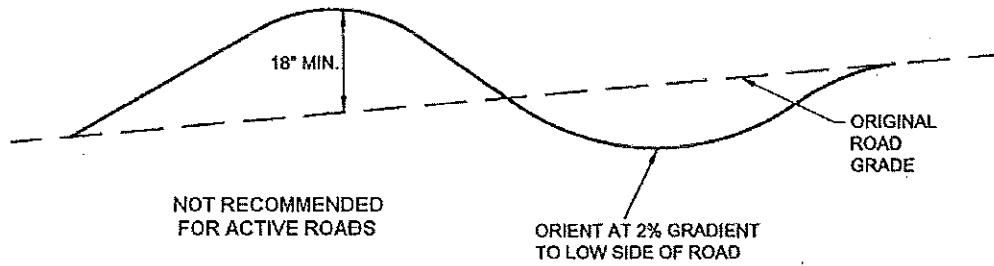
Will this BMP be used?  Yes  No Will recommended spacing be used?  Yes  No

Road Grade (% Slope)	Recommended Spacing (feet)	Alternative Spacing* (feet)
2	250	_____
5	135	_____
10	80	_____
15	60	_____
20	45	_____
25	40	_____
30	35	_____
40	30	_____

\*If longer spacings are used, please make sure reasons for their use are explained.



**STANDARD CONSTRUCTION DETAIL #3-5  
Waterbar**



Adapted from USDA Forest Service

**Waterbars shall discharge to a stable area.**

**Waterbars shall be inspected weekly (daily on active roads) and after each runoff event. Damaged or eroded waterbars shall be restored to original dimensions within 24 hours of inspection.**

**Maintenance of waterbars shall be provided until roadway, skidtrail, or right-of-way has achieved permanent stabilization.**

**Waterbars on retired roadways, skidtrails, and right-of-ways shall be left in place after permanent stabilization has been achieved.**

**TABLE 3.1 - Maximum Waterbar Spacing**

PERCENT SLOPE	SPACING (FT)
<5	250
5 - 15	150
15 - 30	100
> 30	50

Adapted from USDA Forest Service

*use table on previous page*



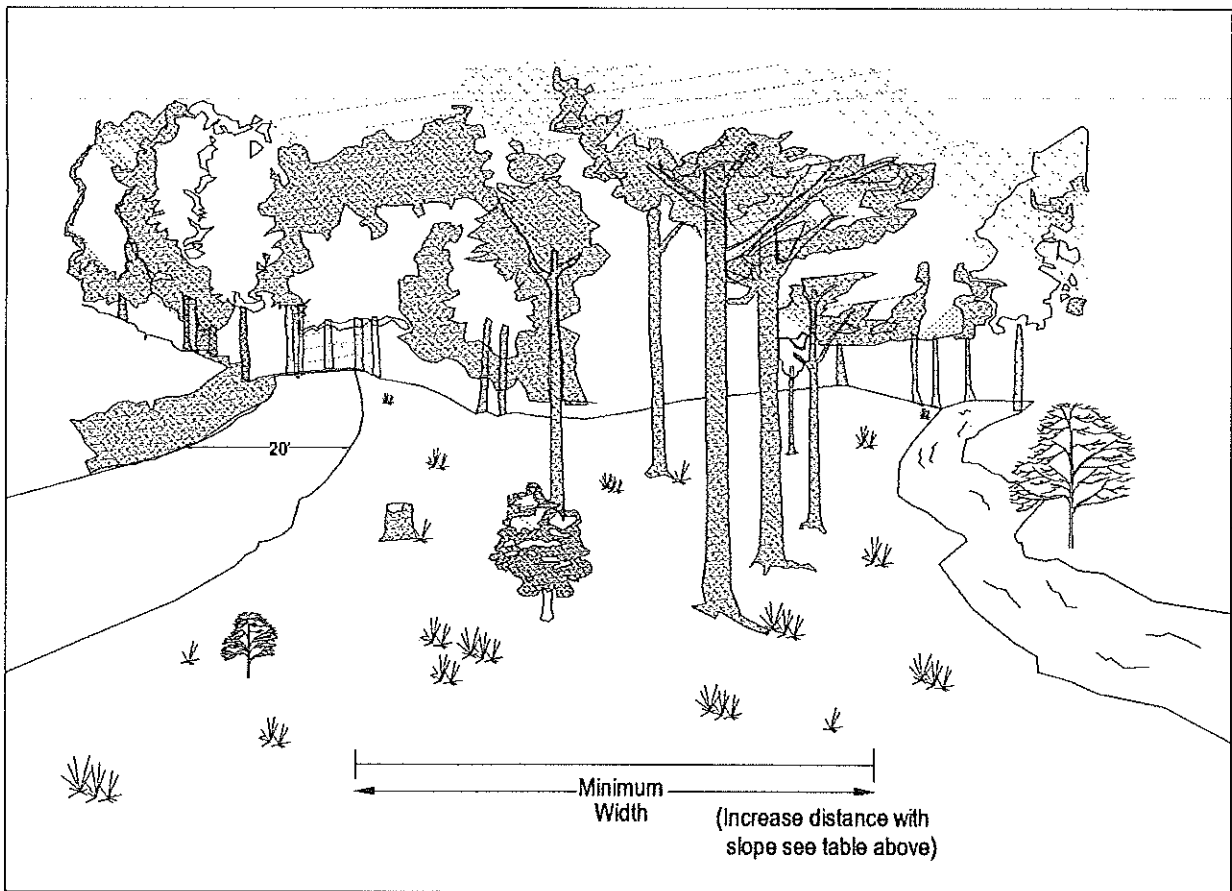
**D. Filter strips**

Filter strip widths by slope on land between roads and perennial streams.  
 The width of the filter strip depends on the slope between the road and the stream.

Will this BMP be used?  Yes  No

Slope of Land Between Road and Stream (%)	Minimum width of Filter Strip (feet) +
0	25++
10	45++
20	65
30	85
40	105
50	125
60	145
70	165

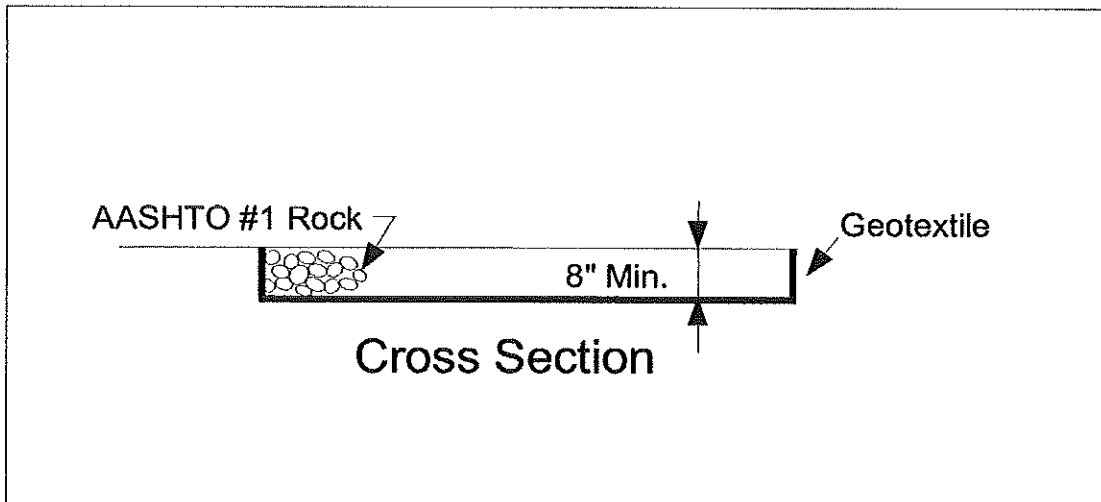
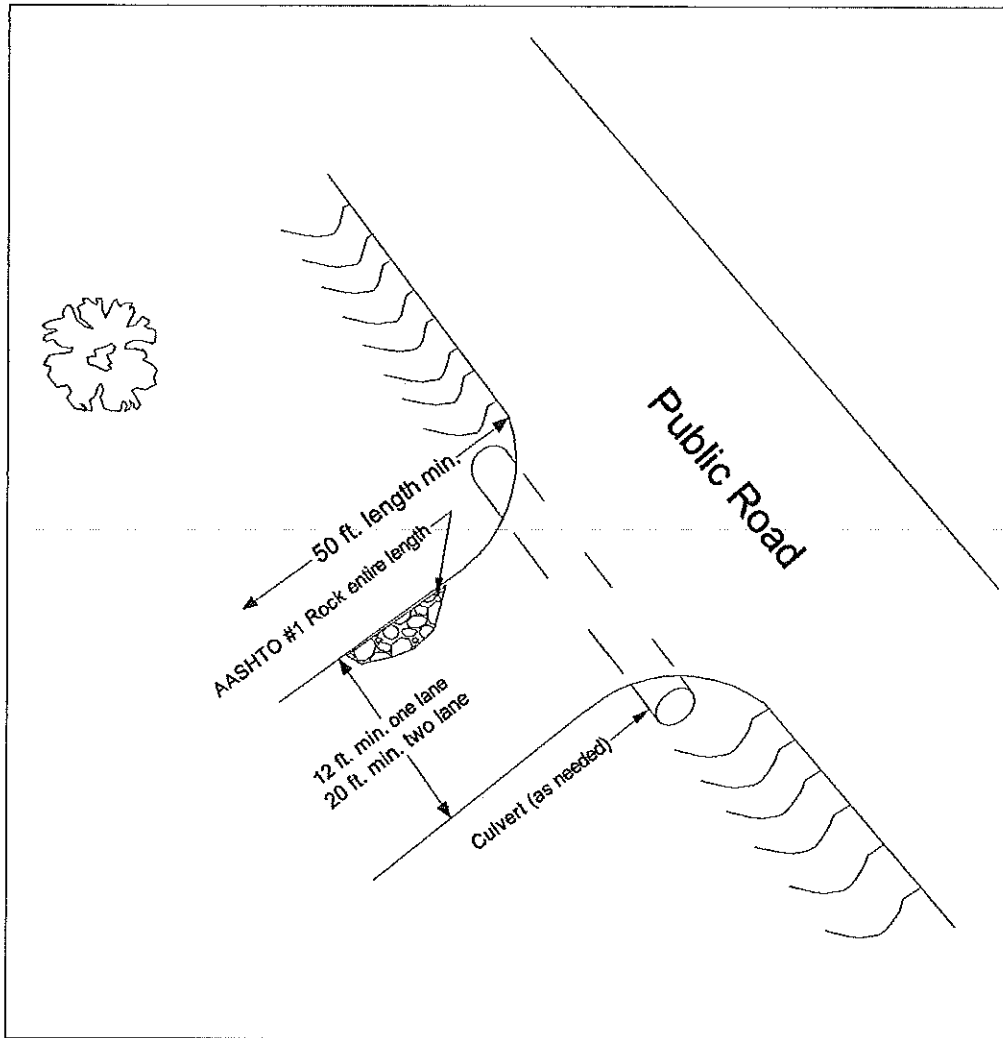
- + Widths should be doubled when the harvesting activity is located where receiving waters have a designated use/existing use of High Quality or Exceptional Value or within a municipal water supply, source water area.
- ++ Earth disturbance 50 feet or less from a stream requires a water obstruction and encroachment permit from the appropriate DEP Regional Office, Soils and Waterways Section.



**G. Stabilized Road Entrance**

The purpose is to remove mud from tires and keep it off the road. Construction entrance shall be constantly maintained.

Will this BMP be used?  Yes  No

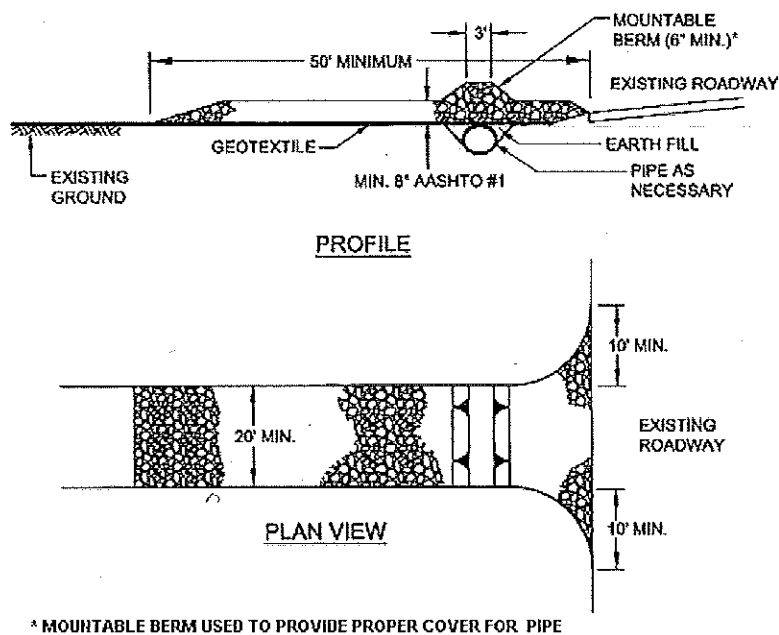


**H. Disturbed Area Stabilization (check as appropriate)**

Sediment deposited on public roadways should be removed and returned to the construction site immediately. **Note: Washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is not acceptable.**

Rock construction entrances are not effective sediment removal devices for runoff coming off the roadway above the entrance. Surface runoff should be directed off the roadway by means of appropriate drainage devices described later in this chapter. Where these devices do not discharge to a suitable vegetative filter strip, an appropriately sized sediment trap should be provided. For locations not having sufficient room for a conventional sediment trap, consideration should be given to use of a compost sock sediment trap. Compost sock traps may also be used instead of conventional sediment traps at other points of discharge. Where used, care should be taken to provide continuous contact between the sock and the underlying soil in order to prevent undermining. It is also important to properly anchor the sock (Standard Construction Detail #3-1).

**STANDARD CONSTRUCTION DETAIL # 3-1  
Rock Construction Entrance**



\* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

Modified from Maryland DOE

Remove topsoil prior to installation of rock construction entrance. Extend rock over full width of entrance.

Runoff shall be diverted from roadway to a suitable sediment removal BMP prior to entering rock construction entrance.

Mountable berm shall be installed wherever optional culvert pipe is used and proper pipe cover as specified by manufacturer is not otherwise provided. Pipe shall be sized appropriately for size of ditch being crossed.

**MAINTENANCE:** Rock construction entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile shall be maintained on site for this purpose. All sediment deposited on paved roadways shall be removed and returned to the construction site immediately. If excessive amounts of sediment are being deposited on roadway, extend length of rock construction entrance by 50 foot increments until condition is alleviated or install wash rack. Washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is not acceptable.

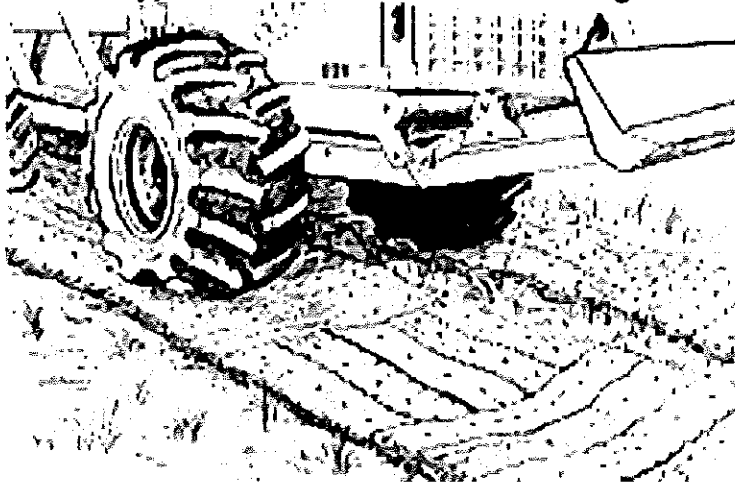
## WETLAND CROSSING

Wetland crossings must be avoided wherever possible. Where that is not possible, the location of the crossing and its orientation must be selected so as to have the least possible impact upon the wetland.

All wetland crossings must conform to Chapter 105 permitting requirements.

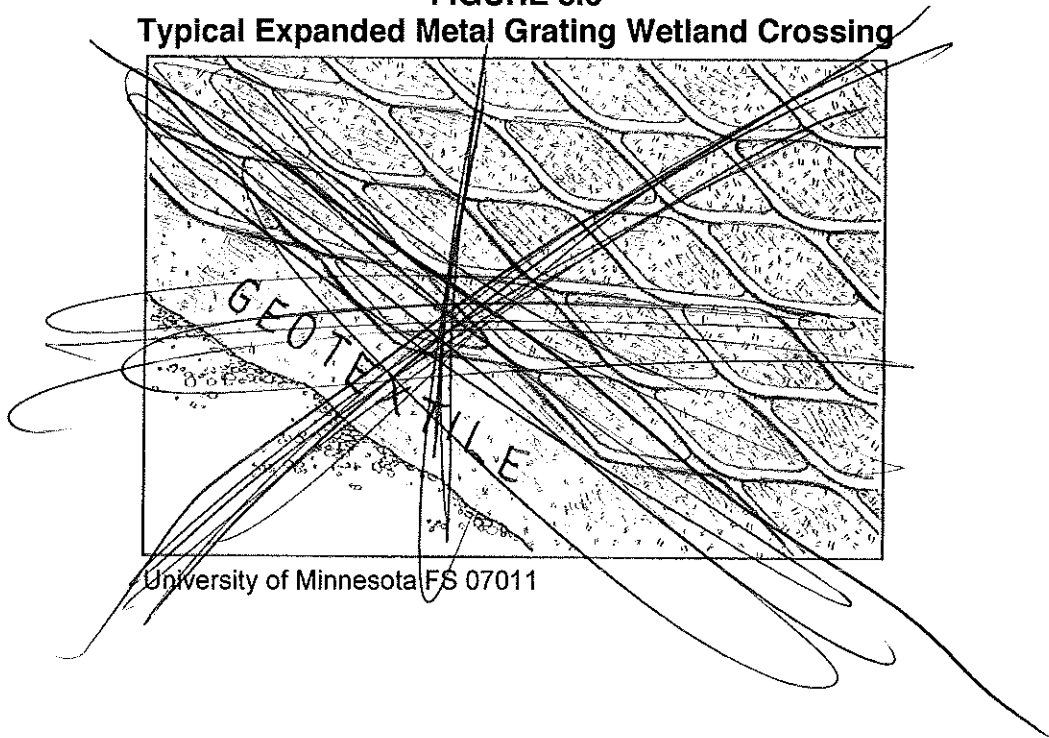
Temporary crossings should be constructed from materials that can be placed with a minimum of disturbance to the soil surface and completely removed when no longer needed. Some examples of stabilized crossing methods are illustrated in Figures 3.5 through 3.7 below.

**FIGURE 3.5**  
**Typical Tire Mat Wetland Crossing**

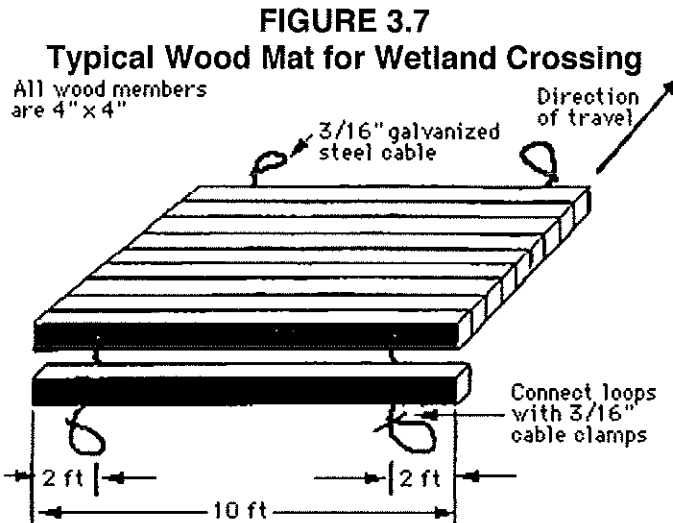


University of Minnesota FS 07013

**FIGURE 3.6**  
**Typical Expanded Metal Grating Wetland Crossing**



University of Minnesota FS 07011



University of Minnesota FS 07009  
**A geotextile underlayment shall be used under the wood mat.**

### EARTHWORK WITHIN STREAM CHANNELS

**NOTE:** Wherever the structures described in this section are installed, the appropriate Chapter 105 permits must be obtained from the Department. Designs must adhere to the conditions of those permits.

Whenever possible, work should be scheduled for low flow seasons. Base flows for minor stream channels are to be diverted past the work area. For major stream channels (normal flow width > 10 feet) base flow shall be diverted wherever possible. All such bypasses must be completed and stabilized prior to diverting flow. Where diversion is not possible or where it can be shown that the potential environmental damage would be greater with diverted flow, this requirement may be waived. In either case, the duration of the disturbance must be minimized. All disturbed areas within the channel must be stabilized prior to returning base flow to the portion of the channel affected by the earthwork (Chapter 15).

Any in-channel excavations should be done from top of bank wherever possible unless this would require removal of mature trees to access the channel. Where it is not possible to work from top of bank, a temporary crossing or causeway (Figure 3.8) may be used to provide a working pad for any equipment within the channel. Upon completion, the crossing or causeway must be removed and all channel entrances restored, as much as possible, to pre-construction configurations, and stabilized. If it can be shown that there would be less disturbance to the channel by not using work pads (e.g. certain stream restorations), work within a live stream channel may be approved by the Department on a case-by-case basis.

Except for pipeline & utility line projects (Chapter 13), all excavated channel materials that subsequently will be used as backfill are to be placed in a temporary stockpile located outside the channel floodway. A sediment barrier must be installed between the storage pile and the stream channel.

All excavated materials that will not be used on site shall be immediately removed to a disposal site having an approved E&S plan.

Any water pumped from excavated areas must be filtered prior to discharging into surface waters.

Suitable protection must be provided for the stream channel from any disturbed areas that have not yet achieved stabilization.

	Seeding <sup>4,5</sup>	Natural Vegetation <sup>5</sup>
Log Landing <sup>6</sup>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Haul Roads <sup>6</sup>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Skid Roads <sup>6</sup>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Seed mix and seeding rate to be used on critical areas:

Seed Mix B

### Suggested Seeding Mixes for Landings, Roads and Critical Areas

Mixes	Seeding rate (lb/ acre)	Mixes	Seeding rate (lb/acre)
<b>Permanent</b>		<b>Temporary</b>	
a. Birdsfoot trefoil*	8	f. Spring oats	96 (3 bu)
Redtop	3	g. Winter wheat	180 (3 bu)
b. Creeping red fescue	30	h. Winter rye	168 (3 bu)
Perennial ryegrass	10	i. Annual rye	40
c. Birdsfoot trefoil	8		
Timothy	4		
d. White clover	1		
Kentucky bluegrass	6		
Timothy	2		
e. Annual ryegrass	10		
Redtop	10		
Birdsfoot trefoil	5		

\*Recommended for somewhat poor and poorly drained soils in partial shade to full sunlight.

**Note: Birdsfoot trefoil and white clover seed should be properly inoculated.**

## 9. SCHEDULE AND SEQUENCE OF OPERATIONS

Will this schedule be used?  Yes  No If not, provide additional information in Section 12.

Starting Date March 30<sup>th</sup>, 2018

Completion Date March 30<sup>th</sup>, 2019

- Pre-harvest:** Necessary permits will be obtained. Erosion and sediment control BMPs will be installed as specified in this plan. Haul road, landings and skid roads will be constructed.
- During harvest:** Erosion and sediment control BMPs for haul roads, skid roads and landings shall be maintained. Tops, branches and slash will be removed from ponds, lakes and streams. This plan will be amended or revised to include other BMPs for special or unanticipated circumstances that may occur.
- Post harvest:** Smooth and reshape roads and landings. Remove culverts and crossings. Install permanent waterbars as specified in this plan. Critical areas will be seeded, fertilized, limed and mulched and garbage/trash removed from the area.

## 10. MAINTENANCE

BMPs will be inspected on a weekly basis and after each measurable rainfall event.

Culverts will be cleaned out, repaired or replaced as necessary.

Filter strips will be maintained and respected (timber may be harvested in filter strips).

Haul roads and skid roads will be repaired where signs of accelerated erosion are detected.

Seeding and mulching will be repeated in those areas that appear to be failing or have failed.

Other (describe)

<sup>4</sup> Areas to be seeded may require fertilization and liming. Soil testing will provide individualized recommendations for given sites. Recommendations of 300 lbs. of 10-10-10 fertilizer per acre and 2,000 lbs. of lime per acre should be considered to ensure 70% vegetative cover. Seeded areas will be more successful when mulched with a minimum of 2 tons of straw or hay per acre. Describe mulching type and rate in Section 12 when used.

<sup>5</sup> Stabilization of disturbed areas is important. Disturbed areas shall be protected with such BMPs as straw bale barriers, filter fences, mulch, or filter strips, waterbars and other BMPs until vegetation is established. Critical areas such as: highly erodible soils, approaches to stream crossings and landings require establishment of permanent or temporary cover to ensure that erosion does not occur.

<sup>6</sup> Indicates treatments for individual landings, haul roads or sections, and skid roads identified on the map.

## 11. SITE CLEANUP

Describe procedures which ensure the proper handling, storage, control, disposal and recycling of timber harvesting materials and waste, including but not limited to fuels, oil, lubricants and other materials brought to the timber harvest site or used in the process of timber harvesting.

- Garbage, fuels or any substance harmful to human, aquatic or fish life, will be prevented from entering springs, streams, ponds, lakes, wetlands or any water course or water body.
- Oils, fuels, lubricants and coolants will be placed in suitable containers and disposed properly.
- All trash and garbage will be collected and disposed properly.
- Other (describe).

refueling will take place on the log landing

## 12. ADDITIONAL EXPLANATION/COMMENTS (if needed)

This is a selective timber harvest. Mature trees, suppressed trees, and trees of poor form and low quality will be harvested to improve the overall health of the forest. Basal Areas will be reduced by 50 square feet per acre. The emerald ash borer is present in the ash trees and all merchantable ash will be harvested. There are existing old logging roads throughout the property that will be reused to minimize the environmental impact.

This timber sale is broke into 6 cutting blocks:

Block 1- This Block will have 2 log landings to avoid skid roads from crossing any streams and prevent impact near the streams. The haul roads to the log landings are existing. The one haul road to access the log landing has two existing stream crossings. These two crossing 's have large sluice pipes. This haul road is also a stoned haul road. Additional stone will be added if needed to maintain the haul road in stable condition to support the truck traffic. The other haul road is an existing paved driveway that leads through the resort. Some trees will be harvested within 75 feet of the streams. Basal areas within these areas will not go below 50% of the basal area that was present prior to cutting. All trees within this area are marked at breast height and at the stump. These trees will be extracted by using the cable/winch on the log skidder. The logs will be hooked up with the cable and winched out of this area to minimize disturbance near the streams. No tree tops or slash will be left within the stream bed. Most skid roads are already in place from a previous timber harvest and will be reused. Some skid trails will go through soils with hydric components (WpB, WyB, ect) and there are wetlands present in this block and they have been depicted on the "Brookdale Enterprises LLC Timber Sale Map". Wetland impacts will be avoided by going around them with skid trails. Timber Mats will be used on the fringe of the wetland areas to prevent impacts in case that area of the skid trail is soft. See Brookdale Enterprises LLC Timber Sale Map for timber mat location. Also see illustrated Figures 3.5 and 3.7 for timber mat details. Some trees will also be harvested within the wetland areas. The same cable/winch method described above will be used to extract these trees without impacting the wetlands.

Block 2- There is an existing gated entrance to this block. A stoned tracking pad will be made to access the log landing to load log trucks and to prevent mud from entering township road. The log landing will be placed in the open field.

Block 3 - A new entrance/tracking pad will be installed and will have a small log landing. No trees will be harvested within 75 feet of the stream. Holly (Hy) soils are present in this block and contain hydric components. There are wetlands present outside the timber sale boundary in this Block and are identified on the Brookdale Enterprises, LLC Timber Sale Map. Wetland impacts will be avoided as skid trails will go around wetland areas. No trees will be harvested within the wetlands.

Block 4 - An existing stoned entrance will be used to access the log landing. Additional stone will be added if needed to maintain a stable haul road.

Block 5 - There is an existing old log landing that will be reused. Most skid trails are already in place and will be reused. A stoned tracking pad will be made to access the log landing to load log trucks and to prevent mud from entering township road.

Block 6 - There is an existing old log landing that will be reused. Most skid trails are already in place and will be reused. A stoned tracking pad will be made to access the log landing to load log trucks and to prevent mud from entering township road.

All log landings will have rock construction entrance's installed. Installation details and maintenance notes are attached at the end of this plan.

If landing area becomes saturated, hay mulch and or hay bail barriers will be spread on the lower side of the log landing to stabilize the landing and prevent any sediment from potentially leaving the landing. Installation and maintenance notes are attached at the end of this plan.

Skid trail grades will be kept as low as the topography will permit. Skid trails will not be placed going straight up the slope and they will proceed across the slope as much as possible. Grades of 20% and greater will try to be prevented, however, if needed, they will be kept to short distances and have intensive waterbars installed. Skid roads will avoid obstacles such as springs, seeps, wetlands, poor drainage areas, ledges, and rocky areas wherever possible.

Site Specific Sequence of Construction:

1. Install rock construction entrance (see page 10 and also Figure #3-1 for installation details and maintenance notes)
2. Install waterbars
3. Harvest timber and monitor BMP's
4. Smooth roads, install permanent water bars and seed all disturbed areas and permanently stabilize site once harvest is complete.

Waterbars will be put in place at the end of each working day. See page number 5 and Standard Construction Detail #3-5 for Waterbar installation and maintenance notes.

Once harvest is complete, all haul roads, skid trails and log landing areas will be re-graded to approximate original contour. Compacted soils will be scarified to prep for seeding. Waterbars will be installed and all disturbed areas will be seeded.

- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the O/RP shall implement appropriate Best Management Practices (BMPs) to eliminate the potential for accelerated erosion and/or sediment pollution.
- Until a site is stabilized, all erosion and sediment BMPs must be maintained properly. Maintenance must include inspections of all erosion control BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including cleanout, repair, replacement, re-grading, re-seeding, re-mulching and renetting must be performed immediately. If erosion and sediment control BMPs fail to perform as expected, replacement BMPs, or modifications of those installed, will be required.

The following winter harvesting and stabilization provisions will be put in place if job is conducted during the winter months:

1. If soils become heavily saturated from rainfall or heavy snow melt, the operation will be suspended to allow them to drain/dry out until ground conditions permit to prevent erosion issues.
2. During cold weather, snow will be plowed from haul roads and skid roads to facilitate freezing of the road grade before hauling.
3. During times of heavy snow, the loggers will provide breaks in snow berms along plowed roads to facilitate drainage. The snow on the skid trails will also be compacted with a bulldozer before skidding logs to help protect soils that are not completely frozen.
4. If the harvest is complete during this timeframe, the log landing and haul road will be hay mulched to help stabilize the site and prevent erosion. The main skid roads will also be hay mulched on sections of the steeper terrain to help stabilize and control erosion potential. Skid roads will be graded and waterbars will also be installed. The loggers will also inspect the job site after heavy periods of rainfall or snowmelt to monitor that the BMP's are holding and the site remains stabilized. Once the weather is favorable to get seed to grow (April/May), the loggers will come back and remove the old hay mulch, do any grading of roads or landings if necessary, reseed all disturbed areas, and hay mulch the landing area and steeper skid road sections again. The logger will then inspect on a weekly basis to ensure the seed gets established until the site is stable.

Permanent stabilization. Upon final completion of an earth disturbance activity or any stage or phase of an activity, the site shall immediately have topsoil restored, replaced, or amended, seeded, mulched or otherwise permanently stabilized and protected from accelerated erosion and sedimentation.

(1) E&S BMPs shall be implemented and maintained until the permanent stabilization is completed. Once permanent stabilization has been established, the temporary E&S BMPs shall be removed. Any areas disturbed in the act of removing temporary E&S BMPs shall be permanently stabilized upon completion of the temporary E&S BMP removal activity.

(2) For an earth disturbance activity or any stage or phase of an activity to be considered permanently stabilized, the disturbed areas shall be covered with one of the following:

- (i) A minimum uniform 70% perennial vegetative cover, with a density capable of resisting accelerated erosion and sedimentation.
- (ii) An acceptable BMP which permanently minimizes accelerated erosion and sedimentation.

(b) Temporary stabilization.

(1) Upon temporary cessation of an earth disturbance activity or any stage or phase of an activity where a cessation of earth disturbance activities will exceed 4 days, the site shall be immediately seeded, mulched, or otherwise protected from accelerated erosion and sedimentation pending future earth disturbance activities.

(2) For an earth disturbance activity or any stage or phase of an activity to be considered temporarily stabilized, the disturbed areas shall be covered with one of the following:

- (i) A minimum uniform coverage of mulch and seed, with a density capable of resisting accelerated erosion and sedimentation.
- (ii) An acceptable BMP which temporarily minimizes accelerated erosion and sedimentation.



# "Brookdale Enterprises, LLC Location Map"

## Monroe County, Pennsylvania GIS

Created on Wed Nov 08 2017



The County of Monroe makes no express or implied warranties concerning the release of this information. The County of Monroe is unaware of the use or uses to be made of this data. Consequently, the County of Monroe does not warrant this data as fit for any particular purpose.

- Timber Sale Areas (Blocks 1-6)
- Property Boundary

# "Brookdale Enterprises, LLC Timber Sale Map"

## Monroe County, Pennsylvania GIS

Created on Fri Jan 05 2018



The County of Monroe makes no express or implied warranties concerning the release of this information. The County of Monroe is unaware of the use or uses to be made of this data. Consequently, the County of Monroe does not warrant this data as fit for any particular purpose.

- - Property Boundary
- - Timber Sale Areas
- - Log Landings
- x - Rock Construction Entrance's
- - Skid Roads
- o - Existing sluice pipes/stream crossings
- \*\*\* - Wetlands
- |||| - Timber Mats

# "Brookdale Enterprises, LLC Timber Sale Map"

## Monroe County, Pennsylvania GIS

Created on Mon Jan 15 2018



(Paved)  
 Existing Haul Road  
 Haul Road

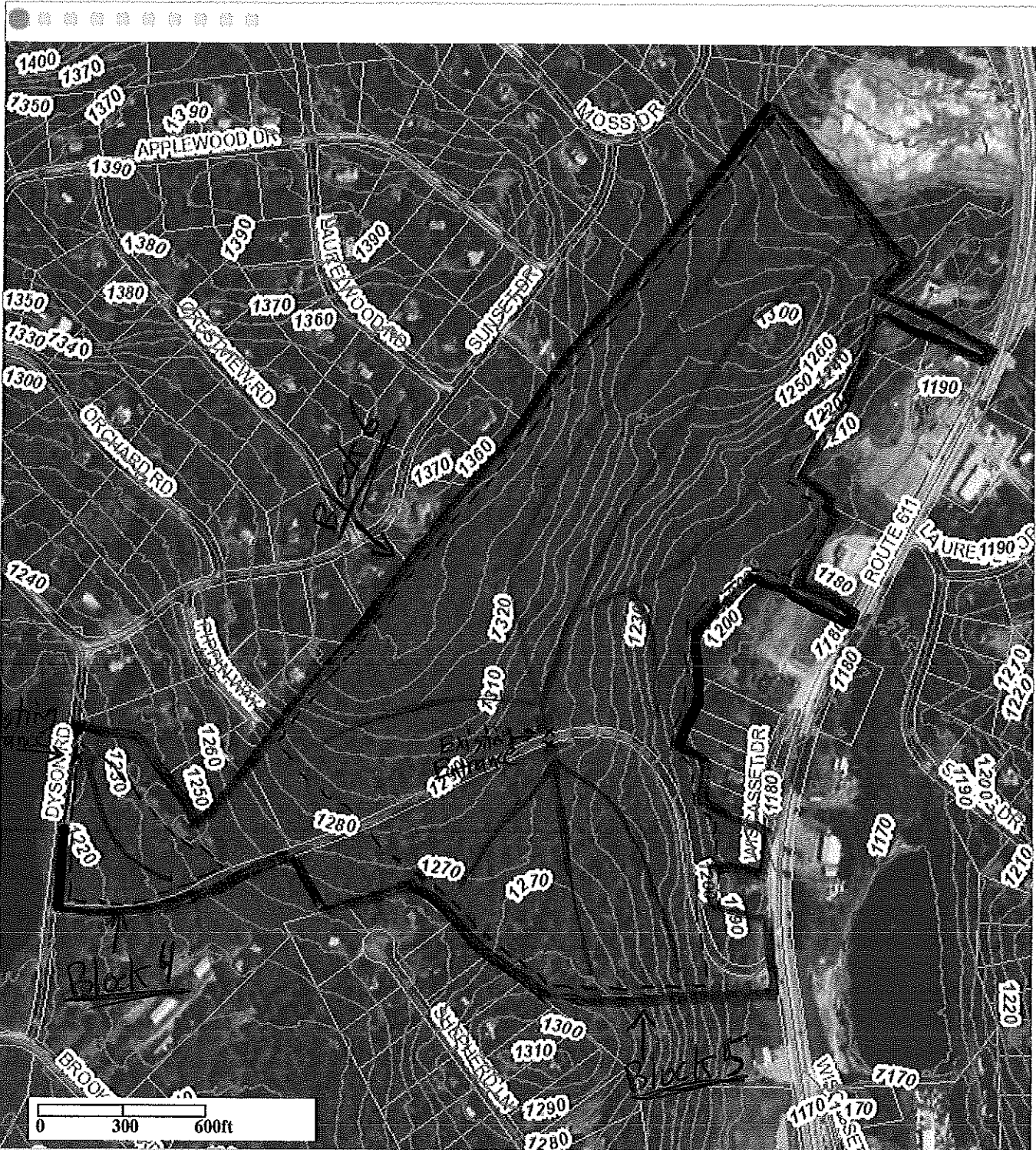
The County of Monroe makes no express or implied warranties concerning the release of this information. The County of Monroe is unaware of the use or uses to be made of this data. Consequently, the County of Monroe does not warrant this data as fit for any particular purpose.

- - Property Boundary
- - Existing sluice pipes/stream crossings
- ▭ - Timber Sale Boundary - skid Roads
- - Log Landings
- X - Rock Construction Entrances
- ||||| - Timber Mats
- ffff - Wetlands

# "Brookdale Enterprises, LLC Timber Sale Map"

## Monroe County, Pennsylvania GIS

Created on Fri Jan 05 2018



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- skid Roads
- Property Boundary
- Timber Sale Areas
- Rock Construction Entrance's
- Log Landings

# "Brookdale Enterprises, LLC Soil Map"



## Monroe County, Pennsylvania GIS

Created on Fri Jan 05 2018



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- - Property Boundary
- ▤ - Timber Sale Areas
- - Log Landings
- - UNT's to Scot Run HQ
- - Skid Roads
- x - Rock Construction Entrance's
- ⌘ - Wetlands
- |||| - Timber Mats




# "Brookdale Enterprises, LLC Soil Map"

## Monroe County, Pennsylvania GIS

Created on Fri Jan 05 2018



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-  - Property Boundary
-  - Timber Sale Area
-  - Log Landings

-  - Skid Roads
-  - Rock Construction Entrance's

"Brookdale Enterprise's LLC Additional Soils"

Map Symbol	Soil Series	Slight	Erosion Hazards Moderate/Severe	Seasonably Wet
Wy B	Wyoming	X		
Ly E	Lodstown/Ogunga		X	
Wp C	Wellsboro	X		
Ox C	Ogunga/Lackawanna	X		
Hy	Holly	X		
Lb B	Lackawanna	X		