

**POCONO TOWNSHIP BOARD OF COMMISSIONERS**  
**MEETING AGENDA**  
**February 16, 2016**  
**7:00 P.M.**

- 1) Pledge of Allegiance
- 2) Roll Call
- 3) Announcements
- 4) Approval of Minutes
  - a. Commissioners regular meeting, February 8, 2016
  - b. Commissioners special meeting, February 11, 2015
- 5) Approval of Bills and Transfers
  - a. Check Listing, dated February 16, 2016
- 6) Amendments to Agenda
- 7) Public Comment

Comments are for any item NOT on the agenda. Comments on agenda items will be taken after each item is discussed by the Board of Commissioners, but before formal action is taken. (Please limit individual comments to 3 minutes to allow time for others wishing to speak and direct all questions and comments to the President)

- 8) Appointment of Vacancy Board Chairman
- 9) Report of the President
- 10) Commissioners Comments
  - a. Mr. Harold Werkheiser, Vice President
  - b. Ms. Judi Coover, Commissioner
  - c. Mr. Gerald Lastowski, Commissioner
- 11) Appointment of Officials
  - a. Township Manager
  - b. Township Solicitor
  - c. Township Engineer
  - d. Township Treasurer
  - e. Township Secretary
  - f. Right to Know Officer
- 12) Appointment of Committees
  - a. Sewer Committee
  - b. Finance Committee
- 13) Reports
  - a. Emergency Services (second meeting of month)
    - i. Chief Werkheiser – Pocono Township Police
    - ii. Chief Shay – Pocono Township Volunteer Fire Co.
  - b. Administration
    - i. Mr. Schuster – Township Manager
      1. Sewer Connections – Mandatory Connection Notices
    - ii. Mr. Ambrose – Township Engineer
      1. Sewer Repair Project – Payment Request #2
    - iii. Mr. DeVito – Solicitor
      1. Tobyhanna Sewer Agreement Amendment
      2. Authorizing the Solicitor, upon expiration of the timeframe allotted for the Vacancy Board to fill the vacant Commissioner seat, to petition the Monroe Court of Common Pleas to appoint a Commissioner.

iv. Ms. Zuvich – Treasurer

14) Presentations

- a. Tom Bowditch – American Legion
- b. Ken Brown – BCRA Projects
- c. Camelback Tubing Slope Conditional Approval and Planning Module Approval

15) Ordinances

- a. Sanofi Zoning Map Change – Referral to Planning Commission
- b. Process for review and adoption of sign, SALDO, and zoning ordinances

16) Resolutions

- a. A resolution approving an agreement with CS-Graphx

17) Public Comment

Comments are for any item NOT on the agenda. Comments on agenda items will be taken after each item is discussed by the Board of Commissioners, but before formal action is taken. (Please limit individual comments to 3 minutes to allow time for others wishing to speak and direct all questions and comments to the President)

18) Executive Session (If Necessary)

19) Adjournment

Next Regular meeting – March 7, 2016 (7:00 p.m.)

Next Resolution Number: 2016-11

Next Ordinance Number: 2016-01

**POCONO TOWNSHIP BOARD OF COMMISSIONERS**  
**REORGANIZATIONAL MEETING**  
**FEBRUARY 8th, 2016 6:00 P.M.**

The reorganizational meeting of the Pocono Township Commissioners was held on 02/08/2016 at the Pocono Township Municipal Building, Tannersville, PA, and was opened by Gregg Schuster, Township Manager, at 6:00 p.m., followed by the Pledge of Allegiance.

**ROLL CALL:** Tom Felver, present; Harold Werkheiser, present; Jerry Lastowski, present; and Judi Coover, present.

Leo V. DeVito, Broughal & DeVito LLP, Solicitor; Tim Edinger, T&M Associates, Engineer; Gregg Schuster, Twp. Manager; and Pamela Finkbeiner, Twp. Secretary; were present.

Gregg Schuster explained the Commissioners agreed to meet and to act on agenda items, only. The Commissioners agreed to appoint Thomas Felver as President and Harold Werkheiser as Vice-President.

**PRESIDENT:**

G. Schuster opened the floor to nominations for President.

J. Lastowski made a motion, seconded by J. Coover, to nominate Thomas Felver as President of the Pocono Township Board of Commissioners. G. Schuster requested additional nominations, hearing none he closed the nominations for President. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

President T. Felver called for nomination for Vice President.

VICE PRESIDENT: J. Lastowski made a motion, seconded by T. Felver, to nominate Harold Werkheiser as Vice President of the Pocono Township Commissioner. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

**STATEMENT OF SOLICITOR:**

Leo DeVito, Broughal & DeVito, solicitor for Pocono Township read a letter of resignation to the Board. He stated the current political situation has caused his firm to resign as solicitor to Pocono Township. Broughal & DeVito will continue working until a replacement firm is chosen.

**APPROVAL OF MINUTES:**

T. Felver made a motion, seconded by J. Lastowski, to accept into record the minutes of the 12/21/2015 and 12/31/2015. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

J. Coover made a motion, seconded by T. Felver, to approve the minutes of the 1/04/2016. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

J. Coover a motion, seconded by T. Felver, to approve the minutes of the 1/07/2016. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

**APPROVAL OF BILLS AND TRANSFERS:**

J. Lastowski a motion, seconded by J. Coover, to ratify Bill's list of 01/04/2016, 1/20/2016, and 2/02/2016. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

J. Lastowski questioned the invoice for PNC Bank debt service payment for the TLC property. P. Finkbeiner noted there is one payment remaining.

J. Coover requested the contract for T&M Associates for engineering fees. Discussion followed on the mileage charges on the T&M invoices.

J. Coover made a motion, seconded by T. Felver, to approve the Bill's list of 01/04/2016, 02/02/2016 and 02/08/2016, conditioned upon receipt of the T&M Associates proposal for payment of their invoices. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

T. Felver turned the meeting over to H. Werkheiser.

**PUBLIC COMMENT: None****NORTHRIDGE AT CAMELBACK ESCROW RELEASE:**

T. Edinger explained the status of the work performed. He noted a Bond balance of \$1,139,122.62 will remain after the release of #14 & #15.

J. Lastowski made a motion, seconded by J. Coover, to approve the Northridge at Camelback Escrow Bond Release #14, in the amount of \$30,362.96, as recommended by the Engineer in his letter dated 12/28/2015. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

J. Lastowski made a motion, seconded by T. Felver, to approve the Northridge at Camelback Escrow Bond Release #15 in the amount of \$69,891.56, as recommended by the Engineer in his letter dated 12/30/2015. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

G. Schuster noted Richard Almquist submitted a letter dated 02/03/2016, requesting the final and complete reduction of the Northridge at Camelback Escrow Bond in the amount of \$1,239,377.14 and a second letter dated 02/08/2016 withdrawing the request for the final reduction. Discussion followed.

J. Lastowski made a motion, seconded by J. Coover, to deny the request of Richard Almquist for the release of the remaining balance of the Northridge at Camelback Escrow Bond. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

R. Almquist's letter of 02/08/2016 requested the Township allow T&M Associates to continue to complete the inspections and Township manager to issue the future Bond releases. No action taken.

**SR 611 SANITARY SEWER PROJECT PAYMENT REQUEST #1** - G. Schuster noted the payment is part of the contractual agreement for the hump repair. T. Edinger updated the board on the status of the project and the Benninger property. T&M recommended payment in their 01/19/2016 letter. Discussion followed.

## SR 611 SANITARY SEWER CONT:

J. Coover made a motion, seconded by T. Felver, to approve and authorize the payment of Marona Construction Company's payment request No. 1, in the amount of \$1,147,500.00 as recommended by the Engineer in his letter dated 01/19/2016. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

**APPOINTMENT OF FIRE POLICE:**

J. Coover made a motion, seconded by H. Werkheiser, to appoint:

Alvin Kresge Captain

Richard Shay Lieutenant

Patrick Kresge

Christopher Kinsley Sr.

Gerald Lastowski

Steve Jacobs

Thomas Kresge

Christopher Kinsley Jr.

Donald Simpson

Peter Gallagher

William Ward

Robert Gupko

Corey Sayre

As 2016 Pocono Township Fire Police

Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, abstained; and J. Coover, yes. Motion carried.

**SOLICITOR**

L. DeVito noted two ZHB hearings for short term rental properties in residential districts. The ZHB denied the request and the appeals were sent to the County courts. J. Lastowski noted if the ZHB solicitor loses the case at the County level the Township can only appeal if the Township solicitor represents the Townships at the hearings. J. Coover questioned the need for representation since the cases are similar to the previous cases. Discussion followed.

**Legal Representation for Short Term Rentals appeals:**

J. Lastowski made a motion, seconded by H. Werkheiser, to authorize the Solicitor to represent the Township in appeals from the Zoning Hearing Board decisions related to short-term rentals. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, no. Motion carried.

**RESOLUTIONS:**

Resolution 2016-1 - Traffic Signal Rt. 611 & Rimrock Road - Jeffry Clapper, Public Works Director, explained application is part of the Rimrock Road bridge work.

J. Coover made a motion, seconded by J. Lastowski, to adopt Resolution 2016-1 - Traffic Signal Application Rt. 611 & Rimrock Road. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

## RESOLUTIONS CONT:

Resolution 2016-2 - Approving 2016 Meeting dates - J. Lastowski made a motion, seconded by H. Werkheiser, to adopt Resolution 2016-2 - 2016 meeting dates. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-3 - Approving Bank Signatories - J. Lastowski made a motion, seconded by J. Coover, to adopt Resolution 2016-3 - approving bank signatories. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-4 - Reappointing Planning Commission member - J. Coover made a motion, seconded by T. Felver, to adopt Resolution 2016-4 reappointing Ron Swink to the Pocono Township Planning Commission for a four (4) year term commencing on 01/01/2016 and terminating on 12/31/2019. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-5 - Reappointing Planning Commission member - J. Coover made a motion, seconded by T. Felver, to adopt Resolution 2016-5 reappointing Dennis Purcell to the Pocono Township Planning Commission for a four (4) year term commencing on 01/01/2016 and terminating on 12/31/2019. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-6 - Reappointing Planning Commission member - J. Coover made a motion, seconded by J. Lastowski, to adopt Resolution 2016-6 reappointing Robert DeYoung to the Pocono Township Planning Commission for a four (4) year term commencing on 01/01/2016 and terminating on 12/31/2019. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-7 - Reappointing Zoning Hearing Board member - J. Coover made a motion, seconded by J. Lastowski, to adopt Resolution 2016-7 reappointing Steve Chaladoff as for a three (3) year term commencing on 01/01/2016 and terminating on 12/31/2018. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-8 - Reappointing alternate Zoning Hearing Board Member - J. Coover made a motion, seconded by J. Lastowski, to adopt Resolution 2016-8 reappointing Lew Ginsberg as alternate to the Zoning Hearing Board for a three (3) year term commencing on 01/01/2016 and terminating on 12/31/2018. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-9 - Reappointing Civil Service Commission member - J. Lastowski made a motion, seconded by J. Coover, to adopt Resolution 2016-9 reappointing Rolland Cheesman to the Pocono Township Civil Service Commission for a six (6) year term commencing on 01/01/2016 and terminating on 12/31/2021. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

**RESOLUTIONS CONT:**

Resolution 2016-10 - Reappointing Recreation Committee member - J. Lastowski made a motion, seconded by J. Coover, to adopt Resolution 2016-10 reappointing Denise Herbert to the Pocono Township Recreation Committee for a five (5) year term commencing on 01/01/2016 and terminating on 12/31/2020. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

**VACANCY BOARD:**

Discussion followed as to the procedure and dates for the interviews. Board concurred to hold a special meeting for interviewing on Thursday, February 11<sup>th</sup>, 2016 at 6:00 p.m. and authorized the Twp. Secretary to advertise the meeting.

**PUBLIC COMMENT:**

Annabella Lastowski, Twp. resident, commented on the audience's conversations making it difficult to hear.

Jennifer Wise Werkheiser, Twp. resident, suggested additional time for Vacancy Chair applications.

**ADJOURNMENT INTO EXECUTIVE SESSION:**

J. Lastowski made a motion, seconded by T. Felver, to adjourn the meeting into executive session at 6:50 p.m. to discuss a litigation matter, until 02/16/2016 at 7:00 p.m., at the Pocono Township Municipal Building, Tannersville, PA. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

**POCONO TOWNSHIP BOARD OF COMMISSIONERS  
SPECIAL MEETING  
TO INTERVIEW CANDIDATES FOR VACANCY CHAIRMAN  
FEBRUARY 11<sup>th</sup>, 2016 6:00 P.M.**

The Special meeting of the Pocono Township Commissioners was held on 02/11/2016 at the Pocono Township Municipal Building, Tannersville, PA, and was opened by Thomas Felver, President, at 6:00 p.m. followed by the Pledge of Allegiance.

**ROLL CALL:** Tom Felver, present; Harold Werkheiser, present; Jerry Lastowski, present; and Judi Coover, present.

Gregg Schuster, Twp. Manager; and Pamela Finkbeiner, Twp. Secretary; were present.

**PUBLIC COMMENT:** None

**INTERVIEWS OF VACANCY BOARD CHAIRMAN APPLICATIONS**

The Board drew numbers for the order of questions - J. Lastowski, first; H. Werkheiser, second; J. Coover, third; and T. Felver, fourth.

John Burns - Under 1<sup>st</sup> Class code a Vacancy Board Chairman cannot serve on the Civil Service Commission. John Burns was requested to resign the Civil Service Commission. J. Burns agreed to remain on the Civil Service Commission and not seek the Vacancy Board position.

The remaining candidates were interviewed in alphabetical order, Bob Demarest, Bruce Kilby, Lesa Olsen, Jeremy Sawicki, and Joseph Shupp. Each candidate was asked similar questions by each board member.

The Board ranked the candidates and the totals were confirmed by G. Schuster, Twp. Manager, and P. Finkbeiner, Twp. Secretary. The ranking was tied between Jeremy Sawicki and Joseph Shupp.

The Board took a short recess at 7:25 p.m. and reconvened at 7:30 p.m.

J. Lastowski made a motion, seconded by J. Coover, to continue the discussion and appointment of the Vacancy Board Chairman at the 08/16/2016 regular meeting and adjourn the meeting at 7:30 p.m.. Roll call: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

**Pocono Township Check Listing**

**February 16, 2016**

	<b>Date</b>	<b>Check</b>	<b>Vendor</b>	<b>Memo</b>	<b>Amount</b>
<b>General Fund</b>					
	02/12/2016	54170	Best Auto Service Center	Police Vehicel Repairs	1,465.76
	02/12/2016	54171	BIU of PA, Inc.	BIU Services	3,316.96
	02/12/2016	54172	Broughal & DeVito, L.L.P.	Legal - January - Planning/General	4,605.00
	02/12/2016	54173	Cramer's Home Building Center	Door - Park	296.59
	02/12/2016	54174	Cyphers Truck Parts	Markers for snow plows	88.24
	02/12/2016	54175	Davidheiser's Inc.	Calibrate 4 Trackers	112.00
	02/12/2016	54176	E.M.Kutz, Inc.	Truck #9 - Cylinder	676.00
	02/12/2016	54177	Eureka Stone Quarry, Inc.	Anti Skid	1,397.89
	02/12/2016	54178	Finkelstein, Dory & Kong, Sandi	Prior Year tax refund	95.90
	02/12/2016	54179	Hanson Aggregates Pennsylvania LLC	Anti Skid	2,316.17
	02/12/2016	54180	Howarth, Carl	Coffee supplies	86.00
	02/12/2016	54181	J & B Auto	Police Vehicel Repairs	1,168.87
	02/12/2016	54182	Lawrence B. Fox P.C.	Civil Service - legal	876.41
	02/12/2016	54183	Lawson Products	Public Works - Supplies	439.68
	02/12/2016	54184	Macmillan Oil Co., Of Allentown	Hydraulic Fluid	409.00
	02/12/2016	54185	Manter, David	SEO Services	87.50
	02/12/2016	54186	Metropolitan Telecommunications	Phones - Police	226.50
	02/12/2016	54187	NAPA Auto Parts	Fuel additive	13.76
	02/12/2016	54188	Network Fleet	GPS Service	355.40
	02/12/2016	54189	Norris McLaughlin & Marcus, P.A.	Legal - Audit letter	72.50
	02/12/2016	54190	Otto, Carol	Cleaning - Weekends 02/21/2016 & 02/28/2016	550.00
	02/12/2016	54191	PA DEP	Storage Tanks Registration - Facility No. 45-07653	100.00
	02/12/2016	54192	PAPCO, Inc.	Gasoline	1,078.21
	02/12/2016	54193	PENTELEDATA	Internet service	61.95
	02/12/2016	54194	Pocono Record	Advertising - Meetings	601.40
	02/12/2016	54195	PPL Electric Utilities	Rt. 611 & 12	32.96
	02/12/2016	54196	RR Donnelley	Traffic Citations	71.50
	02/12/2016	54197	Signal Service, Inc.	Signal Repair	520.00
	02/12/2016	54198	Staples Advantage	Office Supplies - Township	135.03
	02/12/2016	54199	Staples, Chris	K-9 food	46.63
	02/12/2016	54200	Sundance Networks, Inc.	IT Service Police/Twp	461.00
	02/12/2016	54201	UNIFIRST Corporation	Carpets/Uniforms	313.82
	02/12/2016	54202	Wilson Products Compressed Gas Co.	Supplies	6.35
	02/12/2016	54203	Cash	Replenishment of petty cash	166.57
	02/12/2016	54204	Cardmember Services	Credit card	168.44
	02/12/2016	54205	Cardmember Services	Credit card	640.00
				<b>TOTAL General Fund</b>	<b>\$23,059.99</b>

**Sewer Operating Fund**

	02/12/2016 1510	PPL Electric Utilities	Electric for pump stations	1,858.30
	02/12/2016 1511	Want To Inc.	Sewer maintenance	4,320.00
	02/12/2016 1512	EEMA O&M Services Group, Inc.	Valve station repairs and monthly srv chg	9,547.46
	02/12/2016 1513	BROUGHAL & DEVITO, L.L.P.	Legal for sewer operations	375.00
	02/12/2016 1514	Pennsylvania One Call System, Inc	Monthly charge	42.73
	02/12/2016 1515	T & M ASSOCIATES	Engineerig for sewer operations	2,487.75
	02/12/2016 1516	BRODHEAD CREEK REGIONAL AUTHORITY	March treatment plant charges	85,185.00
	02/12/2016 1517	BLUE RIDGE COMMUNICATIONS	Cable for pump stations	128.80
			<b>TOTAL Sewer Operating Fund</b>	<b>\$103,945.04</b>

**Sewer Construction**

2/11/2016 152      T&M Associates

Engineering for sewer construction  
**TOTAL Sewer Construction Fund** **\$9,600.76**

**TOTAL General Fund** **\$23,059.99**

**TOTAL Sewer Construction Fund** **\$9,600.76**  
**TOTAL ESSA Transfer** **\$32,660.75**

**Total Sewer Operating Fund** **Wayne Bank** **\$103,945.04**

Authorized by:

# MEMORANDUM

**To:** **Board of Commissioners**

**cc:**

**From:** **Gregg Schuster, Township Manager**

**Date:** **2/12/16**

**Re:** **Township Manager Report (1/1/16 – 2/11/16)**

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## **Personnel**

1. Two employees are currently out on workers comp.
2. An officer was injured when he was assaulted during an arrest. He is on duty.
3. There are two active grievances to be discussed in executive session.

## **Meetings**

1. On 1/11/16, I attended the Civil Service Commission meeting. The commission discussed finalizing the proposed police department rules and the promotional process.
2. On 1/12/16, I attended the Recreation Committee meeting. The committee discussed the Heritage Center, RecDesk, and a pending proposal from NCC.
3. On 1/13/16, I attended a hazard mitigation plan meeting.
4. On 1/14/16, I attended a meeting with the Control Center and Suburban Ambulance to discuss the transition.
5. On 1/15/16, I met with Dee Raneri to discuss a proposal from NCC.
6. On 1/19/16, I met with representatives from Wendy's and T&M to discuss their project.
7. On 1/21/16, I attended the Bicentennial Celebration Committee meeting. The Heritage Center was discussed along with other events.
8. On 1/22/16, I met with Charlie Trapasso to support her effort in a grant application.
9. On 1/28/16, Chief Werkheiser and myself met with the planning team developing the hazard mitigation plan.

10. On 2/1/16, I attended the Civil Service Commission meeting. Departmental rules were discussed.
11. On 2/4/16, I attended a court hearing regarding a petition that was filed.
12. On 2/8/16, I attended a Planning Commission meeting. A Camelback project and another commercial project were discussed. The commission expressed that they would like the Board of Commissioners to move forward on the sign, SALDO, and zoning ordinances. They also expressed that they would like a Commissioner present when they meet.
13. On 2/9/16, I attended a Recreation Committee meeting. The committee discussed the Heritage Center and the recreation plan.
14. On 2/10/16, Solicitor DeVito, Zoning Officer Rick Fisher, and myself attended three court hearings for zoning violations. Two of the violations had been corrected and we settled those cases. The other case involved a property which had not come into compliance. The case was tried and the Township received a favorable judgement.

### **Administration**

1. The Civil Service Commission continues to review the SOP manual and will present a recommended revision.
2. The repair of the “hump” is proceeding. A public schedule has been posted.
3. I continue to work with the County on the updated Hazard Mitigation Plan.
4. I have been working with Charlie Trapasso to support a grant application for the Heritage Center and on the creation of a 501(c)3
5. Two large right-to-know requests are being processed.
6. We have informed the county that Mt. View Park will be unavailable in 2016 as a voting location. We offered the municipal building to them and are waiting for their response.

### **Finance**

1. Work on audits has commenced.
2. I have submitted our mill rate to the county when the timeframe to reopen the budget expired.
3. We are in the process of updating bank signatures.

### **Current Projects**

1. Filing and Workflow System

A 2016 budget item is the hiring of staff to assist in the filing efforts. This will be on a future agenda.

2. Codification

General Code expects to deliver the final document in March.

3. Road Management Plan

Jeff Clapper is beginning work to detail all roads and a plan for their maintenance.

4. Sewer Construction Contract Closeout

The Leeward contract will be on an upcoming agenda for final closeout. After this contract is closed, only one contract remains open.

5. Sewer System Maintenance Plan

As the system stabilizes, Jeff Clapper is developing a long term plan for the maintenance of the collection system.

6. Sewer “Hump” Repair

Project is proceeding well. One payment has been authorized and another payment request has been received. A change order relating to additional work due to a water line conflict may be forthcoming.

7. Sewer Connections

An agenda item is authorization to resume sending mandatory connection notices in a staggered manner.

8. Pump Replacement

We have concerns that some of the pumps in our pump stations are not the appropriate pumps. The Board will be briefed on this at a future meeting to give direction.

9. Alger Avenue Property

Plans have been developed for the Alger Avenue property. The Board will be briefed at a future meeting in order to give direction.

10. Police IT

The police department has some unique and specific IT needs regarding their communications and video cameras. A plan is being developed to bring to the Board for comment.

## 11. Sewer Redesign

The Board will need to be briefed on the results of the project to examine certain pump and valve stations in order to give direction.

## 12. Heritage Center

The Bicentennial Celebration Committee is working towards the plans and fundraising for the Heritage Center. A 501c3 is in the process of being formed.

## 13. Township Buildings Sewer Connection

Plans have been developed to connect the Township buildings to municipal sewer.

## 14. Municipal Facility Evaluation

Quotes have been received to have a firm examine our facilities in order to provide input into the CIP plan to effectively plan out facility maintenance.

## 15. Municipal Building Security

Options for security at the municipal building will be investigated as time allows. Funding has been included in the 2016 proposed budget.

## **Gregg Schuster**

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**From:** Jeffry Clapper  
**Sent:** Friday, February 12, 2016 12:08 PM  
**To:** Gregg Schuster  
**Subject:** Sewer Connection Notices

Gregg-

I request that you obtain permission from the BOC so we may begin sending out sewer connection notices. The first mailing was sent out in 2014 to the properties that are downstream of the "hump". Per your direction, I am proceeding working in a Northerly direction by notifying the customers in phase 2 and then phase 1, ultimately circling back and readdressing the non-responsive customers in all phases.

The phases are approx. as follows:

Phase 1 (Northern Township Sewer Connection Limit to Great Wolf Lodge)

Phase 2 (Great Wolf Lodge to Learn Road /RT 611)

Phase 3 (Learn Road/RT 611 to Southern Sewer Connection Limit in Hamilton Township)

This mailing will be approximately 70 connection notices which comprise the southern half of Phase 2 (Learn Rd/ RT 611 to CVS). I am planning on mailing the notices at the beginning of March. Then, depending on the number of applications submitted, the remaining connection notices in Phase 2 (approx. 58) will be mailed at the beginning of May.

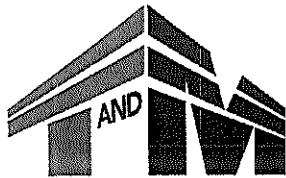
Again, depending on how these connection notices develop into construction work, the notices for Phase 1 will follow a similar pattern.

Thanks,

Jeff

### ***Jeffry D. Clapper***

Pocono Township  
Public Works Director  
484-553-3336 cell  
570-629-1922 x 217 office



February 10, 2016

Mr. Gregg Schuster  
Pocono Township Manager  
112 Township Drive  
Tannersville, PA 18372

SUBJECT: PAYMENT APPLICATION NO. 2  
ROUTE 611 SANITARY SEWER REPLACEMENT PROJECT  
OUR PROJECT NUMBER: POCO00040

Dear Mr. Schuster:

T&M has reviewed the Application for Payment #2 associated with the above referenced sanitary sewer project submitted by Marona Construction Company; dated February 8, 2016. This Contract is for the construction of the sanitary sewer main installation (primarily via micro-tunneling) along SR611 between the Pocono Farmstand and the Learn Road/SR611 intersection.

T&M has verified that the work completed in this application period for the installation of 360 lineal feet, 4-foot inside diameter, concrete casing pipe installed via micro-tunneling is in accordance with the requirements of the Contract Documents (Plans and Specifications) for work visible during construction observations. The *Original Contract Sum* for this project is \$2,625,000; the total amount of the project *Completed and Stored to Date* (Less Retainage) is \$1,827,900 and the total amount of *Previous Payments* is \$1,147,500. Based on this information T&M recommends a *Current Payment Due* to Marona Construction in the amount of **\$680,400** (\$1,827,900 - \$1,147,500) and a *Total Project Retainage* of \$203,100.00 at this time. This leaves a *Balance to Finish (including Retainage)* of \$797,100.00.

If you have any questions about this correspondence or the accompanying documents, please contact me at (610) 301-6736.

Very truly yours,

Mark Ambrose, P.E.  
Principal Engineer  
T&M Associates

Cc: Stephen Saloma, P.E., Marona Construction

**PARTIAL/FINAL PAYMENT****TO OWNER:**

POCONO TOWNSHIP  
112 TOWNSHIP DRIVE  
TANNERSVILLE, PA 18372  
ATTN: GREG SCHUSTER

**PROJECT:**  
**ROUTE 611 SANITARY SEWER REPLACEMENT PROJECT**

APPLICATION/INVOICE NO: 002  
PERIOD: FROM 1/1/2016 to 2/5/2016  
APPLICATION DATE: 2/8/2016

**CONTRACT NO.:** ONE GENERAL CONSTRUCTION

MARONA JOB# 166

**FROM CONTRACTOR:**

Marona Construction Company  
PO Box 283  
3191 Trewigtown Road  
Colmar, PA 18915  
Project Manager: Steve Saloma, P.E.

**ENGINEER:**  
T&M ASSOCIATES, INC.  
74 WEST BROAD STREET  
BETHLEHEM, PA 18018  
ATTN: MARK AMBROSE, P.E.

**CONTRACTOR'S APPLICATION FOR PAYMENT**

1. ORIGINAL CONTRACT SUM 2,625,000.00  
2. NET CHANGE BY CHANGE ORDERS \$ 0.00  
3. CONTRACT SUM TO DATE \$ 2,625,000.00  
4. TOTAL COMPLETED & STORED TO DATE (Column F) 2,031,000.00

CHANGE ORDER SUMMARY	NUMBER	AMOUNT
Total changes approved in previous months by Owner		
Total approved this Month		
<b>TOTALS (Line 2)</b>		

5. RETAINAGE:  
a. 10 % of Completed Work 203,100.00 (Column F)

b. 0 % of Stored Material 0

c. Total \$ 203,100.00

6. TOTAL EARNED LESS RETAINAGE  
(Line 4 Less Line 5c Total) \$ 1,827,900.00

7. LESS PREVIOUS PAYMENT (Paid to-date) \$ 1,147,500.00

8. CURRENT PAYMENT DUE (Line 6 - Line 7) \$ 680,400.00

9. BALANCE TO FINISH, INCLUDING RETAINAGE  
(Line 3 - Line 4) \$ 594,000.00 797,100.00 (M.A. 2/10/16)

**CONTRACTORS CERTIFICATION**

The undersigned Contractor certifies that (1) all previous progress payments received from Owner(s) on account of work done under the Contract have been applied to Discharge in full all obligations of Contractor incurred in connection with Work covered by prior Applications for Payment number 1 through 1 inclusive; (2) title to all materials and equipment incorporated in said Work or otherwise listed on/or covered by this Application for Payment will pass to the Owner at the time of payment, free and clear of all liens, claims, security interests and encumbrances (except such as covered by Bond acceptable to Owner indemnifying Owner again such lien, claim, security interest, or encumbrances); and (3) all Work covered by the Application for Payment is in accordance with the Contract Documents and is not defective, as that term is defined in the Contract Documents.

Date: 2/8/16

2016

Approved Payment Amount \$ 680,400.00By: Stephen J. Saloma, P.E., Vice PresidentDated: 2/10 2016For: T&M AssociatesBy: Mark AmbroseMark Ambrose, P.E.

## CONTINUATION SHEET

Page 2 of 3

Owner: POCONO TOWNSHIP 112 TOWNSHIP DRIVE TANNERSVILLE, PA 18372 ATTN: GREG SCHUSTER	Project: ROUTE 611 SANITARY SEWER REPLACEMENT PROJECT MCC JOB# 166	Invoice No: 002
Contractor: Marona Construction Co. PO Box 283 3191 Tewigtown Road Colmar, PA 18915		Invoice Date: 2/8/2016
		Period To: 2/5/2016

Item No.	Description	C			D		E		F			G		H		
		Scheduled Value			Work Completed		From Previous Application (F)		This Period		Work Completed and Stored To Date (D + E)			Balance To Finish (C - F)		
		Unit	Quant.	Unit Price	Total Price	Quant.	Amount	Quant.	Amount	Quant.	Amount	%	Quant.	Amount		
<u>Part A - Sewer</u>																
1	Bonds and Insurance	LS	1	\$40,000.00	\$40,000.00	1	\$40,000.00			\$0.00	1	\$40,000.00	100%	0	\$0.00	\$0.00
2	Mobilization & Demobilization	LS	1	\$300,000.00	\$300,000.00	0.8	\$240,000.00			\$0.00	0.8	\$240,000.00	80%	0.2	\$60,000.00	\$0.00
3	Traffic Control	LS	1	\$50,000.00	\$50,000.00	1	\$50,000.00			\$0.00	1	\$50,000.00	100%	0	\$0.00	\$0.00
4	Demolition & Removal of Existing Pipe	LF	270	\$100.00	\$27,000.00	0	\$0.00			\$0.00	0	\$0.00	0%	270	\$27,000.00	\$0.00
5	F&I 28" HDPE Sewer Pipe via Microtunneling	LF	900	\$2,100.00	\$1,890,000.00	450	\$945,000.00	360.00		\$756,000.00	810	\$1,701,000.00	90%	90	\$189,000.00	(\$75,600.00)
6	F&I Sewer Manholes, Complete, All Depths	EA	5	\$25,000.00	\$125,000.00	0	\$0.00			\$0.00	0	\$0.00	0%	5	\$125,000.00	\$0.00
7	F&I 28" HDPE Sewer Via Open Cut	LF	320	\$500.00	\$160,000.00	0	\$0.00			\$0.00	0	\$0.00	0%	320	\$160,000.00	\$0.00
8	Township Roadway Paving, Including Temporary and Permanent Paving	L.S.	1	\$20,000.00	\$20,000.00	0	\$0.00			\$0.00	0	\$0.00	0%	1	\$20,000.00	\$0.00
9	F&I 4" Lateral to Sewer Main	LS	1	\$13,000.00	\$13,000.00	0	\$0.00			\$0.00	0	\$0.00	0%	1	\$13,000.00	\$0.00
rev.																

\$2,625,000.00      \$1,275,000.00      \$756,000.00      \$2,031,000.00      \$594,000.00      -\$75,600.00

## CONTINUATION SHEET

Page 3 of 3

Owner:	POCONO TOWNSHIP 112 TOWNSHIP DRIVE TANNERSVILLE, PA 18372 ATTN: GREG SCHUSTER	Project:	ROUTE 611 SANITARY SEWER REPLACEMENT PROJECT	Invoice No:	002
Contractor:	Marona Construction Co. PO Box 283 3191 Trewigtown Road Colmar, PA 18915	MCC JOB#	166	Invoice Date:	2/8/2016
				Period To:	2/5/2016

Item No.	Description	Scheduled Value		Work Completed		(D+E) Work Completed To Date and Stored to Date		Balance To Finish (C - F)		Retainage This Period	-10%		
				From Previous Application (F)	This Period								
		Unit	Quant.	Unit Price	Total Price	Quant.	Amount	Quant.	Amount	Quant.	Amount		
	CHANGE ORDERS				\$0.00		\$0.00		\$0.00	0	\$0.00	0	\$0.00
CO-1					\$0.00		\$0.00		\$0.00	0	\$0.00	0	\$0.00
					\$0.00		\$0.00		\$0.00	0	\$0.00	0	\$0.00
CO-2					\$0.00		\$0.00		\$0.00	0	\$0.00	0	\$0.00
					\$0.00		\$0.00		\$0.00	0	\$0.00	0	\$0.00
					\$0.00		\$0.00		\$0.00	0	\$0.00	0	\$0.00
	Original Purchase Order												
	Subtotal Part A			Sheet 1 Line 1 >	\$2,625,000.00		\$1,275,000.00		\$756,000.00		\$2,031,000.00	77%	\$594,000.00
	Change Orders												
	Change Order 1			Sheet 1 Line 2 >	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00
	Change Order 2			Sheet 1 Line 2 >	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00
rev.	GRAND TOTALS			Sheet 1 Line 3 >	\$2,625,000.00		\$1,275,000.00		\$756,000.00		\$2,031,000.00	77%	\$594,000.00

**AMENDMENT NO. 2 TO INTERMUNICIPAL SEWAGE COLLECTION AND  
DISPOSAL SERVICES AGREEMENT**

**THIS AMENDMENT NO. 2** (“Amendment No. 2”) dated as of January \_\_\_\_, 2016, to the Intermunicipal Sewage Collection and Disposal Services Agreement dated as of September 30, 2013 (the “Original Agreement”), is entered into by and between the TOWNSHIP OF TOBYHANNA, Monroe County, Pennsylvania, a political subdivision of the Commonwealth of Pennsylvania acting by and through its Board of Supervisors (“Tobyhanna”) and the TOWNSHIP OF POCONO, Monroe County, Pennsylvania, a political subdivision of the Commonwealth of Pennsylvania acting by and through its Board of Commissioners (“Pocono”).

**WITNESSETH:**

**WHEREAS**, Tobyhanna and Pocono entered into the Original Agreement dated as of September 30, 2013; and

**WHEREAS**, Tobyhanna and Pocono thereafter entered into Amendment No. 1 to the Original Agreement dated as of May 8, 2015 (“Amendment No. 1”); and

**WHEREAS**, Amendment No. 1 allowed the Tobyhanna Collection System to connect to the Pocono Collection System at MH A1-9 instead of the Original Connection Point as defined in Section 3.2.2 of the Original Agreement, as amended by Amendment No. 1; and

**WHEREAS**, Amendment No. 1 at Section 3.2.6(b) requires Tobyhanna to cause Kalahari Resorts, LLC (“Kalahari”) to proceed with designing an upgrade to Pocono’s Pump Station No. 1 and to secure the permits and approvals necessary for the upgrade and further have Kalahari post the requisite financial security to secure the requisite upgrade if Tobyhanna permits Kalahari to proceed with the Future Phases using the connection point at MH A1-9 as opposed to the Original Connection Point; and

**WHEREAS**, it is now Tobyhanna’s understanding and belief that Kalahari will proceed with installing the requisite sanitary sewer line to complete the connection between the Tobyhanna Collection System and the Pocono Collection System at the Original Connection Point and that no upgrade will be necessary to Pocono’s Pump Station No. 1; and

**WHEREAS**, the parties desire to amend the Original Agreement and Amendment No. 1 in order to clarify the time period for Tobyhanna and Kalahari to proceed with the design, permitting, approvals, and posting of financial security for the upgrade to Pocono’s Pump Station No. 1, if necessary.

**NOW, THEREFORE**, the parties hereto, intending to be legally bound hereby, do hereby agree as follows:

1. Both Tobyhanna and Pocono hereby specifically agree that the obligation to design, secure permits and approvals, financially secure, and potentially proceed to bid for an upgrade to Pocono's Pump Station No. 1 as described in Section 3.2.6(b) of Amendment No. 1 shall not be applicable and/or required until June 1, 2016 at the earliest. In the event Kalahari proceeds to construct the remaining sanitary sewer line necessary to complete the connection of the Tobyhanna Collection System to the Pocono Collection System at the Original Connection Point on or before June 1, 2016, the parties hereto specifically agree that there shall be no obligation and/or requirement to proceed with the above-referenced upgrade design, permitting, approvals, security, and/or improvement to Pocono's Pump Station No. 1 because said Pump Station No. 1 will no longer be used by the Tobyhanna Collection System once the Original Connection Point is completed and put in service.
2. This Amendment No. 2 has been drafted on a mutual basis by the parties hereto and no provision shall be construed against either party on basis of drafting responsibility.
3. The Original Agreement, Amendment No. 1, and this Amendment No. 2 (including the other writings and agreements specifically contemplated thereby or hereby and/or referenced therein or herein) contains the entire understanding between the parties hereto and supersedes any prior written or oral agreements between them respecting the subject matter of the same. There are no representations, agreements, arrangements, or understandings, oral or written, between the parties hereto relating to the subject matter of the Original Agreement, Amendment No. 1, as amended/modified by this Amendment No. 2, which are not fully expressed therein and herein.
4. Except as herein amended/modified, all provisions of the Original Agreement, as amended by Amendment No. 1, are hereby ratified and shall remain in full force and effect.

**IN WITNESS WHEREOF**, the parties hereto have caused this Amendment No. 2 to the Intermunicipal Sewage Collection and Disposal Services Agreement to be executed by their respective duly authorized officers, on the dates indicated.

ATTEST:

TOWNSHIP OF POCONO, Monroe County,  
Pennsylvania

By: \_\_\_\_\_  
Print Name: Pamela Finkbeiner  
Title: Secretary

By: \_\_\_\_\_  
Print Name: Richard Wielebinski  
Title: President, Board of Commissioners

Date of Execution and Delivery: \_\_\_\_\_

ATTEST:

TOWNSHIP OF TOBYHANNA, Monroe County,  
Pennsylvania

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Title: Secretary

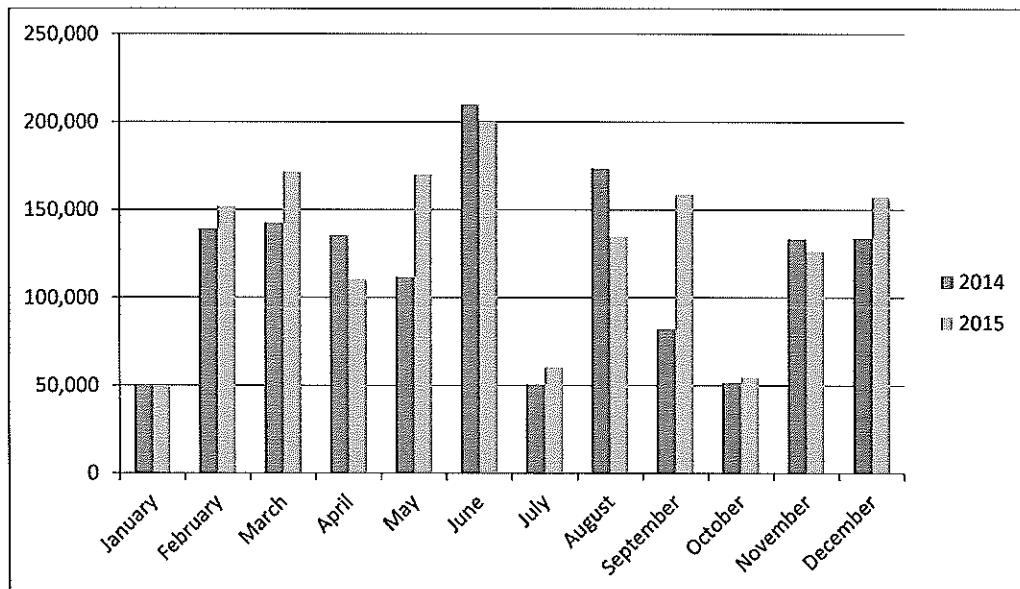
By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Title: Chairman, Board of Supervisors

Date of Execution and Delivery: \_\_\_\_\_

## Treasurer's Report - Earned Income Tax Collection

### Monthly Collections

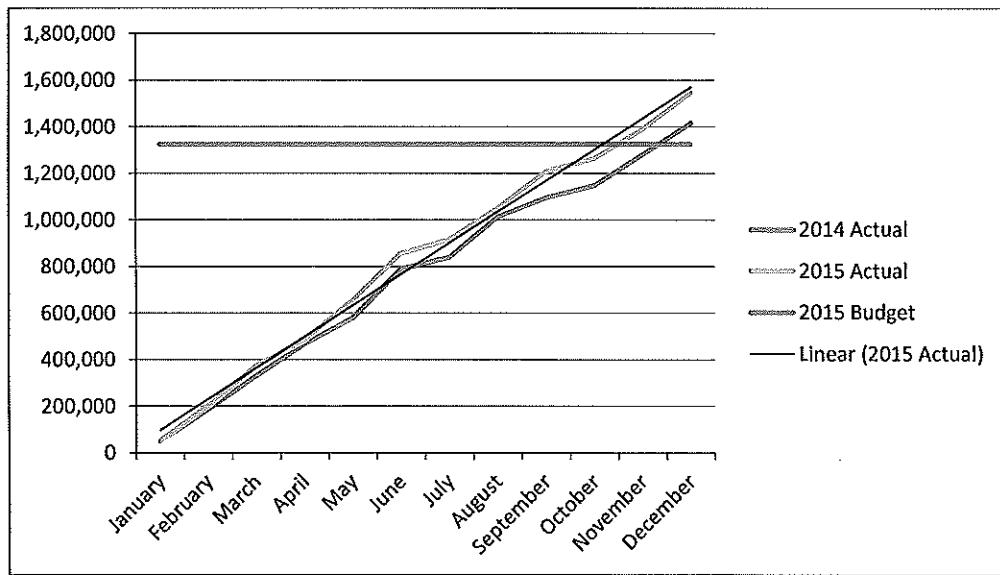
	2014	2015
January	50,730	50,016
February	139,308	151,956
March	142,843	171,698
April	135,699	110,568
May	111,832	170,046
June	209,971	200,432
July	50,698	60,488
August	173,849	134,675
September	82,322	159,064
October	51,578	54,651
November	133,735	126,313
December	134,095	157,218



## Treasurer's Report - Earned Income Tax Collection

### Cumulative Collections

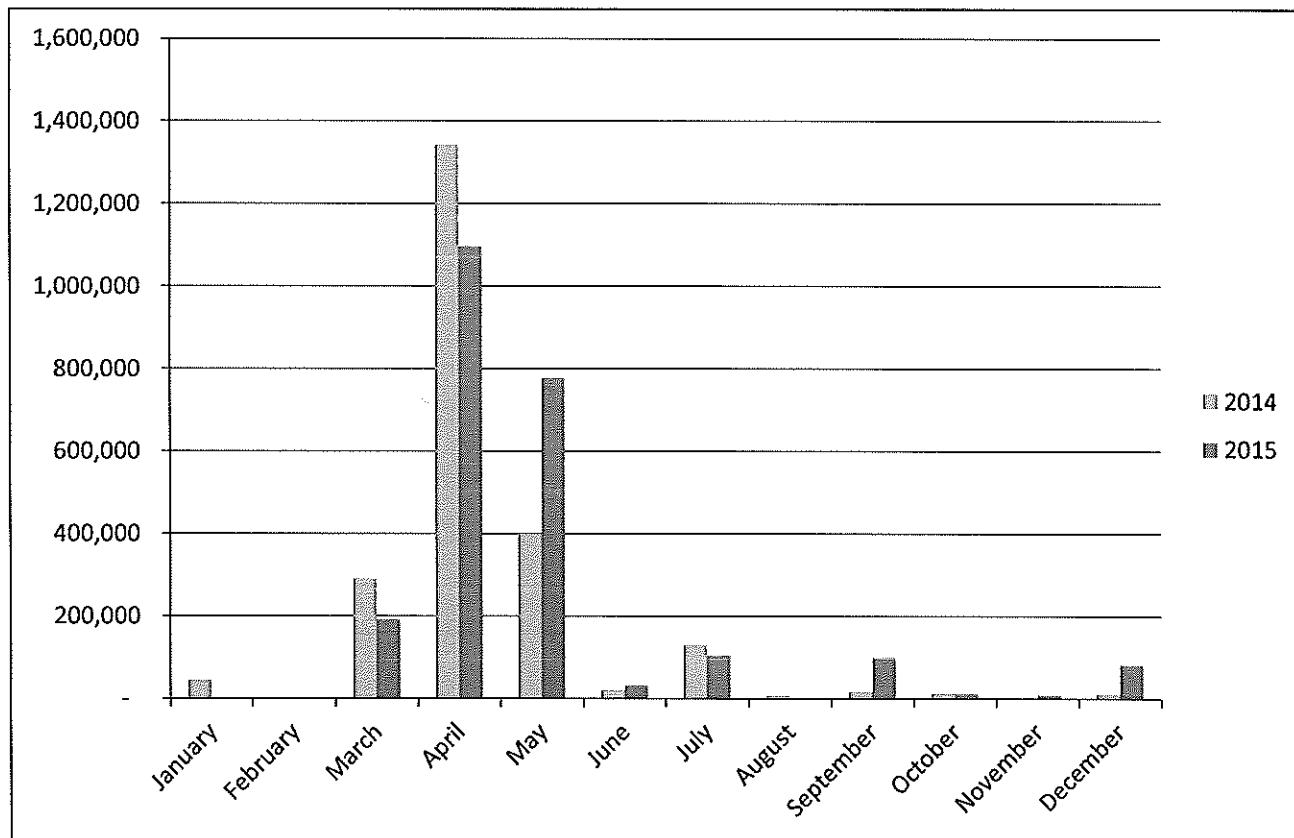
	2014 Budget	2015 Budget	2014 Actual	2015 Actual	2014 Collection %	2015 Collection %
January	1,280,000	1,325,000	50,730	50,016	4.0%	3.8%
February	1,280,000	1,325,000	190,038	201,972	14.8%	15.2%
March	1,280,000	1,325,000	332,881	373,670	26.0%	28.2%
April	1,280,000	1,325,000	468,580	484,238	36.6%	36.5%
May	1,280,000	1,325,000	580,412	654,283	45.3%	49.4%
June	1,280,000	1,325,000	790,383	854,715	61.7%	64.5%
July	1,280,000	1,325,000	841,082	915,203	65.7%	69.1%
August	1,280,000	1,325,000	1,014,930	1,049,878	79.3%	79.2%
September	1,280,000	1,325,000	1,097,252	1,208,942	85.7%	91.2%
October	1,280,000	1,325,000	1,148,831	1,263,594	89.8%	95.4%
November	1,280,000	1,325,000	1,282,566	1,389,906	100.2%	104.9%
December	1,280,000	1,325,000	1,416,661	1,547,124	110.7%	116.8%



# Treasurer's Report - Current Real Estate Tax Collection

## Monthly Collections

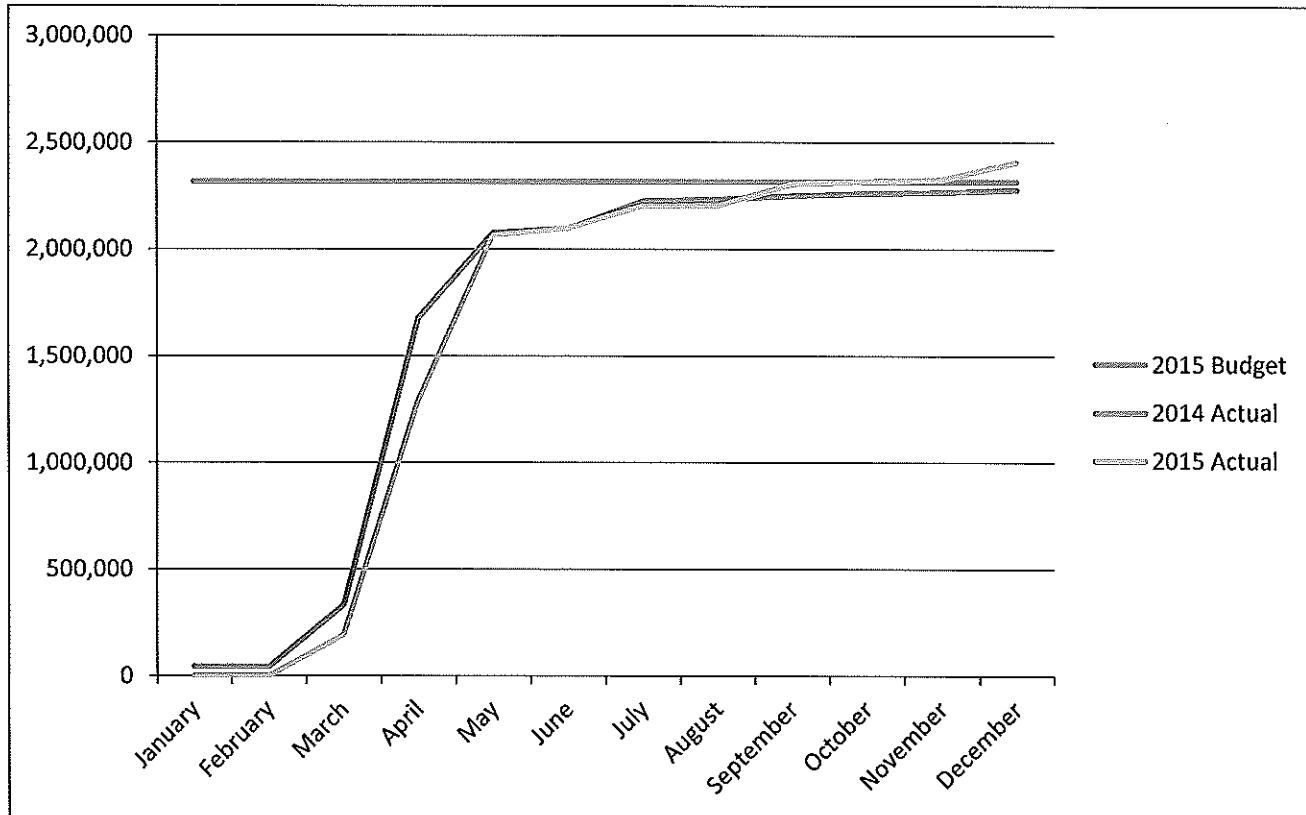
Month	2014	2015
January	43,799	-
February	-	-
March	291,046	192,156
April	1,342,423	1,096,966
May	400,804	777,274
June	19,545	32,514
July	129,668	104,103
August	7,587	2,365
September	16,849	99,846
October	12,288	12,032
November	4,722	8,767
December	11,180	81,813



# Treasurer's Report - Current Real Estate Tax Collection

## Cumulative Collections

	2014 Budget	2015 Budget	2014 Actual	2015 Actual	2015 Collection %
January	2,254,200	2,315,391	43,799	0	0.00%
February	2,254,200	2,315,391	43,799	0	0.00%
March	2,254,200	2,315,391	334,845	192,156	8.30%
April	2,254,200	2,315,391	1,677,268	1,289,122	55.68%
May	2,254,200	2,315,391	2,078,072	2,066,396	89.25%
June	2,254,200	2,315,391	2,097,617	2,098,911	90.65%
July	2,254,200	2,315,391	2,227,285	2,203,014	95.15%
August	2,254,200	2,315,391	2,234,872	2,205,379	95.25%
September	2,254,200	2,315,391	2,251,722	2,305,225	99.56%
October	2,254,200	2,315,391	2,264,010	2,317,257	100.08%
November	2,254,200	2,315,391	2,268,732	2,326,024	100.46%
December	2,254,200	2,315,391	2,279,912	2,407,837	103.99%



General Fund  
Treasurer's Report  
December 2015

Income						2015				2014			
						Jan 1 - Dec 31, 2015	Budget	\$ Over Budget	% of Budget	Jan 1 - Dec 31, 2014	Budget	\$ Over Budget	% of Budget
301.100 - Real Estate Taxes - Current						2,407,836.77	2,315,391.00	92,445.77	103.99%	2,334,630.84	2,254,200.14	80,430.70	103.57%
310.200 - Earned Income Taxes						1,547,124.69	1,325,000.00	222,124.69	116.76%	1,416,659.72	1,280,000.00	136,659.72	110.68%
Taxes Other													
301.101 - Judicial Sales - Tax Claim						0.00	1,800.00	-1,800.00	0.0%	0.00	1,800.00	-1,800.00	0.0%
301.200 - Real Estate Taxes - Delinquent						139,792.50	150,000.00	-10,207.50	93.2%	246,782.04	125,000.00	121,782.04	197.43%
301.201 - Real Estate Court Settlement						480.00	0.00	480.00	100.0%				
301.300 - Returned Taxes - Upset Sale						16,170.58	4,000.00	12,170.58	404.27%	4,258.21	0.00	4,258.21	100.0%
301.400 - Returned Tax - Repository Sale						0.00	0.00	0.00	0.0%	91.86	0.00	91.86	100.0%
310.100 - Real Estate Transfer Taxes						180,698.60	150,000.00	30,698.60	120.47%	215,539.54	115,000.00	100,539.54	187.43%
310.500 - Local Services Taxes						401,933.36	340,000.00	61,933.36	118.22%	395,690.82	350,000.00	45,690.82	113.06%
Total Taxes Other						739,075.04	645,800.00	93,275.04	114.44%	862,362.47	591,800.00	270,562.47	145.72%
Licenses, permits and fees													
321.630 - Pumpers-Hauler Licenses						0.00	100.00	-100.00	0.0%	0.00	100.00	-100.00	0.0%
321.800 - Cable TV Franchise Fees*						152,982.07	190,000.00	-37,017.93	80.52%	197,795.13	190,000.00	7,795.13	104.1%
322.100 - Application fees						1,100.00	0.00	1,100.00	100.0%	900.00	0.00	900.00	100.0%
Total Licenses, permits and fees						154,082.07	190,100.00	-36,017.93	81.05%	198,695.13	190,100.00	8,595.13	104.52%
Fines and Forfeits													
331.100 - Court Fines - District Magistr						42,514.75	30,000.00	12,514.75	141.72%	34,230.31	30,000.00	4,230.31	114.1%
331.110 - Motor Vehicle Code Violations						18,914.19	30,000.00	-11,085.81	63.05%	23,271.05	30,000.00	-6,728.95	77.57%
331.200 - Ordinance Violations						0.00	500.00	-500.00	0.0%	1,500.00	500.00	1,000.00	300.0%
332.100 - Restitution						0.00	0.00	0.00	0.0%	12,000.00	0.00	12,000.00	100.0%
Total Fines and Forfeits						61,428.94	60,500.00	928.94	101.54%	71,001.36	60,500.00	10,501.36	117.36%
341.010 - Interest on Investments						15,038.80	4,000.00	11,038.80	375.97%	13,076.08	4,000.00	9,076.08	326.9%
354.129 - Stadden Road Bridge Grant						0.00	130,000.00	-130,000.00	0.0%	0.00	300,000.00	-300,000.00	0.0%
354.150 - Recycling Performance Grant						109,216.77	5,000.00	104,216.77	2,184.34%	0.00	185,015.00	-185,015.00	0.0%
Other State Grants													
355.010 - Public Utility Realty Tax						5,977.84	0.00	5,977.84	100.0%	7,147.48	0.00	7,147.48	100.0%
355.040 - Alcoholic Beverage Licenses						3,350.00	2,750.00	600.00	121.82%	2,150.00	2,750.00	-600.00	78.18%
355.050 - Pension System State Aid						168,595.90	184,992.00	-16,396.10	91.14%	193,634.00	180,000.00	13,634.00	107.57%
355.070 - Foreign Fire Insurance						94,806.89	104,000.00	-9,393.11	90.97%	100,593.49	100,000.00	593.49	100.55%
356.100 - State Payments In Lieu of Taxes						424.32	500.00	-75.68	84.86%	412.32	500.00	-87.68	82.46%
Total Other State Grants						272,954.95	292,242.00	-19,287.05	93.4%	303,937.29	283,250.00	20,687.29	107.3%
357.030 - County Grant										25,000.00	0.00	25,000.00	100.0%
362.100 - Police Services													
362.101 - Reimbursement Police overtime						26,219.18	15,000.00	11,219.18	174.8%	24,534.41	20,000.00	4,534.41	122.67%
362.100 - Police Services - Other						30,636.00	25,000.00	5,636.00	122.54%	22,470.40	30,000.00	-7,529.60	74.9%
Total 362.100 - Police Services						56,855.18	40,000.00	16,855.18	142.14%	47,004.81	50,000.00	-2,995.19	94.01%
Building Permits													
362.411 - Connect & Tank Abandonment Fees						3,243.00	0.00	3,243.00	100.0%	3,855.00	0.00	3,855.00	100.0%
362.410 - Building Permits - BIU - Other						494,615.48	160,000.00	334,615.48	309.14%	163,108.19	110,000.00	53,108.19	148.28%
Total Building Permits						497,858.48	160,000.00	337,858.48	311.16%	166,963.19	110,000.00	56,963.19	151.79%

General Fund  
Treasurer's Report  
December 2015

		2015				2014			
		Jan 1 - Dec 31, 2015	Budget	\$ Over Budget	% of Budget	Jan 1 - Dec 31, 2014	Budget	\$ Over Budget	% of Budget
<b>Charges for Services</b>									
	361.310 - Subdivision, Land Develop Fees	12,648.00	4,000.00	8,648.00	316.2%	3,450.00	4,000.00	-550.00	86.25%
	361.330 - Zoning Hearing Board Fees	3,046.65	2,000.00	1,046.65	152.33%	2,900.00	2,000.00	900.00	145.0%
	361.340 - Cond Use, Curative PRD Fees	500.00	500.00	0.00	100.0%	1,800.00	500.00	1,300.00	360.0%
	361.341 - UCC Appeal Board Fees	800.00	0.00	800.00	100.0%	0.00	0.00	0.00	0.0%
	361.400 - Plan Review Fees	700.00	500.00	200.00	140.0%	200.00	500.00	-300.00	40.0%
	361.500 - Sale of Maps and Publications	35.50	100.00	-64.50	35.5%	125.00	100.00	25.00	125.0%
	361.700 - Reproduction of Records	1,075.00	100.00	975.00	1,075.0%	1,773.86	100.00	1,673.86	1,773.85%
	362.110 - Sale of Police Reports	7,610.00	5,000.00	2,610.00	152.2%	6,375.50	4,000.00	2,375.50	159.39%
	362.130 - Security Alarm Fees	200.00	150.00	50.00	133.33%	120.00	150.00	-30.00	80.0%
	362.300 - Zoning Permits	73,038.50	33,400.00	39,638.50	218.68%	25,312.64	20,000.00	5,312.64	126.56%
	362.440 - Sewer System Permits	8,100.00	12,000.00	-5,900.00	50.83%	13,610.00	12,000.00	1,610.00	113.42%
	362.450 - Use & Occupancy Permits	3,404.00	2,500.00	904.00	136.16%	2,300.00	2,500.00	-200.00	92.0%
	362.475 - Well Permits	1,300.00	0.00	1,300.00	100.0%	800.00	300.00	500.00	286.67%
	362.480 - Pool Permits	150.00	0.00	150.00	100.0%	100.00	100.00	0.00	100.0%
	362.485 - Sign Permits	7,950.00	0.00	7,950.00	100.0%	8,827.20	5,000.00	3,827.20	176.54%
	362.491 - Fireworks Permits	200.00	0.00	200.00	100.0%	0.00	0.00	0.00	0.0%
	362.495 - UCC Fees	860.00	500.00	380.00	172.0%	782.00	500.00	292.00	158.4%
	362.500 - Building Code Appeals Board Fee	0.00	0.00	0.00	0.0%	60.00	0.00	60.00	100.0%
	362.600 - Miscellaneous Permits	675.00	0.00	675.00	100.0%	400.00	1,000.00	-600.00	40.0%
	363.500 - Public Works Services	4,589.05	11,000.00	-6,410.95	41.72%	11,400.89	11,000.00	400.89	103.64%
<b>Total Charges for Services</b>		124,881.70	71,750.00	53,131.70	174.05%	80,347.09	63,750.00	16,597.09	126.04%
<b>Other Operating Revenue</b>									
	380.100 - Miscellaneous Revenue	1.00	100.00	-99.00	1.0%	28.00	100.00	-72.00	28.0%
	387.100 - Contributions and Donations	1,900.00	1,000.00	900.00	190.0%	4,432.00	1,000.00	3,432.00	443.2%
	387.200 - Fees in Lieu of Improvements	4,200.00	2,500.00	1,700.00	168.0%	4,200.00	2,500.00	1,700.00	168.0%
	389.500 - Miscellaneous Reimbursements	0.00	1,000.00	-1,000.00	0.0%	0.00	1,000.00	-1,000.00	0.0%
<b>Total Other Operating Revenue</b>		6,101.00	4,600.00	1,501.00	132.63%	8,660.00	4,600.00	4,060.00	188.26%
<b>Other Financing Sources</b>									
	391.100 - Sale of Surplus Property	26,824.00	3,000.00	23,824.00	894.13%	59.60	3,000.00	-2,940.40	1.99%
	395.000 - Refunds of Prior Year Expenses	27,545.22	0.00	27,545.22	100.0%	3,477.75	0.00	3,477.75	100.0%
<b>Total Other Financing Sources</b>		54,369.22	3,000.00	51,369.22	1,812.31%	3,537.35	3,000.00	537.35	117.91%
<b>Total Income</b>		6,046,823.61	5,247,383.00	799,440.61	115.24%	5,531,875.33	5,380,215.14	151,660.19	102.82%

**General Fund  
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	Budget As Amended	\$ Over Budget	% of Budget
	Jan 1 - Dec 31, 2015		
<b>General Government</b>			
400.110 · Salary & Wages - Legislative	16,250.00	0.00	100.0%
400.192 · Legislative SSI Tax	1,243.05	0.05	100.0%
400.260 · Minor Equipment	1,314.00	3,000.00	43.8%
400.420 · Dues, Subscriptions & Memberships	825.00	1,516.00	54.42%
400.460 · Legislative -Meetings & Training	0.00	1,000.00	0.0%
400.540 · Legislative - Donations	350.00	1,300.00	26.92%
401.110 · Admin Salaries & Wages	107,452.16	110,000.00	-2,547.84
401.192 · Admin SSI Taxes	8,228.24	8,415.00	-186.76
401.196 · Admin Health Insurance	24,312.80	25,258.00	-945.20
401.198 · Non-Uniformed Pension Plan	10,857.64	11,000.00	-142.36
401.199 · Admin Life and Disability Ins	756.00	760.00	-4.00
401.200 · Administration Allowances	3,041.55	3,200.00	-158.45
401.220 · Admin Operating Supplies	0.00	500.00	-500.00
401.260 · Admin Minor Equipment	922.97	3,000.00	-2,077.03
401.420 · Admin Dues, Subscriptions & Mem	1,129.66	2,565.00	-1,435.34
401.460 · Admin Meetings & Training	3,281.59	3,350.00	-68.41
402.198 · Fin Admin Non-Uni Pension Plan	0.00	0.00	0.0%
402.310 · Fin Admin Professional Svrs	11,899.42	15,000.00	-3,100.58
403.110 · Tax Collection Salaries & Wages	9,769.35	10,000.00	-230.65
403.192 · Tax Collection SSI Taxes	747.53	765.00	-17.47
403.215 · Tax Collection Postage	1,606.71	2,000.00	-393.29
403.220 · Tax Collection Operating Supply	1,823.75	2,000.00	-176.25
403.310 · Tax Collection Professional Srv	31,632.33	31,000.00	632.33
403.460 · Tax Collection Meetings & Conf	573.68	625.00	-51.32
404.310 · Township Solicitor	86,659.04	90,000.00	-3,340.96
405.110 · Secretary Salaries & Wages	133,793.68	135,529.00	-1,735.32
405.120 · Secretary OT	9,545.00	11,000.00	-1,455.00
405.192 · Secretary SSI Taxes	11,073.81	11,000.00	73.81
405.196 · Secretary Insurance	61,766.32	70,992.00	-9,225.68
405.198 · Secretary Non-Uni Pension Plan	13,839.77	13,700.00	139.77
405.199 · Secretary Life & Disability Ins	2,167.71	2,400.00	-232.29
405.220 · Secretary Operating Supplies	630.65	1,500.00	-869.35
405.260 · Secretary Minor Equipment	655.98	3,000.00	-2,344.02
405.310 · Secretary Professional Svrs	0.00	0.00	0.0%
405.420 · Secretary Dues, Subscriptions	190.00	500.00	-310.00
405.460 · Secretary Meetings & Training	333.00	500.00	-167.00
406.215 · Gen Govt Postage	3,809.07	4,000.00	-190.93
406.220 · Gen Govt Operation Supplies	6,758.38	7,000.00	-241.62
406.310 · Gen Govt Professional Svrs	5,558.90	6,000.00	-441.10
406.320 · Gen Govt Communications	7,041.50	10,000.00	-2,958.50
406.340 · Gen Govt Advertising & Printing	6,118.76	6,500.00	-381.24
406.374 · Gen Govt Office Equipment Maint	0.00	0.00	0.0%
406.384 · Gen Govt Equipment Leases	2,840.80	5,000.00	-2,159.20
406.430 · Gen Govt Real Estate Taxes	1,411.34	6,500.00	-5,088.66
407.252 · Computer Parts & Supplies	0.00	500.00	-500.00
407.260 · Technology Minor Equipment	0.00	1,000.00	-1,000.00
407.450 · Contracted Services	17,397.64	18,000.00	-602.36
408.310 · Township Engineer	54,122.29	85,000.00	-30,877.71
409.220 · Building Operating Supplies	942.12	1,000.00	-57.88
409.360 · Building Utilities	24,069.61	27,210.00	-3,140.39
409.373 · Building Maint & Repairs	16,307.86	16,822.00	-514.14
409.450 · Building Contracted Services	5,898.11	6,000.00	-101.89
<b>Total General Government</b>	<b>710,948.77</b>	<b>794,400.00</b>	<b>-83,451.23</b>
<b>Public Safety</b>			<b>89.5%</b>
410.120 · Police Salaries & Wages-Admin	93,191.24	83,306.00	9,885.24
410.130 · Police Salaries & Wages-Officer	1,076,969.89	1,064,116.00	12,853.89
410.140 · Police Salaries & Wages-Civilia	43,435.20	42,192.00	1,243.20
410.179 · Police Longevity Pay	39,669.33	40,794.00	-1,124.67
410.180 · Police Overtime Wages	148,354.68	150,000.00	-1,645.32
410.187 · Police Overtime Civ Support	815.27	1,000.00	-184.73
410.191 · Uniform Allowance	12,800.00	13,600.00	-800.00
410.192 · Police SSI Taxes	108,855.77	111,000.00	-2,144.23
410.196 · Police Health Insurance	409,762.84	419,494.00	-9,731.16
410.197 · Police Pension Plan	150,577.98	150,577.00	0.98
410.198 · Police Life & Disability Ins	14,326.93	16,100.00	-1,773.07
410.199 · Police Non-Uniform Pension	4,149.39	4,200.00	-50.61

**General Fund  
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410.200 · Police 457 Contribution	10,884.04	10,600.00	284.04	102.68%
410.220 · Police Operating Supplies	5,892.60	6,000.00	-107.40	98.21%
410.221 · Crime Scene Supplies	708.58	1,600.00	-891.42	44.29%
410.222 · Ammunition	4,582.60	5,000.00	-417.40	91.65%
410.223 · K-9 Expenses	1,429.68	2,000.00	-570.32	71.48%
410.231 · Vehicle Fuel	34,800.50	38,861.00	-4,060.50	89.55%
410.260 · Police Minor Equipment	18,085.39	19,000.00	-914.61	95.19%
410.310 · Police Professional Services	2,144.62	5,000.00	-2,855.38	42.89%
410.314 · Civil Service Comm Solicitor	13,909.55	16,100.00	-2,190.45	86.4%
410.320 · Police Communications	16,164.96	16,000.00	164.96	101.03%
410.341 · Police Advertising & Printing	3,225.00	3,500.00	-275.00	92.14%
410.373 · Police Maint & Repair Bldg	10,917.16	12,000.00	-1,082.84	90.98%
410.374 · Police Equipment Maint	3,293.84	4,750.00	-1,456.16	69.34%
410.420 · Police Dues, Subscriptions	517.00	1,500.00	-983.00	34.47%
410.450 · Police Contracted Services	107,980.60	110,164.00	-2,183.40	98.02%
410.451 · Police Vehicle Maintenance	34,434.46	32,000.00	2,434.46	107.61%
410.460 · Police Meetings & Training	10,597.57	11,000.00	-402.43	96.34%
410.740 · Police Capital Purch, Minor	14,599.85	14,600.00	-0.15	100.0%
410.741 · Police Capital Purch, Autos	40,438.68	41,500.00	-1,061.32	97.44%
411.540 · Foreign Fire Payments	94,606.89	94,607.00	-0.11	100.0%
413.260 · Code Enforcement Minor Equip	0.00	500.00	-500.00	0.0%
413.310 · Prof Services - BLU Building	288,783.37	280,036.00	8,747.37	103.12%
413.311 · Prof Services - SEO	14,090.00	15,000.00	-910.00	93.93%
413.312 · Professional Services - ZO	18,982.50	18,983.00	-0.50	100.0%
413.314 · Building Code Appeals Board	2,407.45	2,400.00	7.45	100.31%
413.319 · Code Enforcement UCC Fees	856.00	750.00	106.00	114.13%
413.341 · Code Enforcement Advertising	0.00	100.00	-100.00	0.0%
413.420 · Code Enforcement Dues & Subs	0.00	0.00	0.00	0.0%
413.450 · Code Enforcement Contracted Srv	0.00	0.00	0.00	0.0%
413.451 · Code Enforcement Vehicle Maint	0.00	0.00	0.00	0.0%
413.460 · Code Enforcement Meetings	0.00	0.00	0.00	0.0%
414.110 · Planning & Zoning Salaries	16,523.00	16,300.00	223.00	101.37%
414.120 · Planning & Zoning OT	321.75	400.00	-78.25	80.44%
414.192 · Planning & Zoning SSI Taxes	1,328.09	1,245.00	83.09	106.67%
414.196 · Planning & Zoning Health Ins	1,814.24	1,921.00	-106.76	94.44%
414.198 · Planning & Zoning N-U Pension	0.00	0.00	0.00	0.0%
414.199 · Zoning Life & Disability	189.00	205.00	-16.00	92.2%
414.220 · Planning & Zoning Supplies	301.63	500.00	-198.37	60.33%
414.310 · Planning & Zoning Prof Srvs	1,219.00	1,219.00	0.00	100.0%
414.313 · Planning & Zoning Engineering	13,600.36	12,500.00	1,100.36	108.8%
414.314 · Planning & Zoning Legal	28,488.40	26,000.00	2,488.40	109.57%
414.324 · Zoning Cell Phone	98.59	150.00	-51.41	65.73%
414.331 · Zoning Officer Mileage	95.61	400.00	-304.39	23.9%
414.341 · Planning & Zoning Advertising	1,800.00	1,800.00	0.00	100.0%
414.460 · Planning & Zoning Meetings	0.00	400.00	-400.00	0.0%
415.220 · Emer Mgmt Operating Supplies	0.00	500.00	-500.00	0.0%
415.460 · Emer Mgmt Meetings & Training	0.00	200.00	-200.00	0.0%
<b>Total Public Safety</b>	<b>2,923,021.08</b>	<b>2,923,670.00</b>	<b>-648.92</b>	<b>99.98%</b>

**Public Works - Other**

426.227 · Recycling containers	1,125.50	1,126.00	-0.50	99.96%
427.220 · Solid Waste Coll Supplies	1,430.00	1,500.00	-70.00	95.33%
427.221 · Equip Rental - Grinder	4,680.00	4,700.00	-20.00	99.57%
427.450 · Contracted Srvs - Clean-Up Days	14,333.56	20,000.00	-5,666.44	71.67%
429.317 · TIF	101,633.59	101,634.00	-0.41	100.0%
<b>Total Public Works - Other</b>	<b>123,202.65</b>	<b>128,960.00</b>	<b>-5,757.35</b>	<b>95.54%</b>

**PW-Hwys, Roads & Streets**

430.110 · Public Works Salaries	383,009.40	394,987.00	-11,977.60	96.97%
430.120 · Public Works OT Wages	27,234.29	30,000.00	-2,765.71	90.78%
430.192 · Public Works SSI Taxes	31,932.74	31,088.00	844.74	102.72%
430.196 · Public Works Insurance	207,659.44	213,252.00	-5,592.56	97.38%
430.198 · Public Works N-U Pension	38,428.70	38,360.00	68.70	100.18%
430.199 · Public Works Life & Disab Ins	6,974.70	6,975.00	-0.30	100.0%
430.200 · Public Works Director Allowance	444.15	450.00	-5.85	98.7%
430.220 · Public Works Oper Supplies	6,879.95	15,000.00	-8,120.05	45.87%
430.232 · Public Works Diesel	25,683.19	40,000.00	-14,316.81	64.21%
430.234 · Public Works Vehicle Supplies	1,824.17	6,000.00	-4,175.83	30.4%
430.238 · Public Works Uniforms	7,787.91	7,800.00	-12.09	99.85%
430.260 · Public Works Minor Equip Purch	1,029.71	2,000.00	-970.29	51.49%

**General Fund  
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430.331 · Mileage Reimbursement	457.67	1,000.00	-542.33	45.77%
430.360 · Public Works Utilities	8,194.62	18,750.00	-10,555.38	43.71%
430.373 · Public Works Maint & Rep Bldg	8,312.97	10,000.00	-1,687.03	83.13%
430.374 · Public Works Small Equip Maint	3,090.13	5,000.00	-1,909.87	61.8%
430.375 · Public Works Heavy Equip Maint	34,884.84	35,000.00	-115.16	99.67%
430.384 · Public Works Equip Rental	500.00	500.00	0.00	100.0%
430.420 · Public Works Dues, Subscription	625.00	1,000.00	-375.00	62.5%
430.450 · Public Works Contracted Svrs	45,823.00	46,000.00	-177.00	99.62%
430.451 · Public Works Vehicle Maint	7,403.76	9,000.00	-1,596.24	82.26%
430.460 · Public Works Meetings & Trainin	843.58	1,000.00	-156.42	84.36%
430.650 · Public Works Hand Tool Purch	261.15	500.00	-238.85	52.23%
430.740 · Public Works Capital Purchases	0.00	0.00	0.00	0.0%
432.220 · Snow & Ice Rem Oper Supplies	122,930.22	125,000.00	-2,069.78	98.34%
432.375 · Snow & Ice Rem Equipment Maint	27,912.16	34,800.00	-6,887.84	80.21%
432.450 · Snow & Ice Rem Subcontractors	0.00	0.00	0.00	0.0%
433.220 · Traffic Signals & Signs Supply	2,272.87	5,000.00	-2,727.13	45.46%
433.360 · Traffic Signals & Signs Utiliti	3,361.77	4,000.00	-638.23	84.04%
433.450 · Traffic Signals Contracted Svrs	12,493.08	33,000.00	-20,506.92	37.86%
438.220 · Road Maint Supplies	72,706.12	71,250.00	1,456.12	102.04%
438.610 · Road Maint Capital Construction	81,422.20	130,000.00	-48,577.80	62.63%
438.611 · Line Painting	39,860.47	39,861.00	-0.53	100.0%
439.610 · Rd Construct & Rebuild Cap Cons	244,879.73	244,880.00	-0.27	100.0%
<b>Total PW-Hwys, Roads &amp; Streets</b>	<b>1,457,123.69</b>	<b>1,601,453.00</b>	<b>-144,329.31</b>	<b>90.99%</b>
<b>Culture and Recreation</b>				
457.540 · Community Day Celebration	1,763.99	3,000.00	-1,236.01	58.8%
457.541 · Bicentennial Committee Expenses	860.00			
<b>Total Culture and Recreation</b>	<b>2,623.99</b>	<b>3,000.00</b>	<b>-376.01</b>	<b>87.47%</b>
<b>Benefits and Withholding</b>				
483.194 · Employer Pd Unemployment Comp	30,177.31	30,000.00	177.31	100.59%
483.195 · Employer Pd Worker's Comp	95,501.00	95,610.00	-109.00	99.89%
483.200 · Federal Healthcare Tax	131.04	180.00	-48.96	72.8%
483.201 · Transitional Reinsurance Fee	2,873.20	3,741.00	-867.80	76.8%
<b>Total Benefits and Withholding</b>	<b>128,682.55</b>	<b>129,531.00</b>	<b>-848.45</b>	<b>99.35%</b>
<b>Insurance</b>				
486.350 · Property & Liability Insurance	87,339.00	87,400.00	-61.00	99.93%
486.355 · Professional Bonds	6,425.01	6,800.00	-374.99	94.49%
<b>Total Insurance</b>	<b>93,764.01</b>	<b>94,200.00</b>	<b>-435.99</b>	<b>99.54%</b>
<b>Interfund Transfers Out</b>				
492.320 · Interfund Transfer to Emer Svrs	24,000.00	54,141.00	-30,141.00	44.33%
492.350 · Interfund Transfer to Liq Fuels	2,160.92	2,161.00	-0.08	100.0%
<b>Total Interfund Transfers Out</b>	<b>26,160.92</b>	<b>56,302.00</b>	<b>-30,141.08</b>	<b>46.47%</b>
<b>Other Expenses</b>				
491.000 · Refund of Prior Year Revenues	27,771.09	27,772.00	-0.91	100.0%
<b>Total Other Expenses</b>	<b>27,771.09</b>	<b>27,772.00</b>	<b>-0.91</b>	<b>100.0%</b>
	<b>\$ 5,493,298.75</b>	<b>\$ 5,759,288.00</b>	<b>\$ (265,989.25)</b>	<b>95.38%</b>

**Sewer Operating Fund  
Treasurer's Report  
December 2015**

		2015				2014			
		Jan 1 - Dec 31, 2015	Budget	\$ Over Budget	% of Budget	Jan 1 - Dec 31, 2014	Budget	\$ Over Budget	% of Budget
<b>Income</b>									
	341.010 - Interest on Investments	20,035.38	0.00	20,035.38	100.0%	13,238.13	9,500.00	3,738.13	139.35%
	364.110 - Connection/Tapping Fees	1,452,500.00	4,463,750.00	-3,011,250.00	32.54%	537,500.00	1,456,990.00	-919,490.00	36.89%
	364.120 - Sewer Use Fees	2,835,560.58	3,946,667.00	-1,111,106.42	71.85%	2,277,806.06	2,032,664.00	245,142.06	112.06%
<b>Total Income</b>		<b>4,308,095.96</b>	<b>8,410,417.00</b>	<b>-4,102,321.04</b>	<b>51.22%</b>	<b>2,828,544.19</b>	<b>3,499,154.00</b>	<b>-670,609.81</b>	<b>80.84%</b>

**Sewer Operating Fund**  
**Treasurer's Report**  
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	Jan 1 - Dec 31, 2015	Budget	\$ Over Budget	% of Budget
<b>Expense</b>				
429.100 · Utilities	49,677.32	77,600.00	-27,922.68	64.02%
429.110 · Public Works Dir Salary	33,838.50	42,500.00	-8,661.50	79.62%
429.192 · Social Security	1,847.48	2,678.00	-830.52	68.99%
429.197 · Non Uniform Pension Plan	1,086.44	3,150.00	-2,063.56	34.49%
429.200 · BCRA Sewage Treatment	793,795.32	1,104,756.00	-310,960.68	71.85%
429.205 · Bank charges	65.00	0.00	65.00	100.0%
429.231 · Collection System Costs	1,567.33	2,000.00	-432.67	78.37%
429.244 · Operating Supplies	35,490.24	43,000.00	-7,509.76	82.54%
429.300 · Professional Services	274,982.60	277,000.00	-2,017.40	99.27%
429.374 · Equipment Repair & Maintenance	54,790.59	62,500.00	-7,709.41	87.67%
429.375 · Reimbursements - P Traps	5,490.00	10,000.00	-4,510.00	54.9%
471.000 · Debt Principal - Long and Short	426,238.81	1,814,039.00	-1,387,800.19	23.5%
472.000 · Debt Interest - Long and Short	448,137.46	960,771.00	-512,633.54	46.64%
492.530 · Contributions to fund balance	0.00	3,847,408.00	-3,847,408.00	0.0%
<b>Total Expense</b>	<b>2,127,007.09</b>	<b>7,016,718.00</b>	<b>-4,889,710.91</b>	<b>30.31%</b>

**Sewer Construction Fund**  
**Treasurer's Report**  
December 2015

	2015				2014			
	Jan 1 - Dec 31, 2015	Budget	\$ Over Budget	% of Budget	Jan 1 - Dec 31, 2014	Budget	\$ Over Budget	% of Budget
<b>Income</b>								
341.010 - Interest on Investments	4,482.52	2,000.00	2,482.52	224.13%	3,097.05	3,000.00	97.05	103.24%
354.161 - Pennvest Grant	0.00	1,549,340.00	-1,549,340.00	0.0%	205,394.33	1,549,341.00	-1,343,946.67	13.26%
354.163 - H2O Grant	0.00	0.00	0.00	0.0%	0.00	127,425.63	-127,425.63	0.0%
392.000 - Transfer from Operations	0.00	0.00	0.00	0.0%	190,856.15	0.00	190,856.15	100.0%
392.900 - Use of Fund Balance	0.00	262,479.00	-262,479.00	0.0%	0.00	565,173.86	-565,173.86	0.0%
393.100 - ERZB GSRB - ESSA	58,266.81	0.00	58,266.81	100.0%	59,422.80	0.00	59,422.80	100.0%
393.130 - Pennvest Loans	0.00	0.00	0.00	0.0%	415,000.00	723,100.00	-308,100.00	57.39%
393.140 - LT Debt - First Keystone	0.00	0.00	0.00	0.0%	122,502.92	0.00	122,502.92	100.0%
393.141 - LT Debt - Wayne	0.00	0.00	0.00	0.0%	526,587.99	609,490.00	-82,902.01	86.4%
393.142 - LOC - Wayne	0.00	1,091,181.00	-1,091,181.00	0.0%	2,808,818.70	0.00	2,808,818.70	100.0%
393.143 - Proceeds of refinance 7.5M	4,350,000.00	4,500,000.00	-150,000.00	96.67%	7,677,334.36	0.00	7,677,334.36	100.0%
393.144 - GSN Series B Wayne Bank Proceed	0.00	0.00	0.00	0.0%	4,351,000.00	0.00	4,351,000.00	100.0%
394.100 - Short Term Loans	0.00	0.00	0.00	0.0%	67,540.17	893,755.00	-826,214.83	7.56%
395.000 - Refund of Prior Year Expenses	250,267.50	0.00	250,267.50	100.0%	1,780.12	0.00	1,780.12	100.0%
<b>Total Income</b>	<b>4,663,016.83</b>	<b>7,405,000.00</b>	<b>-2,741,983.17</b>	<b>62.97%</b>	<b>16,429,334.59</b>	<b>4,471,285.49</b>	<b>11,958,049.10</b>	<b>367.44%</b>

**Sewer Construction Fund**  
**Treasurer's Report**  
**December 2015**

	Jan 1 - Dec 31, 2015	Budget As Amended	\$ Over Budget	% of Budget
<b>Expense</b>				
404.310 · Professional Services	43,256.01	50,000.00	-6,743.99	86.51%
408.315 · Engineering - Collection System	227,748.40	415,000.00	-187,251.60	54.88%
429.341 · Advertising	164.60	165.00	-0.40	99.76%
429.602 · Collection System Construction	204,400.19	2,560,000.00	-2,355,599.81	7.98%
429.620 · Engineering Fees Phs II	0.00	0.00	0.00	0.0%
429.643 · Contractor Fee Phs III	0.00	0.00	0.00	0.0%
471.000 · Debt Principal	4,297,036.03	4,326,835.00	-29,798.97	99.31%
475.000 · Fiscal Agent Fees	52,738.49	53,000.00	-261.51	99.51%
489.000 · Bank Fees	1.00	0.00	1.00	100.0%
<b>Total Expense</b>	<b>4,825,344.72</b>	<b>7,405,000.00</b>	<b>-2,579,655.28</b>	<b>65.16%</b>



**BRODHEAD CREEK  
REGIONAL AUTHORITY**  
410 Mill Creek Road  
East Stroudsburg, PA 18301

TELEPHONE  
(570) 421-3232  
FAX  
(570) 421-2322

E-MAIL: [bcra@ptd.net](mailto:bcra@ptd.net)  
[www.brodheadcreekregionalauthority.us](http://www.brodheadcreekregionalauthority.us)

Memo to: Pocono Township Commissioners

Date: February 16, 2016

Reference: BCRA / Pocono Township projects

From: Kenneth R. Brown, Manager

Dear Commissioners,

First of all I want to thank you for your time at tonight's meeting to introduce myself and to review with you some of the projects that we have been working on in Pocono Township over the last year or so. Because of the recent changes in Commission Members, I thought it would be wise to provide you with this memo so that going forward in our working relationship you will be aware of the various faucets of these projects. For tonight, I will only be addressing two (2) of those projects.

1. BCRA waterline project through Pocono Township property and along Rte. 715 in order to connect to the Pocono Jackson Joint Water Authority (PJJWA) to supply water to the new Pocono Medical Center Hospital. The BCRA has acquired a LSA Grant to help fund this project.
  - Need the Commissioners to approve the Right-of-Ways (R.O.W.s) through Pocono Township property for this project. I will have a map for you to review and the R.O.W. easements for your Solicitor to review. I would like to get a conditional approval at tonight's meeting pending review of the R.O.W.s by your Solicitor so we can move forward with this project.
  - Need Pocono Township to approve an extension to the BCRA "water service area" along Rte. 715. Will show the proposed area – if acceptable I will present it formally in the future for approval. Future agenda item.
  - Lastly, is the matter of the BCRA "acquisition of the PJJWA" with has been review by Leo DeVito and should be discussed with him prior to another meeting at which the Commissioners would be asked to formally act on this matter. Future agenda item.

2. MCTI water line project. This is not the BCRA's project, but it supports the MCTI's efforts to provide a more reliable source of water for its students and to bring fire protect to the MCTI campus. RKR Hess / UTRS represents the MCTI.
  - BCRA will review the proposed "water service area" expansion necessary for this project and request that the Commissioners approve it at tonight's meeting.
  - Russ Scott, the Engineer for the MCTI will review the project and waiver request.
3. Sanofi-Pasteur. Review of the Sanofi Industrial Pretreatment Permit (IPP), BCRA WWTP Rules and Regulations, Intermunicipal Agreements and Sanofi / Pocono Township Agreement of 2009. These matters have been discussed with the previous Commissioners, Staff and Engineer and at some point in the next 2-3 months we should set up a work session to meet with all parties and begin the review process and discussions of the numerous issues related to this Pocono Township waste water customer.
4. Spa Castle – simply put, from the BCRA's perspective, this proposed project needs Pocono Township approvals for both waste water capacity at the BCRA WWTP as well as the approval of a BCRA water service area by Pocono Township. The BCRA cannot provide water to this project or waste water service to this project without Township approvals. Again, this matter should be reviewed with your Solicitor. At some point in the future Pocono Township will advise the BCRA on how it wishes to proceed. I am available to meet and discuss these issues as needed.

Again thank you for your time. Please feel free to contact me if you have any further questions or when you wish to meet on the "future" matters.



Kenneth R. Brown

**TOWNSHIP OF POCONO, MONROE COUNTY, PENNSYLVANIA**

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION GRANTING CONDITIONAL  
APPROVAL OF THE CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION  
PLANS**

**WHEREAS**, the applicant, CB H2O L.P., submitted a plan application titled “Camelback Tubing Slope Lodge Reconstruction Plans” (the “Plan”). The applicant proposes to demolish the existing tubing slope lodge and to reconstruct a new lodge on the same site. The parcels are owned by EPT Ski Properties, Inc., and are known as Monroe County Tax ID No. 12/10/1/2, PIN No. 12636300227014, Tax ID No. 12/10/1/2-1, PIN No. 12636300206992, Tax ID No. 12/10/1/2-4, PIN No. 12636303335160, and Tax ID No. 12/10/1/2-6, PIN No. 12636300228392; and

**WHEREAS**, the Township Engineer has reviewed the Plan and offered comments in his letters dated September 18, 2015 and December 10, 2015; and

**WHEREAS**, the Pocono Township Planning Commission recommended the conditional plan approval of the Plan at a meeting held on February 8, 2016; and

**WHEREAS**, the Pocono Township Board of Commissioners desires to take final action on this Plan.

**NOW THEREFORE BE IT HEREBY RESOLVED** by the Board of Commissioners of Pocono Township, County of Monroe, and Commonwealth of Pennsylvania:

That the “Camelback Tubing Slope Lodge Reconstruction Plans”, as shown on the plan prepared by Boucher & James, Inc., dated July 23, 2015, as revised, be hereby approved with the following conditions and provided the plan is revised as follows, subject to the review and approval of the Township Engineer and/or Township Solicitor:

1. The applicant shall comply with all of the conditions and requirements identified in the Township Engineer’s letter dated December 10, 2015, with the following additional condition:
  - a. Review of the Plan by the fire company.
2. The applicant shall pay all necessary fees associated with the Plan, including but not limited to any outstanding plan account charges and all professional services fees, prior to the recording of the Plan.
3. The applicant shall enter into a Land Development Improvements Agreement with the Township and provide appropriate security, if deemed necessary by the Township.
4. The applicant shall enter into a Maintenance Agreement with the Township and provide

appropriate security, if deemed necessary by the Township.

5. The applicant shall enter into a Stormwater Management and Maintenance Agreement with the Township, if deemed necessary by the Township.
6. The applicant shall obtain all required permits and approvals from other governmental and regulatory agencies prior to presenting the Plan for signatures.
7. The applicant shall provide three (3) mylars for recording the plans and eight (8) sets of paper prints which are signed and notarized by the owner and sealed by the engineer.
8. The applicant shall meet all conditions of the plan approval, and Plan shall be recorded within twelve (12) months of Conditional Plan approval, and agrees that if such conditions are not met, the Conditional Plan approval will be considered void.
9. The applicant shall accept these conditions in writing within five (5) days of receipt of the Board of Commissioners Resolution, otherwise the Plan is denied.

**RESOLVED** at a duly constituted meeting of the Board of Commissioners of the Township of Pocono the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

ATTEST:

Township of Pocono  
Board of Commissioners

By: \_\_\_\_\_  
Print Name: Pamela Finkbeiner  
Title: Secretary

By: \_\_\_\_\_  
Print Name: Thomas Felver  
Title: President



YOUR GOALS. OUR MISSION.

December 10, 2015

Mr. Ronald Swink, Chairman  
Pocono Township Planning Commission  
Pocono Township Municipal Building  
P.O. Box 197  
Tannersville, Pa. 18372

**Re: Camelback Lot Tubing Slope Lodge Reconstruction Plans – 2<sup>nd</sup> Submission  
T&M File# POCOR0450**

Dear Mr. Swink:

T&M is in receipt of a revised set of plans for the Camelback Lot Consolidation Plan, with a revision date of November 10, 2015. This submission consisted of:

1. Response letter from Boucher and James, dated December 2, 2015.
2. 6-Sheet Tubing Slope Lodge Reconstruction Plans prepared by Boucher & James, Inc. dated July 23, 2015, revised Nov. 10, 2015.

**The following comments are offered for your review and consideration:**

#### **Project Description**

The Applicant's proposal is to demolish the existing Tubing Slope Lodge and construct a new lodge on the same site which is located in a commercial zoning district.. The proposed Lodge will be a 3,379 square feet building. The existing site of the Tubing Lodge has 16,284 square feet of Impervious Area and the proposal is to have 15,743 square feet of impervious area. A decrease in impervious cover of 541 square feet is proposed. The use remains the same except for the proposed future restaurant. Private centralized water is proposed. Sewer service is proposed but not fully defined.

#### **Zoning**

1. **Section 512.D.1** of the Zoning Ordinance states "Required loading spaces. Every building or structure, lot or land hereafter put to a commercial or industrial use or an existing building or structure enlarged shall provide one off-street truck loading and unloading space for the first 5,000 square feet of less of gross floor area, plus a minimum of one additional off-street loading area for each additional 10,000 square feet of gross floor area. The plan submitted does not show a truck loading/unloading area. The dimensions of the loading/unloading area must conform to Section 512.D.2 of the Zoning Ordinance. **Comment Addressed.**



2. The Zoning Officer should verify the number of parking spaces, the number of handicap parking spaces, and any conditions that may have been part of any previous approvals.

The Zoning Officer shall be consulted for the official determination of any provision of the Zoning Ordinance as amended.

#### Subdivision and Land Development Ordinance (SALDO)

1. **Section 2.302.B.1 and 2.303.B.1** states the Plans shall show the "Proposed Subdivision/Land Development name, location, land owners and Developer's name and address. Name and address of corporation officers if Owner or Developer is a corporation. Designation of zoning district. Location map at scale of 1"=2,000'. Show major roads, points of interest and Township boundaries within 1,000 feet. Give name under which the Subdivision/Land Development is to be recorded." The names and addresses of Corporate Officers for the Owner and the Developer are not provided. Also, no location map has been shown on the plan. The plans must be revised to include this required information. **Comment Addressed.**
2. **Section 2.302.B.2** states the plan must contain "North arrow (indicate true or magnetic), graphic scale, date." The plans submitted do not have a north arrow shown on the Grading Plan (Sheet 2 of 4), the Utility, Lighting and Landscaping Plan (Sheet 3 of 4), the ERSAM Plan (Sheet P1 of 2), the Post-Construction Stormwater Management Plan (Sheet P2 of 2), and the Erosion and Sedimentation Control Plan (Sheet E1 of 3). The plans must be revised. **Comment Addressed.**
3. **Section 2.302.B.19 and 2.303.B.26** states the Plans shall show the "Certificate of Ownership and Acknowledgment of Plan, in the form set forth in Appendix "C", which shall be accurately completed, signed by the Owner of the property, dated and notarized." The certification on the plan, as submitted, does not have a place for the Property Owner to sign. **Comment Addressed.**
4. **Section 2.302.C.10 and 2.303.C.10** states the Plans shall show the "In the event the Plan will require access to a highway under the jurisdiction of the Pennsylvania Department of Transportation, the following shall appear on the plan: "A Highway Occupancy Permit is required pursuant to Section 420 of the Act of June 1, 1945 (PL 1242, No. 428) known as the "State Highway Law." Before driveway access to a State Highway is permitted." The plan shall be further marked to indicate that access to the State Highway shall be only as authorized by a Highway Occupancy Permit." Resort Drive intersects Camelback Road (SR 4006) which is a State Highway. Provide evidence that a Permit exists for the existing driveway or obtain a permit if one does not exist. If a permit exists note the permit on the plan and provide a copy of the permit. **Comment Addressed.**
5. **Section 3.202** states the "The Planning Commission and the Board of Supervisors (Commissioners) shall, at the discretion, require that the design and development of all Subdivisions and Land Developments shall preserve insofar as possible, all natural, scenic and historic features, which will add attractiveness by providing parks, adequate open space for recreation, light and air by proper distribution of population thereby creating conditions favorable to the health, safety, morals and general welfare of the citizens and for the harmonious development of the Township..." the plan submitted does not provide the iso-footcandle layout specification of the proposed building and site. This information should be



added to the plans. Are hours of operation a concern to the Township? Planning Commission input is requested. **Iso-foot candle plan provided. Hours of operation need to be addressed.**

6. **Section 3.206.A** states “Lots shall be laid out and graded to prevent cross lot drainage and to provide positive drainage away from proposed Building areas ...” The grading plan submitted does not provide sufficient information to show positive drainage away from the proposed building. It appears the grading may provide flow from Resort Drive into the proposed building. **The grading provided does not meet the provisions of Section 1803.3 or 1805.3.4 of the International Building Code. However, since this is a building code requirement the Applicant shall consult with the Township’s third party agency, BIU, for the official determination of the UCC codes. The results thereof shall be reflected on the final plans.**
7. **Section 3.3.3.B.29** states the Plans shall show “Information indicating available and safe sight stopping distances for all driveways, access drives, street, etc., which must be in compliance with the most current version Pennsylvania Department of Transportation specification.” This information must be shown on the plan. Since no patron parking is proposed at the Lodge, signage should be provided denoting “no parking, deliveries only”. This will avoid potential conflicts at this driveway intersection. **Signage provided on the lodge side. Additional signage recommended on the parking lot side. Required and available sight distances shall be provided for the lodge driveway.**
8. **Section 3.606** states “Any Driveway Entrance shall make adequate provisions for parallel drainage facilities.” In order to get positive drainage away from the proposed building, as mentioned above, it appears drainage may be diverted across the proposed entrance driveway. Provisions must be made to provide adequate drainage across the driveway. **Since this is an existing condition, limited to deliveries only and pedestrian crossing is prohibited this comment is considered addressed.**
9. **Section 3.612** states “... Where a commercial Subdivision or commercial Land Development is proposed, the Board of Supervisors (Commissioners) may require landscaping in accordance with the applicable standards below.” No Landscape Plan has been submitted. Input from the Planning Commission is request on the need for a Landscape Plan for this development. **Landscape Plan has been provided, Comment Addressed.**
10. **Section 3.614.B** states “Where the Developer provides the Subdivision with complete water main supply system, the Developer may be required to include fire hydrants, and be subject to inspection by the Engineer and approval by the Board of Supervisors.” The applicant should provide evidence of adequate fire protection for the proposed building. This application should be forwarded to the Fire Company for comment. **Fire company comments still outstanding.**
11. The Affidavit of Plan Submission as provided in Appendix F must be placed on the plan and signed by the applicant’s engineer. **Comment Addressed.**

#### Additional Comments

1. The Utility, Lighting and Landscaping Plan depicts a note, “Proposed Grease Trap Sized for Ultimate Fixture Count for Restaurant”. Since a restaurant was not part of the original Lodge, a Component 3 Planning Module or exemption request may be required. The applicant should check with the local DEP office for direction on this matter. Assuming a Planning Module is

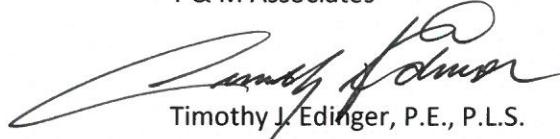


required, this office will need the overall approved sewage flows for the various components that make up Camelback. We will also need the permitted WWTP capacity. **Information still lacking.**

In regards to the on-site collection box, does that represent a holding tank or a pump station? If a holding tank please check with the Township SEO about the appropriate capacity and alarm(s). If a pump station, this office will need to know the approved design parameters along with projected flows from the Lodge including the future restaurant. How was the grease trap sized? Please provide the design details. **Information still lacking**

2. The plans should show all existing and proposed signs. The signs should be designed to direct all pedestrian traffic to the tunnel. Pedestrian traffic across and along Resort Drive should be avoided and signed accordingly. **Two additional signs requested on parking lot side.**
3. A Demolition Plan should be included as part of the plan set as it will also be required by the Third Party Agency (BIU). **Comment addressed.**
4. It appears the cover over the sewer lateral is inadequate. While we believe it is 42 inches, the applicant is directed to the Building Codes for the correct cover requirements. **Comment addressed.**
5. Note 8 on the record plan sheet should be revised to reflect the appropriate water and sewer service. **Comment addressed.**
6. Provide building dimensions to ascertain the footprint size. Also please provide additional positional ties from preserved points to locate the Lodge within the site. **Comment addressed.**
7. What is the purpose of the expanded cartway (pull off) area at the driveway intersection? Generally this type of configuration should be avoided as it promotes multiple pull out points which can lead to vehicular conflicts. Planning Commission input is requested. **Comment addressed.**

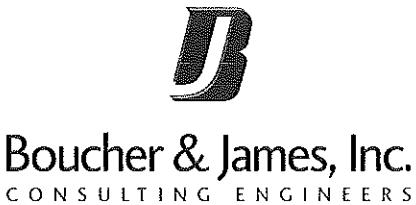
Very Truly Yours,  
T & M Associates



Timothy J. Edinger, P.E., P.L.S.  
Township Engineer

Cc: Gregg Schuster, Township Manager  
Board of Commissioners  
Lisa Pereira, P.C. Solicitor  
Rick Fisher, Zoning Officer  
Dave Manter, SEO  
EPT Ski Properties, Inc., Applicant  
Mike Gable, P.E., Boucher & James, Inc.

R:\POCO\R0460\Correspondence\ CamelbackTubingLetter to Planning Commission 2ndSubmission 12--10-15



AN EMPLOYEE OWNED COMPANY  
INNOVATIVE ENGINEERING

December 2, 2015

Mr. Ronald Swink, Chairman  
Pocono Township Planning Commission  
Pocono Township Municipal Building  
P.O. Box 197  
Tannersville, PA 18372

REVIEW BY  
DEC 14 2015  
POCONO TOWNSHIP

Fountainville Professional Building  
1456 Ferry Road, Building 500  
Doylestown, PA 18901  
215-345-9400  
Fax 215-345-9401

2738 Rimrock Drive  
Stroudsburg, PA 18360  
570-629-0300  
Fax 570-629-0306

559 Main Street, Suite 230  
Bethlehem, PA 18018  
610-419-9407  
Fax 610-419-9408  
[www.bjengineers.com](http://www.bjengineers.com)

**SUBJECT: RESPONSE TO REVIEW 1**  
**CAMELBACK LOT TUBING SLOPE LODGE RECONSTRUCTION**  
**POCONO TOWNSHIP, MONROE COUNTY, PA**  
**B&J PROJECT NO. 156579**

Dear Mr. Swink:

On behalf of our client, CBH2O, LP, we are responding to the comments contained in your letter dated September 18, 2015 for the project. Included in this submission are:

- (1) copy Tubing Slope Lodge Reconstruction plans, sheets 1-6 of 6 dated July 23, 2015, last revised November 10, 2015;
- (8) copies Tubing Slope Lodge Reconstruction plans, 11x17, sheets 1-6 of 6 dated July 23, 2015, last revised November 10, 2015;
- (1) copy Tubing Slope Lodge ESPC Plans dated July 23, 2015, last revised September 21, 2015; and
- (1) copy Tubing Slope Lodge Reconstruction PCSM plans dated July 23, 2015, last revised November 10, 2015.

To ease the review of our plan revisions, we have itemized the comments followed by an annotated response, in bold, indicating how each comment has been addressed. The numbers in the list correspond with the comment numbers from the review letter.

#### Zoning

1. Section 512.D.1 of the Zoning Ordinance states "Required loading spaces. Every building or structure, lot or land hereafter put to a commercial or industrial use or an existing building or structure enlarged shall provide one off-street truck loading and unloading space for the first 5,000 square feet or less of gross floor area, plus a minimum of one additional off-street loading area for each additional 10,000 square feet of gross floor area. The plan submitted does not show a truck loading/unloading area. The dimensions of the loading/unloading area must conform to Section 512.D.2 of the Zoning Ordinance. The Zoning Officer should verify the number of parking spaces, the number of handicap parking spaces, and any conditions that may have been part of any previous approvals.

Mr. Ronald Swink, Chairman  
Pocono Township Planning Commission  
December 2, 2015  
Page 2 of 6

The Zoning Officer shall be consulted for the official determination of any provision of the Zoning Ordinance as amended.

**Response:** The Plan has been revised to note the proposed paved area as the loading area. The proposed lodge is less than 5,000 square feet thus requires one off-street truck loading and unloading area. No pedestrian parking is proposed around the reconstructed lodge. Existing pedestrian parking is located in the lot across Resort drive and is accessed via the existing pedestrian tunnel that runs under Resort Drive.

Subdivision and Land Development Ordinance (SALDO)

1. Section 2.302.B.1 and 2.303.B.1 states the Plans shall show the "Proposed Subdivision/Land Development name, location, land owners and Developer's name and address. Name and address of corporation officers if Owner or Developer is a corporation. Designation of zoning district. Location map at scale of 1"=2,000'. Show major roads, points of interest and Township boundaries within 1,000 feet. Give name under which the Subdivision/Land Development is to be recorded." The names and addresses of Corporate Officers for the Owner and the Developer are not provided. Also, no location map has been shown on the plan. The plans must be revised to include this required information.

**Response:** The zoning district restrictions appear on the "record plan," sheet 2 of 6, along with the zoning district boundary line.

**The location map has been added to the record plan. (Sheet 2 of 6)**

**An existing features plan has been added to the plan set to show features within 1000 feet of the site and as shown on the project cover sheet. (Sheet 1 of 6)**

**The land development name is located in the title block of each drawing sheet.**

**The corporate officers of CB H20 have been added to the record plan, sheet 2 of 6.**

2. Section 2.302.B.2 states the plan must contain "North arrow (indicate true or magnetic), graphic scale, date." The plans submitted do not have a north arrow shown on the Grading Plan (Sheet 2 of 4), the Utility, Lighting and Landscaping Plan (Sheet 3 of 4), the ERSAM Plan (Sheet P1 of 2), the Post Construction Storm water Management Plan (Sheet P2 of 2), and the Erosion and Sedimentation Control Plan (Sheet E1 of 3). The plans must be revised.

**Response:** The North Arrow has been updated on all sheets.

3. Section 2.302.B.19 and 2.303.B.26 states the Plans shall show the "Certificate of Ownership and Acknowledgment of Plan, in the form set forth in Appendix "C", which shall be accurately completed, signed by the Owner of the property, dated and notarized." The certification on the plan, as submitted, does not have a place for the Property Owner to sign.

**Response: The certification blocks have been revised.**

4. Section 2.302.C.10 and 2.303.C.10 states the Plans shall show the "In the event the Plan will require access to a highway under the jurisdiction of the Pennsylvania Department of Transportation, the following shall appear on the plan: "A Highway Occupancy Permit is required pursuant to Section 420 of the Act of June 1, 1945 (PL 1242, No. 428) known as the "State Highway Law." Before driveway access to a State Highway is permitted." The plan shall be further marked to indicate that access to the State Highway shall be only as authorized by a Highway Occupancy Permit." Resort Drive intersects Camelback Road (SR 4006) which is a State Highway. Provide evidence that a Permit exists for the existing driveway or obtain a permit if one does not exist. If a permit exists note the permit on the plan and provide a copy of the permit.

**Response: A current PennDOT Highway Occupancy Permit exists for the location in question. Note 16 has been added to the record plan, sheet 2 of 6, to make reference to Permit No. 05049190. The permit has been provided to the Township Engineer under separate cover**

5. Section 3.202 states the "The Planning Commission and the Board of Supervisors (Commissioners) shall, at the discretion, require that the design and development of all Subdivisions and Land Developments shall preserve insofar as possible, all natural, scenic and historic features, which will add attractiveness by providing parks, adequate open space for recreation, light and air by proper distribution of population thereby creating conditions favorable to the health, safety, morals and general welfare of the citizens and for the harmonious development of the Township..." the plan submitted does not provide the iso-foot candle layout specification of the proposed building and site. This information should be added to the plans. Are hours of operation a concern to the Township? Planning Commission input is requested

**Response: The iso-footcandle layout has been added to the plans, sheet 5 of 6.**

7. Section 3.206.A states "Lots shall be laid out and graded to prevent cross lot drainage and to provide positive drainage away from proposed Building areas..." The grading plan submitted does not provide sufficient information to show positive drainage away from the proposed building. It appears the grading may provide flow from Resort Drive into the proposed building.

**Response: Additional existing and proposed spot elevations have been added to the grading plan, sheet 4 of 6, to provide for positive drainage away from the proposed building.**

8. Section 3.3.3.B.29 states the Plans shall show "Information indicating available and safe sight stopping distances for all driveways, access drives, street, etc., which must be in compliance with the most current version Pennsylvania Department of Transportation specification." This information must be shown on the plan. Since no patron parking is proposed at the Lodge, signage should be provided denoting "no parking, deliveries only". This will avoid potential conflicts at this driveway intersection.

**Response: Additional signage has been provided, see sheet 2 of 6. Signs have been added to direct all pedestrians to the existing pedestrian tunnel and not across Resort Drive. The designation of the existing signage along Resort Drive has been added to the plans.**

9. Section 3.606 states "Any Driveway Entrance shall make adequate provisions for parallel drainage facilities." In order to get positive drainage away from the proposed building, as mentioned above, it appears drainage may be diverted across the proposed entrance driveway. Provisions must be made to provide adequate drainage across the driveway.

**Response: Upslope areas shall sheet flow across the driveway to the tubing slope area and towards the swale along Camelback Road to mimic the existing conditions. The upslope drainage is minimal and does not currently create drainage problems.**

10. Section 3.612 states "... Where a commercial Subdivision or commercial Land Development is proposed, the Board of Supervisors (Commissioners) may require landscaping in accordance with the applicable standards below." No Landscape Plan has been submitted. Input from the Planning Commission is request on the need for a Landscape Plan for this development.

**Response: The landscape plan is provided on sheet 5 of 6 entitled "Utility, Lighting and Landscape plan.**

11. Section 3.614.B states "Where the Developer provides the Subdivision with complete water main supply system, the Developer may be required to include fire hydrants, and be subject to inspection by the Engineer and approval by the Board of Supervisors." The applicant should provide evidence of adequate fire protection for the proposed building. This application should be forwarded to the Fire Company for comment. The Affidavit of Plan Submission as provided in Appendix F must be placed on the plan and signed by the applicant's engineer.

**Response: The proposed building square footage is less than that required for fire protection.**

Mr. Ronald Swink, Chairman  
Pocono Township Planning Commission  
December 2, 2015  
Page 5 of 6

**The Affidavit of Plan Submission has been placed on the record plan, sheet 2 of 6.**

**Additional Comments**

1. The Utility, Lighting and Landscaping Plan depicts a note, "Proposed Grease Trap Sized for Ultimate Fixture Count for Restaurant". Since a restaurant was not part of the original Lodge, a Component 3 Planning Module or exemption request may be required. The applicant should check with the local DEP office for direction on this matter. Assuming a Planning Module is required, this office will need the overall approved sewage flows for the various components that make up Camelback. We will also need the permitted WWTP capacity. In regards to the on-site collection box, does that represent a holding tank or a pump station? If a holding tank please check with the Township SEO about the appropriate capacity and alarms). If a pump station, this office will need to know the approved design parameters along with projected flows from the Lodge including the future restaurant. How was the grease trap sized? Please provide the design details.

**Response: The on-site collection box is an existing pump station. The design parameters and projected flows are included with this submission.**

**The grease trap design details are part of the plumbing permit for the building and will be supplied at time of plumbing permit application.**

**A sewer exemption shall be provided under separate submission.**

2. The plans should show all existing and proposed signs. The signs should be designed to direct all pedestrian traffic to the tunnel. Pedestrian traffic across and along Resort Drive should be avoided and signed accordingly.

**Response: Additional signage has been provided, see sheet 2 of 6. Signs have been added to direct all pedestrians to the existing pedestrian tunnel and not across Resort Drive. The designation of the existing signage along Resort Drive has been added to the plans.**

3. A Demolition Plan should be included as part of the plan set as it will also be required by the Third Party Agency (BIU).

**Response: A Demolition plan has been added to the plan set. (Sheet 3 of 6)**

4. It appears the cover over the sewer lateral is inadequate. While we believe it is 42 inches, the applicant is directed to the Building Codes for the correct cover requirements.

**Response: The detail has been revised to show 42" of cover.**

5. Note 8 on the record plan sheet should be revised to reflect the appropriate water and sewer service.

Mr. Ronald Swink, Chairman  
Pocono Township Planning Commission  
December 2, 2015  
Page 6 of 6

**Response: Note 8 on the record sheet has been revised accordingly.**

6. Provide building dimensions to ascertain the footprint size. Also please provide additional positional ties from preserved points to locate the Lodge within the site.

**Response: Additional building dimensions and locating dimensions have been provided on sheet 2 of 6.**

7. What is the purpose of the expanded cart way (pull off) area at the driveway intersection? Generally this type of configuration should be avoided as it promotes multiple pull out points which can lead to vehicular conflicts. Planning Commission input is requested.

**Response: The expanded cartway has been removed.**

If you should have any questions or concerns, please do not hesitate to contact me.

Sincerely,



Michael E. Gable, P.E.  
Director of Engineering – Stroudsburg

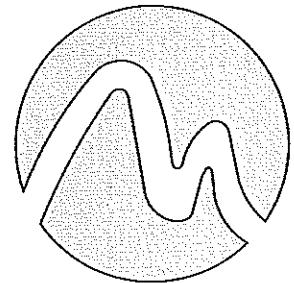
MEG/clg

cc: CB H2O, LP

# CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION

## PRELIMINARY/FINAL LAND DEVELOPMENT PLANS POCONO TOWNSHIP MONROE COUNTY, PENNSYLVANIA

RECEIVED  
DEC 04 2015  
POCONO TOWNSHIP



**CAMELBACK  
MOUNTAIN**

RECEIVED  
DEC 04 2015

POCONO TOWNSHIP



BEFORE YOU DIG ANYWHERE IN  
PENNSYLVANIA CALL 1-800-242-1776  
NON-MEMBERS MUST BE CONTACTED DIRECTLY

PA LAWS REQUIRE THREE WORKING DAYS  
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,  
DRILL, BLAST OR DEMOLISH

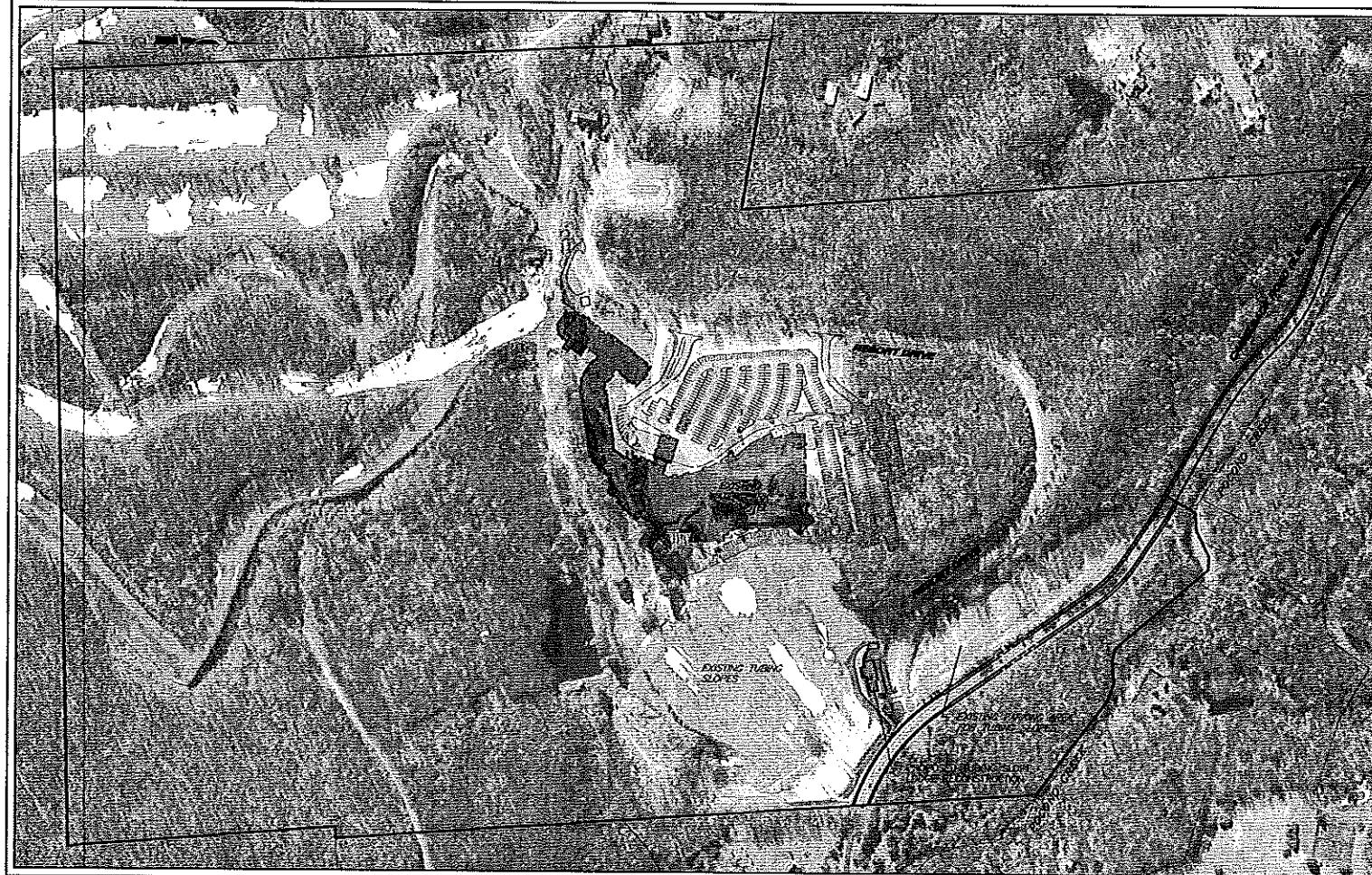
20151961051

THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF  
ALL UNDERGROUND UTILITIES BEFORE THE START OF WORK

### CIVIL ENGINEERS

**Boucher & James, Inc.**

CONSULTING ENGINEERS  
2738 RIMROCK DRIVE  
STROUDSBURG, PA 18360  
VOICE: (570) 629-0300  
FAX: (570) 629-0306



OVERALL SITE

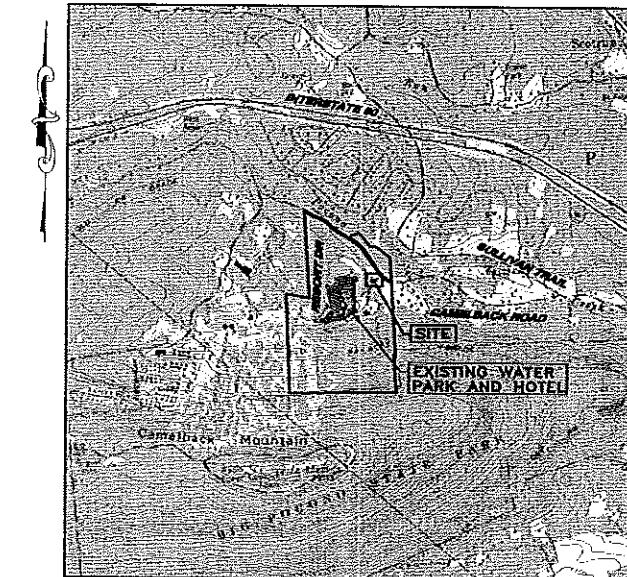
0 125 250 500 750  
SCALE : 1"= 250'

### APPLICANT

**CB H2O, LP**  
1 CAMELBACK ROAD  
TANNERSVILLE, PA 18372  
VOICE: (570) 629-1661

### OWNER

**EPT SKI PROPERTIES, INC**  
909 WALNUT SUITE 200  
KANSAS CITY, MO. 64106



LOCATION MAP

0 1000 2000 4000 8000  
SCALE : 1"= 2000'

SOURCE MAP: PORTION MOUNT POCONO USGS QUADRANGLE

### DRAWING INDEX

SHEET NO.	TITLE
1 OF 1	COVER SHEET
1 OF 6	EXISTING FEATURES PLAN
2 OF 6	RECORD PLAN
3 OF 6	DEMOLITION PLAN
4 OF 6	GRADING PLAN
5 OF 6	UTILITY, LIGHTING, AND LANDSCAPING PLAN
6 OF 6	CONSTRUCTION DETAILS
1 OF 3	ESPC PLAN
2 OF 3	ESPC CONTROL DETAILS
3 OF 3	ESPC CONTROL DETAILS
1 OF 2	ERSAM PLAN
2 OF 2	PCSM PLAN

### PERMITTING

JOB NO. 156579

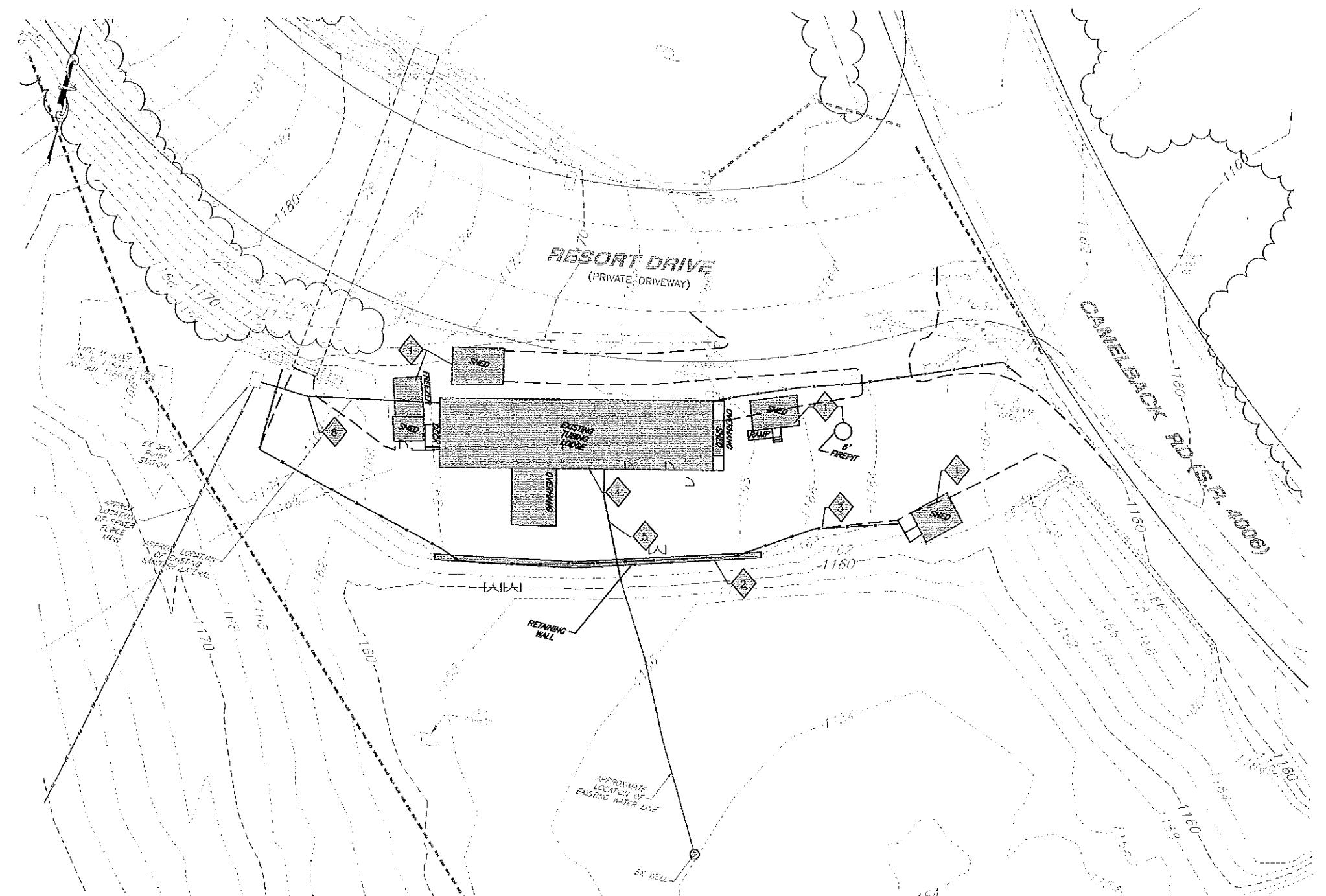
JULY 23, 2015

LAST REVISED NOVEMBER 10, 2015

SHEET 1 OF 1







LEGEND	
ADJACENT LINE	EXISTING BOUNDARY
EXISTING CONTOUR	EXISTING INDEX CONTOUR
EXISTING DRIVEWAY	EXISTING EDGE OF STONE
EXISTING EDGE OF PAVEMENT	EXISTING FENCE
EXISTING GUARDRAIL	EXISTING LIGHTS
EXISTING LEGAL RIGHT-OF-WAY	EXISTING SIGN
EXISTING STORM SEWER AND STRUCTURE	EXISTING TREELINE
EXISTING UTILITY POLE	EXISTING WALL
EXISTING BUILDINGS	EXISTING BUILDINGS TO BE REMOVED
EXISTING FENCE TO BE REMOVED	EXISTING EDGE OF STONE TO BE REMOVED
EXISTING STEPS TO BE REMOVED	EXISTING FIREPIT TO BE REMOVED

NOTES:

1. REFER TO FULL PLAN SET FOR ADDITIONAL INFORMATION REGARDING THE PROPOSED CONDITIONS.
2. STORM DRAINSAGE AND ALL UTILITY SERVICES SHALL REMAIN FUNCTIONAL THROUGHOUT THE CONSTRUCTION PROCESS UNLESS SPECIFICALLY NOTED OTHERWISE. THE OWNER SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO THE DISRUPTION OF ANY SERVICES.
3. ALL CONSTRUCTION MATERIALS ARE TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL MUNICIPALITY REQUIREMENTS AND GUIDELINES.

CONSTRUCTION NOTES:

- 1. RAZE EXISTING ACCESSORY STRUCTURES INCLUDING FIREPIT, FREEZER, SHEDS AND ANY AND ALL RAMPS AND/OR STAIR ACCESS STRUCTURES TO SUCH.
- 2. REMOVE EXISTING RETAINING WALL.
- 3. REMOVE EXISTING FENCE SECTIONS TO BE REPLACED WITH NEW SPLIT RAIL FENCING.
- 4. RAZE EXISTING TUBING LODGE, INCLUDING OVERHANGS, DECKS, SHEDS AND STAIRS. DISCONNECT AND TERMINATE EXISTING UTILITIES IN A SAFE, LEGAL MANNER IN CONJUNCTION WITH APPROPRIATE UTILITY CONTRACTOR.
- 5. EXISTING WELL LINE TO BE RE-Routed FOR PROPOSED STRUCTURE.
- 6. EXISTING SANITARY LATERAL TO BE RE-Routed FOR PROPOSED STRUCTURE.

Written dimensions shall have priority over stated dimensions. All dimensions are in feet. All dimensions are approximate. The Contractor shall be advised of any discrepancies with the information shown on these plans. These plans do not contain all the information required for construction. The plans are for the use of the Contractor only. The arrangements presented herein were developed for use on, and in connection with, the specified project being prepared for the Contractor. These plans are not to be reproduced, copied, or distributed without the permission of Boucher & James, Inc. Boucher & James, Inc. represents professional services, including design and engineering, developed, owned and copyrighted by Boucher & James, Inc. Reproduction of this plan, either in whole or in part, without the express written consent of Boucher & James, Inc. is a violation of the law. Any person who reproduces, in whole or in part, a copy of this plan for any purpose will be considered a violator of the law. Any person who violates the law will be subject to the maximum fine of \$10,000.00. Any violation will be considered a violation of the professional code of ethics.

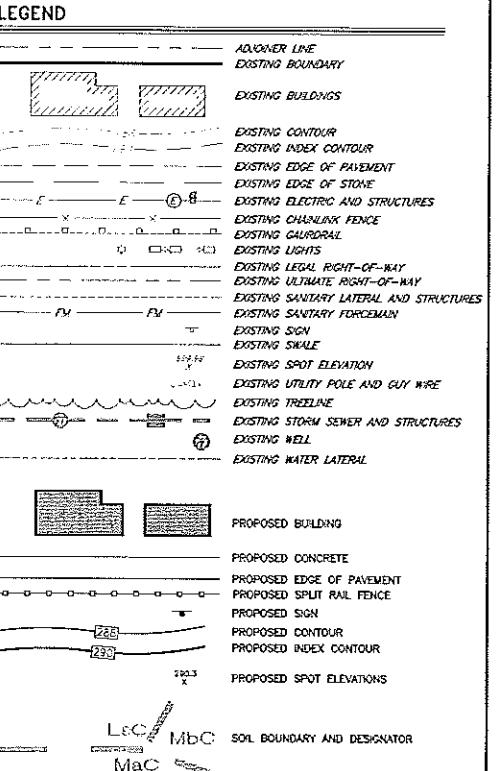
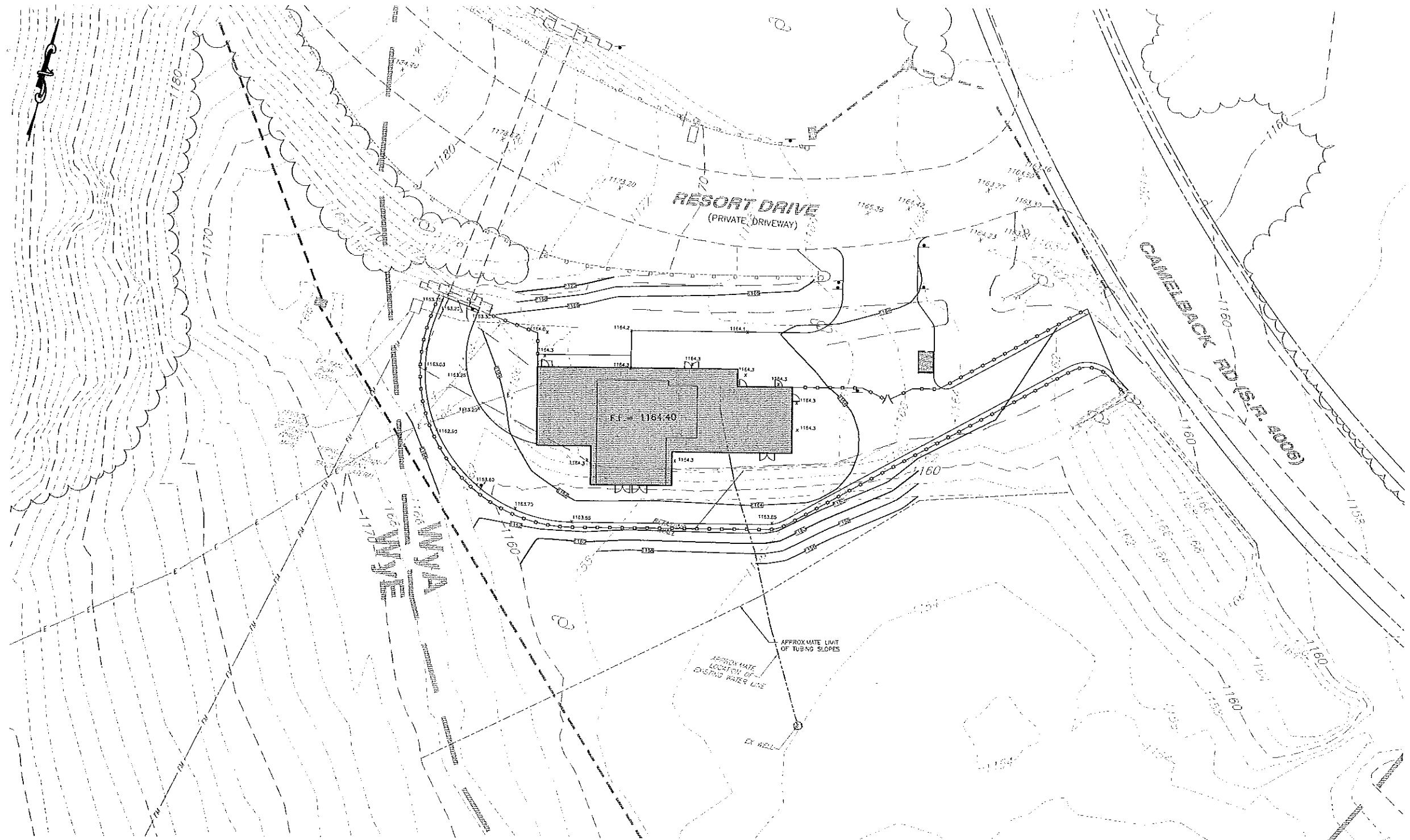


DO NOT MAKE ANY CHANGES TO THIS PLAN. IF YOU DO, YOU WILL BE VIOLATING THE LAW.

PRINTED ON 12/15/2015 BY Boucher & James, Inc.

REVISIONS:	
DATE: 9/21/15	DESCRIPTION: REVISIONS PER TWP. EMZ LETTER DATED 9/18/15
DATE: 11/10/15	DESCRIPTION: REVISED FOR RESUBMISSION

PROJECT:		DRAWING NO.:	SCALE:	DEMOLITION PLAN	
APPLICANT:	CONSULTING ENGINEERS:			Boucher & James, Inc.	
CB H2O L.P.	CONSULTING ENGINEERS:	156579	AS NOTED	DOYLESTOWN	SHEET
1 CAMELBACK ROAD	STROUDSBURG	REGIONAL OFFICE: 2738 RAMROCK DRIVE, STROUDSBURG, PA 18360	PERMITTING	VOICE: (570) 629-0300 FAX: (570) 629-0306	3 OF 6
TANNERSVILLE, PA 18372	CAMELBACK MOUNTAIN	PROJECT NAME: CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION PLANS			JULY 23, 2015



Written characters shall have priority over sized dimensions. All dimensions, locations, and areas, shall be verified by the Contractor, electrical, structural, and civil, and shall be verified by the Consulting Engineers. Any discrepancies, shall be noted of city discrepancies with the information shown on this plan.

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REVISIONS :

DATE	DESCRIPTION	DATE	DESCRIPTION
9/21/15	REVISIONS FOR TWP. ENG. LETTER DATED 9/18/15		
11/01/15	REVISED FOR RESUBMISSION		

NOTICE: BEFORE YOU DO

ANYTHING TO THIS PROPERTY

YOU MUST CALL THE

PA DMR AT 1-800-222-7278

PA DMR IS THE

PA STATE ENERGY

REGULATORY AGENCY

FOR ALL

CONSTRUCTION

ACTIVITIES

ON THIS PROPERTY

TO ENSURE

THE SAFETY

OF HUMANS

AND

NATURE

IN THIS AREA

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THE SAFETY

OF HUMANS

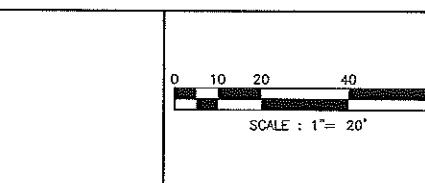
AND

NATURE

IN THIS AREA

PROJECT : CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION  
POCONO TOWNSHIP  
MONROE COUNTY, PA

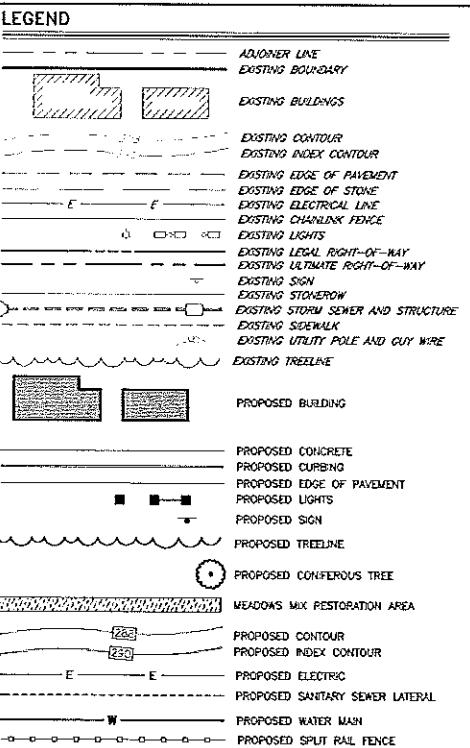
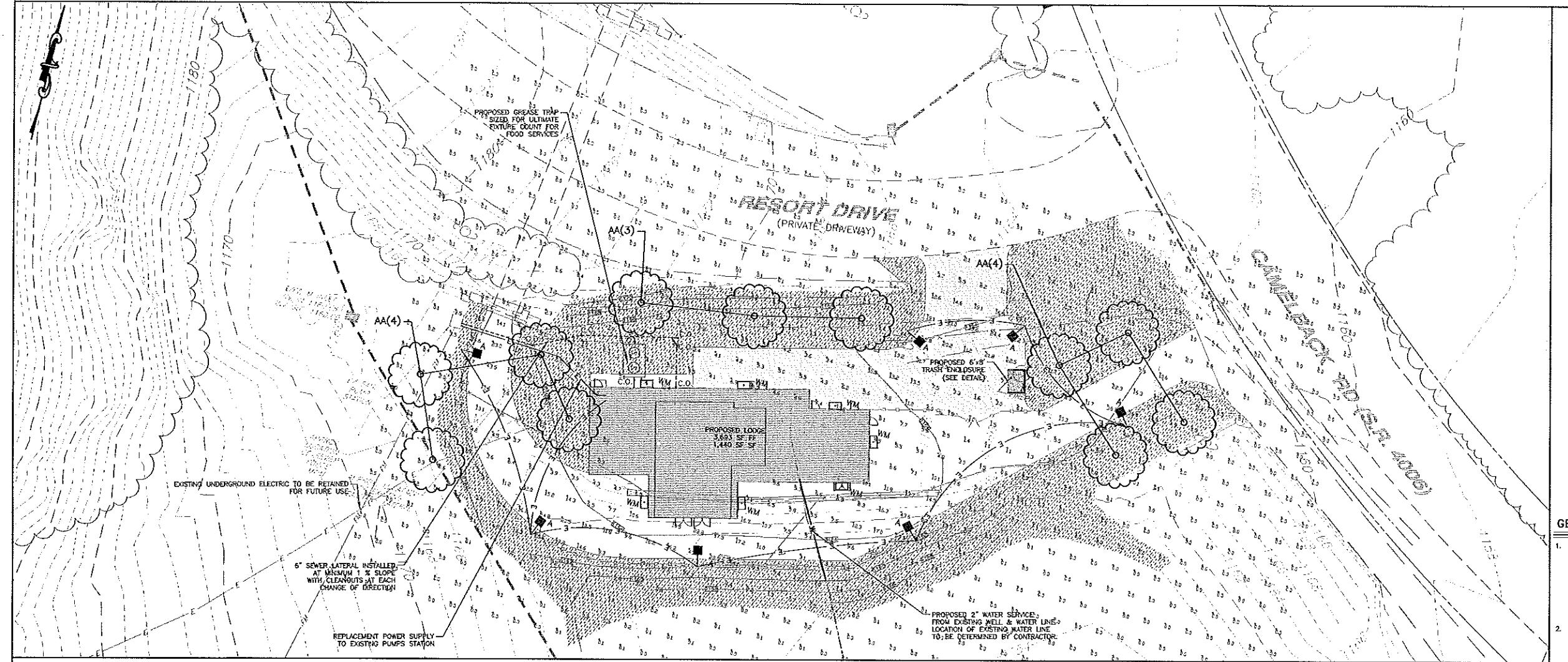
APPLICANT : CB H2O L.P.  
1 CAMELBACK ROAD  
TANNERSVILLE, PA 18372



FILE # : 156579  
PERMITTING

GRADING PLAN  
Boucher & James, Inc.  
CONSULTING ENGINEERS  
DOYLESTOWN, STROUDSBURG  
REGIONAL OFFICE: 2733 RAMP ROCK DRIVE, STROUDSBURG, PA 18360  
PHONE: (570) 623-0300 FAX: (570) 623-0356  
www.bjeng.com

SHEET  
4 OF 6  
DATE  
JULY 23, 2015  
PROJECT NAME : CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION PLANS



#### GENERAL SEEDING SPECIFICATIONS

1. SITE PREPARATION
  - PREPARE AREA TO BE SEEDED AS SPECIFIED FOR EACH SEED MATURE
  - PREPARE SURFACE, STOKE AND TREES ADJACENT TO AREAS WHERE NON-SELECTIVE HERBICIDE IS TO BE APPLIED.
  - REMOVAL AND CONTROL OF WEEDY GROWTH BY SPRAYING OF APPROVED NON-SELECTIVE HERBICIDE (GLYPHOSPHATE) SHALL BE CONDUCTED BY LICENSED SPRAY TECHNICIAN. GOOD PRE-SEEDING WEED CONTROL MAY REQUIRE SPRAYING TWO APPLICATIONS OF GLYPHOSPHATE (AT LEAST TWO WEEKS APART). DEEP ROOTED PERENNIALS AND WOODY SPECIES MAY REQUIRE SPECIAL REMOVAL AND CONTROL MEASURES.
  - VERTICUT DEAD TURF/WEED AREAS TO SCARIFY SURFACE PRIOR TO SEED APPLICATION.
2. SEEDING
  - SEEDING MAY BE CONDUCTED DURING THE APPROVED PERIODS NOTED FOR EACH SPECIFIED SEED MIXTURE AND SEEDING RATE.
  - SEED AT RATE SPECIFIED FOR EACH SPECIFIED SEED MIX.
  - INCORPORATE (PAM-12) EROSION CONTROL GRANULES (OR EQUIVALENT) INTO SEED MIX PRIOR TO SPREADING AS A SEED DISPERSAL, EROSION CONTROL AND MOISTURE CONTROL AGENT AT A RATE OF 250 LBS/ACRE. (PAM-12) EROSION CONTROL GRANULES (OR EQUIVALENT) MAY ALSO BE BROADCAST OR HAND SPREAD AFTER SCARIFICATION-SEEDING IS CONPLETED.
  - SEED SHALL BE SPREAD IN AREAS WHERE PLUGS AND OTHER LANDSCAPING IS EXISTING OR SPECIFIED.
  - ALL SEED MIXES SHALL BE STORED IN SEALED DRY CONTAINERS AND KEPT IN A COOL DRY LOCATION. DAMAGED SEED PACKAGING IS NOT ACCEPTABLE.
  - SEED TAGS SHALL BE PROVIDED TO THE OWNER OR OWNERS PROJECT REPRESENTATIVE PRIOR TO INSTALLATION OF THE SPECIFIED SEED MIX.
  - ALL SEED SHALL BE LABELED UPON DELIVERY.
  - DO NOT SEED AREAS IN EXCESS OF WHICH CAN BE BURCHED IN THE SAME DAY.
  - APPLY THIN LAYER OF STRAW MULCH OVER ALL NEWLY INSTALLED SEED AT A RATE OF 50 LBS/PER ACRE.
  - DO NOT WATER SEED IMMEDIATELY FOLLOWING EXCESSIVE RAINFALL EVENTS.
  - A MULCH OF 1" OF WATER PER WEEK SHALL BE PROVIDED FOR ALL SEED MIXES THROUGH DECEMBER 1ST. RAINFALL MAY BE DEDUCTED FROM THE REQUIRED AMOUNT OF WATERING FOR THAT SAME WEEK IN WHICH THE RAIN EVENT OCCURS.
  - CONTRACTOR SHALL WARRANTY SEED MIX INSTALLATION FOR ONE YEAR AFTER DATE OF ACCEPTANCE.
  - ACCEPTANCE IS BASED UPON A MINIMUM OF 80% GERMINATION RATE WHERE EXPOSED GRADE IS NOT GREATER THAN A 3-FOOT BY 3-FOOT AREA ANYWHERE IN THE PROJECT AREA. GERMINATION RATES WILL BE DETERMINED BY FIELD INSPECTION AND VISUAL ESTIMATE CONDUCTED BY THE LANDSCAPE ARCHITECT RESPONSIBLE FOR THESE PLANS.

#### CALCULATION SUMMARY

Label	Col/Type	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL POINTS AT GRADE	ILLUMINANCE	Fc	2.96	60.6	0.0	N.A.	N.A.
PARKING LOT	ILLUMINANCE	Fc	11.09	54.8	0.8	13.86	68.50

#### LUMINAIRE SCHEDULE

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum.	Lumens	Arr. Watts
■	7	A	SINGLE	XLCM-3-LED-HO-CW-SINGLE-12'W	0.900	N.A.	27056	265.4	
■	7	WM	SINGLE	XPWS3-FT-LED-48-450-NH-UE-12'W	0.900	N.A.	5775	72	

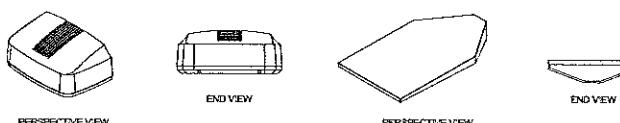
#### PARKING LOT LIGHT DETAIL

NOT TO SCALE

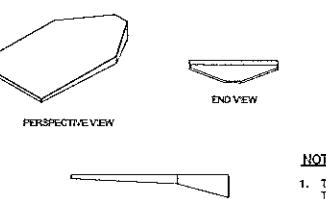
Written dimensions shall have priority over stated dimensions. All dimensions are in feet unless otherwise indicated. All dimensions are to be measured from the center line of the curb and gutter. All dimensions are to be measured from the center line of the curb and gutter prior to construction, and the Owner and Boucher & James, Inc. shall be通知 of any changes prior to construction.

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XPWS3  
LED Crossover Wall Mount Light



XLCM  
LED Crossover Area Light



NOTES:

1. TREE PROTECTION FENCE TO BE LOCATED AT A MINIMUM OF 15' FROM TRUNK OR AT EDGE OF DROPO LINE, WHICHEVER IS GREATER TO PREVENT INJURY TO TREE.
2. BOARDS SHALL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS.
3. NO MORE THAN 1/3 OF FEEDER ROOTS SHALL BE CUT IN AN AREA INSIDE THE DROPO LINE OF THE TREE.
4. DAMAGED TRUNKS OR EXPOSED ROOTS SHALL BE PRESCRIBED BY A PROFESSIONAL FORESTER OR LICENSED TREE EXPERT.
5. TREE LIMB REMOVAL, WHERE NECESSARY, SHALL BE CUT FLUSH TO TRUNK, OR BY THE NURSERYMAN AT THE TIME OF DIGGING, TO BALANCE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR NATURAL CHARACTER AND SHAPE. PRUNING SHALL BE RESTRICTED IN GENERAL TO THE SECONDARY BRANCHES AND SOFT SUCKER GROWTH.

#### TREE PROTECTION DURING CONSTRUCTION

NOT TO SCALE

Written dimensions shall have priority over stated dimensions. All dimensions are in feet unless otherwise indicated. All dimensions are to be measured from the center line of the curb and gutter. All dimensions are to be measured from the center line of the curb and gutter prior to construction, and the Owner and Boucher & James, Inc. shall be通知 of any changes prior to construction.

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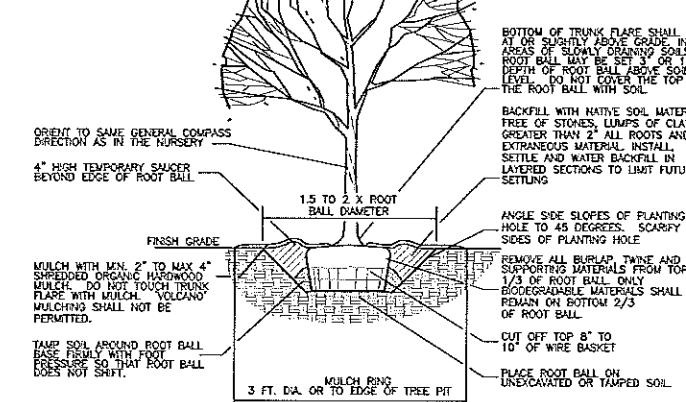
#### PLANTING SCHEDULE TREES

Symbol	Key	Botanical Name	Common Name	Size	Remarks	Qty.
■	AA	Acer rubrum Armstrong	Armstrong Red Maple	2-2 1/2' col. B&B		11

NOTES:

AT TIME OF PLANTING PRUNE ONLY DEAD, DISEASED, DROPPED, OR DISEASED BRANCHES OR TO MEET CMB HEIGHT REQUIREMENTS.

STAKE, WRAP, OR INSTALL TREE GUARDS ONCE APPROVAL OF THE LANDSCAPE ARCHITECT SEE STAKING, WRAPPING AND TREE GUARD DETAILS



#### TYPICAL B&B TREE PLANTING DETAIL

NOT TO SCALE

#### MEADOWS MIX

Ernst Conservation Seeds- ERNMX-122	
FADM Wetland Meadow Mix	
Seed at 13 Bulk Pounds per Acre	Common Name
Qty.	Botanical Name
20%	Elymus virginicus
10%	Carex vulpinoidea
5%	Scirpus americanus
5%	Helictotrichon pratense
5%	Veronica hastata
5%	Eupatorium perfoliatum
5%	Solidago canadensis
5%	Juncus effusus
3%	Carex lupulina
3%	Eupatorium maculatum
3%	Scirpus polyphyllus
2%	Carex comosa
2%	Scirpus cyperinus
2%	Carex lutea
2%	Bromus ciliatissima
2%	Glyceria grandis
1.5%	Eupatorium fistulosum
1.5%	Veronica prostrata
1.2%	Veronica nebrascensis
1.2%	Ostericum italicum
1.2%	Polygonum aviculare
1.2%	Zizaniopsis miliacea
1.2%	Ludwigia alternifolia
1.2%	Helianthus columbianus
1.2%	Carex scoparia
1.2%	Chionochloa arundinacea
0.5%	Imperata cylindrica
0.5%	Senecio aureus
0.5%	Geum aleppicum

#### UTILITY, LIGHTING AND LANDSCAPING PLAN

**Boucher & James, Inc.**  
CONSULTING ENGINEERS  
DOYLESTOWN, PA  
REGIONAL OFFICE: 2738 RUMROCK DRIVE, STROUDSBURG, PA 18360  
VOICE: (570) 629-0300 FAX: (570) 629-0305



SHEET  
5 OF 6  
DATE: JULY 23, 2015



Camelback Industries

2014-140524-000-Final Drawing Sheet 5 Utility Plan-05-12-06-15 - 31 Dec 2015 - 31 Dec 2015

REVISIONS :

DATE : DESCRIPTION

9/21/15 REVISIONS FOR TYP. ENG. LETTER DATED 9/18/15

11/10/15 REVISED FOR RESUBMISSION

APPLICANT :

CB H2O L.P.

1 CAMELBACK ROAD

TANNERSVILLE, PA 18372

CAMELBACK MOUNTAIN

REVISIONS :

DATE : DESCRIPTION

0 10 20 40 60

SCALE : 1" = 20'

0 10 20 40 60

SCALE : 1" = 20'

0 10 20 40 60

SCALE : 1" = 20'

0 10 20 40 60

SCALE : 1" = 20'

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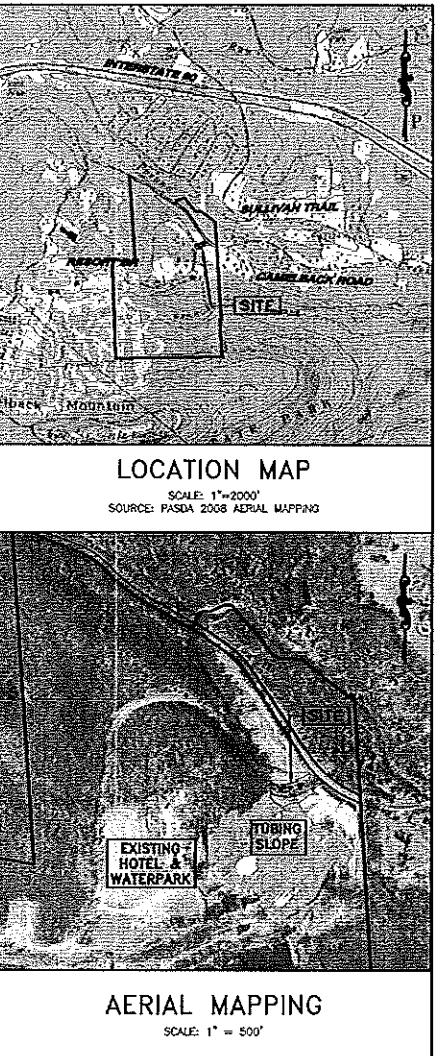
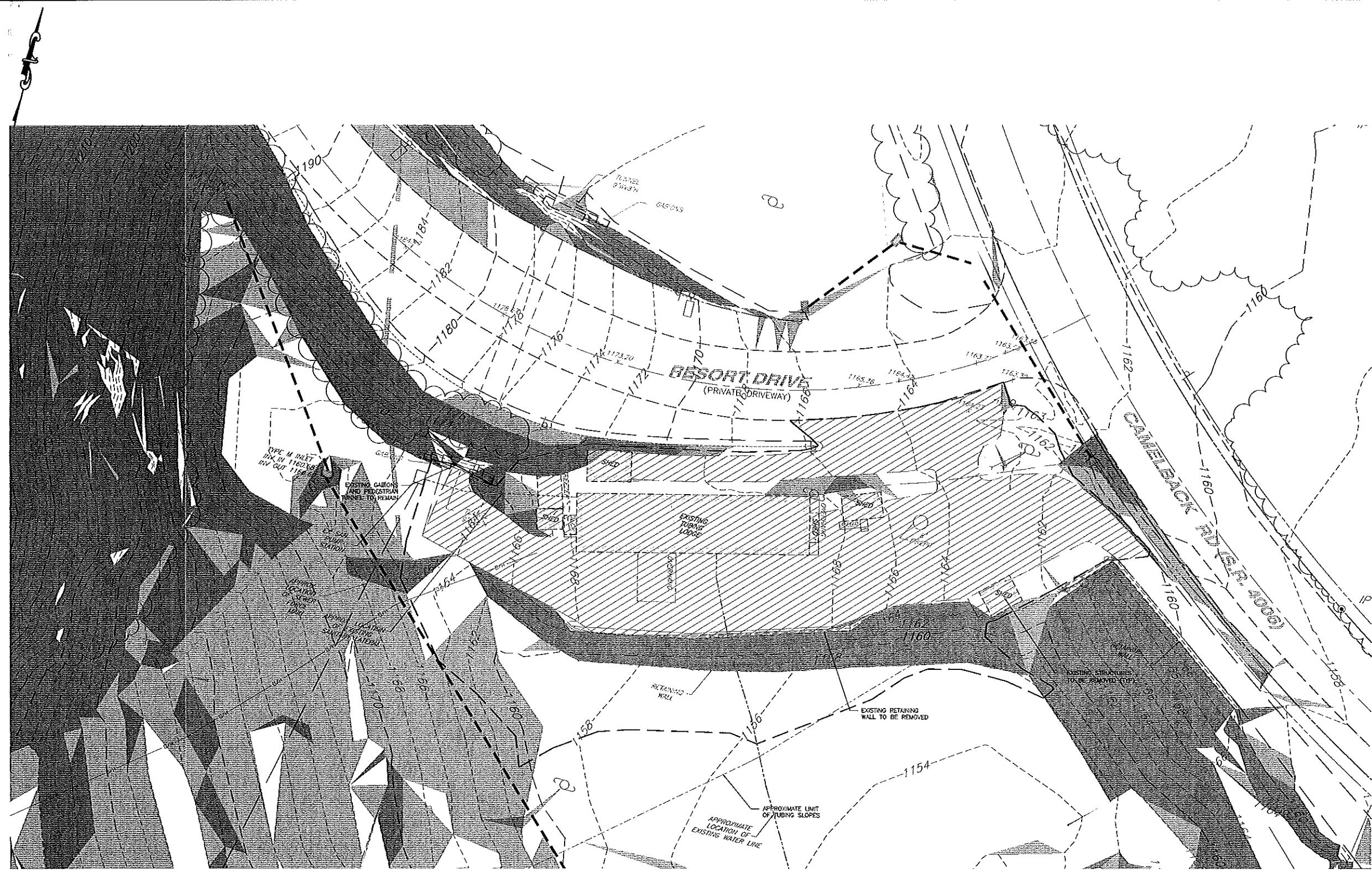
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DESCRIPTION  
REVISIONS PER TOWNSHIP ENGINEER  
REVISED FOR SUBMISSION

PERMIT #1  
TUBING SLOPE LODGE RECONSTRUCTION  
POCONO TOWNSHIP  
MONROE COUNTY  
PERMIT #2  
CB H2O L.P.  
1 CAMELBACK ROAD  
TANNERSVILLE, PA 18372

CTION PCSM  
IP  
PA

PLANS  
BACK  
TAN



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SCALE : 1" = 20'

60  
15  
DRAWN BY  
DEC'D  
SCALE  
1"  
PLAN BY  
PER

679	FILE #	ERSAM PLAN	
P	<b>Boucher &amp; James, Inc.</b> CONSULTING ENGINEERS DOYLESTOWN  STRoudsBURG  MORGANTOWN REGIONAL OFFICE: 2733 BIRDMONT DRIVE, STRoudsBURG, PA 18360 VOICE: (570) 623-0300 FAX: (570) 623-0306		SHEET P1 OF 2
3 20' TING	TUBING SLOPE LODGE RECONSTRUCTION PCSM PLANS		





YOUR GOALS. OUR MISSION.

February 11, 2016

Board of Commissioners  
Pocono Township  
P.O. Box 197  
Tannersville, PA 18372

**RE: Camelback Resort  
Tubing Slope Lodge Component 3  
T & M File # POCOR0450**

Dear Commissioners:

T & M Associates has received and reviewed the revised and updated Land Planning Module – Component 3 for the Tubing Slope Lodge reconstruction project.

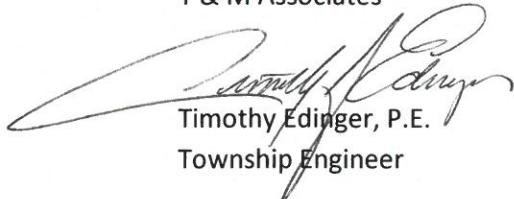
The revised package now includes the various components (Component 4A pending signature by Ronald Swink) for submission to DEP.

Accordingly, we recommend the Commissioners approve the Planning Module and have the appropriate signature(s) and municipal seal affixed where appropriate on the resolution, transmittal letter and certification statement (DEP checklist).

The Township should then forward two complete packages to the Pocono District office of DEP.

If you have any questions, please call this office.

Very Truly Yours,  
T & M Associates



Timothy Edinger, P.E.  
Township Engineer

Cc: Gregg Schuster, Township Manager  
Leo DeVito, Township Solicitor  
Rick Fisher, Zoning Enforcement Officer



**COMMONWEALTH OF PENNSYLVANIA**  
**DEPARTMENT OF ENVIRONMENTAL PROTECTION**  
**BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT**

Code No.

## SEWAGE FACILITIES PLANNING MODULE

### Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

**REVIEW FEES:** Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

**NOTE:** All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

### A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Camelback Tubing Slope Lodge
2. Brief Project Description Reconstruction of an existing tubing slope lodge at the Camelback Resort

### B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
Pocono Township	Monroe	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Fisher	Rick			Zoning Office/Admin

Additional Individual Last Name	First Name	MI	Suffix	Title
---------------------------------	------------	----	--------	-------

Municipality Mailing Address Line 1 P.O. Box 197	Mailing Address Line 2 112 Township Drive
Address Last Line -- City Tannersville,	State PA ZIP+4 18372
Area Code + Phone + Ext. 570-629-1922	FAX (optional) 570-629-7325
	Email (optional)

**C. SITE INFORMATION** (See Section C of instructions)

Site (Land Development or Project) Name

Camelback Resort

Site Location Line 1

Resort Drive

Site Location Line 2

Site Location Last Line -- City

Tannersville

State

PA

ZIP+4

18372

Latitude

N 41° 3'

Longitude

W 75° 20'

14.1056" 35.8589"

Detailed Written Directions to Site From Interstate 80, Take SR 715 North, to Sullivan Trail North, to Camelback Rd North, to Resort Drive

Description of Site Existing Resort with a tubing slope and related facilities

**Site Contact (Developer/Owner)**

Last Name	First Name	MI	Suffix	Phone	Ext.
Berry	Authur			(570) 629-1661	

Site Contact Title Site Contact Firm (if none, leave blank)

Owner CB H20, LP

FAX Email

570-629-2388

Mailing Address Line 1 Mailing Address Line 2

301 Resort Drive

Mailing Address Last Line -- City	State	ZIP+4
Tannersville	PA	18372

**D. PROJECT CONSULTANT INFORMATION** (See Section D of instructions)

Last Name	First Name	MI	Suffix
Gable	Michael		

Title Consulting Firm Name

Director of Engineering Services Boucher & James, Inc.

Mailing Address Line 1	Mailing Address Line 2
2738 Rim Rock Dr	

Address Last Line -- City	State	ZIP+4	Country
Stroudsburg	PA	18064	

Email	Area Code + Phone	Ext.	Area Code + FAX
mgable@bjengineers.com	570-629-0300		570-629-0306

**E. AVAILABILITY OF DRINKING WATER SUPPLY**

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: N/A

**F. PROJECT NARRATIVE** (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

## G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

### 1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

New collection system  Pump Station  Force Main  
 Grinder pump(s)  Extension to existing collection system  Expansion of existing facility

Clean Streams Law Permit Number Existing Pump Station, Less than 10,000 gpd, no permit exists.

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 13, (5,200, gpd  
400 GPD/ EDU)

Connections 1

Name of:

existing collection or conveyance system Tubing Slope Pump Station Force main

owner Camelback, CB H2O, LP

existing interceptor N/A

owner N/A

### 2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

New facility  Existing facility  Upgrade of existing facility  Expansion of existing facility

Name of existing facility Camelback Mountain STP

NPDES Permit Number for existing facility 60569

Clean Streams Law Permit Number PA0060569

Location of discharge point for a new facility. Latitude   Longitude  

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the Owner  
(Name from above) sewage treatment facilities can accept sewage flows from this project without  
adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent  
limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality CB H2O, LP

Name of Responsible Agent William R. Toye

Agent Signature W.R. Toye

(Also see Section I.4.)

Date 1/11/16

## G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

### 3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

### 4. WETLAND PROTECTION

YES NO

- a.   Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b.   Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

### 5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?  
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP  
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

### 6. HISTORIC PRESERVATION ACT

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at [www.dep.state.pa.us](http://www.dep.state.pa.us), select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice (CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

## 7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.

A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at [www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us), and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials \_\_\_\_\_

## H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.

The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

## I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

### 1. Waters designated for Special Protection (Not Applicable)

The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

### 2. Pennsylvania Waters Designated As Impaired (Not Applicable)

The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

### 3. Interstate and International Waters (Not Applicable)

The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

### 4. Tributaries To The Chesapeake Bay(Not Applicable)

The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: \_\_\_\_\_ pounds of TN per year, and \_\_\_\_\_ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is \_\_\_\_\_ pounds per year and the total phosphorus capacity is \_\_\_\_\_ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality \_\_\_\_\_

Initials of Responsible Agent (See Section G 2.b) \_\_\_\_\_

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 5200 gpd

2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	5200	5200	4500	4500	5200	5200
Conveyance	5200	342720	4500	4500	5200	5200
Treatment	400000	400000	54700	228000	100000	300,000

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES      NO

a.   This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality CB H2O, LP

Name of Responsible Agent William B. Toye

Agent Signature

Date 1/15/16

**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality CB H2O, LP

Name of Responsible Agent William R. Toye

Agent Signature Will Toye

Date 1/1/16

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

a.   This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

b. Name of Agency, Authority, Municipality CB H2O, LP

Name of Responsible Agent William R. Toye

Agent Signature Will Toye

Date 1/1/16

**K. TREATMENT AND DISPOSAL OPTIONS** (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRISIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

**L. PERMEABILITY TESTING** (See Section L of instructions)

- The information required in Section L of the instructions is attached.

**M. PRELIMINARY HYDROGEOLOGIC STUDY** (See Section M of instructions)

- The information required in Section M of the instructions is attached.

**N. DETAILED HYDROGEOLOGIC STUDY** (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

**O. SEWAGE MANAGEMENT** (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1.   Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows 5200 gpd

Yes No

3.   Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

**(For completion by non-municipal facility agent)**

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

a.   If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

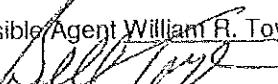
If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

b. Collection System

Name of Responsible Organization CB H2O, LP

Name of Responsible Agent William R. Toye

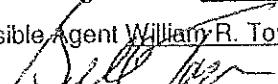
Agent Signature 

Date 1/1/16

c. Conveyance System

Name of Responsible Organization CB H2O, LP

Name of Responsible Agent William R. Toye

Agent Signature 

Date 1/1/16

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes      No

a.   If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

b. Name of Facility CB H2O, LP Camelback Mountain STP

Name of Responsible Agent William R. Toye

Agent Signature Will Toye

Date 1/14/16

(For completion by the municipality)

6.  The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

**P. PUBLIC NOTIFICATION REQUIREMENT** (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1.   Does the project propose the construction of a sewage treatment facility?
2.   Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3.   Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4.   Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5.   Will the project require the establishment of new municipal administrative organizations within the municipal government?
6.   Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7.   Does the project involve a major change in established growth projections?
8.   Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

**P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)**

9.   Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?  
10.   Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?  
11.   Will sewage facilities discharge into high quality or exceptional value waters?

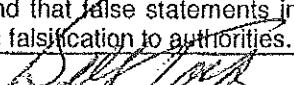
Attached is a copy of:  
 the public notice,  
 all comments received as a result of the notice,  
 the municipal response to these comments.

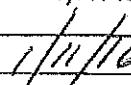
No comments were received. A copy of the public notice is attached.

**Q. FALSE SWEARING STATEMENT (See Section Q of instructions)**

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

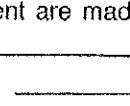
William R. Toye

  
Name (Print)

  
Signature

CB H2O, LP Camelback Mountain

Title

  
Date

P.O. Box 197, Tannersville, PA 18372

570-629-0300

Address

Telephone Number

**R. REVIEW FEE (See Section R of instructions)**

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor OR the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.

I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$ \_\_\_\_\_ payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.

I request to be exempt from the DEP planning module review fee because this planning module creates only one new lot and is the only lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for \_\_\_\_\_ County, Pennsylvania

Deed Volume \_\_\_\_\_ Book Number \_\_\_\_\_

Page Number \_\_\_\_\_ Date Recorded \_\_\_\_\_

**R. REVIEW FEE (continued)**

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

# \_\_\_\_\_ Lots (or EDUs) X \$50.00 = \$ \_\_\_\_\_

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.

2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)  
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

# \_\_\_\_\_ Lots (or EDUs) X \$35.00 = \$ \_\_\_\_\_

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

\$ 1,500 per submittal (non-municipal)  
\$ 500 per submittal (municipal)



TRANSMITTAL LETTER  
 FOR SEWAGE FACILITIES PLANNING MODULE

DEP USE ONLY				
DEP CODE #	APS ID #	CLIENT ID #	SITE ID #	AUTH. ID #

TO: Approving Agency (DEP or delegated local agency)

Date \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Dear Sir:

Attached please find a completed Sewage Facilities Planning Module prepared by Boucher & James, Inc. Michael E. Gable, PE  
 Director of Engineering Services (Name)  
for Camelback Resort (Name)  
(Title)  
 a subdivision, commercial ,or industrial facility located in Pocono Township (Name)  
Monroe County.  
(City, Borough, Township)

## Check one

(i) The Planning Module, as prepared and submitted by the applicant, is approved by the municipality as a proposed  revision  supplement for new land development to its "Official Sewage Facilities Plan", and is  adopted for submission to the Department of Environmental Protection  transmitted to the delegated local agency for approval in accordance with the requirements of Chapter 71 and the Sewage Facilities Act, OR

(ii) The Planning Module will not be approved by the municipality as a proposed revision or supplement for new land development to its "Official Sewage Facilities Plan" because the project described therein is unacceptable for the reason(s) checked below.

## Check Boxes

Additional studies are being performed by or on behalf of this municipality which may have an effect on the Planning Module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.

The Planning Module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g., zoning, land use, Chapter 71). Specific reference or applicable segments of such laws or plans are attached hereto.

Other (attach additional sheet giving specifics)

Municipal Secretary: Indicate below by checking appropriate boxes which components are being transmitted to the Approving Agency.

<input checked="" type="checkbox"/> 1. Resolution of Adoption	<input checked="" type="checkbox"/> 3. Sewage Collection/Treatment Facilities	<input checked="" type="checkbox"/> 4.A. Municipal Planning Agency Review
<input type="checkbox"/> 2. Individual and Community Onlot Disposal of Sewage	<input type="checkbox"/> 3s Small Flow Treatment Facilities	<input checked="" type="checkbox"/> 4.B. County Planning Agency Review
<input type="checkbox"/> 2m. Sewage Management Program		<input type="checkbox"/> 4.C. County or Joint Health Department Review

Municipal Secretary (print)

Signature

Date

Note: Please remove and recycle the Instructions portion of the Sewage Facilities Planning Module prior to mailing the appropriate completed components and supporting documents to the approving agency.

## RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF THE (SUPERVISORS) (COMMISSIONERS) (COUNCILMEN) of Pocono  
 (TOWNSHIP) (BOROUGH) (CITY), Monroe COUNTY, PENNSYLVANIA (hereinafter "the municipality").

**WHEREAS** Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the "Pennsylvania Sewage Facilities Act", as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (Department) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

**WHEREAS** CB H2O, LP  
 land developer has proposed the development of a parcel of land identified as

Camelback Resort, and described in the attached Sewage Facilities Planning Module, and  
 name of subdivision  
 proposes that such subdivision be served by: (check all that apply),  sewer tap-ins,  sewer extension,  new treatment facility,  individual onlot systems,  community onlot systems,  spray irrigation,  retaining tanks,  other, (please specify). Expansion of an existing Lodge

**WHEREAS**, Pocono Township finds that the subdivision described in the attached  
 municipality

Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

**NOW, THEREFORE, BE IT RESOLVED** that the (Supervisors) (Commissioners) (Councilmen) of the (Township)  
 (Borough) (City) of Pocono hereby adopt and submit to the Department of Environmental Protection  
 for its approval as a revision to the "Official Sewage Facilities Plan" of the municipality the above referenced Sewage  
 Facilities Planning Module which is attached hereto.

I, \_\_\_\_\_, Secretary, \_\_\_\_\_

(Signature) Commissioners

Township Board of Supervisors (Borough-Council) (City-Councilmen), hereby certify that the foregoing is a true copy of  
 the Township (Borough) (City) Resolution # \_\_\_\_\_, adopted, \_\_\_\_\_, 20 \_\_\_\_\_.

Municipal Address:

Pocono Township \_\_\_\_\_

Seal of

P.O. Box 197, 112 Township Drive \_\_\_\_\_

Governing Body

Tannersville, Pa. 18372 \_\_\_\_\_

Telephone 570-629-1922

SEWAGE FACILITIES PLANNING MODULE  
 COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW

**Note to Project Sponsor:** To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the existing local municipal planning agency for their comments.

**SECTION A. PROJECT NAME** (See Section A of instructions)

Project Name

Camelback Tubing Slope Lodge

**SECTION B. REVIEW SCHEDULE** (See Section B of instructions)

1. Date plan received by municipal planning agency. December 14, 2015

2. Date review completed by agency. January 25, 2016

**SECTION C. AGENCY REVIEW** (See Section C of instructions)

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i> )?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?

**SECTION C. AGENCY REVIEW (continued)****Yes****No**

13. Is this proposal consistent with the ordinance?  
If no, describe the inconsistencies Subject to Conditions

14. Is this plan consistent with the municipal Act 537 Official Sewage Facilities Plan?  
If no, describe the inconsistencies \_\_\_\_\_

15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?  
If yes, describe Not that the Township is aware of

16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?  
If yes, is the proposed waiver consistent with applicable ordinances?

17. Name, title and signature of planning agency staff member completing this section:  
Name: Ronald Swink  
Title: Chairman of the Planning Commission  
Signature: Ronald Swink  
Date: Feb 11, 2016

Name of Municipal Planning Agency: Pocono Township Planning Commission  
Address 112 Township Drive, P.O. Box 197, Tannersville, PA 18372  
Telephone Number: 570-629-1922

**SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)**

This Component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are desired, attach additional sheets.

The planning agency must complete this Component within 60 days.

This component and any additional comments are to be returned to the project sponsor.

**SEWAGE FACILITIES PLANNING MODULE**  
**COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW**  
**(or Planning Agency with Areawide Jurisdiction)**

**Note to Project Sponsor:** To expedite the review of your proposal, one copy of your completed planning package and one copy of this ***Planning Agency Review Component*** should be sent to the existing county planning agency or planning agency with areawide jurisdiction for their comments.

**SECTION A. PROJECT NAME** (See Section A of instructions)

Project Name

Camelback Tubing Slope Lodge

**SECTION B. REVIEW SCHEDULE** (See Section B of instructions)

1. Date plan received by county planning agency. December 16, 2015

2. Date plan received by planning agency with areawide jurisdiction N/A

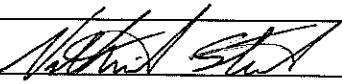
Agency name \_\_\_\_\_

3. Date review completed by agency December 23, 2015

**SECTION C. AGENCY REVIEW** (See Section C of instructions)

Yes      No

<input checked="" type="checkbox"/> <input type="checkbox"/>	1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 <i>et seq.</i> )?
<input checked="" type="checkbox"/> <input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use?
<input checked="" type="checkbox"/> <input type="checkbox"/>	3. Does this proposal meet the goals and objectives of the plan? If no, describe goals and objectives that are not met _____
<input checked="" type="checkbox"/> <input type="checkbox"/>	4. Is this proposal consistent with the use, development, and protection of water resources? If no, describe inconsistency _____
<input checked="" type="checkbox"/> <input type="checkbox"/>	5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation? If no, describe inconsistencies: <u>N/A</u> _____
<input checked="" type="checkbox"/> <input type="checkbox"/>	6. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impact _____
<input type="checkbox"/> <input type="checkbox"/>	7. Will any known historical or archeological resources be impacted by this project? If yes, describe impacts <u>Unknown</u> _____
<input type="checkbox"/> <input checked="" type="checkbox"/>	8. Will any known endangered or threatened species of plant or animal be impacted by the development project? As per the Pennsylvania Natural Diversity Inventory (PNDI) Report submitted as part of the Land Development Application for this project.
<input type="checkbox"/> <input checked="" type="checkbox"/>	9. Is there a county or areawide zoning ordinance?
<input type="checkbox"/> <input type="checkbox"/>	10. Does this proposal meet the zoning requirements of the ordinance? If no, describe inconsistencies <u>N/A</u> _____

Yes	No	SECTION C. AGENCY REVIEW (continued)
<input type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained? <u>Information regarding zoning approvals was not included within the submitted materials.</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	12. Is there a county or areawide subdivision and land development ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	13. Does this proposal meet the requirements of the ordinance? N/A If no, describe which requirements are not met _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	14. Is this proposal consistent with the municipal Act 537 Official Sewage Facilities Plan? If no, describe inconsistency <u>N/A</u>
<input type="checkbox"/>	<input type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe <u>Unknown</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? If yes, is the proposed waiver consistent with applicable ordinances. If no, describe the inconsistencies <u>N/A</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	17. Does the county have a stormwater management plan as required by the Stormwater Management Act? <b>McMichael Creek Watershed &amp; Brodhead Creek Watershed</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, will this project plan require the implementation of storm water management measures?
18. Name, Title and signature of person completing this section:		
Name: <u>Nathaniel T. Staruch</u>		
Title: <u>Senior Planner</u> Signature: <u></u>		
Date: <u>December 23, 2015</u>		
Name of County or Areawide Planning Agency: <u>Monroe County Planning Commission</u>		
Address: <u>1 Quaker Plaza, Room 106, Stroudsburg, PA 18360</u>		
Telephone Number: <u>(570) 517-3100</u>		
SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)		
This Component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.		
The county planning agency must complete this Component within 60 days. This Component and any additional comments are to be returned to the applicant.		

## **Water and Sanitary Sewer Services**

### **Camelback Tubing Slope Lodge**

#### **Background**

The Tubing Slope Lodge was built in the 1980s at the Camelback Resort. The Lodge is currently provided with water services from an existing onsite well, which has an operating permit for a non-community transient water supply. Sanitary sewage services are provided by an onsite sewage treatment plant operated by the Resort. The existing Lodge currently has a building with 2,332 square feet of area on the first floor with a basement for storage and utilities. The facility provides restrooms, locker facilities, a staff lounge, and food services for snack and light meal foods such as hot dogs. The facility also has multiple small sheds and out buildings for services at the development.

Camelback desires to reconstruct the Lodge to provide enhanced guest services to include an improved changing areas, an expanded meal menu, drink services, and additional guest and employee service areas.

#### **Sanitary Sewer Conveyance, Treatment and disposal**

The Camelback Resort has a regional sewage treatment plant which treats sewage from the resort and from the Northridge residential development. The plant maintains a NPDES Discharge Permit No. PA0060569 and DRBC Docket No. D-86-21 with a permitted capacity of 400,000 gallons per day. Based on the review of 12 months of Discharge Monitoring Reports, the peak daily discharge of the facility was 228,000 gallons per day from March 2014 through July 2015, with no reported exceedances of the plant discharge limitations. There is more than sufficient capacity in the plant for this facility.

The service area of the plant was established as part of a socio-economic justification study which was approved by the PA DEP in the mid 1980s. The service area of the plant does include the Tubing Slope Lodge based on the mapping prepared as part of that study.

The sewage is conveyed to the regional sewage treatment plant from an existing pump station located at the Lodge through a 4" force main which is 3,250 feet long with a lift of approximately 145 feet.

The pump station was evaluated by Camelback staff for operational capacity. The pump station is a rectangular wet well, and is 12 feet long, 5 foot- 2 inches wide with a depth of 4 feet. The pump station has two pumps, a lead and lag system, with on and off floats with a third alarm float. It was found that the pump station took 120 seconds to drain down one foot, or a total volume of 478 gallons, resulting in a flow rate of 239 gallons per minute. The size of the pumps could not be determined. Based on the flow rate and the length of 4" pipe, the pump size can be estimated. A 4" PVC line, assuming a C value of 140, would produce a head loss of 108 feet resulting in a total dynamic head of 253 feet. These conditions require a pump with 18 base horse power. Thus, assuming 60% efficiency of the pump, a 30 hp pump is required to meet the loading conditions of the pump station.

## Water Supply Well

The well was tested on October 7, 2015. It was determined that a 1 hp pump is currently installed with a reported historic yield of approximately 15 gpm. A new pump was temporarily installed and produced a sustained yield of 28 gallons per minute. A new 5 hp pump on a VFD drive with the pump set at 175 feet below top of casing producing a dynamic water elevation in the well of 30 feet below the top of the casing is recommended.

## Facility Demand

The facility is proposing the following which produce sewage/water demand:

1. The facility anticipates up to 800 people during any given day. This facility is considered a fairground, or park/picnic area, as outlined in PA Code Chapter 73. Thus, the facility will produce 5 gallons per day per person, or 4,000 gallons.
2. Expanded light menu for food services. It is anticipated that the Tubing Slope Lodge will provide services for up to 800 people per day. The current trend is that 50% of those people eat meals, or 400 meals served. The services will be with single serve utensils at 3 gallons per day per patron or 1,200 gallons per day.

As outlined above, the facility has a daily demand of no more than 5,200 gallons per day. This facility is generally open for an 8 hour period resulting in a higher demand. Thus the instantaneous demand would be 5,200 gpd/8 hrs/day/60 min \* 2.5 peaking factor is 27 gallons per minute. The average demand would be 10.5 gallons per minute. Considering the impacts of high capacity flush toilets, there will be an estimated period of 30 seconds of flow from toilets that have a demand that exceeds 27 gpm. These toilets flush 1.5 gallons in 10 seconds, or a demand of 153 gpm for 10 second, if all facilities are used at the same time. Adding the average demand to that rate produces a required flow rate for 10 seconds of 164 gallons per minute.

The sewage pump station can convey in excess of 238 gpm, and is not a concern.

The well system will need to be supplemented with a bladder tank to overcome fast cycle changes in peak demand. The typical speed changes in VFD drives have a reaction time of 30 seconds. Thus, from pump on to full speed of 28 gpm the system will have an operating volume deficit as follows:

### Considering a 30 second demand cycle

Flow supplied over 30 seconds	4 gallons
Demand over 30 seconds	153 from toilets
	5 from average utilization
<u>Operational deficit</u>	<u>154 gallons</u>

Operating at a minimum pressure of 40 psi with a high pressure of 60 psi results in an acceptance factor of 0.268 for a bladder tank. Thus, the minimum recommended bladder tank size shall be no less than 575 gallons. It is recommended to install 5-119 gallon Well X Trol WX 350 Bladder Tanks at the facility to overcome peak demand. The pump should be set to run to maintain a pressure at 55 psi, off at 60 psi. The minimum operational pressure the system will observe is 40 psi during peak usage at the facility.

Pocono District Office  
Clean Water Program

Date 1/15/2016

Name BOUCHER & JAMES, INC.  
Address 2738 RIMROCK DRIVE  
STROUDSBURG, PA 18360

RE: Planning Module for New Land Development  
Subdivision CAMELBACK RESORT  
4,000 GPD RECREATIONAL  
POCONO TWP., MONROE County  
DEP Code No: 2-45913486-3

Dear:

In response to your postcard application, enclosed are the applicable planning modules required for the proposed development. Please submit the completed planning module and supporting information to the municipality(ies) in which the project is located. The Department must receive 3 copies. Please answer all questions. Do Not answer "N/A" or "Not Applicable". If you find a question does not apply, explain all reasons to support that answer.

A copy of the letter **MUST** be attached to the planning module when resubmitted through the municipality to the Department. This letter is to be used as a completion checklist and guide to completing the planning modules and does not supersede the rules and regulations found in Chapter 71. The municipality must submit the complete module package to the Department, (see end of letter for certification statement).

Effective December 15, 1995 Act 149 required the Department to assess planning module review fees. This fee is based on the type of development and total equivalent dwelling units proposed. The applicant will be billed upon Department approval or denial of the project.

If you are applying for a planning module exemption for this project, the exemption was not granted for the following reason(s):

<u>Materials required</u>	<u>Municipal Checklist</u>	<u>DEP Completeness Review</u>
<input checked="" type="checkbox"/>	Department cover/Checklist letter	
<input checked="" type="checkbox"/>	Transmittal letter, completed and signed by the Municipal Secretary.	
<input checked="" type="checkbox"/>	Resolution of Adoption completed and signed by the Municipal Secretary and containing the municipal seal.	
	Component 2-Follow attached guidance.	
<input checked="" type="checkbox"/>	Component 3-Follow attached guidance.	
	Component 3s-Follow attached guidance.	
<input checked="" type="checkbox"/>	Component 4a-Municipal Planning Agency Review	
<input checked="" type="checkbox"/>	Component 4b-County Planning Agency Review	
	Potential Impact(s) has occurred based on your search of the PA Natural Diversity Inventory. These issues must be resolved with each agency before the Department's review of Planning Modules can occur.	
	Sewage management program as per 25 Pa. Code Subsection 71.72	
	Hydrogeologic Study – Analysis of interbasin transfer of water between a Special Protection watershed into a Non-Special Protection watershed.	
	Delaware River Basin Commission Notice of Applications Received (NAR) for projects with sewage flows exceeding 10,000 GPD.	
	Preliminary hydrogeology	
	Permeability testing, to be determined at site testing	
	Detailed hydrogeologic study	

**Materials required**   **Municipal Checklist**

**DEP  
Completeness  
Review**

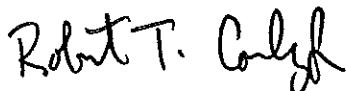
Socio-economic justification

If the project is located in a Special Protection Watershed, please submit an Antidegradation Analysis meeting the Requirement of Chapter 93.4(b), 93.4(a) and 93.4c(b)(2)

In all cases, address the immediate and long range sewage disposal needs of the proposal and comply with 25 Pa. Code, Chapter 71, Subchapter C relating to New Land Development Plan Revisions.

Please note that the Department will return the planning module package if an incomplete revision is submitted.

Sincerely,



Robert T. Corby, Jr.  
Sewage Planning Specialist  
Clean Water Program

**CERTIFICATION STATEMENT**

I certify that this submittal is complete and includes all requested items. Failure to submit a complete module package will result in return of package.

Municipal Address \_\_\_\_\_

Municipal Telephone Number \_\_\_\_\_

Signed: \_\_\_\_\_, Municipal Secretary

List below any individuals and address that should be copied if the planning module is returned to the municipality (if address is not provided, no copy will be sent):

\_\_\_\_\_  
\_\_\_\_\_



# Pennsylvania Fish & Boat Commission

**Division of Environmental Services**  
Natural Diversity Section  
450 Robinson Lane  
Bellefonte, PA 16823  
814-359-5237

July 2, 2015

**IN REPLY REFER TO**  
SIR# 44542

Boucher & James, Inc.  
Michael Gable  
910 Rim Roack Road  
Stroudsburg, Pennsylvania 18360

**RE: Species Impact Review (SIR) – Rare, Candidate, Threatened and Endangered Species**  
PNDI Search No. 20150603516234  
Camelback Hotel  
MONROE County: Pocono Township

Dear Michael Gable:

This responds to your inquiry about a Pennsylvania Natural Diversity Inventory (PNDI) Internet Database search “potential conflict” or a threatened and endangered species impact review. These projects are screened for potential conflicts with rare, candidate, threatened or endangered species under Pennsylvania Fish & Boat Commission jurisdiction (fish, reptiles, amphibians, aquatic invertebrates only) using the Pennsylvania Natural Diversity Inventory (PNDI) database and our own files. These species of special concern are listed under the Endangered Species Act of 1973, the Wild Resource Conservation Act, and the Pennsylvania Fish & Boat Code (Chapter 75), or the Wildlife Code.

An element occurrence of a rare, candidate, threatened, or endangered species under our jurisdiction is known from the vicinity of the proposed project. However, given the nature of the proposed project, the immediate location, or the current status of the nearby element occurrence(s), no adverse impacts are expected to the species of special concern.

This response represents the most up-to-date summary of the PNDI data and our files and is valid for two (2) years from the date of this letter. An absence of recorded species information does not necessarily imply species absence. Our data files and the PNDI system are continuously being updated with species occurrence information. Should project plans change or additional information on listed or proposed species become available, this determination may be reconsidered, and consultation shall be re-initiated.

Our Mission:

[www.fish.state.pa.us](http://www.fish.state.pa.us)

*To protect, conserve and enhance the Commonwealth's aquatic resources and provide fishing and boating opportunities.*

**If you have any questions regarding this review, please contact Kathy Gipe at 814-359-5186 and refer to the SIR # 44542.** Thank you for your cooperation and attention to this important matter of species conservation and habitat protection.

Sincerely,

A handwritten signature in black ink that reads "Christopher A. Urban". The signature is fluid and cursive, with "Christopher" on the top line and "A. Urban" on the bottom line.

Christopher A. Urban, Chief  
Natural Diversity Section

CAU/KDG/dn

## 1. PROJECT INFORMATION

Project Name: Camelback Hotel

Date of review: 6/3/2015 1:46:06 PM

Project Category: Development,Additions/maintenance to existing development facilities

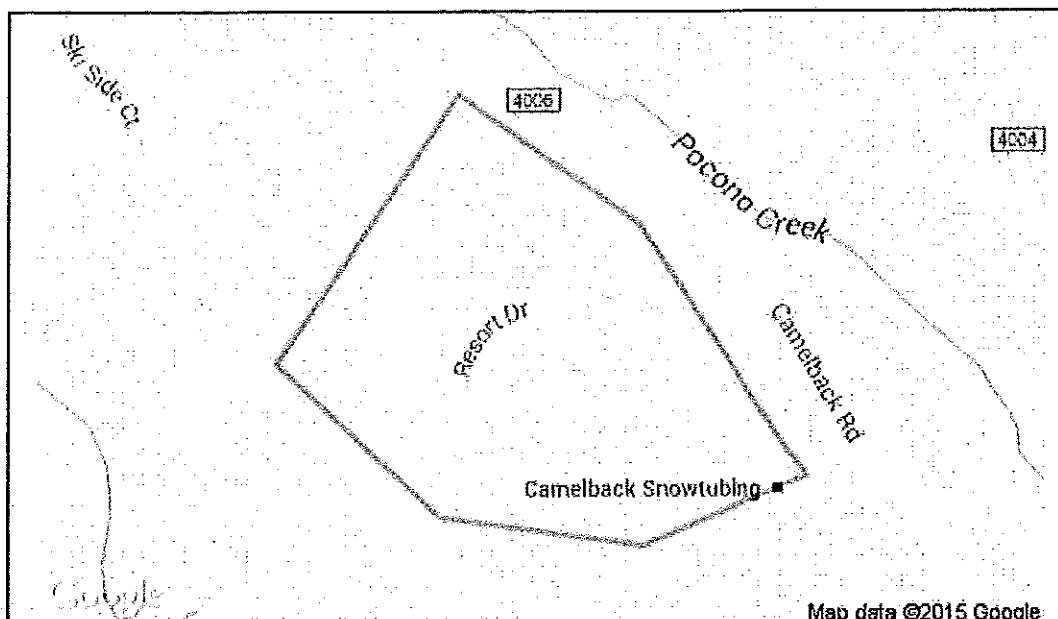
Project Area: 25.9 acres

County: Monroe Township/Municipality: Pocono

Quadrangle Name: MOUNT POCONO ~ ZIP Code: 18372

Decimal Degrees: 41.054349 N, -75.348461 W

Degrees Minutes Seconds: 41° 3' 15 N, W



## 2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	Potential Impact	FURTHER REVIEW IS REQUIRED, See Agency Response
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate there may be potential impacts to threatened and endangered and/or special concern species and resources within the project area. If the response above indicates "No Further Review Required" no additional communication with the respective agency is required. If the response is "Further Review Required" or "See Agency Response," refer to the appropriate agency comments below. Please see the DEP Information Section of this receipt if a PA Department of Environmental Protection Permit is required.

Note that regardless of PNDI search results, projects requiring a Chapter 105 DEP individual permit or GP 5, 6, 7, 8, 9 or 11 in certain counties (Adams, Berks, Bucks, Carbon, Chester, Cumberland, Delaware, Lancaster, Lebanon, Lehigh, Monroe, Montgomery, Northampton, Schuylkill and York) must comply with the bog turtle habitat screening requirements of the PASPGP.

## **RESPONSE TO QUESTION(S) ASKED**

**Q1:** Will the entire project occur within an existing building, parking lot, driveway, road, street, or maintained (periodically mowed) lawn?

Your answer is: **2. No**

## **3. AGENCY COMMENTS**

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

### **PA Game Commission**

**RESPONSE:** No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

### **PA Department of Conservation and Natural Resources**

**RESPONSE:** No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

### **PA Fish and Boat Commission**

**RESPONSE:** Further review of this project is necessary to resolve the potential impacts(s). Please send project information to this agency for review (see **WHAT TO SEND**).

**PFBC Species:** (Note: The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer species than what is listed below.)

**Scientific Name:** Sensitive Species\*\*

**Common Name:**

**Current Status:** Special Concern Species\*

## U.S. Fish and Wildlife Service

**RESPONSE:** No impacts to federally listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 *et seq.*) is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

\* Special Concern Species or Resource - Plant or animal species classified as rare, tentatively undetermined or candidate as well as other taxa of conservation concern, significant natural communities, special concern populations (plants or animals) and unique geologic features.

\*\* Sensitive Species - Species identified by the jurisdictional agency as collectible, having economic value, or being susceptible to decline as a result of visitation.

## WHAT TO SEND TO JURISDICTIONAL AGENCIES

If project information was requested by one or more of the agencies above, send the following information to the agency(s) seeking this information (see AGENCY CONTACT INFORMATION).

### Check-list of Minimum Materials to be submitted:

- SIGNED** copy of this Project Environmental Review Receipt
- Project narrative with a description of the overall project, the work to be performed, current physical characteristics of the site and acreage to be impacted.
- Project location information (name of USGS Quadrangle, Township/Municipality, and County)
- USGS 7.5-minute Quadrangle with project boundary clearly indicated, and quad name on the map

### **The inclusion of the following information may expedite the review process.**

- A basic site plan(particularly showing the relationship of the project to the physical features such as wetlands, streams, ponds, rock outcrops, etc.)
- Color photos keyed to the basic site plan (i.e. showing on the site plan where and in what direction each photo was taken and the date of the photos)
- Information about the presence and location of wetlands in the project area, and how this was determined (e.g., by a qualified wetlands biologist), if wetlands are present in the project area, provide project plans showing the location of all project features, as well as wetlands and streams

## 4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. For cases where a "Potential Impact" to threatened and endangered species has been identified before the application has been submitted to DEP, the application should not be submitted until the impact has been resolved. For cases where "Potential Impact" to special concern species and resources has been identified before the application has been submitted, the application should be submitted to DEP along with the PNDI receipt. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. DEP and the jurisdictional agency will work

together to resolve the potential impact(s). See the DEP PNDI policy at <http://www.naturalheritage.state.pa.us>.

## 5. ADDITIONAL INFORMATION

The PNDI environmental review website is a **preliminary** screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page ([www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us)). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

## 6. AGENCY CONTACT INFORMATION

### PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section  
400 Market Street, PO Box 8552, Harrisburg, PA.  
17105-8552  
Fax:(717) 772-0271

### U.S. Fish and Wildlife Service

Pennsylvania Field Office  
110 Radnor Rd; Suite 101, State College, PA 16801  
NO Faxes Please.

### PA Fish and Boat Commission

Division of Environmental Services  
450 Robinson Lane, Bellefonte, PA. 16823-7437  
NO Faxes Please

### PA Game Commission

Bureau of Wildlife Habitat Management  
Division of Environmental Planning and Habitat Protection  
2001 Elmerton Avenue, Harrisburg, PA. 17110-9797  
Fax:(717) 787-6957

## 7. PROJECT CONTACT INFORMATION

Name: Michael Cagle

Company/Business Name: Borgne & Sons, Inc.

Address: 2730 Bimbock Dr. Ligonier, PA 15658

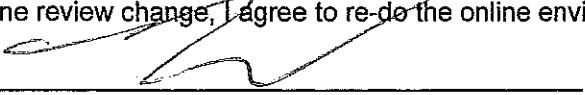
City, State, Zip:

Phone: (524) 627-0300 Fax: (524) 629-0306

Email: mcagle@borgne-sons.com

## 8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

  
applicant/project proponent signature

6/3/15  
date



# Pennsylvania Fish & Boat Commission

**Division of Environmental Services**  
Natural Diversity Section  
450 Robinson Lane  
Bellefonte, PA 16823  
814-359-5237

July 2, 2015

**IN REPLY REFER TO**  
SIR# 44542

Boucher & James, Inc.  
Michael Gable  
910 Rim Roack Road  
Stroudsburg, Pennsylvania 18360

**RE: Species Impact Review (SIR) – Rare, Candidate, Threatened and Endangered Species**  
**PNDI Search No. 20150603516234**  
**Camelback Hotel**  
**MONROE County: Pocono Township**

Dear Michael Gable:

This responds to your inquiry about a Pennsylvania Natural Diversity Inventory (PNDI) Internet Database search “potential conflict” or a threatened and endangered species impact review. These projects are screened for potential conflicts with rare, candidate, threatened or endangered species under Pennsylvania Fish & Boat Commission jurisdiction (fish, reptiles, amphibians, aquatic invertebrates only) using the Pennsylvania Natural Diversity Inventory (PNDI) database and our own files. These species of special concern are listed under the Endangered Species Act of 1973, the Wild Resource Conservation Act, and the Pennsylvania Fish & Boat Code (Chapter 75), or the Wildlife Code.

An element occurrence of a rare, candidate, threatened, or endangered species under our jurisdiction is known from the vicinity of the proposed project. However, given the nature of the proposed project, the immediate location, or the current status of the nearby element occurrence(s), no adverse impacts are expected to the species of special concern.

This response represents the most up-to-date summary of the PNDI data and our files and is valid for two (2) years from the date of this letter. An absence of recorded species information does not necessarily imply species absence. Our data files and the PNDI system are continuously being updated with species occurrence information. Should project plans change or additional information on listed or proposed species become available, this determination may be reconsidered, and consultation shall be re-initiated.

**Our Mission:**

[www.fish.state.pa.us](http://www.fish.state.pa.us)

*To protect, conserve and enhance the Commonwealth's aquatic resources and provide fishing and boating opportunities.*

**If you have any questions regarding this review, please contact Kathy Gipe at 814-359-5186 and refer to the SIR # 44542.** Thank you for your cooperation and attention to this important matter of species conservation and habitat protection.

Sincerely,



Christopher A. Urban, Chief  
Natural Diversity Section

CAU/KDG/dn



CAMELBACK Mountain Resort

October 6, 2015

Mike Gable  
Boucher & James, Inc.  
2738 Rim Rock Drive  
Stroudsburg, Pa. 18360

Dear Mike,

As requested CBH2O as the permittee for the Camelback Wastewater treatment plant verifies that the Tubing Lodge is within the service area of the treatment plant, and has the necessary capacity to accept the Tubing Lodge Sewerage.

Sincerely,

Bill Toye  
Director of Mountain Operations



# Leon Clapper, Inc.

Water Conditioning

Plumbing & Heating

5009 Neyhart Road Stroudsburg, PA 18360



Phone: (570) 629-2833 Fax: (570) 619-5236

October 7, 2015

TO: Bill Toye

RE: CAMELBACK TUBING PARK

8/20/2015

Ran pump for 4 hours at 30GPM. The wires heated up.

8/21/2015

Pulled the pump and ran temporary wires from the building down the well.

8/24/2015

Started pump test again. Ran pump for 3 hours and everything looked good and the amp draw was good. We pumped between 28GPM and 29GPM. We left the pump running all night long.

8/25/2015

Returned and found the pump running great at 28GPM-29GPM. The water level maintained 30' from the top of the well casing throughout the 19 hours of pumping. At that time we stopped the pump test and felt secure that that pump could pump continuously at the 28GPM-29GPM with the static level staying 30'.

I feel comfortable with this well with the pump setting at 175' and I feel you can do a 25GPM variable speed pump on this well.

Any questions/concerns please contact me.

Sincerely,

Leon Clapper

LC:dr  
Cc:file

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2014-03-01 To: 2014-03-31      **NO DISCHARGE FROM SITE:** ( )  
 18372-0168

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.53	*****	7.75	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	3.29	*****	lbs/day	*****	8.75	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.12	*****	lbs/day	*****	0.32	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	20.0 Average Monthly	*****		*****	6.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.045	0.095	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.36	.90	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	3.1	80	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	2.06	*****	lbs/day	*****	5.5	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	66.7 Average Monthly	*****		*****	20.0 Average Monthly	*****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date		2014-04-27

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2014-04-01 To: 2014-04-30      **NO DISCHARGE FROM SITE:** ( )

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type	
		Value	Value		Value	Value	Value					
pH	Sample Measurement	*****	*****		7.28	*****	7.98	S.U.	0	1/day	Grab	
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab	
Total Suspended Solids	Sample Measurement	1.59	*****	lbs/day	*****	6.8	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite	
Ammonia-Nitrogen	Sample Measurement	0.033	*****	lbs/day	*****	0.14	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	20.0 Average Monthly	*****		*****	6.0 Average Monthly	*****			1/week	8-Hr Composite	
Flow (mgd)	Sample Measurement	0.028	0.091	MGD	*****	*****	*****		0	Continuous	Recorded	
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded	
Total Residual Chlorine (TRC)	Sample Measurement	*****	*****		*****	0.22	0.88	mg/L	0	1/day	Grab	
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab	
Fecal Coliform	Sample Measurement	*****	*****		*****	1.8	16	CFU/100 mL	0	1/week	Grab	
	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum			1/week	Grab	
CBOD5	Sample Measurement	0.56	*****	lbs/day	*****	2.4	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	66.7 Average Monthly	*****		*****	20.0 Average Monthly	*****			1/week	8-Hr Composite	
<b>Name/Title of Principal Executive Officer Or Authorized Agent</b>		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).					<b>Signature of Principal Executive Officer Or Authorized Agent</b>	<b>Telephone No</b>	<b>Date</b>			
											2014-05-28	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2014-05-01 To: 2014-05-31      **NO DISCHARGE FROM SITE:** ( )  
 18372-0168

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.88	*****	7.38	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0	Minimum	9.0			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	1.20	*****	lbs/day	*****	5	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0	Average Monthly		*****	30.0	Average Monthly			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.033	*****	lbs/day	*****	0.14	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0	Average Monthly		*****	3.0	Average Monthly			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.029	0.11	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.19	0.50	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0	2.0			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	3.2	27	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	200	1000			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	0.58	*****	lbs/day	*****	2.4	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	33.4	Average Monthly		*****	10.0	Average Monthly			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date	2014-06-27

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2014-06-01 To: 2014-06-30      **NO DISCHARGE FROM SITE:** ( )  
 18372-0168

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.93	*****	7.38	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	1.0	*****	lbs/day	*****	5	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.040	*****	lbs/day	*****	0.17	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0 Average Monthly	*****		*****	3.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.028	0.071	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.24	0.42	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	9.5	600	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	6.6	*****	lbs/day	*****	28.25	*****	mg/L	1	1/week	8-Hr Composite
	Permit Requirement	33.4 Average Monthly	*****		*****	10.0 Average Monthly	*****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).							Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date	
											2014-07-26

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2014-07-01 To: 2014-07-31      **NO DISCHARGE FROM SITE:** ( )

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type	
		Value	Value		Value	Value	Value					
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.25	*****	7.27	S.U.	0	1/day	Grab	
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab	
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	2.1	*****	lbs/day	*****	4	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite	
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.16	*****	lbs/day	*****	.31	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	10.0 Average Monthly	*****		*****	3.0 Average Monthly	*****			1/week	8-Hr Composite	
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	.062	0.15	MGD	*****	*****	*****		0	Continuous	Recorded	
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded	
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.26	0.88	mg/L	0	1/day	Grab	
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab	
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	10	1300	CFU/100 mL	0	1/week	Grab	
	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum			1/week	Grab	
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	1.09	*****	lbs/day	*****	2.1	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	33.4 Average Monthly	*****		*****	10.0 Average Monthly	*****			1/week	8-Hr Composite	
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date		2014-08-27	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      TANNERSVILLE, PA      **CITY:** TANNERSVILLE  
**ADDRESS:** 18372-0168      **MONITORING PERIOD:** From: 2014-08-01 To: 2014-08-31      **NO DISCHARGE FROM SITE:** ( )

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type		
		Value	Value		Value	Value	Value						
pH	Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****		6.18	*****	7.28	S.U.	0	1/day	Grab		
		Permit Requirement	*****		6.0	Minimum	9.0			1/day	Grab		
Total Suspended Solids	Parameter Code: 00530 Stage Code: 1	Sample Measurement	2.83	lbs/day	*****	5.0	*****	mg/L	0	1/week	8-Hr Composite		
		Permit Requirement	100.0 Average Monthly		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite		
Ammonia-Nitrogen	Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.13	lbs/day	*****	0.23	*****	mg/L	0	1/week	8-Hr Composite		
		Permit Requirement	10.0 Average Monthly		*****	3.0 Average Monthly	*****			1/week	8-Hr Composite		
Flow (mgd)	Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.068	MGD	*****	*****	*****		0	Continuous	Recorded		
		Permit Requirement	Report Average Monthly		*****	*****	*****			Continuous	Recorded		
Total Residual Chlorine (TRC)	Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****		*****	0.16	0.45	mg/L	0	1/day	Grab		
		Permit Requirement	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab		
Fecal Coliform	Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****		*****	36	102	CFU/100 mL	0	1/week	Grab		
		Permit Requirement	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum			1/week	Grab		
CBOD5	Parameter Code: 80082 Stage Code: 1	Sample Measurement	1.13	lbs/day	*****	2.0	*****	mg/L	0	1/week	8-Hr Composite		
		Permit Requirement	33.4 Average Monthly		*****	10.0 Average Monthly	*****			1/week	8-Hr Composite		
<b>Name/Title of Principal Executive Officer Or Authorized Agent</b>		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						<b>Signature of Principal Executive Officer Or Authorized Agent</b>	<b>Telephone No</b>	<b>Date</b>			
											2014-09-27		

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2014-09-01 To: 2014-09-30      **NO DISCHARGE FROM SITE:** ( )

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.62	*****	7.39	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	1.21	*****	lbs/day	*****	5	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	.04	*****	lbs/day	*****	.15	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0 Average Monthly	*****		*****	3.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.029	0.096	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.31	1.37	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	2.5	35	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	.046	*****	lbs/day	*****	1.9	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	33.4 Average Monthly	*****		*****	10.0 Average Monthly	*****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date	2014-10-28

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

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# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2014-10-01 To: 2014-10-31      **NO DISCHARGE FROM SITE:** ( )

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	****	****		6.90	****	7.20	S.U.	0	1/day	Grab
	Permit Requirement	****	****		6.0 Minimum	****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	1.31	****	lbs/day	****	5	****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	****		****	30.0 Average Monthly	****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.018	****	lbs/day	****	0.07	****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0 Average Monthly	****		****	3.0 Average Monthly	****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.0315	0.072	MGD	****	****	****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		****	****	****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	****	****		****	0.27	0.83	mg/L	0	1/day	Grab
	Permit Requirement	****	****		****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	****	****		****	6.2	35	CFU/100 mL	0	1/week	Grab
	Permit Requirement	****	****		****	2000 Geometric Mean	10000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	5.20	****	lbs/day	****	2	****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	33.4 Average Monthly	****		****	10.0 Average Monthly	****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).					Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date		2014-11-27

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2014-11-01 To: 2014-11-30      **NO DISCHARGE FROM SITE:** ( )  
 18372-0168

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type	
		Value	Value		Value	Value	Value					
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		*****	*****	*****	S.U.	0	1/week	8-Hr Composite	
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab	
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	1.4	*****	lbs/day	*****	5	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite	
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.17	*****	lbs/day	*****	0.06	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	20.0 Average Monthly	*****		*****	6.0 Average Monthly	*****			1/week	8-Hr Composite	
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.033	0.057	MGD	*****	*****	*****		0	Continuous	Recorded	
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded	
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.37	1.44	mg/L	0	1/day	Grab	
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab	
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	4.6	430	CFU/100 mL	0	1/week	Grab	
	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum			1/week	Grab	
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	0.55	*****	lbs/day	*****	2.0	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	66.7 Average Monthly	*****		*****	20.0 Average Monthly	*****			1/week	8-Hr Composite	
<b>Name/Title of Principal Executive Officer Or Authorized Agent</b>		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						<b>Signature of Principal Executive Officer Or Authorized Agent</b>	<b>Telephone No</b>	<b>Date</b>		
											2014-12-26	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

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# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
 TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2014-12-01 To: 2014-12-31      **NO DISCHARGE FROM SITE:** ( )  
**ADDRESS:** 18372-0168

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH	Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****	6.3	*****	7.5	S.U.	0	1/day	Grab
		Permit Requirement	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids	Parameter Code: 00530 Stage Code: 1	Sample Measurement	2.21	*****	*****	5	*****	mg/L	0	1/week	8-Hr Composite
		Permit Requirement	100.0 Average Monthly		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen	Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.45	*****	*****	1.02	*****	mg/L	0	1/week	8-Hr Composite
		Permit Requirement	20.0 Average Monthly		*****	6.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd)	Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.053	0.124	*****	*****	*****		0	Continuous	Recorded
		Permit Requirement	Report Average Monthly		Report Daily Maximum	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC)	Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****	*****	0.42	1.07	mg/L	0	1/day	Grab
		Permit Requirement	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform	Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****	*****	2	4	CFU/100 mL	0	1/week	Grab
		Permit Requirement	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum			1/week	Grab
CBOD5	Parameter Code: 80082 Stage Code: 1	Sample Measurement	0.89	*****	*****	2.0	*****	mg/L	0	1/week	8-Hr Composite
		Permit Requirement	66.7 Average Monthly		*****	20.0 Average Monthly	*****			1/week	8-Hr Composite
<b>Name/Title of Principal Executive Officer Or Authorized Agent</b>		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						<b>Signature of Principal Executive Officer Or Authorized Agent</b>	<b>Telephone No</b>	<b>Date</b>	2015-01-28

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2015-01-01 To: 2015-01-31      **NO DISCHARGE FROM SITE:** ( )

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type	
		Value	Value		Value	Value	Value					
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.5	*****	7.4	S.U.	0	1/day	Grab	
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab	
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	2.62	*****	lbs/day	*****	5	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite	
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.05	*****	lbs/day	*****	0.1	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	20.0 Average Monthly	*****		*****	6.0 Average Monthly	*****			1/week	8-Hr Composite	
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.063	0.125	MGD	*****	*****	*****		0	Continuous	Recorded	
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded	
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.26	0.43	mg/L	0	1/day	Grab	
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab	
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	11.5	600	CFU/100 mL	0	1/week	Grab	
	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum			1/week	Grab	
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	1.37	*****	lbs/day	*****	2.6	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	66.7 Average Monthly	*****		*****	20.0 Average Monthly	*****			1/week	8-Hr Composite	
Name/Title of Principal Executive Officer Or Authorized Agent		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).					Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date			
											2015-02-27	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2015-02-01 To: 2015-02-28      **NO DISCHARGE FROM SITE:** ( )  
 18372-0168

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH	Sample Measurement	*****	*****		6.8	*****	7.5	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0	Minimum	9.0			1/day	Grab
Total Suspended Solids	Sample Measurement	8.37	*****	lbs/day	*****	14.75	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0	Average Monthly		*****	30.0	Average Monthly			1/week	8-Hr Composite
Ammonia-Nitrogen	Sample Measurement	.14	*****	lbs/day	*****	0.24	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	20.0	Average Monthly		*****	6.0	Average Monthly			1/week	8-Hr Composite
Flow (mgd)	Sample Measurement	.068	.168	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC)	Sample Measurement	*****	*****		*****	0.31	.97	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0	2.0			1/day	Grab
Fecal Coliform	Sample Measurement	*****	*****		*****	670	4600	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	2000	10000			1/week	Grab
CBOD5	Sample Measurement	1.7	*****	lbs/day	*****	3.0	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	66.7	Average Monthly		*****	20.0	Average Monthly			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date		2015-03-27

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

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# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2015-03-01 To: 2015-03-31      **NO DISCHARGE FROM SITE:** ( )  
 18372-0168

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type	
		Value	Value		Value	Value	Value					
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		7.1	*****	7.7	S.U.	0	1/day	Grab	
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab	
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	4.1	*****	lbs/day	*****	15.5	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite	
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.06	*****	lbs/day	*****	0.22	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	20.0 Average Monthly	*****		*****	6.0 Average Monthly	*****			1/week	8-Hr Composite	
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.032	0.089	MGD	*****	*****	*****		0	Continuous	Recorded	
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded	
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.31	1.37	mg/L	0	1/day	Grab	
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab	
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	86.5	3500	CFU/100 mL	0	1/week	Grab	
	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum			1/week	Grab	
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	0.75	*****	lbs/day	*****	2.8	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	66.7 Average Monthly	*****		*****	20.0 Average Monthly	*****			1/week	8-Hr Composite	
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date			
										2015-04-28		

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre Monroe  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2015-04-01 To: 2015-04-30      **NO DISCHARGE FROM SITE:** ( )

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type		
		Value	Value		Value	Value	Value						
pH	Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****	7.2	*****	7.7	S.U.	0	1/day	Grab		
		Permit Requirement	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab		
Total Suspended Solids	Parameter Code: 00530 Stage Code: 1	Sample Measurement	2.57	*****	*****	7.0	*****	mg/L	0	1/week	8-Hr Composite		
		Permit Requirement	100.0 Average Monthly		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite		
Ammonia-Nitrogen	Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.01	*****	*****	0.28	*****	mg/L	0	1/week	8-Hr Composite		
		Permit Requirement	20.0 Average Monthly			6.0 Average Monthly	*****			1/week	8-Hr Composite		
Flow (mgd)	Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.044	0.069	*****	*****	*****		0	Continuous	Recorded		
		Permit Requirement	Report Average Monthly			*****	*****			Continuous	Recorded		
Total Residual Chlorine (TRC)	Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****	*****	0.29	0.93	mg/L	0	1/day	Grab		
		Permit Requirement	*****			1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab		
Fecal Coliform	Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****	*****	1	1	CFU/100 mL	0	1/week	Grab		
		Permit Requirement	*****			2000 Geometric Mean	10000 Instantaneous Maximum			1/week	Grab		
CBOD5	Parameter Code: 80082 Stage Code: 1	Sample Measurement	1.21	*****	*****	3.31	*****	mg/L	0	1/week	8-Hr Composite		
		Permit Requirement	66.7 Average Monthly			20.0 Average Monthly	*****			1/week	8-Hr Composite		
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).							Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date			
											2015-05-28		

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre Monroe  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2015-05-01 To: 2015-05-31      **NO DISCHARGE FROM SITE:** ( )

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type	
		Value	Value		Value	Value	Value					
pH	Sample Measurement	*****	*****		7.0	*****	7.6	S.U.	0	1/day	Grab	
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab	
Total Suspended Solids	Sample Measurement	3.29	*****	lbs/day	*****	5.0	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite	
Ammonia-Nitrogen	Sample Measurement	0.079	*****	lbs/day	*****	0.12	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	10.0 Average Monthly	*****		*****	3.0 Average Monthly	*****			1/week	8-Hr Composite	
Flow (mgd)	Sample Measurement	0.079	0.152	MGD	*****	*****	*****		0	Continuous	Recorded	
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded	
Total Residual Chlorine (TRC)	Sample Measurement	*****	*****		*****	0.15	0.84	mg/L	0	1/day	Grab	
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab	
Fecal Coliform	Sample Measurement	*****	*****		*****	97	410	CFU/100 mL	0	1/week	Grab	
	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum			1/week	Grab	
CBOD5	Sample Measurement	1.32	*****	lbs/day	*****	2	*****	mg/L	0	1/week	8-Hr Composite	
	Permit Requirement	33.4 Average Monthly	*****		*****	10.0 Average Monthly	*****			1/week	8-Hr Composite	
<b>Name/Title of Principal Executive Officer Or Authorized Agent</b>		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).					<b>Signature of Principal Executive Officer Or Authorized Agent</b>	<b>Telephone No</b>	<b>Date</b>			
											2015-06-25	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre Monroe  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** TANNERSVILLE  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** 18372-0168      **MONITORING PERIOD:** From: 2015-06-01 To: 2015-06-30      **NO DISCHARGE FROM SITE:** ( )

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type			
		Value	Value		Value	Value	Value							
pH	Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****	7.1	*****	7.5	S.U.	0	1/day	Grab			
		Permit Requirement	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab			
Total Suspended Solids	Parameter Code: 00530 Stage Code: 1	Sample Measurement	2.8	*****	*****	4	*****	mg/L	0	1/week	8-Hr Composite			
		Permit Requirement	100.0 Average Monthly		lbs/day	30.0 Average Monthly	*****			1/week	8-Hr Composite			
Ammonia-Nitrogen	Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.11	*****	*****	0.16	*****	mg/L	0	1/week	8-Hr Composite			
		Permit Requirement	10.0 Average Monthly			3.0 Average Monthly	*****			1/week	8-Hr Composite			
Flow (mgd)	Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.084	0.125	MGD	*****	*****		0	Continuous	Recorded			
		Permit Requirement	Report Average Monthly			*****	*****			Continuous	Recorded			
Total Residual Chlorine (TRC)	Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		0.26	0.48	mg/L	0	1/day	Grab			
		Permit Requirement	*****			*****	1.0 Average Monthly			1/day	Grab			
Fecal Coliform	Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		0.26	0.48	CFU/100 mL	0	1/day	Grab			
		Permit Requirement	*****			*****	200 Geometric Mean			1/week	Grab			
CBOD5	Parameter Code: 80082 Stage Code: 1	Sample Measurement	1.4	*****	lbs/day	*****	2	mg/L	0	1/week	8-Hr Composite			
		Permit Requirement	33.4 Average Monthly			*****	10.0 Average Monthly			1/week	8-Hr Composite			
<b>Name/Title of Principal Executive Officer Or Authorized Agent</b>		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						<b>Signature of Principal Executive Officer Or Authorized Agent</b>	<b>Telephone No</b>	<b>Date</b>				
											2015-07-27			

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1

# Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

**FACILITY:** CBH20 LP      **PERMIT NUMBER:** PA0060569      **REGION:** EP NE Rgnl Off Wilkes Barre  
**PERMITTEE:** CBH20 LP      **OUTFALL:** 001      **COUNTY:** Monroe  
 PO BOX 168      **CITY:** TANNERSVILLE  
**ADDRESS:** TANNERSVILLE, PA      **MONITORING PERIOD:** From: 2015-07-01 To: 2015-07-31      **NO DISCHARGE FROM SITE:** ( )  
 18372-0168

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.9	*****	7.4	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0	Minimum	9.0			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	5.1	*****	lbs/day	*****	4	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0	Average Monthly		*****	30.0	Average Monthly			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.19	*****	lbs/day	*****	0.15	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0	Average Monthly		*****	3.0	Average Monthly			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.153	0.228	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.20	0.43	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0	2.0			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	4.7	66	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	200	1000			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	2.55	*****	lbs/day	*****	2	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	33.4	Average Monthly		*****	10.0	Average Monthly			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date		2015-08-29

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Page 1



**Pocono Township**  
Tannersville, PA  
ZONING OFFICER

February 11, 2016

**MEMORANDUM**

**To:** Gregg Schuster, Township Manager  
All Commissioners

**Re: Sanofi Proposed Zoning Map Change**

On Monday evening, at the conclusion of the planning commission meeting, Aaron Sisler, PE of Borton Lawson hand delivered to me proposed zoning map changes requested by Sanofi Pasteur Inc.

Please place on the Commissioners agenda for consideration for referral to the planning commission.

Thank you.

A handwritten signature in black ink that appears to read "Rick".



Borton  
Lawson

ENGINEERING  
ARCHITECTURE

February 8, 2016

Pocono Township Commissioners  
P.O. Box 197  
112 Township Drive  
Tannersville, PA 18372

RE: Sanofi Pasteur, Inc. – Request for Rezoning  
Pocono Township, Monroe County, PA

BL No.: 2015-1528-015

Dear Commissioners:

On behalf of Sanofi Pasteur, we are submitting a formal request to the Board of Commissioners to the rezoning of a portion of two (2) parcels (PIN #'s 12-6374-01-17-7161 and 12-6374-01-26-5585) owned by Sanofi Pasteur, Inc. from R-1:Residential to I:Industrial. A portion of the current zoning map, which highlights the referenced parcels, is enclosed (EX-1).

The two (2) parcels, located to the east of the existing main campus parcel and consist of undeveloped woodlands. Approximately 23.9 acres of land from these parcels are requested to be rezoned as shown in the attached "Rezoning Exhibit" (EX-2). A lot line adjustment plan has been submitted to the Township to consolidate these 23.9 acres into the overall main campus parcel.

Sanofi Pasteur, Inc. would like to be placed on an upcoming Board of Commissioner's meeting for consideration and further discussion.

If you have any questions, please do not hesitate to contact me at (484) 821-0470 ext. 2105.

Sincerely,

Aaron M. Sisler, P.E.  
Project Manager

Enclosure(s)  
AMS/dth

c: File

R E C E I V E D  
FEB 08 2016

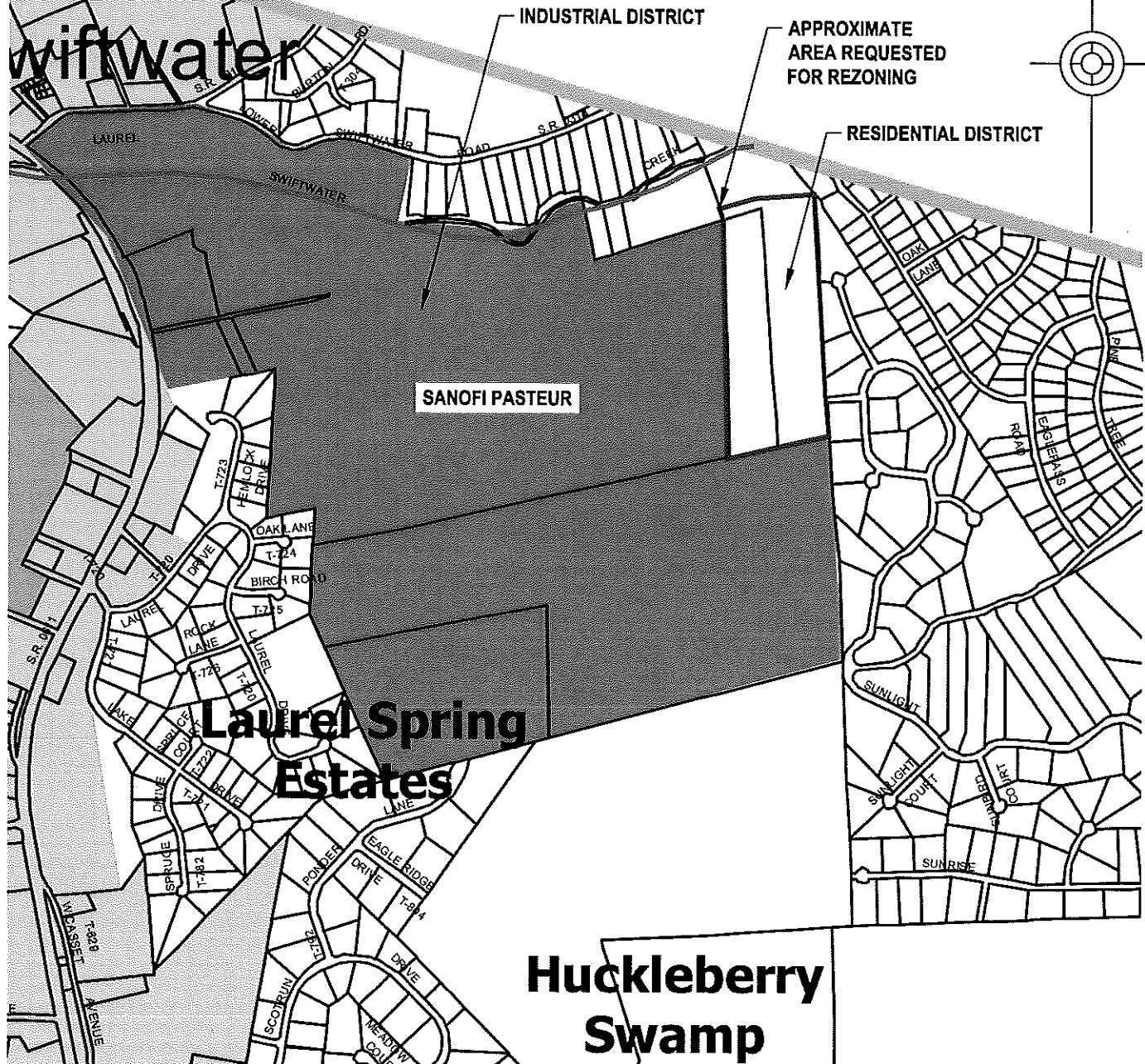
POCONO TOWNSHIP

3897 Adler Place  
Bethlehem, PA 18017

Phone: 484.821.0470  
Fax: 484.821.0474

# PARADISE TOWNSHIP

Swiftwater



DRAWING TITLE & PROJECT NAME

**CURRENT TOWNSHIP ZONING**

SANOFI PASTEUR INC  
REZONING REQUEST

POCONO TOWNSHIP, MONROE COUNTY, PENNSYLVANIA

DRAWN BY MRB

DATE 2/8/2016

PROJECT NUMBER

2015-1528-015

DRAWING NUMBER

**EX1**

**TOWNSHIP OF POCONO, MONROE COUNTY,  
PENNSYLVANIA**

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION APPROVING AN AGREEMENT WITH CS-GRAFX**

**WHEREAS**, Pocono Township desires to enter into an agreement for support and maintenance of the Permit Manager system; and

**WHEREAS**, CS-Graphx provides said services; and

**WHEREAS**, the Board desires to execute the agreement with CS-Graphx; and

**NOW, THEREFORE, BE IT ADOPTED AND RESOLVED** that the agreement with CS-Graphx be accepted and approved.

**RESOLVED** at a duly constituted meeting of the Board of Commissioners of the Township of Pocono the 16<sup>th</sup> day of February, 2016.

ATTEST:

Township of Pocono  
Board of Commissioners

By: \_\_\_\_\_  
Print Name: Pamela Finkbeiner  
Title: Secretary

By: \_\_\_\_\_  
Print Name: Tom Felver  
Title: President



## ***CSG Permit Manager Software Support and Maintenance Agreement***

*THIS AGREEMENT, made this **31st Day of JANUARY, 2016** between CS-Graphx ("Provider")*

*and **POCONO TOWNSHIP, MONROE CO PA** ("Client")*

### *Services:*

*Under the terms of this agreement, and pursuant to the schedule below and purchases made by client, Provider shall undertake the following:*

- 1 - This agreement shall be in force for one (1) year from the date agreed to above.*
- 2 - Unlimited telephone and email support will be provided via the current contact numbers and email address provided.*

*(570) 460-3730 CS-Graphx office 7:00 AM – 7:00 PM EST  
email: cork@cs-graphx.com*

- 3 - On Site Support, provided by CS-Graphx or authorized representative as required (defined as the CSG Permit Manager problem cannot be remedied over the telephone in a reasonable time and/or it is the opinion of CS-Graphx that the On Site support will be the best method to resolve the CSG Permit Manager problem), up to (8) hours annually. Additional time to be billed at \$75.00 per hr + expenses.*
- 4 - Upgrades and Updates to the CSG Permit Manager software program. All upgrades and updates including technical and feature shall be provided without additional charge during the annual life of this agreement.*

*This agreement is for the CSG Permit Manager Software Program as delivered from the developer. It shall be null and void in the event that there are changes to the program that have not been authorized by the developer. In the event that changes are made to the program structure by a third party, all support will be charged at the prevailing hourly rate at the time of service. If the data file becomes corrupted the client is aware that not all data is recoverable from a corrupt data file and the only remedy would be to replace the current data file with a previous backup. It is therefore imperative that the client perform a daily or at least a weekly backup of the data file(s). CS-Graphx is not responsible for the loss or corruption of data. The client is responsible for maintaining and retaining regular daily or weekly backups of the data file(s).*

*The cost of this annual Support and Maintenance contract is **\$1,850.00** and is due at the time of signing this agreement and each anniversary of the date of signing. Unless there is a change in any element of the agreement, this agreement will be in force from year to year with the payment of the annual fee here in stated.*

*Accepted by Provider,*

A handwritten signature in black ink, appearing to read "Brentwood 'Cork' Shunk".

*Brentwood "Cork" Shunk  
CS-Graphx*

*12.31.15*

*Date*

*Accepted by Client,*

*Date*