

POCONO TOWNSHIP BOARD OF COMMISSIONERS
MEETING AGENDA
February 16, 2016
7:00 P.M.

- 1) Pledge of Allegiance
- 2) Roll Call
- 3) Announcements
- 4) Approval of Minutes
 - a. Commissioners regular meeting, February 8, 2016
 - b. Commissioners special meeting, February 11, 2015
- 5) Approval of Bills and Transfers
 - a. Check Listing, dated February 16, 2016
- 6) Amendments to Agenda
- 7) Public Comment

Comments are for any item NOT on the agenda. Comments on agenda items will be taken after each item is discussed by the Board of Commissioners, but before formal action is taken. (Please limit individual comments to 3 minutes to allow time for others wishing to speak and direct all questions and comments to the President)

- 8) Appointment of Vacancy Board Chairman
- 9) Report of the President
- 10) Commissioners Comments
 - a. Mr. Harold Werkheiser, Vice President
 - b. Ms. Judi Coover, Commissioner
 - c. Mr. Gerald Lastowski, Commissioner
- 11) Appointment of Officials
 - a. Township Manager
 - b. Township Solicitor
 - c. Township Engineer
 - d. Township Treasurer
 - e. Township Secretary
 - f. Right to Know Officer
- 12) Appointment of Committees
 - a. Sewer Committee
 - b. Finance Committee
- 13) Reports
 - a. Emergency Services (second meeting of month)
 - i. Chief Werkheiser – Pocono Township Police
 - ii. Chief Shay – Pocono Township Volunteer Fire Co.
 - b. Administration
 - i. Mr. Schuster – Township Manager
 1. Sewer Connections – Mandatory Connection Notices
 - ii. Mr. Ambrose – Township Engineer
 1. Sewer Repair Project – Payment Request #2
 - iii. Mr. DeVito – Solicitor
 1. Tobyhanna Sewer Agreement Amendment
 2. Authorizing the Solicitor, upon expiration of the timeframe allotted for the Vacancy Board to fill the vacant Commissioner seat, to petition the Monroe Court of Common Pleas to appoint a Commissioner.

iv. Ms. Zuvich – Treasurer

14) Presentations

- a. Tom Bowditch – American Legion
- b. Ken Brown – BCRA Projects
- c. Camelback Tubing Slope Conditional Approval and Planning Module Approval

15) Ordinances

- a. Sanofi Zoning Map Change – Referral to Planning Commission
- b. Process for review and adoption of sign, SALDO, and zoning ordinances

16) Resolutions

- a. A resolution approving an agreement with CS-Graphx

17) Public Comment

Comments are for any item NOT on the agenda. Comments on agenda items will be taken after each item is discussed by the Board of Commissioners, but before formal action is taken. (Please limit individual comments to 3 minutes to allow time for others wishing to speak and direct all questions and comments to the President)

18) Executive Session (If Necessary)

19) Adjournment

Next Regular meeting – March 7, 2016 (7:00 p.m.)

Next Resolution Number: 2016-11

Next Ordinance Number: 2016-01

POCONO TOWNSHIP BOARD OF COMMISSIONERS
REORGANIZATIONAL MEETING
FEBRUARY 8th, 2016 6:00 P.M.

The reorganizational meeting of the Pocono Township Commissioners was held on 02/08/2016 at the Pocono Township Municipal Building, Tannersville, PA, and was opened by Gregg Schuster, Township Manager, at 6:00 p.m., followed by the Pledge of Allegiance.

ROLL CALL: Tom Felver, present; Harold Werkheiser, present; Jerry Lastowski, present; and Judi Coover, present.

Leo V. DeVito, Broughal & DeVito LLP, Solicitor; Tim Edinger, T&M Associates, Engineer; Gregg Schuster, Twp. Manager; and Pamela Finkbeiner, Twp. Secretary; were present.

Gregg Schuster explained the Commissioners agreed to meet and to act on agenda items, only. The Commissioners agreed to appoint Thomas Felver as President and Harold Werkheiser as Vice-President.

PRESIDENT:

G. Schuster opened the floor to nominations for President.

J. Lastowski made a motion, seconded by J. Coover, to nominate Thomas Felver as President of the Pocono Township Board of Commissioners. G. Schuster requested additional nominations, hearing none he closed the nominations for President. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

President T. Felver called for nomination for Vice President.

VICE PRESIDENT: J. Lastowski made a motion, seconded by T. Felver, to nominated Harold Werkheiser as Vice President of the Pocono Township Commissioner. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

STATEMENT OF SOLICITOR:

Leo DeVito, Broughal & DeVito, solicitor for Pocono Township read a letter of resignation to the Board. He stated the current political situation has caused his firm to resign as solicitor to Pocono Township. Broughal & DeVito will continue working until a replacement firm is chosen.

APPROVAL OF MINUTES:

T. Felver made a motion, seconded by J. Lastowski, to accept into record the minutes of the 12/21/2015 and 12/31/2015. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

J. Coover made a motion, seconded by T. Felver, to approve the minutes of the 1/04/2016. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

J. Coover a motion, seconded by T. Felver, to approve the minutes of the 1/07/2016. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

APPROVAL OF BILLS AND TRANSFERS:

J. Lastowski a motion, seconded by J. Coover, to ratify Bill's list of 01/04/2016, 1/20/2016, and 2/02/2016. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

J. Lastowski questioned the invoice for PNC Bank debt service payment for the TLC property. P. Finkbeiner noted there is one payment remaining.

J. Coover requested the contract for T&M Associates for engineering fees. Discussion followed on the mileage charges on the T&M invoices.

J. Coover made a motion, seconded by T. Felver, to approve the Bill's list of 01/04/2016, 02/02/2016 and 02/08/2016, conditioned upon receipt of the T&M Associates proposal for payment of their invoices. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

T. Felver turned the meeting over to H. Werkheiser.

PUBLIC COMMENT: None

NORTHRIDGE AT CAMELBACK ESCROW RELEASE:

T. Edinger explained the status of the work performed. He noted a Bond balance of \$1,139,122.62 will remain after the release of #14 & #15.

J. Lastowski made a motion, seconded by J. Coover, to approve the Northridge at Camelback Escrow Bond Release #14, in the amount of \$30,362.96, as recommended by the Engineer in his letter dated 12/28/2015. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

J. Lastowski made a motion, seconded by T. Felver, to approve the Northridge at Camelback Escrow Bond Release #15 in the amount of \$69,891.56, as recommended by the Engineer in his letter dated 12/30/2015. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

G. Schuster noted Richard Almquist submitted a letter dated 02/03/2016, requesting the final and complete reduction of the Northridge at Camelback Escrow Bond in the amount of \$1,239,377.14 and a second letter dated 02/08/2016 withdrawing the request for the final reduction. Discussion followed.

J. Lastowski made a motion, seconded by J. Coover, to deny the request of Richard Almquist for the release of the remaining balance of the Northridge at Camelback Escrow Bond. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

R. Almquist's letter of 02/08/2016 requested the Township allow T&M Associates to continue to complete the inspections and Township manager to issue the future Bond releases. No action taken.

SR 611 SANITARY SEWER PROJECT PAYMENT REQUEST #1 - G. Schuster noted the payment is part of the contractual agreement for the hump repair. T. Edinger updated the board on the status of the project and the Benninger property. T&M recommended payment in their 01/19/2016 letter. Discussion followed.

J. Coover made a motion, seconded by T. Felver, to approve and authorize the payment of Marona Construction Company's payment request No. 1, in the amount of \$1,147,500.00 as recommended by the Engineer in his letter dated 01/19/2016. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

APPOINTMENT OF FIRE POLICE:

J. Coover made a motion, seconded by H. Werkheiser, to appoint:

Alvin Kresge Captain

Richard Shay Lieutenant

Patrick Kresge

Christopher Kinsley Sr.

Gerald Lastowski

Steve Jacobs

Thomas Kresge

Christopher Kinsley Jr.

Donald Simpson

Peter Gallagher

William Ward

Robert Gupko

Corey Sayre

As 2016 Pocono Township Fire Police

Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, abstained; and J. Coover, yes. Motion carried.

SOLICITOR

L. DeVito noted two ZHB hearings for short term rental properties in residential districts. The ZHB denied the request and the appeals were sent to the County courts. J. Lastowski noted if the ZHB solicitor loses the case at the County level the Township can only appeal if the Township solicitor represents the Townships at the hearings. J. Coover questioned the need for representation since the cases are similar to the previous cases. Discussion followed.

Legal Representation for Short Term Rentals appeals:

J. Lastowski made a motion, seconded by H. Werkheiser, to authorize the Solicitor to represent the Township in appeals from the Zoning Hearing Board decisions related to short-term rentals. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, no. Motion carried.

RESOLUTIONS:

Resolution 2016-1 - Traffic Signal Rt. 611 & Rimrock Road - Jeffry Clapper, Public Works Director, explained application is part of the Rimrock Road bridge work.

J. Coover made a motion, seconded by J. Lastowski, to adopt Resolution 2016-1 - Traffic Signal Application Rt. 611 & Rimrock Road. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

RESOLUTIONS CONT:

Resolution 2016-2 - Approving 2016 Meeting dates - J. Lastowski made a motion, seconded by H. Werkheiser, to adopt Resolution 2016-2 - 2016 meeting dates. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-3 - Approving Bank Signatories - J. Lastowski made a motion, seconded by J. Coover, to adopting Resolution 2016-3 - approving bank signatories. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-4 - Reappointing Planning Commission member - J. Coover made a motion, seconded by T. Felver, to adopt Resolution 2016-4 reappointing Ron Swink to the Pocono Township Planning Commission for a four (4) year term commencing on 01/01/2016 and terminating on 12/31/2019. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-5 - Reappointing Planning Commission member - J. Coover made a motion, seconded by T. Felver, to adopt Resolution 2016-5 reappointing Dennis Purcell to the Pocono Township Planning Commission for a four (4) year term commencing on 01/01/2016 and terminating on 12/31/2019. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-6 - Reappointing Planning Commission member - J. Coover made a motion, seconded by J. Lastowski, to adopt Resolution 2016-6 reappointing Robert DeYoung to the Pocono Township Planning Commission for a four (4) year term commencing on 01/01/2016 and terminating on 12/31/2019. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-7 - Reappointing Zoning Hearing Board member - J. Coover made a motion, seconded by J. Lastowski, to adopt Resolution 2016-7 reappointing Steve Chaladoff as for a three (3) year term commencing on 01/01/2016 and terminating on 12/31/2018. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-8 - Reappointing alternate Zoning Hearing Board Member - J. Coover made a motion, seconded by J. Lastowski, to adopt Resolution 2016-8 reappointing Lew Ginsberg as alternate to the Zoning Hearing Board for a three (3) year term commencing on 01/01/2016 and terminating on 12/31/2018. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Resolution 2016-9 - Reappointing Civil Service Commission member - J. Lastowski made a motion, seconded by J. Coover, to adopt Resolution 2016-9 reappointing Rolland Cheesman to the Pocono Township Civil Service Commission for a six (6) year term commencing on 01/01/2016 and terminating on 12/31/2021. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

RESOLUTIONS CONT:

Resolution 2016-10 - Reappointing Recreation Committee member - J. Lastowski made a motion, seconded by J. Coover, to adopt Resolution 2016-10 reappointing Denise Herbert to the Pocono Township Recreation Committee for a five (5) year term commencing on 01/01/2016 and terminating on 12/31/2020. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

VACANCY BOARD:

Discussion followed as to the procedure and dates for the interviews. Board concurred to hold a special meeting for interviewing on Thursday, February 11th, 2016 at 6:00 p.m. and authorized the Twp. Secretary to advertise the meeting.

PUBLIC COMMENT:

Annabella Lastowski, Twp. resident, commented on the audience's conversations making it difficult to hear. Jennifer Wise Werkheiser, Twp. resident, suggested additional time for Vacancy Chair applications.

ADJOURNMENT INTO EXECUTIVE SESSION:

J. Lastowski made a motion, seconded by T. Felver, to adjourn the meeting into executive session at 6:50 p.m. to discuss a litigation matter, until 02/16/2016 at 7:00 p.m., at the Pocono Township Municipal Building, Tannersville, PA. Roll call vote: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

**POCONO TOWNSHIP BOARD OF COMMISSIONERS
SPECIAL MEETING
TO INTERVIEW CANDIDATES FOR VACANCY CHAIRMAN
FEBRUARY 11th, 2016 6:00 P.M.**

The Special meeting of the Pocono Township Commissioners was held on 02/11/2016 at the Pocono Township Municipal Building, Tannersville, PA, and was opened by Thomas Felver, President, at 6:00 p.m. followed by the Pledge of Allegiance.

ROLL CALL: Tom Felver, present; Harold Werkheiser, present; Jerry Lastowski, present; and Judi Coover, present.

Gregg Schuster, Twp. Manager; and Pamela Finkbeiner, Twp. Secretary; were present.

PUBLIC COMMENT: None

INTERVIEWS OF VACANCY BOARD CHAIRMAN APPLICATIONS

The Board drew numbers for the order of questions - J. Lastowski, first; H. Werkheiser, second; J. Coover, third; and T. Felver, fourth.

John Burns - Under 1st Class code a Vacancy Board Chairman cannot serve on the Civil Service Commission. John Burns was requested to resign the Civil Service Commission. J. Burns agreed to remain on the Civil Service Commission and not seek the Vacancy Board position.

The remaining candidates were interview in alphabetical order, Bob Demarest, Bruce Kilby, Lesa Olsen, Jeremy Sawicki, and Joseph Shupp. Each candidate was asked similar questions by each board member.

The Board ranked the candidates and the totals were confirmed by G. Schuster, Twp. Manager, and P. Finkbeiner, Twp. Secretary. The ranking was tied between Jeremy Sawicki and Joseph Shupp.

The Board took a short recess at 7:25 p.m. and reconvened at 7:30 p.m.

J. Lastowski made a motion, seconded by J. Coover, to continue the discussion and appointment of the Vacancy Board Chairman at the 08/16/2016 regular meeting and adjourn the meeting at 7:30 p.m.. Roll call: T. Felver, yes; H. Werkheiser, yes; J. Lastowski, yes; and J. Coover, yes. Motion carried.

Pocono Township Check Listing

February 16, 2016

	<u>Date</u>	<u>Check</u>	<u>Vendor</u>	<u>Memo</u>	<u>Amount</u>	
General Fund	02/12/2016	54170	Best Auto Service Center	Police Vehicel Repairs	1,465.76	
	02/12/2016	54171	BIU of PA, Inc.	BIU Services	3,316.96	
	02/12/2016	54172	Broughal & DeVito, L.L.P.	Legal - January - Planning/General	4,605.00	
	02/12/2016	54173	Cramer's Home Building Center	Door - Park	296.59	
	02/12/2016	54174	Cyphers Truck Parts	Markers for snow plows	88.24	
	02/12/2016	54175	Davidheiser's Inc.	Calibrate 4 Trackers	112.00	
	02/12/2016	54176	E.M.Kutz, Inc.	Truck #9 - Cylinder	676.00	
	02/12/2016	54177	Eureka Stone Quarry, Inc.	Anti Skid	1,397.89	
	02/12/2016	54178	Finkelstein, Dory & Kong, Sandi	Prior Year tax refund	95.90	
	02/12/2016	54179	Hanson Aggregates Pennsylvania LLC	Anti Skid	2,316.17	
	02/12/2016	54180	Howarth, Carl	Coffee supplies	86.00	
	02/12/2016	54181	J & B Auto	Police Vehicel Repairs	1,168.87	
	02/12/2016	54182	Lawrence B. Fox P.C.	Civil Service - legal	876.41	
	02/12/2016	54183	Lawson Products	Public Works - Supplies	439.68	
	02/12/2016	54184	Macmillan Oil Co., Of Allentown	Hydraulic Fluid	409.00	
	02/12/2016	54185	Manter, David	SEO Services	87.50	
	02/12/2016	54186	Metropolitan Telecommunications	Phones - Police	226.50	
	02/12/2016	54187	NAPA Auto Parts	Fuel additive	13.76	
	02/12/2016	54188	Network Fleet	GPS Service	355.40	
	02/12/2016	54189	Norris McLaughlin & Marcus, P.A.	Legal - Audit letter	72.50	
	02/12/2016	54190	Otto, Carol	Cleaning - Weekends 02/21/2016 & 02/28/2016	550.00	
	02/12/2016	54191	PA DEP	Storage Tanks Registration - Facility No. 45-07653	100.00	
	02/12/2016	54192	PAPCO, Inc.	Gasoline	1,078.21	
	02/12/2016	54193	PENTELEDATA	Internet service	61.95	
	02/12/2016	54194	Pocono Record	Advertising - Meetings	601.40	
	02/12/2016	54195	PPL Electric Utilities	Rt. 611 & 12	32.96	
	02/12/2016	54196	RR Donnelley	Traffic Citations	71.50	
	02/12/2016	54197	Signal Service, Inc.	Signal Repair	520.00	
	02/12/2016	54198	Staples Advantage	Office Supplies - Township	135.03	
	02/12/2016	54199	Staples, Chris	K-9 food	46.63	
	02/12/2016	54200	Sundance Networks, Inc.	IT Service Police/Twp	461.00	
	02/12/2016	54201	UNIFIRST Corporation	Carpets/Uniforms	313.82	
	02/12/2016	54202	Wilson Products Compressed Gas Co.	Supplies	6.35	
	02/12/2016	54203	Cash	Replenishment of petty cash	166.57	
	02/12/2016	54204	Cardmember Services	Credit card	168.44	
	02/12/2016	54205	Cardmember Services	Credit card	640.00	
					TOTAL General Fund	<u><u>\$23,059.99</u></u>
Sewer Operating Fund	02/12/2016	1510	PPL Electric Utilities	Electric for pump stations	1,858.30	
	02/12/2016	1511	Want To Inc.	Sewer maintenance	4,320.00	
	02/12/2016	1512	EEMA O&M Services Group, Inc.	Valve station repairs and monthly srv chg	9,547.46	
	02/12/2016	1513	BROUGHAL & DEVITO, L.L.P.	Legal for sewer operations	375.00	
	02/12/2016	1514	Pennsylvania One Call System, Inc	Monthly charge	42.73	
	02/12/2016	1515	T & M ASSOCIATES	Engineerig for sewer operations	2,487.75	
	02/12/2016	1516	BRODHEAD CREEK REGIONAL AUTHORITY	March treatment plant charges	85,185.00	
	02/12/2016	1517	BLUE RIDGE COMMUNICATIONS	Cable for pump stations	128.80	
					TOTAL Sewer Operating Fund	<u><u>\$103,945.04</u></u>
					.	
Sewer Construction	2/11/2016	152	T&M Associates	Engineering for sewer construction	9,600.76	
				TOTAL Sewer Construction Fund	<u><u>\$9,600.76</u></u>	
TOTAL General Fund		\$23,059.99				
TOTAL Sewer Construction Fund		<u>\$9,600.76</u>				
TOTAL ESSA Transfer		<u><u>\$32,660.75</u></u>				
<hr/>						
Total Sewer Operating Fund		Wayne Bank	\$103,945.04	Authorized by:		

MEMORANDUM

To: Board of Commissioners

cc:

From: Gregg Schuster, Township Manager

Date: 2/12/16

Re: Township Manager Report (1/1/16 – 2/11/16)

Personnel

1. Two employees are currently out on workers comp.
2. An officer was injured when he was assaulted during an arrest. He is on duty.
3. There are two active grievances to be discussed in executive session.

Meetings

1. On 1/11/16, I attended the Civil Service Commission meeting. The commission discussed finalizing the proposed police department rules and the promotional process.
2. On 1/12/16, I attended the Recreation Committee meeting. The committee discussed the Heritage Center, RecDesk, and a pending proposal from NCC.
3. On 1/13/16, I attended a hazard mitigation plan meeting.
4. On 1/14/16, I attended a meeting with the Control Center and Suburban Ambulance to discuss the transition.
5. On 1/15/16, I met with Dee Raneri to discuss a proposal from NCC.
6. On 1/19/16, I met with representatives from Wendy's and T&M to discuss their project.
7. On 1/21/16, I attended the Bicentennial Celebration Committee meeting. The Heritage Center was discussed along with other events.
8. On 1/22/16, I met with Charlie Trapasso to support her effort in a grant application.
9. On 1/28/16, Chief Werkheiser and myself met with the planning team developing the hazard mitigation plan.

10. On 2/1/16, I attended the Civil Service Commission meeting. Departmental rules were discussed.
11. On 2/4/16, I attended a court hearing regarding a petition that was filed.
12. On 2/8/16, I attended a Planning Commission meeting. A Camelback project and another commercial project were discussed. The commission expressed that they would like the Board of Commissioners to move forward on the sign, SALDO, and zoning ordinances. They also expressed that they would like a Commissioner present when they meet.
13. On 2/9/16, I attended a Recreation Committee meeting. The committee discussed the Heritage Center and the recreation plan.
14. On 2/10/16, Solicitor DeVito, Zoning Officer Rick Fisher, and myself attended three court hearings for zoning violations. Two of the violations had been corrected and we settled those cases. The other case involved a property which had not come into compliance. The case was tried and the Township received a favorable judgement.

Administration

1. The Civil Service Commission continues to review the SOP manual and will present a recommended revision.
2. The repair of the “hump” is proceeding. A public schedule has been posted.
3. I continue to work with the County on the updated Hazard Mitigation Plan.
4. I have been working with Charlie Trapasso to support a grant application for the Heritage Center and on the creation of a 501(c)3
5. Two large right-to-know requests are being processed.
6. We have informed the county that Mt. View Park will be unavailable in 2016 as a voting location. We offered the municipal building to them and are waiting for their response.

Finance

1. Work on audits has commenced.
2. I have submitted our mill rate to the county when the timeframe to reopen the budget expired.
3. We are in the process of updating bank signatures.

Current Projects

1. Filing and Workflow System

A 2016 budget item is the hiring of staff to assist in the filing efforts. This will be on a future agenda.

2. Codification

General Code expects to deliver the final document in March.

3. Road Management Plan

Jeff Clapper is beginning work to detail all roads and a plan for their maintenance.

4. Sewer Construction Contract Closeout

The Leeward contract will be on an upcoming agenda for final closeout. After this contract is closed, only one contract remains open.

5. Sewer System Maintenance Plan

As the system stabilizes, Jeff Clapper is developing a long term plan for the maintenance of the collection system.

6. Sewer “Hump” Repair

Project is proceeding well. One payment has been authorized and another payment request has been received. A change order relating to additional work due to a water line conflict may be forthcoming.

7. Sewer Connections

An agenda item is authorization to resume sending mandatory connection notices in a staggered manner.

8. Pump Replacement

We have concerns that some of the pumps in our pump stations are not the appropriate pumps. The Board will be briefed on this at a future meeting to give direction.

9. Alger Avenue Property

Plans have been developed for the Alger Avenue property. The Board will be briefed at a future meeting in order to give direction.

10. Police IT

The police department has some unique and specific IT needs regarding their communications and video cameras. A plan is being developed to bring to the Board for comment.

11. Sewer Redesign

The Board will need to be briefed on the results of the project to examine certain pump and valve stations in order to give direction.

12. Heritage Center

The Bicentennial Celebration Committee is working towards the plans and fundraising for the Heritage Center. A 501c3 is in the process of being formed.

13. Township Buildings Sewer Connection

Plans have been developed to connect the Township buildings to municipal sewer.

14. Municipal Facility Evaluation

Quotes have been received to have a firm examine our facilities in order to provide input into the CIP plan to effectively plan out facility maintenance.

15. Municipal Building Security

Options for security at the municipal building will be investigated as time allows. Funding has been included in the 2016 proposed budget.

Gregg Schuster

From: Jeffry Clapper
Sent: Friday, February 12, 2016 12:08 PM
To: Gregg Schuster
Subject: Sewer Connection Notices

Gregg-

I request that you obtain permission from the BOC so we may begin sending out sewer connection notices. The first mailing was sent out in 2014 to the properties that are downstream of the "hump". Per your direction, I am proceeding working in a Northerly direction by notifying the customers in phase 2 and then phase 1, ultimately circling back and readdressing the non-responsive customers in all phases.

The phases are approx. as follows:

Phase 1 (Northern Township Sewer Connection Limit to Great Wolf Lodge)
Phase 2 (Great Wolf Lodge to Learn Road /RT 611)
Phase 3 (Learn Road/RT 611 to Southern Sewer Connection Limit in Hamilton Township)

This mailing will be approximately 70 connection notices which comprise the southern half of Phase 2 (Learn Rd/ RT 611 to CVS). I am planning on mailing the notices at the beginning of March. Then, depending on the number of applications submitted, the remaining connection notices in Phase 2 (approx. 58) will be mailed at the beginning of May.

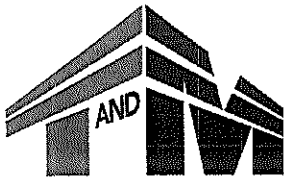
Again, depending on how these connection notices develop into construction work, the notices for Phase 1 will follow a similar pattern.

Thanks,

Jeff

Jeffry D. Clapper

Pocono Township
Public Works Director
484-553-3336 cell
570-629-1922 x 217 office



| YOUR GOALS. OUR MISSION.

February 10, 2016

Mr. Gregg Schuster
Pocono Township Manager
112 Township Drive
Tannersville, PA 18372

SUBJECT: PAYMENT APPLICATION NO. 2
ROUTE 611 SANITARY SEWER REPLACEMENT PROJECT
OUR PROJECT NUMBER: POCO00040

Dear Mr. Schuster:

T&M has reviewed the Application for Payment #2 associated with the above referenced sanitary sewer project submitted by Marona Construction Company; dated February 8, 2016. This Contract is for the construction of the sanitary sewer main installation (primarily via micro-tunneling) along SR611 between the Pocono Farmstand and the Learn Road/SR611 intersection.

T&M has verified that the work completed in this application period for the installation of 360 lineal feet, 4-foot inside diameter, concrete casing pipe installed via micro-tunneling is in accordance with the requirements of the Contract Documents (Plans and Specifications) for work visible during construction observations. The *Original Contract Sum* for this project is \$2,625,000; the total amount of the project *Completed and Stored to Date* (Less Retainage) is \$1,827,900 and the total amount of *Previous Payments* is \$1,147,500. Based on this information T&M recommends a *Current Payment Due* to Marona Construction in the amount of **\$680,400** (\$1,827,900 - \$1,147,500) and a *Total Project Retainage* of \$203,100.00 at this time. This leaves a *Balance to Finish (including Retainage)* of \$797,100.00.

If you have any questions about this correspondence or the accompanying documents, please contact me at (610) 301-6736.

Very truly yours,

Mark Ambrose, P.E.
Principal Engineer
T&M Associates

Cc: Stephen Saloma, P.E., Marona Construction

COMMONWEALTH OF VIRGINIA
 PROFESSIONAL ENGINEER
 MARK JOHN AMBROSE
 LICENSE NO. 10000
 EXPIRATION DATE 12/31/2018

CONTINUATION SHEET

Owner: POCONO TOWNSHIP
112 TOWNSHIP DRIVE
TANNERSVILLE, PA 18372
ATTN: GREG SCHUSTER

Project: ROUTE 611 SANITARY SEWER REPLACEMENT PROJECT

MCC JOB# 166

Invoice No: 002
Invoice Date: 2/8/2016
Period To: 2/5/2016

Contractor: Marona Construction Co.
PO Box 283
3191 Trewigtown Road
Colmar, PA 18915

A	B	C				D		E		F			G		H
		Scheduled Value				Work Completed				Work Completed and Stored To Date (D + E)			Balance To Finish (C - F)		Retainage This Period
						From Previous Application (F)		This Period							
Item No.	Description	Unit	Quant.	Unit Price	Total Price	Quant.	Amount	Quant.	Amount	Quant.	Amount	%	Quant.	Amount	-10%
Part A - Sewer															
1	Bonds and Insurance	LS	1	\$40,000.00	\$40,000.00	1	\$40,000.00		\$0.00	1	\$40,000.00	100%	0	\$0.00	\$0.00
2	Mobilization & Demobilization	LS	1	\$300,000.00	\$300,000.00	0.8	\$240,000.00		\$0.00	0.8	\$240,000.00	80%	0.2	\$60,000.00	\$0.00
3	Traffic Control	LS	1	\$50,000.00	\$50,000.00	1	\$50,000.00		\$0.00	1	\$50,000.00	100%	0	\$0.00	\$0.00
4	Demolition & Removal of Existing Pipe	LF	270	\$100.00	\$27,000.00	0	\$0.00		\$0.00	0	\$0.00	0%	270	\$27,000.00	\$0.00
5	F&I 28" HDPE Sewer Pipe via Microtunneling	LF	900	\$2,100.00	\$1,890,000.00	450	\$945,000.00	360.00	\$756,000.00	810	\$1,701,000.00	90%	90	\$189,000.00	(\$75,600.00)
6	F&I Sewer Manholes, Complete, All Depths	EA	5	\$25,000.00	\$125,000.00	0	\$0.00		\$0.00	0	\$0.00	0%	5	\$125,000.00	\$0.00
7	F&I 28" HDPE Sewer Via Open Cut	LF	320	\$500.00	\$160,000.00	0	\$0.00		\$0.00	0	\$0.00	0%	320	\$160,000.00	\$0.00
8	Township Roadway Paving, Including Temporary and Permanent Paving	L.S.	1	\$20,000.00	\$20,000.00	0	\$0.00		\$0.00	0	\$0.00	0%	1	\$20,000.00	\$0.00
9	F&I 4" Lateral to Sewer Main	LS	1	\$13,000.00	\$13,000.00	0	\$0.00		\$0.00	0	\$0.00	0%	1	\$13,000.00	\$0.00
rev.															
					\$2,625,000.00	\$1,275,000.00		\$756,000.00		\$2,031,000.00			\$594,000.00		-\$75,600.00

CONTINUATION SHEET

Owner:	POCONO TOWNSHIP 112 TOWNSHIP DRIVE TANNERSVILLE, PA 18372 ATTN: GREG SCHUSTER	Project:	ROUTE 611 SANITARY SEWER REPLACEMENT PROJECT		Invoice No:	002	
Contractor:	Marona Construction Co. PO Box 283 3191 Trewigtown Road Colmar, PA 18915	MCC JOB#	166		Invoice Date:	2/8/2016	
					Period To:	2/5/2016	

A	B	C				D		E		F			G		H
Item No.	Description	Scheduled Value				Work Completed				(D+E) Work Completed To Date and Stored to Date			Balance To Finish (C - F)		Retainage This Period
						From Previous Application (F)		This Period							
		Unit	Quant.	Unit Price	Total Price	Quant.	Amount	Quant.	Amount	Quant.	Amount	%	Quant.	Amount	-10%
	CHANGE ORDERS														
CO-1					\$0.00		\$0.00		\$0.00	0	\$0.00		0	\$0.00	\$0.00
					\$0.00		\$0.00		\$0.00	0	\$0.00		0	\$0.00	\$0.00
					\$0.00		\$0.00		\$0.00	0	\$0.00		0	\$0.00	\$0.00
CO-2					\$0.00		\$0.00		\$0.00	0	\$0.00		0	\$0.00	\$0.00
					\$0.00		\$0.00		\$0.00	0	\$0.00		0	\$0.00	\$0.00
					\$0.00		\$0.00		\$0.00	0	\$0.00		0	\$0.00	\$0.00
	Original Purchase Order														
	Subtotal Part A	Sheet 1 Line 1 >					\$1,275,000.00		\$756,000.00		\$2,031,000.00	77%		\$594,000.00	
	Change Orders														
	Change Order 1	Sheet 1 Line 2 >					\$0.00		\$0.00		\$0.00			\$0.00	
	Change Order 2	Sheet 1 Line 2 >					\$0.00		\$0.00		\$0.00			\$0.00	
											Sheet 1 Line 4			Sheet 1 Line 9	
rev.	GRAND TOTALS	Sheet 1 Line 3 >					\$2,625,000.00		\$1,275,000.00		\$756,000.00		\$2,031,000.00	77%	\$594,000.00

**AMENDMENT NO. 2 TO INTERMUNICIPAL SEWAGE COLLECTION AND
DISPOSAL SERVICES AGREEMENT**

THIS AMENDMENT NO. 2 (“Amendment No. 2 ”) dated as of January ____, 2016, to the Intermunicipal Sewage Collection and Disposal Services Agreement dated as of September 30, 2013 (the “Original Agreement”), is entered into by and between the TOWNSHIP OF TOBYHANNA, Monroe County, Pennsylvania, a political subdivision of the Commonwealth of Pennsylvania acting by and through its Board of Supervisors (“Tobyhanna”) and the TOWNSHIP OF POCONO, Monroe County, Pennsylvania, a political subdivision of the Commonwealth of Pennsylvania acting by and through its Board of Commissioners (“Pocono”).

WITNESSETH:

WHEREAS, Tobyhanna and Pocono entered into the Original Agreement dated as of September 30, 2013; and

WHEREAS, Tobyhanna and Pocono thereafter entered into Amendment No. 1 to the Original Agreement dated as of May 8, 2015 (“Amendment No. 1”); and

WHEREAS, Amendment No. 1 allowed the Tobyhanna Collection System to connect to the Pocono Collection System at MH A1-9 instead of the Original Connection Point as defined in Section 3.2.2 of the Original Agreement, as amended by Amendment No. 1; and

WHEREAS, Amendment No. 1 at Section 3.2.6(b) requires Tobyhanna to cause Kalahari Resorts, LLC (“Kalahari”) to proceed with designing an upgrade to Pocono’s Pump Station No. 1 and to secure the permits and approvals necessary for the upgrade and further have Kalahari post the requisite financial security to secure the requisite upgrade if Tobyhanna permits Kalahari to proceed with the Future Phases using the connection point at MH A1-9 as opposed to the Original Connection Point; and

WHEREAS, it is now Tobyhanna’s understanding and belief that Kalahari will proceed with installing the requisite sanitary sewer line to complete the connection between the Tobyhanna Collection System and the Pocono Collection System at the Original Connection Point and that no upgrade will be necessary to Pocono’s Pump Station No. 1; and

WHEREAS, the parties desire to amend the Original Agreement and Amendment No. 1 in order to clarify the time period for Tobyhanna and Kalahari to proceed with the design, permitting, approvals, and posting of financial security for the upgrade to Pocono’s Pump Station No. 1, if necessary.

NOW, THEREFORE, the parties hereto, intending to be legally bound hereby, do hereby agree as follows:

1. Both Tobyhanna and Pocono hereby specifically agree that the obligation to design, secure permits and approvals, financially secure, and potentially proceed to bid for an upgrade to Pocono's Pump Station No. 1 as described in Section 3.2.6(b) of Amendment No. 1 shall not be applicable and/or required until June 1, 2016 at the earliest. In the event Kalahari proceeds to construct the remaining sanitary sewer line necessary to complete the connection of the Tobyhanna Collection System to the Pocono Collection System at the Original Connection Point on or before June 1, 2016, the parties hereto specifically agree that there shall be no obligation and/or requirement to proceed with the above-referenced upgrade design, permitting, approvals, security, and/or improvement to Pocono's Pump Station No. 1 because said Pump Station No. 1 will no longer be used by the Tobyhanna Collection System once the Original Connection Point is completed and put in service.
2. This Amendment No. 2 has been drafted on a mutual basis by the parties hereto and no provision shall be construed against either party on basis of drafting responsibility.
3. The Original Agreement, Amendment No. 1, and this Amendment No. 2 (including the other writings and agreements specifically contemplated thereby or hereby and/or referenced therein or herein) contains the entire understanding between the parties hereto and supersedes any prior written or oral agreements between them respecting the subject matter of the same. There are no representations, agreements, arrangements, or understandings, oral or written, between the parties hereto relating to the subject matter of the Original Agreement, Amendment No. 1, as amended/modified by this Amendment No. 2, which are not fully expressed therein and herein.
4. Except as herein amended/modified, all provisions of the Original Agreement, as amended by Amendment No. 1, are hereby ratified and shall remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have caused this Amendment No. 2 to the Intermunicipal Sewage Collection and Disposal Services Agreement to be executed by their respective duly authorized officers, on the dates indicated.

ATTEST:

TOWNSHIP OF POCONO, Monroe County,
Pennsylvania

By: _____
Print Name: Pamela Finkbeiner
Title: Secretary

By: _____
Print Name: Richard Wielebinski
Title: President, Board of Commissioners

Date of Execution and Delivery: _____

ATTEST:

TOWNSHIP OF TOBYHANNA, Monroe County,
Pennsylvania

By: _____
Print Name: _____
Title: Secretary

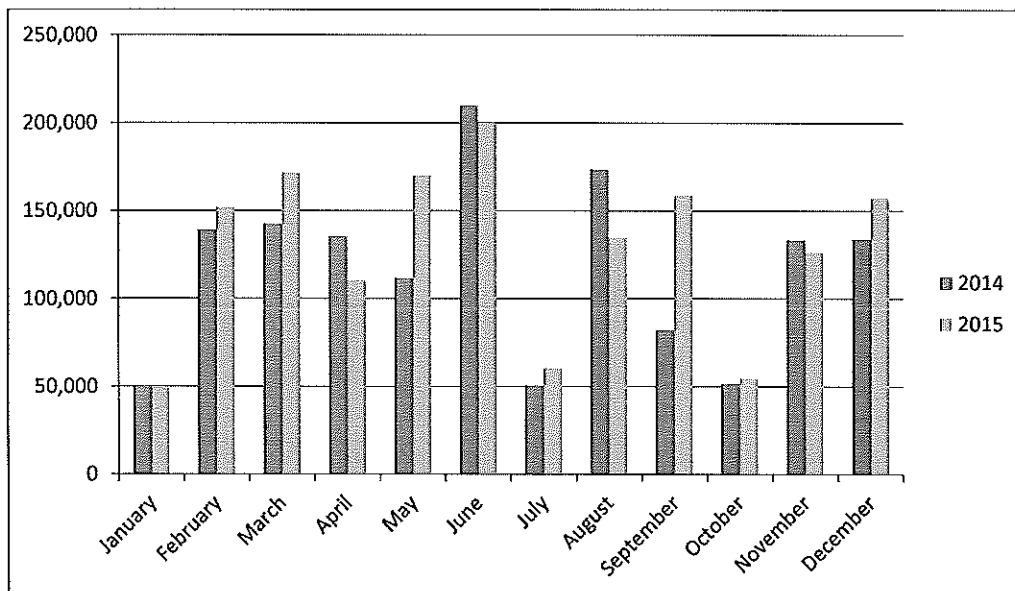
By: _____
Print Name: _____
Title: Chairman, Board of Supervisors

Date of Execution and Delivery: _____

Treasurer's Report - Earned Income Tax Collection

Monthly Collections

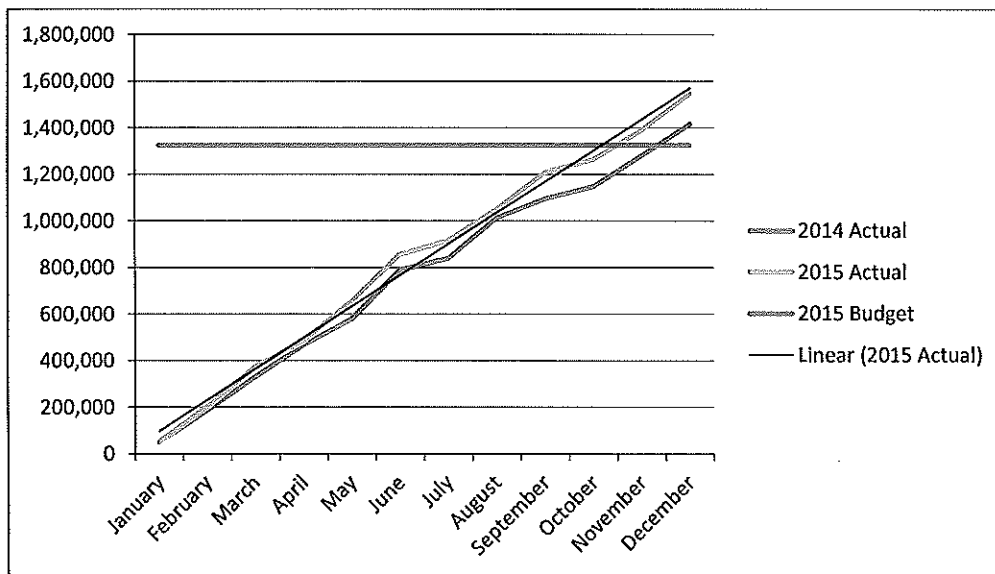
	2014	2015
January	50,730	50,016
February	139,308	151,956
March	142,843	171,698
April	135,699	110,568
May	111,832	170,046
June	209,971	200,432
July	50,698	60,488
August	173,849	134,675
September	82,322	159,064
October	51,578	54,651
November	133,735	126,313
December	134,095	157,218



Treasurer's Report - Earned Income Tax Collection

Cumulative Collections

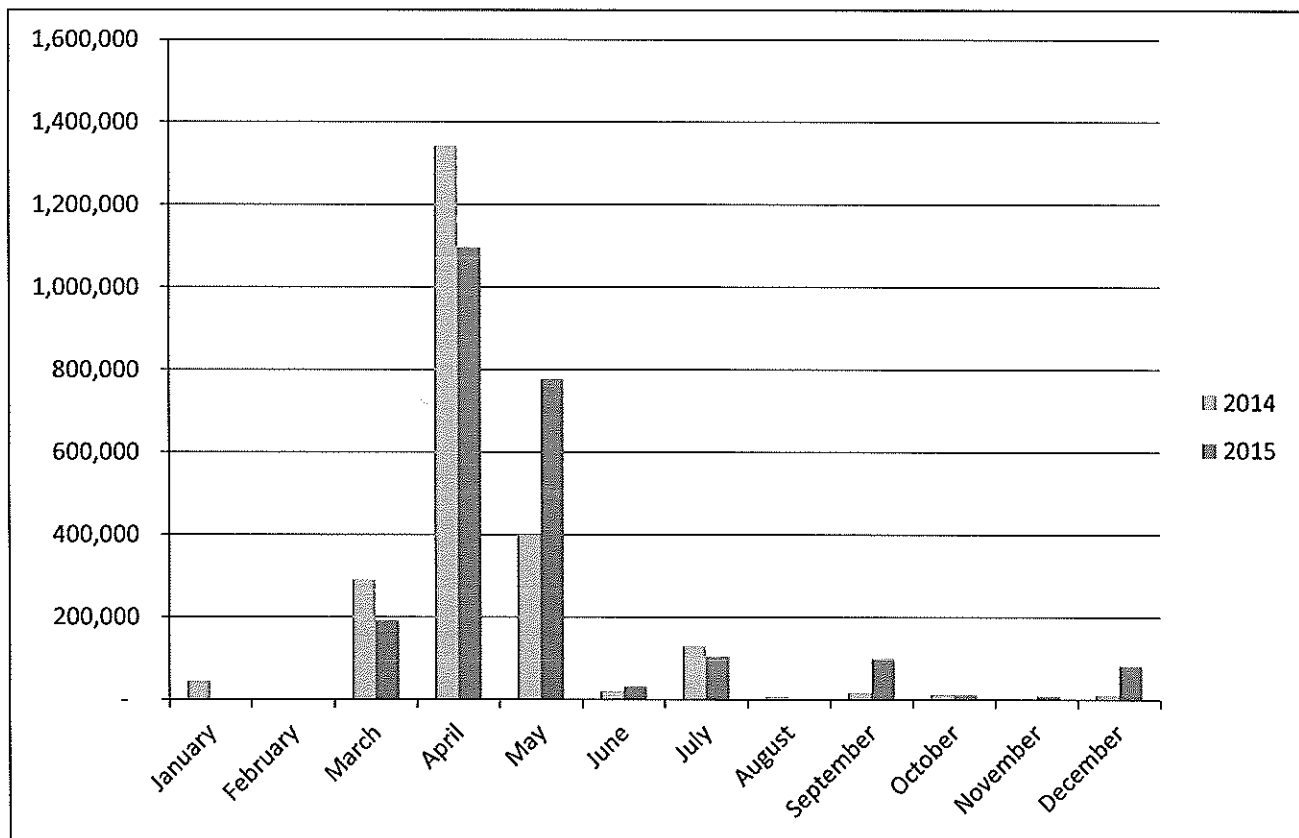
	2014 Budget	2015 Budget	2014 Actual	2015 Actual	2014 Collection %	2015 Collection %
January	1,280,000	1,325,000	50,730	50,016	4.0%	3.8%
February	1,280,000	1,325,000	190,038	201,972	14.8%	15.2%
March	1,280,000	1,325,000	332,881	373,670	26.0%	28.2%
April	1,280,000	1,325,000	468,580	484,238	36.6%	36.5%
May	1,280,000	1,325,000	580,412	654,283	45.3%	49.4%
June	1,280,000	1,325,000	790,383	854,715	61.7%	64.5%
July	1,280,000	1,325,000	841,082	915,203	65.7%	69.1%
August	1,280,000	1,325,000	1,014,930	1,049,878	79.3%	79.2%
September	1,280,000	1,325,000	1,097,252	1,208,942	85.7%	91.2%
October	1,280,000	1,325,000	1,148,831	1,263,594	89.8%	95.4%
November	1,280,000	1,325,000	1,282,566	1,389,906	100.2%	104.9%
December	1,280,000	1,325,000	1,416,661	1,547,124	110.7%	116.8%



Treasurer's Report - Current Real Estate Tax Collection

Monthly Collections

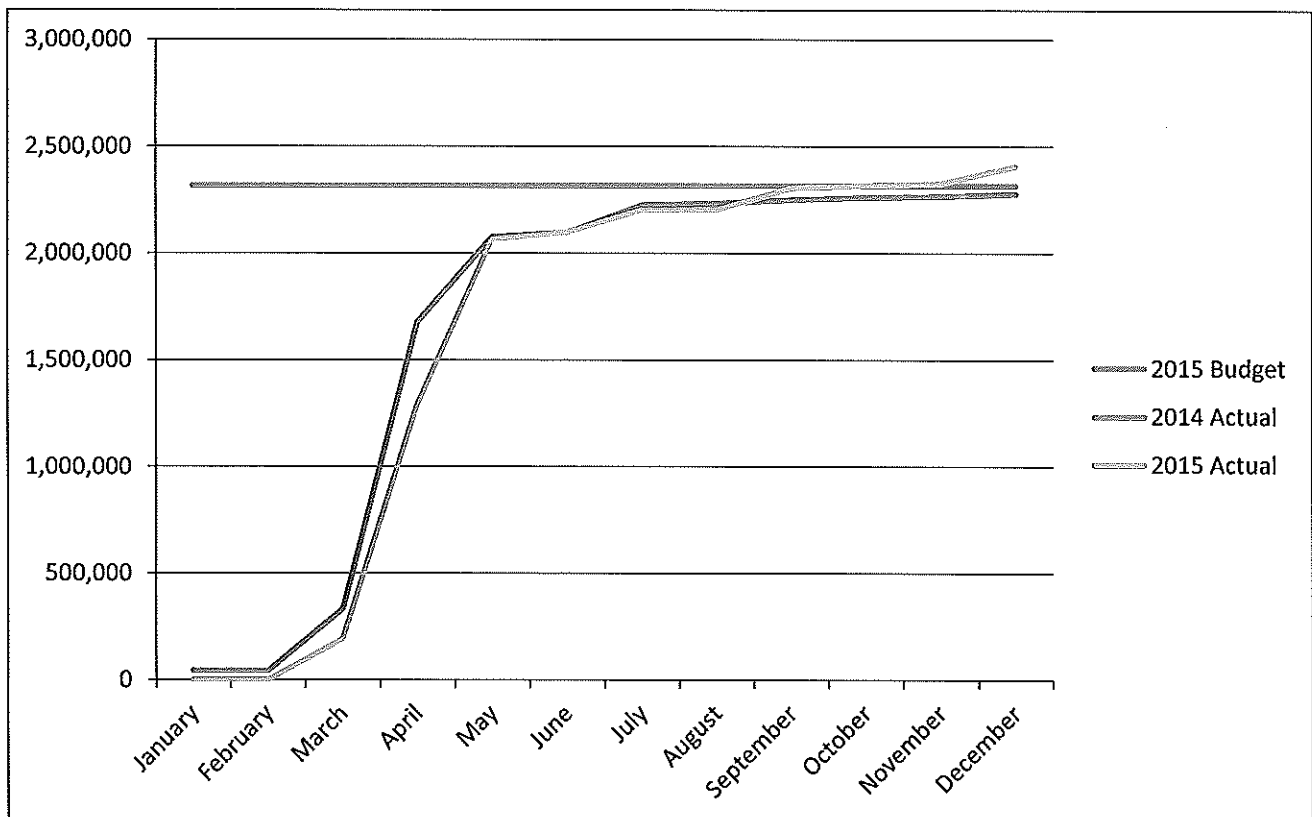
Month	2014	2015
January	43,799	-
February	-	-
March	291,046	192,156
April	1,342,423	1,096,966
May	400,804	777,274
June	19,545	32,514
July	129,668	104,103
August	7,587	2,365
September	16,849	99,846
October	12,288	12,032
November	4,722	8,767
December	11,180	81,813



Treasurer's Report - Current Real Estate Tax Collection

Cumulative Collections

	2014 Budget	2015 Budget	2014 Actual	2015 Actual	2015 Collection %
January	2,254,200	2,315,391	43,799	0	0.00%
February	2,254,200	2,315,391	43,799	0	0.00%
March	2,254,200	2,315,391	334,845	192,156	8.30%
April	2,254,200	2,315,391	1,677,268	1,289,122	55.68%
May	2,254,200	2,315,391	2,078,072	2,066,396	89.25%
June	2,254,200	2,315,391	2,097,617	2,098,911	90.65%
July	2,254,200	2,315,391	2,227,285	2,203,014	95.15%
August	2,254,200	2,315,391	2,234,872	2,205,379	95.25%
September	2,254,200	2,315,391	2,251,722	2,305,225	99.56%
October	2,254,200	2,315,391	2,264,010	2,317,257	100.08%
November	2,254,200	2,315,391	2,268,732	2,326,024	100.46%
December	2,254,200	2,315,391	2,279,912	2,407,837	103.99%



General Fund
Treasurer's Report
December 2015

Income	2015				2014			
	Jan 1 - Dec 31, 2015	Budget	\$ Over Budget	% of Budget	Jan 1 - Dec 31, 2014	Budget	\$ Over Budget	% of Budget
301.100 - Real Estate Taxes - Current	2,407,836.77	2,315,391.00	92,445.77	103.99%	2,334,630.84	2,254,200.14	80,430.70	103.57%
310.200 - Earned Income Taxes	1,547,124.69	1,325,000.00	222,124.69	116.76%	1,416,659.72	1,280,000.00	136,659.72	110.68%
Taxes Other								
301.101 - Judicial Sales - Tax Claim	0.00	1,800.00	-1,800.00	0.0%	0.00	1,800.00	-1,800.00	0.0%
301.200 - Real Estate Taxes - Delinquent	139,792.50	150,000.00	-10,207.50	93.2%	246,782.04	125,000.00	121,782.04	197.43%
301.201 - Real Estate Court Settlement	480.00	0.00	480.00	100.0%				
301.300 - Returned Taxes - Upset Sale	16,170.58	4,000.00	12,170.58	404.27%	4,258.21	0.00	4,258.21	100.0%
301.400 - Returned Tax - Repository Sale	0.00	0.00	0.00	0.0%	91.86	0.00	91.86	100.0%
310.100 - Real Estate Transfer Taxes	180,698.60	150,000.00	30,698.60	120.47%	215,539.54	115,000.00	100,539.54	187.43%
310.500 - Local Services Taxes	401,933.36	340,000.00	61,933.36	118.22%	395,690.82	350,000.00	45,690.82	113.06%
Total Taxes Other	739,075.04	645,800.00	93,275.04	114.44%	862,362.47	591,800.00	270,562.47	145.72%
Licenses, permits and fees								
321.630 - Pumper-Hauler Licenses	0.00	100.00	-100.00	0.0%	0.00	100.00	-100.00	0.0%
321.800 - Cable TV Franchise Fees*	152,982.07	190,000.00	-37,017.93	80.52%	197,795.13	190,000.00	7,795.13	104.1%
322.100 - Application fees	1,100.00	0.00	1,100.00	100.0%	900.00	0.00	900.00	100.0%
Total Licenses, permits and fees	154,082.07	190,100.00	-36,017.93	81.05%	198,695.13	190,100.00	8,595.13	104.52%
Fines and Forfeits								
331.100 - Court Fines - District Magistra	42,514.75	30,000.00	12,514.75	141.72%	34,230.31	30,000.00	4,230.31	114.1%
331.110 - Motor Vehicle Code Violations	18,914.19	30,000.00	-11,085.81	63.05%	23,271.05	30,000.00	-6,728.95	77.57%
331.200 - Ordinance Violations	0.00	500.00	-500.00	0.0%	1,500.00	500.00	1,000.00	300.0%
332.100 - Restitution	0.00	0.00	0.00	0.0%	12,000.00	0.00	12,000.00	100.0%
Total Fines and Forfeits	61,428.94	60,500.00	928.94	101.54%	71,001.36	60,500.00	10,501.36	117.36%
341.010 - Interest on Investments	15,038.80	4,000.00	11,038.80	375.97%	13,076.08	4,000.00	9,076.08	326.9%
354.129 - Stadden Road Bridge Grant	0.00	130,000.00	-130,000.00	0.0%	0.00	300,000.00	-300,000.00	0.0%
354.150 - Recycling Performance Grant	109,216.77	5,000.00	104,216.77	2,184.34%	0.00	185,015.00	-185,015.00	0.0%
Other State Grants								
355.010 - Public Utility Realty Tax	5,977.84	0.00	5,977.84	100.0%	7,147.48	0.00	7,147.48	100.0%
355.040 - Alcoholic Beverage Licenses	3,350.00	2,750.00	600.00	121.82%	2,150.00	2,750.00	-600.00	78.18%
355.050 - Pension System State Aid	168,595.90	184,992.00	-16,396.10	91.14%	193,634.00	180,000.00	13,634.00	107.57%
355.070 - Foreign Fire Insurance	94,806.89	104,000.00	-9,193.11	90.97%	100,593.49	100,000.00	593.49	100.59%
356.100 - State Payments In Lieu of Taxes	424.32	500.00	-75.68	84.86%	412.32	500.00	-87.68	82.46%
Total Other State Grants	272,954.95	292,242.00	-19,287.05	93.4%	303,937.29	283,250.00	20,687.29	107.3%
357.030 - County Grant					25,000.00	0.00	25,000.00	100.0%
362.100 - Police Services								
362.101 - Reimbursement Police overtime	26,219.18	15,000.00	11,219.18	174.8%	24,534.41	20,000.00	4,534.41	122.67%
362.100 - Police Services - Other	30,636.00	25,000.00	5,636.00	122.54%	22,470.40	30,000.00	-7,529.60	74.9%
Total 362.100 - Police Services	56,855.18	40,000.00	16,855.18	142.14%	47,004.81	50,000.00	-2,995.19	94.01%
Building Permits								
362.411 - Connect & Tank Abandonment Fees	3,243.00	0.00	3,243.00	100.0%	3,855.00	0.00	3,855.00	100.0%
362.410 - Building Permits - BIU - Other	494,615.48	160,000.00	334,615.48	309.14%	183,108.19	110,000.00	53,108.19	148.28%
Total Building Permits	497,858.48	160,000.00	337,858.48	311.16%	186,963.19	110,000.00	56,963.19	151.79%

General Fund
Treasurer's Report
December 2015

		2015				2014			
		Jan 1 - Dec 31, 2015	Budget	\$ Over Budget	% of Budget	Jan 1 - Dec 31, 2014	Budget	\$ Over Budget	% of Budget
Charges for Services									
	361.310 - Subdivision, Land Develop Fees	12,648.00	4,000.00	8,648.00	316.2%	3,450.00	4,000.00	-550.00	86.25%
	361.330 - Zoning Hearing Board Fees	3,046.65	2,000.00	1,046.65	152.33%	2,900.00	2,000.00	900.00	145.0%
	361.340 - Cond Use, Curative PRD Fees	500.00	500.00	0.00	100.0%	1,800.00	500.00	1,300.00	360.0%
	361.341 - UCC Appeal Board Fees	800.00	0.00	800.00	100.0%	0.00	0.00	0.00	0.0%
	361.400 - Plan Review Fees	700.00	500.00	200.00	140.0%	200.00	500.00	-300.00	40.0%
	361.500 - Sale of Maps and Publications	35.50	100.00	-64.50	35.5%	125.00	100.00	25.00	125.0%
	361.700 - Reproduction of Records	1,075.00	100.00	975.00	1,075.0%	1,773.86	100.00	1,673.86	1,773.86%
	362.110 - Sale of Police Reports	7,610.00	5,000.00	2,610.00	152.2%	6,375.50	4,000.00	2,375.50	159.39%
	362.130 - Security Alarm Fees	200.00	150.00	50.00	133.33%	120.00	150.00	-30.00	80.0%
	362.300 - Zoning Permits	73,038.50	33,400.00	39,638.50	218.68%	25,312.64	20,000.00	5,312.64	126.56%
	362.440 - Sewer System Permits	6,100.00	12,000.00	-5,900.00	50.83%	13,610.00	12,000.00	1,610.00	113.42%
	362.450 - Use & Occupancy Permits	3,404.00	2,500.00	904.00	136.16%	2,300.00	2,500.00	-200.00	92.0%
	362.475 - Well Permits	1,300.00	0.00	1,300.00	100.0%	800.00	300.00	500.00	266.67%
	362.480 - Pool Permits	150.00	0.00	150.00	100.0%	100.00	100.00	0.00	100.0%
	362.485 - Sign Permits	7,950.00	0.00	7,950.00	100.0%	8,827.20	5,000.00	3,827.20	176.54%
	362.491 - Fireworks Permits	200.00	0.00	200.00	100.0%	0.00	0.00	0.00	0.0%
	362.495 - UCC Fees	860.00	500.00	360.00	172.0%	782.00	500.00	282.00	156.4%
	362.500 - Building Code Appeals Board Fee	0.00	0.00	0.00	0.0%	60.00	0.00	60.00	100.0%
	362.600 - Miscellaneous Permits	675.00	0.00	675.00	100.0%	400.00	1,000.00	-600.00	40.0%
	363.500 - Public Works Services	4,589.05	11,000.00	-6,410.95	41.72%	11,400.89	11,000.00	400.89	103.64%
Total Charges for Services		124,881.70	71,750.00	53,131.70	174.05%	80,347.09	63,750.00	16,597.09	126.04%
Other Operating Revenue									
	380.100 - Miscellaneous Revenue	1.00	100.00	-99.00	1.0%	28.00	100.00	-72.00	28.0%
	387.100 - Contributions and Donations	1,900.00	1,000.00	900.00	190.0%	4,432.00	1,000.00	3,432.00	443.2%
	387.200 - Fees in Lieu of Improvements	4,200.00	2,500.00	1,700.00	168.0%	4,200.00	2,500.00	1,700.00	168.0%
	389.500 - Miscellaneous Reimbursements	0.00	1,000.00	-1,000.00	0.0%	0.00	1,000.00	-1,000.00	0.0%
Total Other Operating Revenue		6,101.00	4,600.00	1,501.00	132.63%	8,660.00	4,600.00	4,060.00	188.26%
Other Financing Sources									
	391.100 - Sale of Surplus Property	26,824.00	3,000.00	23,824.00	894.13%	59.60	3,000.00	-2,940.40	1.99%
	395.000 - Refunds of Prior Year Expenses	27,545.22	0.00	27,545.22	100.0%	3,477.75	0.00	3,477.75	100.0%
Total Other Financing Sources		54,369.22	3,000.00	51,369.22	1,812.31%	3,537.35	3,000.00	537.35	117.91%
Total Income		6,046,823.61	5,247,383.00	799,440.61	115.24%	5,531,875.33	5,380,215.14	151,660.19	102.82%

**General Fund
Treasurer's Report
December 2015**

	Jan 1 - Dec 31, 2015	Budget As Amended	\$ Over Budget	% of Budget
General Government				
400.110 · Salary & Wages - Legislative	16,250.00	16,250.00	0.00	100.0%
400.192 · Legislative SSI Tax	1,243.05	1,243.00	0.05	100.0%
400.260 · Minor Equipment	1,314.00	3,000.00	-1,686.00	43.8%
400.420 · Dues, Subscriptions & Memberships	825.00	1,516.00	-691.00	54.42%
400.460 · Legislative - Meetings & Training	0.00	1,000.00	-1,000.00	0.0%
400.540 · Legislative - Donations	350.00	1,300.00	-950.00	26.92%
401.110 · Admin Salaries & Wages	107,452.16	110,000.00	-2,547.84	97.68%
401.192 · Admin SSI Taxes	8,228.24	8,415.00	-186.76	97.78%
401.196 · Admin Health Insurance	24,312.80	25,258.00	-945.20	96.26%
401.198 · Non-Uniformed Pension Plan	10,857.64	11,000.00	-142.36	98.71%
401.199 · Admin Life and Disability Ins	756.00	760.00	-4.00	99.47%
401.200 · Administration Allowances	3,041.55	3,200.00	-158.45	95.05%
401.220 · Admin Operating Supplies	0.00	500.00	-500.00	0.0%
401.260 · Admin Minor Equipment	922.97	3,000.00	-2,077.03	30.77%
401.420 · Admin Dues, Subscriptions & Mem	1,129.66	2,565.00	-1,435.34	44.04%
401.460 · Admin Meetings & Training	3,281.59	3,350.00	-68.41	97.96%
402.198 · Fin Admin Non-Uni Pension Plan	0.00	0.00	0.00	0.0%
402.310 · Fin Admin Professional Svcs	11,899.42	15,000.00	-3,100.58	79.33%
403.110 · Tax Collection Salaries & Wages	9,769.35	10,000.00	-230.65	97.69%
403.192 · Tax Collection SSI Taxes	747.53	765.00	-17.47	97.72%
403.215 · Tax Collection Postage	1,606.71	2,000.00	-393.29	80.34%
403.220 · Tax Collection Operating Supply	1,823.75	2,000.00	-176.25	91.19%
403.310 · Tax Collection Professional Srv	31,632.33	31,000.00	632.33	102.04%
403.460 · Tax Collection Meetings & Conf	573.68	625.00	-51.32	91.79%
404.310 · Township Solicitor	86,659.04	90,000.00	-3,340.96	96.29%
405.110 · Secretary Salaries & Wages	133,793.68	135,529.00	-1,735.32	98.72%
405.120 · Secretary OT	9,545.00	11,000.00	-1,455.00	86.77%
405.192 · Secretary SSI Taxes	11,073.81	11,000.00	73.81	100.67%
405.196 · Secretary Insurance	61,766.32	70,992.00	-9,225.68	87.01%
405.198 · Secretary Non-Uni Pension Plan	13,839.77	13,700.00	139.77	101.02%
405.199 · Secretary Life & Disability Ins	2,167.71	2,400.00	-232.29	90.32%
405.220 · Secretary Operating Supplies	630.65	1,500.00	-869.35	42.04%
405.260 · Secretary Minor Equipment	655.98	3,000.00	-2,344.02	21.87%
405.310 · Secretary Professional Svcs	0.00	0.00	0.00	0.0%
405.420 · Secretary Dues, Subscriptions	190.00	500.00	-310.00	38.0%
405.460 · Secretary Meetings & Training	333.00	500.00	-167.00	66.6%
406.215 · Gen Govt Postage	3,809.07	4,000.00	-190.93	95.23%
406.220 · Gen Govt Operation Supplies	6,758.38	7,000.00	-241.62	96.55%
406.310 · Gen Govt Professional Svcs	5,558.90	6,000.00	-441.10	92.65%
406.320 · Gen Govt Communications	7,041.50	10,000.00	-2,958.50	70.42%
406.340 · Gen Govt Advertising & Printing	6,118.76	6,500.00	-381.24	94.14%
406.374 · Gen Govt Office Equipment Maint	0.00	0.00	0.00	0.0%
406.384 · Gen Govt Equipment Leases	2,840.80	5,000.00	-2,159.20	56.82%
406.430 · Gen Govt Real Estate Taxes	1,411.34	6,500.00	-5,088.66	21.71%
407.252 · Computer Parts & Supplies	0.00	500.00	-500.00	0.0%
407.260 · Technology Minor Equipment	0.00	1,000.00	-1,000.00	0.0%
407.450 · Contracted Services	17,397.64	18,000.00	-602.36	96.65%
408.310 · Township Engineer	54,122.29	85,000.00	-30,877.71	63.67%
409.220 · Building Operating Supplies	942.12	1,000.00	-57.88	94.21%
409.360 · Building Utilities	24,069.61	27,210.00	-3,140.39	88.46%
409.373 · Building Maint & Repairs	16,307.86	16,822.00	-514.14	96.94%
409.450 · Building Contracted Services	5,898.11	6,000.00	-101.89	98.3%
Total General Government	710,948.77	794,400.00	-83,451.23	89.5%
Public Safety				
410.120 · Police Salaries & Wages-Admin	93,191.24	83,306.00	9,885.24	111.87%
410.130 · Police Salaries & Wages-Officer	1,076,969.89	1,064,116.00	12,853.89	101.21%
410.140 · Police Salaries & Wages-Civilian	43,435.20	42,192.00	1,243.20	102.95%
410.179 · Police Longevity Pay	39,669.33	40,794.00	-1,124.67	97.24%
410.180 · Police Overtime Wages	148,354.68	150,000.00	-1,645.32	98.9%
410.187 · Police Overtime Civ Support	815.27	1,000.00	-184.73	81.53%
410.191 · Uniform Allowance	12,800.00	13,600.00	-800.00	94.12%
410.192 · Police SSI Taxes	108,855.77	111,000.00	-2,144.23	98.07%
410.196 · Police Health Insurance	409,762.84	419,494.00	-9,731.16	97.68%
410.197 · Police Pension Plan	150,577.98	150,577.00	0.98	100.0%
410.198 · Police Life & Disability Ins	14,326.93	16,100.00	-1,773.07	88.99%
410.199 · Police Non-Uniform Pension	4,149.39	4,200.00	-50.61	98.8%

General Fund
Treasurer's Report
December 2016

410.200 · Police 457 Contribution	10,884.04	10,600.00	284.04	102.68%
410.220 · Police Operating Supplies	5,892.60	6,000.00	-107.40	98.21%
410.221 · Crime Scene Supplies	708.58	1,600.00	-891.42	44.29%
410.222 · Ammunition	4,582.60	5,000.00	-417.40	91.65%
410.223 · K-9 Expenses	1,429.68	2,000.00	-570.32	71.48%
410.231 · Vehicle Fuel	34,800.50	38,861.00	-4,060.50	89.55%
410.260 · Police Minor Equipment	18,085.39	19,000.00	-914.61	95.19%
410.310 · Police Professional Services	2,144.62	5,000.00	-2,855.38	42.89%
410.314 · Civil Service Comm Solicitor	13,909.55	16,100.00	-2,190.45	86.4%
410.320 · Police Communications	16,164.96	16,000.00	164.96	101.03%
410.341 · Police Advertising & Printing	3,225.00	3,500.00	-275.00	92.14%
410.373 · Police Maint & Repair Bldg	10,917.16	12,000.00	-1,082.84	90.98%
410.374 · Police Equipment Maint	3,293.84	4,750.00	-1,456.16	69.34%
410.420 · Police Dues, Subscriptions	517.00	1,500.00	-983.00	34.47%
410.450 · Police Contracted Services	107,980.60	110,164.00	-2,183.40	98.02%
410.451 · Police Vehicle Maintenance	34,434.46	32,000.00	2,434.46	107.61%
410.460 · Police Meetings & Training	10,597.57	11,000.00	-402.43	96.34%
410.740 · Police Capital Purch, Minor	14,599.85	14,600.00	-0.15	100.0%
410.741 · Police Capital Purch, Autos	40,438.68	41,500.00	-1,061.32	97.44%
411.540 · Foreign Fire Payments	94,606.89	94,607.00	-0.11	100.0%
413.260 · Code Enforcement Minor Equip	0.00	500.00	-500.00	0.0%
413.310 · Prof Services - BIU Building	288,783.37	280,036.00	8,747.37	103.12%
413.311 · Prof Services - SEO	14,090.00	15,000.00	-910.00	93.93%
413.312 · Professional Services - ZO	18,982.50	18,983.00	-0.50	100.0%
413.314 · Building Code Appeals Board	2,407.45	2,400.00	7.45	100.31%
413.319 · Code Enforcement UCC Fees	856.00	750.00	106.00	114.13%
413.341 · Code Enforcement Advertising	0.00	100.00	-100.00	0.0%
413.420 · Code Enforcement Dues & Subs	0.00	0.00	0.00	0.0%
413.450 · Code Enforcement Contracted Srv	0.00	0.00	0.00	0.0%
413.451 · Code Enforcement Vehicle Maint	0.00	0.00	0.00	0.0%
413.460 · Code Enforcement Meetings	0.00	0.00	0.00	0.0%
414.110 · Planning & Zoning Salaries	16,523.00	16,300.00	223.00	101.37%
414.120 · Planning & Zoning OT	321.75	400.00	-78.25	80.44%
414.192 · Planning & Zoning SSI Taxes	1,328.09	1,245.00	83.09	106.67%
414.196 · Planning & Zoning Health Ins	1,814.24	1,921.00	-106.76	94.44%
414.198 · Planning & Zoning N-U Pension	0.00	0.00	0.00	0.0%
414.199 · Zoning Life & Disability	189.00	205.00	-16.00	92.2%
414.220 · Planning & Zoning Supplies	301.63	500.00	-198.37	60.33%
414.310 · Planning & Zoning Prof Svcs	1,219.00	1,219.00	0.00	100.0%
414.313 · Planning & Zoning Engineering	13,600.36	12,500.00	1,100.36	108.8%
414.314 · Planning & Zoning Legal	28,488.40	26,000.00	2,488.40	109.57%
414.324 · Zoning Cell Phone	98.59	150.00	-51.41	65.73%
414.331 · Zoning Officer Mileage	95.61	400.00	-304.39	23.9%
414.341 · Planning & Zoning Advertising	1,800.00	1,800.00	0.00	100.0%
414.460 · Planning & Zoning Meetings	0.00	400.00	-400.00	0.0%
415.220 · Emer Mgmt Operating Supplies	0.00	500.00	-500.00	0.0%
415.460 · Emer Mgmt Meetings & Training	0.00	200.00	-200.00	0.0%
Total Public Safety	2,923,021.08	2,923,670.00	-648.92	99.98%
Public Works - Other				
426.227 · Recycling containers	1,125.50	1,126.00	-0.50	99.96%
427.220 · Solid Waste Coll Supplies	1,430.00	1,500.00	-70.00	95.33%
427.221 · Equip Rental - Grinder	4,680.00	4,700.00	-20.00	99.57%
427.450 · Contracted Svcs - Clean-Up Days	14,333.56	20,000.00	-5,666.44	71.67%
429.317 · TIF	101,633.59	101,634.00	-0.41	100.0%
Total Public Works - Other	123,202.65	128,960.00	-5,757.35	95.54%
PW-Hwys, Roads & Streets				
430.110 · Public Works Salaries	383,009.40	394,987.00	-11,977.60	96.97%
430.120 · Public Works OT Wages	27,234.29	30,000.00	-2,765.71	90.78%
430.192 · Public Works SSI Taxes	31,932.74	31,088.00	844.74	102.72%
430.196 · Public Works Insurance	207,659.44	213,252.00	-5,592.56	97.38%
430.198 · Public Works N-U Pension	38,428.70	38,360.00	68.70	100.18%
430.199 · Public Works Life & Disab Ins	6,974.70	6,975.00	-0.30	100.0%
430.200 · Public Works Director Allowance	444.15	450.00	-5.85	98.7%
430.220 · Public Works Oper Supplies	6,879.95	15,000.00	-8,120.05	45.87%
430.232 · Public Works Diesel	25,683.19	40,000.00	-14,316.81	64.21%
430.234 · Public Works Vehicle Supplies	1,824.17	6,000.00	-4,175.83	30.4%
430.238 · Public Works Uniforms	7,787.91	7,800.00	-12.09	99.85%
430.260 · Public Works Minor Equip Purch	1,029.71	2,000.00	-970.29	51.49%

General Fund
Treasurer's Report
December 2015

430.331 · Mileage Reimbursement	457.67	1,000.00	-542.33	45.77%
430.360 · Public Works Utilities	8,194.62	18,750.00	-10,555.38	43.71%
430.373 · Public Works Maint & Rep Bldg	8,312.97	10,000.00	-1,687.03	83.13%
430.374 · Public Works Small Equip Maint	3,090.13	5,000.00	-1,909.87	61.8%
430.375 · Public Works Heavy Equip Maint	34,884.84	35,000.00	-115.16	99.67%
430.384 · Public Works Equip Rental	500.00	500.00	0.00	100.0%
430.420 · Public Works Dues, Subscription	625.00	1,000.00	-375.00	62.5%
430.450 · Public Works Contracted Svcs	45,823.00	46,000.00	-177.00	99.62%
430.451 · Public Works Vehicle Maint	7,403.76	9,000.00	-1,596.24	82.26%
430.460 · Public Works Meetings & Trainin	843.58	1,000.00	-156.42	84.36%
430.650 · Public Works Hand Tool Purch	261.15	500.00	-238.85	52.23%
430.740 · Public Works Capital Purchases	0.00	0.00	0.00	0.0%
432.220 · Snow & Ice Rem Oper Supplies	122,930.22	125,000.00	-2,069.78	98.34%
432.375 · Snow & Ice Rem Equipment Maint	27,912.16	34,800.00	-6,887.84	80.21%
432.450 · Snow & Ice Rem Subcontractors	0.00	0.00	0.00	0.0%
433.220 · Traffic Signals & Signs Supply	2,272.87	5,000.00	-2,727.13	45.46%
433.360 · Traffic Signals & Signs Utiliti	3,361.77	4,000.00	-638.23	84.04%
433.450 · Traffic Signals Contracted Svcs	12,493.08	33,000.00	-20,506.92	37.86%
438.220 · Road Maint Supplies	72,706.12	71,250.00	1,456.12	102.04%
438.610 · Road Maint Capital Construction	81,422.20	130,000.00	-48,577.80	62.63%
438.611 · Line Painting	39,860.47	39,861.00	-0.53	100.0%
439.610 · Rd Construct & Rebuild Cap Cons	244,879.73	244,880.00	-0.27	100.0%
Total PW-Hwys, Roads & Streets	1,457,123.69	1,601,453.00	-144,329.31	90.99%
Culture and Recreation				
457.540 · Community Day Celebration	1,763.99	3,000.00	-1,236.01	58.8%
457.541 · Bicentennial Committee Expenses	860.00			
Total Culture and Recreation	2,623.99	3,000.00	-376.01	87.47%
Benefits and Withholding				
483.194 · Employer Pd Unemployment Comp	30,177.31	30,000.00	177.31	100.59%
483.195 · Employer Pd Worker's Comp	95,501.00	95,610.00	-109.00	99.89%
483.200 · Federal Healthcare Tax	131.04	180.00	-48.96	72.8%
483.201 · Transitional Reinsurance Fee	2,873.20	3,741.00	-867.80	76.8%
Total Benefits and Withholding	128,682.55	129,531.00	-848.45	99.35%
Insurance				
486.350 · Property & Liability Insurance	87,339.00	87,400.00	-61.00	99.93%
486.355 · Professional Bonds	6,425.01	6,800.00	-374.99	94.49%
Total Insurance	93,764.01	94,200.00	-435.99	99.54%
Interfund Transfers Out				
492.320 · Interfund Transfer to Emer Svcs	24,000.00	54,141.00	-30,141.00	44.33%
492.350 · Interfund Transfer to Liq Fuels	2,160.92	2,161.00	-0.08	100.0%
Total Interfund Transfers Out	26,160.92	56,302.00	-30,141.08	46.47%
Other Expenses				
491.000 · Refund of Prior Year Revenues	27,771.09	27,772.00	-0.91	100.0%
Total Other Expenses	27,771.09	27,772.00	-0.91	100.0%
<hr/>				
	\$ 5,493,298.75	\$ 5,759,288.00	\$ (265,989.25)	95.38%

Sewer Operating Fund
Treasurer's Report
December 2015

		2015				2014			
		Jan 1 - Dec 31, 2015	Budget	\$ Over Budget	% of Budget	Jan 1 -Dec 31, 2014	Budget	\$ Over Budget	% of Budget
Income									
	341.010 - Interest on Investments	20,035.38	0.00	20,035.38	100.0%	13,238.13	9,500.00	3,738.13	139.35%
	364.110 - Connection/Tapping Fees	1,452,500.00	4,463,750.00	-3,011,250.00	32.54%	537,500.00	1,456,990.00	-919,490.00	36.89%
	364.120 - Sewer Use Fees	2,835,560.58	3,946,667.00	-1,111,106.42	71.85%	2,277,806.06	2,032,664.00	245,142.06	112.06%
Total Income		4,308,095.96	8,410,417.00	-4,102,321.04	51.22%	2,828,544.19	3,499,154.00	-670,609.81	80.84%

Sewer Operating Fund
Treasurer's Report
December 2015

	Jan 1 - Dec 31, 2015	Budget	\$ Over Budget	% of Budget
Expense				
429.100 · Utilities	49,677.32	77,600.00	-27,922.68	64.02%
429.110 · Public Works Dir Salary	33,838.50	42,500.00	-8,661.50	79.62%
429.192 · Social Security	1,847.48	2,678.00	-830.52	68.99%
429.197 · Non Uniform Pension Plan	1,086.44	3,150.00	-2,063.56	34.49%
429.200 · BCRA Sewage Treatment	793,795.32	1,104,756.00	-310,960.68	71.85%
429.205 · Bank charges	65.00	0.00	65.00	100.0%
429.231 · Collection System Costs	1,567.33	2,000.00	-432.67	78.37%
429.244 · Operating Supplies	35,490.24	43,000.00	-7,509.76	82.54%
429.300 · Professional Services	274,982.60	277,000.00	-2,017.40	99.27%
429.374 · Equipment Repair & Maintenance	54,790.59	62,500.00	-7,709.41	87.67%
429.375 · Reimbursements - P Traps	5,490.00	10,000.00	-4,510.00	54.9%
471.000 · Debt Principal - Long and Short	426,238.81	1,814,039.00	-1,387,800.19	23.5%
472.000 · Debt Interest - Long and Short	448,137.46	960,771.00	-512,633.54	46.64%
492.530 · Contributions to fund balance	0.00	3,847,408.00	-3,847,408.00	0.0%
Total Expense	2,127,007.09	7,016,718.00	-4,889,710.91	30.31%

Sewer Construction Fund
Treasurer's Report
December 2015

	2015				2014			
	Jan 1 - Dec 31, 2015	Budget	\$ Over Budget	% of Budget	Jan 1 - Dec 31, 2014	Budget	\$ Over Budget	% of Budget
Income								
341.010 · Interest on Investments	4,482.52	2,000.00	2,482.52	224.13%	3,097.05	3,000.00	97.05	103.24%
354.161 · Pennvest Grant	0.00	1,549,340.00	-1,549,340.00	0.0%	205,394.33	1,549,341.00	-1,343,946.67	13.26%
354.163 · H2O Grant	0.00	0.00	0.00	0.0%	0.00	127,425.63	-127,425.63	0.0%
392.000 · Transfer from Operations	0.00	0.00	0.00	0.0%	190,856.15	0.00	190,856.15	100.0%
392.900 · Use of Fund Balance	0.00	262,479.00	-262,479.00	0.0%	0.00	565,173.86	-565,173.86	0.0%
393.100 · ERZB GSRB - ESSA	58,266.81	0.00	58,266.81	100.0%	59,422.80	0.00	59,422.80	100.0%
393.130 · Pennvest Loans	0.00	0.00	0.00	0.0%	415,000.00	723,100.00	-308,100.00	57.39%
393.140 · LT Debt - First Keystone	0.00	0.00	0.00	0.0%	122,502.92	0.00	122,502.92	100.0%
393.141 · LT Debt - Wayne	0.00	0.00	0.00	0.0%	526,587.99	609,490.00	-82,902.01	86.4%
393.142 · LOC - Wayne	0.00	1,091,181.00	-1,091,181.00	0.0%	2,808,818.70	0.00	2,808,818.70	100.0%
393.143 · Proceeds of refinance 7.5M	4,350,000.00	4,500,000.00	-150,000.00	96.67%	7,677,334.36	0.00	7,677,334.36	100.0%
393.144 · GSN Series B Wayne Bank Proceed	0.00	0.00	0.00	0.0%	4,351,000.00	0.00	4,351,000.00	100.0%
394.100 · Short Term Loans	0.00	0.00	0.00	0.0%	67,540.17	893,755.00	-826,214.83	7.56%
395.000 · Refund of Prior Year Expenses	250,267.50	0.00	250,267.50	100.0%	1,780.12	0.00	1,780.12	100.0%
Total Income	4,663,016.83	7,405,000.00	-2,741,983.17	62.97%	16,429,334.59	4,471,285.49	11,958,049.10	367.44%

**Sewer Construction Fund
Treasurer's Report
December 2015**

	Jan 1 - Dec 31, 2015	Budget As Amended	\$ Over Budget	% of Budget
Expense				
404.310 · Professional Services	43,256.01	50,000.00	-6,743.99	86.51%
408.315 · Engineering - Collection System	227,748.40	415,000.00	-187,251.60	54.88%
429.341 · Advertising	164.60	165.00	-0.40	99.76%
429.602 · Collection System Construction	204,400.19	2,560,000.00	-2,355,599.81	7.98%
429.620 · Engineering Fees Phs II	0.00	0.00	0.00	0.0%
429.643 · Contractor Fee Phs III	0.00	0.00	0.00	0.0%
471.000 · Debt Principal	4,297,036.03	4,326,835.00	-29,798.97	99.31%
475.000 · Fiscal Agent Fees	52,738.49	53,000.00	-261.51	99.51%
489.000 · Bank Fees	1.00	0.00	1.00	100.0%
Total Expense	4,825,344.72	7,405,000.00	-2,579,655.28	65.16%



**BRODHEAD CREEK
REGIONAL AUTHORITY**

410 Mill Creek Road
East Stroudsburg, PA 18301

E-MAIL: bcra@ptd.net
www.brodheadcreekregionalauthority.us

TELEPHONE
(570) 421-3232
FAX
(570) 421-2322

Memo to: Pocono Township Commissioners

Date: February 16, 2016

Reference: BCRA / Pocono Township projects

From: Kenneth R. Brown, Manager

Dear Commissioners,

First of all I want to thank you for your time at tonight's meeting to introduce myself and to review with you some of the projects that we have been working on in Pocono Township over the last year or so. Because of the recent changes in Commission Members, I thought it would be wise to provide you with this memo so that going forward in our working relationship you will be aware of the various faucets of these projects. For tonight, I will only be addressing two (2) of those projects.

1. BCRA waterline project through Pocono Township property and along Rte. 715 in order to connect to the Pocono Jackson Joint Water Authority (PJJWA) to supply water to the new Pocono Medical Center Hospital. The BCRA has acquired a LSA Grant to help fund this project.
 - Need the Commissioners to approve the Right-of-Ways (R.O.W.s) through Pocono Township property for this project. I will have a map for you to review and the R.O.W. easements for your Solicitor to review. I would like to get a conditional approval at tonight's meeting pending review of the R.O.W.s by your Solicitor so we can move forward with this project.
 - Need Pocono Township to approve an extension to the BCRA "water service area" along Rte. 715. Will show the proposed area – if acceptable I will present it formally in the future for approval. Future agenda item.
 - Lastly, is the matter of the BCRA "acquisition of the PJJWA" with has been review by Leo DeVito and should be discussed with him prior to another meeting at which the Commissioners would be asked to formally act on this matter. Future agenda item.

2. MCTI water line project. This is not the BCRA's project, but it supports the MCTI's efforts to provide a more reliable source of water for its students and to bring fire protect to the MCTI campus. RKR Hess / UTRS represents the MCTI.
 - BCRA will review the proposed "water service area" expansion necessary for this project and request that the Commissioners approve it at tonight's meeting.
 - Russ Scott, the Engineer for the MCTI will review the project and waiver request.
3. Sanofi-Pasteur. Review of the Sanofi Industrial Pretreatment Permit (IPP), BCRA WWTP Rules and Regulations, Intermunicipal Agreements and Sanofi / Pocono Township Agreement of 2009. These matters have been discussed with the previous Commissioners, Staff and Engineer and at some point in the next 2-3 months we should set up a work session to meet with all parties and begin the review process and discussions of the numerous issues related to this Pocono Township waste water customer.
4. Spa Castle – simply put, from the BCRA's perspective, this proposed project needs Pocono Township approvals for both waste water capacity at the BCRA WWTP as well as the approval of a BCRA water service area by Pocono Township. The BCRA cannot provide water to this project or waste water service to this project without Township approvals. Again, this matter should be reviewed with your Solicitor. At some point in the future Pocono Township will advise the BCRA on how it wishes to proceed. I am available to meet and discuss these issues as needed.

Again thank you for your time. Please feel free to contact me if you have any further questions or when you wish to meet on the "future" matters.



Kenneth R. Brown

TOWNSHIP OF POCONO, MONROE COUNTY, PENNSYLVANIA

RESOLUTION NO. _____

**A RESOLUTION GRANTING CONDITIONAL
APPROVAL OF THE CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION
PLANS**

WHEREAS, the applicant, CB H2O L.P., submitted a plan application titled “Camelback Tubing Slope Lodge Reconstruction Plans” (the “Plan”). The applicant proposes to demolish the existing tubing slope lodge and to reconstruct a new lodge on the same site. The parcels are owned by EPT Ski Properties, Inc., and are known as Monroe County Tax ID No. 12/10/1/2, PIN No. 12636300227014, Tax ID No. 12/10/1/2-1, PIN No. 12636300206992, Tax ID No. 12/10/1/2-4, PIN No. 12636303335160, and Tax ID No. 12/10/1/2-6, PIN No. 12636300228392; and

WHEREAS, the Township Engineer has reviewed the Plan and offered comments in his letters dated September 18, 2015 and December 10, 2015; and

WHEREAS, the Pocono Township Planning Commission recommended the conditional plan approval of the Plan at a meeting held on February 8, 2016; and

WHEREAS, the Pocono Township Board of Commissioners desires to take final action on this Plan.

NOW THEREFORE BE IT HEREBY RESOLVED by the Board of Commissioners of Pocono Township, County of Monroe, and Commonwealth of Pennsylvania:

That the “Camelback Tubing Slope Lodge Reconstruction Plans”, as shown on the plan prepared by Boucher & James, Inc., dated July 23, 2015, as revised, be hereby approved with the following conditions and provided the plan is revised as follows, subject to the review and approval of the Township Engineer and/or Township Solicitor:

1. The applicant shall comply with all of the conditions and requirements identified in the Township Engineer’s letter dated December 10, 2015, with the following additional condition:
 - a. Review of the Plan by the fire company.
2. The applicant shall pay all necessary fees associated with the Plan, including but not limited to any outstanding plan account charges and all professional services fees, prior to the recording of the Plan.
3. The applicant shall enter into a Land Development Improvements Agreement with the Township and provide appropriate security, if deemed necessary by the Township.
4. The applicant shall enter into a Maintenance Agreement with the Township and provide

appropriate security, if deemed necessary by the Township.

5. The applicant shall enter into a Stormwater Management and Maintenance Agreement with the Township, if deemed necessary by the Township.
6. The applicant shall obtain all required permits and approvals from other governmental and regulatory agencies prior to presenting the Plan for signatures.
7. The applicant shall provide three (3) mylars for recording the plans and eight (8) sets of paper prints which are signed and notarized by the owner and sealed by the engineer.
8. The applicant shall meet all conditions of the plan approval, and Plan shall be recorded within twelve (12) months of Conditional Plan approval, and agrees that if such conditions are not met, the Conditional Plan approval will be considered void.
9. The applicant shall accept these conditions in writing within five (5) days of receipt of the Board of Commissioners Resolution, otherwise the Plan is denied.

RESOLVED at a duly constituted meeting of the Board of Commissioners of the Township of Pocono the _____ day of _____, 2016.

ATTEST:

Township of Pocono
Board of Commissioners

By: _____
Print Name: Pamela Finkbeiner
Title: Secretary

By: _____
Print Name: Thomas Felver
Title: President



December 10, 2015

Mr. Ronald Swink, Chairman
Pocono Township Planning Commission
Pocono Township Municipal Building
P.O. Box 197
Tannersville, Pa. 18372

**Re: Camelback Lot Tubing Slope Lodge Reconstruction Plans – 2nd Submission
T&M File# POCOR0450**

Dear Mr. Swink:

T&M is in receipt of a revised set of plans for the Camelback Lot Consolidation Plan, with a revision date of November 10, 2015. This submission consisted of:

1. Response letter from Boucher and James, dated December 2, 2015.
2. 6-Sheet Tubing Slope Lodge Reconstruction Plans prepared by Boucher & James, Inc. dated July 23, 2015, revised Nov. 10, 2015.

The following comments are offered for your review and consideration:

Project Description

The Applicant's proposal is to demolish the existing Tubing Slope Lodge and construct a new lodge on the same site which is located in a commercial zoning district.. The proposed Lodge will be a 3,379 square feet building. The existing site of the Tubing Lodge has 16,284 square feet of Impervious Area and the proposal is to have 15,743 square feet of impervious area. A decrease in impervious cover of 541 square feet is proposed. The use remains the same except for the proposed future restaurant. Private centralized water is proposed. Sewer service is proposed but not fully defined.

Zoning

1. **Section 512.D.1** of the Zoning Ordinance states "Required loading spaces. Every building or structure, lot or land hereafter put to a commercial or industrial use or an existing building or structure enlarged shall provide one off-street truck loading and unloading space for the first 5,000 square feet or less of gross floor area, plus a minimum of one additional off-street loading area for each additional 10,000 square feet of gross floor area. The plan submitted does not show a truck loading/unloading area. The dimensions of the loading/unloading area must conform to Section 512.D.2 of the Zoning Ordinance. **Comment Addressed.**



2. The Zoning Officer should verify the number of parking spaces, the number of handicap parking spaces, and any conditions that may have been part of any previous approvals.

The Zoning Officer shall be consulted for the official determination of any provision of the Zoning Ordinance as amended.

Subdivision and Land Development Ordinance (SALDO)

1. **Section 2.302.B.1 and 2.303.B.1** states the Plans shall show the "Proposed Subdivision/Land Development name, location, land owners and Developer's name and address. Name and address of corporation officers if Owner or Developer is a corporation. Designation of zoning district. Location map at scale of 1"=2,000'. Show major roads, points of interest and Township boundaries within 1,000 feet. Give name under which the Subdivision/Land Development is to be recorded." The names and addresses of Corporate Officers for the Owner and the Developer are not provided. Also, no location map has been shown on the plan. The plans must be revised to include this required information. **Comment Addressed.**
2. **Section 2.302.B.2** states the plan must contain "North arrow (indicate true or magnetic), graphic scale, date." The plans submitted do not have a north arrow shown on the Grading Plan (Sheet 2 of 4), the Utility, Lighting and Landscaping Plan (Sheet 3 of 4), the ERSAM Plan (Sheet P1 of 2), the Post-Construction Stormwater Management Plan (Sheet P2 of 2), and the Erosion and Sedimentation Control Plan (Sheet E1 of 3). The plans must be revised. **Comment Addressed.**
3. **Section 2.302.B.19 and 2.303.B.26** states the Plans shall show the "Certificate of Ownership and Acknowledgment of Plan, in the form set forth in Appendix "C", which shall be accurately completed, signed by the Owner of the property, dated and notarized." The certification on the plan, as submitted, does not have a place for the Property Owner to sign. **Comment Addressed.**
4. **Section 2.302.C.10 and 2.303.C.10** states the Plans shall show the "In the event the Plan will require access to a highway under the jurisdiction of the Pennsylvania Department of Transportation, the following shall appear on the plan: "A Highway Occupancy Permit is required pursuant to Section 420 of the Act of June 1, 1945 (PL 1242, No. 428) known as the "State Highway Law." Before driveway access to a State Highway is permitted." The plan shall be further marked to indicate that access to the State Highway shall be only as authorized by a Highway Occupancy Permit." Resort Drive intersects Camelback Road (SR 4006) which is a State Highway. Provide evidence that a Permit exists for the existing driveway or obtain a permit if one does not exist. If a permit exists note the permit on the plan and provide a copy of the permit. **Comment Addressed.**
5. **Section 3.202** states the "The Planning Commission and the Board of Supervisors (Commissioners) shall, at the discretion, require that the design and development of all Subdivisions and Land Developments shall preserve insofar as possible, all natural, scenic and historic features, which will add attractiveness by providing parks, adequate open space for recreation, light and air by proper distribution of population thereby creating conditions favorable to the health, safety, morals and general welfare of the citizens and for the harmonious development of the Township..." the plan submitted does not provide the iso-footcandle layout specification of the proposed building and site. This information should be



- added to the plans. Are hours of operation a concern to the Township? Planning Commission input is requested. **Iso-foot candle plan provided. Hours of operation need to be addressed.**
6. **Section 3.206.A** states "Lots shall be laid out and graded to prevent cross lot drainage and to provide positive drainage away from proposed Building areas ..." The grading plan submitted does not provide sufficient information to show positive drainage away from the proposed building. It appears the grading may provide flow from Resort Drive into the proposed building. **The grading provided does not meet the provisions of Section 1803.3 or 1805.3.4 of the International Building Code. However, since this is a building code requirement the Applicant shall consult with the Township's third party agency, BIU, for the official determination of the UCC codes. The results thereof shall be reflected on the final plans.**
 7. **Section 3.3.3.B.29** states the Plans shall show "Information indicating available and safe sight stopping distances for all driveways, access drives, street, etc., which must be in compliance with the most current version Pennsylvania Department of Transportation specification." This information must be shown on the plan. Since no patron parking is proposed at the Lodge, signage should be provided denoting "no parking, deliveries only". This will avoid potential conflicts at this driveway intersection. **Signage provided on the lodge side. Additional signage recommended on the parking lot side. Required and available sight distances shall be provided for the lodge driveway.**
 8. **Section 3.606** states "Any Driveway Entrance shall make adequate provisions for parallel drainage facilities." In order to get positive drainage away from the proposed building, as mentioned above, it appears drainage may be diverted across the proposed entrance driveway. Provisions must be made to provide adequate drainage across the driveway. **Since this is an existing condition, limited to deliveries only and pedestrian crossing is prohibited this comment is considered addressed.**
 9. **Section 3.612** states "... Where a commercial Subdivision or commercial Land Development is proposed, the Board of Supervisors (Commissioners) may require landscaping in accordance with the applicable standards below." No Landscape Plan has been submitted. Input from the Planning Commission is request on the need for a Landscape Plan for this development. **Landscape Plan has been provided, Comment Addressed.**
 10. **Section 3.614.B** states "Where the Developer provides the Subdivision with complete water main supply system, the Developer may be required to include fire hydrants, and be subject to inspection by the Engineer and approval by the Board of Supervisors." The applicant should provide evidence of adequate fire protection for the proposed building. This application should be forwarded to the Fire Company for comment. **Fire company comments still outstanding.**
 11. The Affidavit of Plan Submission as provided in Appendix F must be placed on the plan and signed by the applicant's engineer. **Comment Addressed.**

Additional Comments

1. The Utility, Lighting and Landscaping Plan depicts a note, "Proposed Grease Trap Sized for Ultimate Fixture Count for Restaurant". Since a restaurant was not part of the original Lodge, a Component 3 Planning Module or exemption request may be required. The applicant should check with the local DEP office for direction on this matter. Assuming a Planning Module is

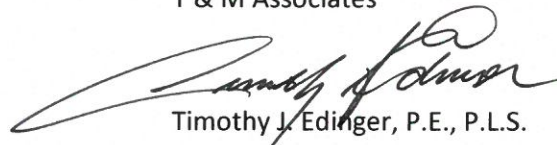


required, this office will need the overall approved sewage flows for the various components that make up Camelback. We will also need the permitted WWTP capacity. **Information still lacking.**

In regards to the on-site collection box, does that represent a holding tank or a pump station? If a holding tank please check with the Township SEO about the appropriate capacity and alarm(s). If a pump station, this office will need to know the approved design parameters along with projected flows from the Lodge including the future restaurant. How was the grease trap sized? Please provide the design details. **Information still lacking**

2. The plans should show all existing and proposed signs. The signs should be designed to direct all pedestrian traffic to the tunnel. Pedestrian traffic across and along Resort Drive should be avoided and signed accordingly. **Two additional signs requested on parking lot side.**
3. A Demolition Plan should be included as part of the plan set as it will also be required by the Third Party Agency (BIU). **Comment addressed.**
4. It appears the cover over the sewer lateral is inadequate. While we believe it is 42 inches, the applicant is directed to the Building Codes for the correct cover requirements. **Comment addressed.**
5. Note 8 on the record plan sheet should be revised to reflect the appropriate water and sewer service. **Comment addressed.**
6. Provide building dimensions to ascertain the footprint size. Also please provide additional positional ties from preserved points to locate the Lodge within the site. **Comment addressed.**
7. What is the purpose of the expanded cartway (pull off) area at the driveway intersection? Generally this type of configuration should be avoided as it promotes multiple pull out points which can lead to vehicular conflicts. Planning Commission input is requested. **Comment addressed.**

Very Truly Yours,
T & M Associates



Timothy J. Edinger, P.E., P.L.S.
Township Engineer

Cc: Gregg Schuster, Township Manager
Board of Commissioners
Lisa Pereira, P.C. Solicitor
Rick Fisher, Zoning Officer
Dave Manter, SEO
EPT Ski Properties, Inc., Applicant
Mike Gable, P.E., Boucher & James, Inc.

R:\POCO\R0460\Correspondence\ CamelbackTubingLetter to Planning Commission 2ndSubmission 12--10-15



Boucher & James, Inc.
CONSULTING ENGINEERS

AN EMPLOYEE OWNED COMPANY

INNOVATIVE ENGINEERING

Fountainville Professional Building
1456 Ferry Road, Building 500
Doylestown, PA 18901
215-345-9400
Fax 215-345-9401

2738 Rimrock Drive
Stroudsburg, PA 18360
570-629-0300
Fax 570-629-0306

559 Main Street, Suite 230
Bethlehem, PA 18018
610-419-9407
Fax 610-419-9408
www.bjengineers.com

December 2, 2015

Mr. Ronald Swink, Chairman
Pocono Township Planning Commission
Pocono Township Municipal Building
P.O. Box 197
Tannersville, PA 18372

RECEIVED
DEC 14 2015
POCONO TOWNSHIP

**SUBJECT: RESPONSE TO REVIEW 1
CAMELBACK LOT TUBING SLOPE LODGE RECONSTRUCTION
POCONO TOWNSHIP, MONROE COUNTY, PA
B&J PROJECT NO. 156579**

Dear Mr. Swink:

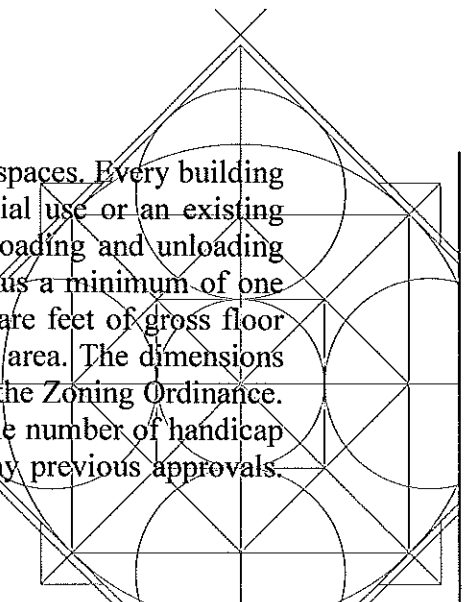
On behalf of our client, CBH2O, LP, we are responding to the comments contained in your letter dated September 18, 2015 for the project. Included in this submission are:

- (1) copy Tubing Slope Lodge Reconstruction plans, sheets 1-6 of 6 dated July 23, 2015, last revised November 10, 2015;
- (8) copies Tubing Slope Lodge Reconstruction plans, 11x17, sheets 1-6 of 6 dated July 23, 2015, last revised November 10, 2015;
- (1) copy Tubing Slope Lodge ESPC Plans dated July 23, 2015, last revised September 21, 2015; and
- (1) copy Tubing Slope Lodge Reconstruction PCSM plans dated July 23, 2015, last revised November 10, 2015.

To ease the review of our plan revisions, we have itemized the comments followed by an annotated response, in bold, indicating how each comment has been addressed. The numbers in the list correspond with the comment numbers from the review letter.

Zoning

1. Section 512.D.1 of the Zoning Ordinance states "Required loading spaces. Every building or structure, lot or land hereafter put to a commercial or industrial use or an existing building or structure enlarged shall provide one off-street truck loading and unloading space for the first 5,000 square feet or less of gross floor area, plus a minimum of one additional off-street loading area for each additional 10,000 square feet of gross floor area. The plan submitted does not show a truck loading/unloading area. The dimensions of the loading/unloading area must conform to Section 512.D.2 of the Zoning Ordinance. The Zoning Officer should verify the number of parking spaces, the number of handicap parking spaces, and any conditions that may have been part of any previous approvals.



The Zoning Officer shall be consulted for the official determination of any provision of the Zoning Ordinance as amended.

Response: The Plan has been revised to note the proposed paved area as the loading area. The proposed lodge is less than 5,000 square feet thus requires one off-street truck loading and unloading area. No pedestrian parking is proposed around the reconstructed lodge. Existing pedestrian parking is located in the lot across Resort drive and is accessed via the existing pedestrian tunnel that runs under Resort Drive.

Subdivision and Land Development Ordinance (SALDO)

1. Section 2.302.B.1 and 2.303.B.1 states the Plans shall show the "Proposed Subdivision/Land Development name, location, land owners and Developer's name and address. Name and address of corporation officers if Owner or Developer is a corporation. Designation of zoning district. Location map at scale of 1"=2,000'. Show major roads, points of interest and Township boundaries within 1,000 feet. Give name under which the Subdivision/Land Development is to be recorded." The names and addresses of Corporate Officers for the Owner and the Developer are not provided. Also, no location map has been shown on the plan. The plans must be revised to include this required information.

Response: The zoning district restrictions appear on the "record plan," sheet 2 of 6, along with the zoning district boundary line.

The location map has been added to the record plan. (Sheet 2 of 6)

An existing features plan has been added to the plan set to show features within 1000 feet of the site and as shown on the project cover sheet. (Sheet 1 of 6)

The land development name is located in the title block of each drawing sheet.

The corporate officers of CB H20 have been added to the record plan, sheet 2 of 6.

2. Section 2.302.B.2 states the plan must contain "North arrow (indicate true or magnetic), graphic scale, date." The plans submitted do not have a north arrow shown on the Grading Plan (Sheet 2 of 4), the Utility, Lighting and Landscaping Plan (Sheet 3 of 4), the ERSAM Plan (Sheet P1 of 2), the Post Construction Storm water Management Plan (Sheet P2 of 2), and the Erosion and Sedimentation Control Plan (Sheet E1 of 3). The plans must be revised.

Response: The North Arrow has been updated on all sheets.

3. Section 2.302.B.19 and 2.303.B.26 states the Plans shall show the "Certificate of Ownership and Acknowledgment of Plan, in the form set forth in Appendix "C", which shall be accurately completed, signed by the Owner of the property, dated and notarized." The certification on the plan, as submitted, does not have a place for the Property Owner to sign.

Response: The certification blocks have been revised.

4. Section 2.302.C.10 and 2.303.C.10 states the Plans shall show the "In the event the Plan will require access to a highway under the jurisdiction of the Pennsylvania Department of Transportation, the following shall appear on the plan: "A Highway Occupancy Permit is required pursuant to Section 420 of the Act of June 1, 1945 (PL 1242, No. 428) known as the "State Highway Law." Before driveway access to a State Highway is permitted." The plan shall be further marked to indicate that access to the State Highway shall be only as authorized by a Highway Occupancy Permit." Resort Drive intersects Camelback Road (SR 4006) which is a State Highway. Provide evidence that a Permit exists for the existing driveway or obtain a permit if one does not exist. If a permit exists note the permit on the plan and provide a copy of the permit.

Response: A current PennDOT Highway Occupancy Permit exists for the location in question. Note 16 has been added to the record plan, sheet 2 of 6, to make reference to Permit No. 05049190. The permit has been provided to the Township Engineer under separate cover

5. Section 3.202 states the "The Planning Commission and the Board of Supervisors (Commissioners) shall, at the discretion, require that the design and development of all Subdivisions and Land Developments shall preserve insofar as possible, all natural, scenic and historic features, which will add attractiveness by providing parks, adequate open space for recreation, light and air by proper distribution of population thereby creating conditions favorable to the health, safety, morals and general welfare of the citizens and for the harmonious development of the Township..." the plan submitted does not provide the iso-foot candle layout specification of the proposed building and site. This information should be added to the plans. Are hours of operation a concern to the Township? Planning Commission input is requested

Response: The iso-footcandle layout has been added to the plans, sheet 5 of 6.

7. Section 3.206.A states "Lots shall be laid out and graded to prevent cross lot drainage and to provide positive drainage away from proposed Building areas..." The grading plan submitted does not provide sufficient information to show positive drainage away from the proposed building. It appears the grading may provide flow from Resort Drive into the proposed building.

Response: Additional existing and proposed spot elevations have been added to the grading plan, sheet 4 of 6, to provide for positive drainage away from the proposed building.

8. Section 3.3.3.B.29 states the Plans shall show "Information indicating available and safe sight stopping distances for all driveways, access drives, street, etc., which must be in compliance with the most current version Pennsylvania Department of Transportation specification." This information must be shown on the plan. Since no patron parking is proposed at the Lodge, signage should be provided denoting "no parking, deliveries only". This will avoid potential conflicts at this driveway intersection.

Response: Additional signage has been provided, see sheet 2 of 6. Signs have been added to direct all pedestrians to the existing pedestrian tunnel and not across Resort Drive. The designation of the existing signage along Resort Drive has been added to the plans.

9. Section 3.606 states "Any Driveway Entrance shall make adequate provisions for parallel drainage facilities." In order to get positive drainage away from the proposed building, as mentioned above, it appears drainage may be diverted across the proposed entrance driveway. Provisions must be made to provide adequate drainage across the driveway.

Response: Upslope areas shall sheet flow across the driveway to the tubing slope area and towards the swale along Camelback Road to mimic the existing conditions. The upslope drainage is minimal and does not currently create drainage problems.

10. Section 3.612 states "... Where a commercial Subdivision or commercial Land Development is proposed, the Board of Supervisors (Commissioners) may require landscaping in accordance with the applicable standards below." No Landscape Plan has been submitted. Input from the Planning Commission is request on the need for a Landscape Plan for this development.

Response: The landscape plan is provided on sheet 5 of 6 entitled "Utility, Lighting and Landscape plan.

11. Section 3.614.B states "Where the Developer provides the Subdivision with complete water main supply system, the Developer may be required to include fire hydrants, and be subject to inspection by the Engineer and approval by the Board of Supervisors." The applicant should provide evidence of adequate fire protection for the proposed building. This application should be forwarded to the Fire Company for comment. The Affidavit of Plan Submission as provided in Appendix F must be placed on the plan and signed by the applicant's engineer.

Response: The proposed building square footage is less than that required for fire protection.

The Affidavit of Plan Submission has been placed on the record plan, sheet 2 of 6.

Additional Comments

1. The Utility, Lighting and Landscaping Plan depicts a note, "Proposed Grease Trap Sized for Ultimate Fixture Count for Restaurant". Since a restaurant was not part of the original Lodge, a Component 3 Planning Module or exemption request may be required. The applicant should check with the local DEP office for direction on this matter. Assuming a Planning Module is required, this office will need the overall approved sewage flows for the various components that make up Camelback. We will also need the permitted WWTP capacity. In regards to the on-site collection box, does that represent a holding tank or a pump station? If a holding tank please check with the Township SEO about the appropriate capacity and alarms). If a pump station, this office will need to know the approved design parameters along with projected flows from the Lodge including the future restaurant. How was the grease trap sized? Please provide the design details.

Response: The on-site collection box is an existing pump station. The design parameters and projected flows are included with this submission.

The grease trap design details are part of the plumbing permit for the building and will be supplied at time of plumbing permit application.

A sewer exemption shall be provided under separate submission.

2. The plans should show all existing and proposed signs. The signs should be designed to direct all pedestrian traffic to the tunnel. Pedestrian traffic across and along Resort Drive should be avoided and signed accordingly.

Response: Additional signage has been provided, see sheet 2 of 6. Signs have been added to direct all pedestrians to the existing pedestrian tunnel and not across Resort Drive. The designation of the existing signage along Resort Drive has been added to the plans.

3. A Demolition Plan should be included as part of the plan set as it will also be required by the Third Party Agency (BIU).

Response: A Demolition plan has been added to the plan set. (Sheet 3 of 6)

4. It appears the cover over the sewer lateral is inadequate. While we believe it is 42 inches, the applicant is directed to the Building Codes for the correct cover requirements.

Response: The detail has been revised to show 42" of cover.

5. Note 8 on the record plan sheet should be revised to reflect the appropriate water and sewer service.

Mr. Ronald Swink, Chairman
Pocono Township Planning Commission
December 2, 2015
Page 6 of 6

Response: Note 8 on the record sheet has been revised accordingly.

6. Provide building dimensions to ascertain the footprint size. Also please provide additional positional ties from preserved points to locate the Lodge within the site.


Response: Additional building dimensions and locating dimensions have been provided on sheet 2 of 6.

7. What is the purpose of the expanded cart way (pull off) area at the driveway intersection? Generally this type of configuration should be avoided as it promotes multiple pull out points which can lead to vehicular conflicts. Planning Commission input is requested.

Response: The expanded cartway has been removed.

If you should have any questions or concerns, please do not hesitate to contact me.

Sincerely,



Michael E. Gable, P.E.
Director of Engineering – Stroudsburg

MEG/clg

cc: CB H2O, LP

RECEIVED
DEC 04 2015
POCONO TOWNSHIP

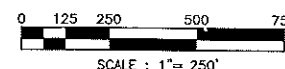


RECEIVED
DEC 04 2015

20151961051

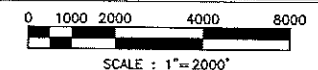
CIVIL ENGINEERS

FAX: (570) 629-0306



VOICE: (570) 629-1661

KANSAS CITY, MO. 64106



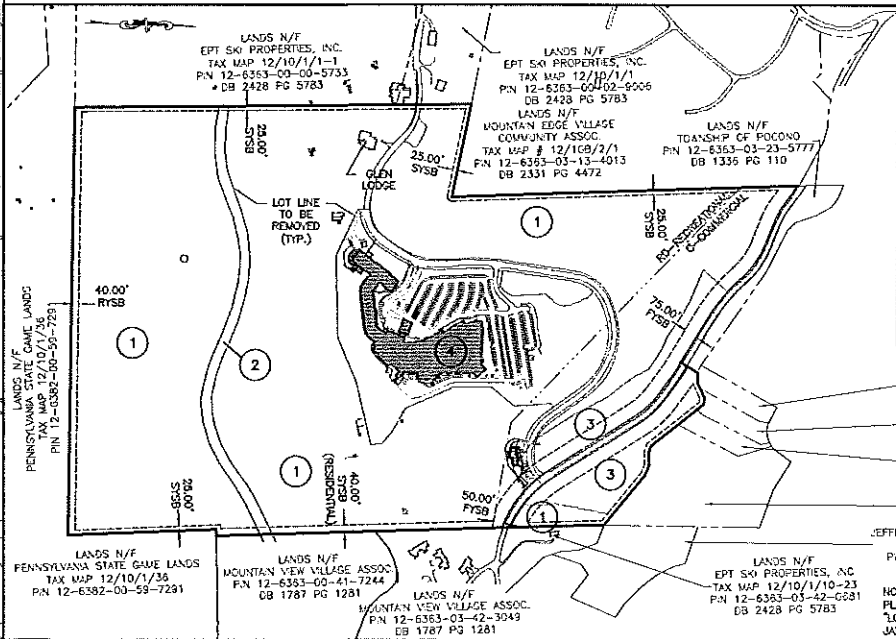
SOURCE MAP: PORTION MOUNT POCONO USGS QUADRANGLE

DRAWING INDEX

<u>SHEET NO.</u>	<u>TITLE</u>
1 OF 1	COVER SHEET
1 OF 6	EXISTING FEATURES PLAN
2 OF 6	RECORD PLAN
3 OF 6	DEMOLITION PLAN
4 OF 6	GRADING PLAN
5 OF 6	UTILITY, LIGHTING, AND LANDSCAPING PLAN
6 OF 6	CONSTRUCTION DETAILS
1 OF 3	ESPC PLAN
2 OF 3	ESPC CONTROL DETAILS
3 OF 3	ESPC CONTROL DETAILS
1 OF 2	ERSAM PLAN
2 OF 2	PCSM PLAN

PERMITTING

SHEET 1 OF 1





KNOW WHAT'S BELOW... CALL BEFORE YOU DIG

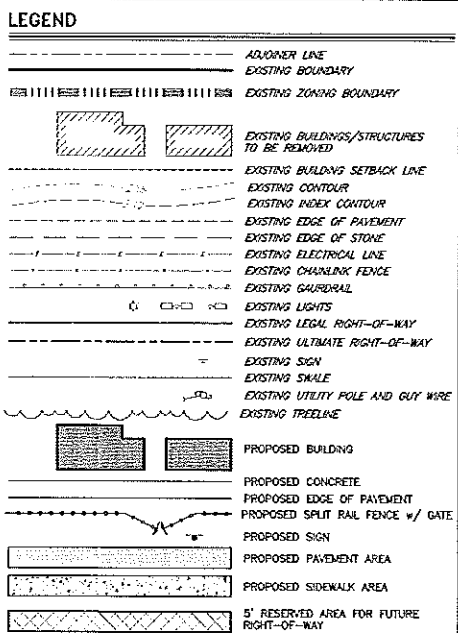
PROTECT YOUR LIFE AND PROPERTY. USE THE NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) 800-4-A-DIG (463) SERVICE. IT'S FREE AND IT'S IMPORTANT. CALL 800-4-A-DIG (463) SERVICE - TOLL FREE.

POMONA/VALLEJO ONE CALL SYSTEM, INC.
 1-800-842-1778 or 511
 PA ONE-CALL SERVICE NO.
 20051501001
 07/92/AS

[illegible]

PROJECT :		CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION	
		POCONO TOWNSHIP MONROE COUNTY, PA	
APPLICANT :		CB H2O L.P. 1 CAMELBACK ROAD TANNERSVILLE, PA 18372	 CAMELBACK MOUNTAIN RESORTS

FILE :	
	<div style="text-align: center;">  </div>
	REGIONAL
PROJECT NAME :	CAMELBACK



OWNER'S INFORMATION

1. OWNER EPT SKI PROPERTIES, INC.
509 WALNUT SUITE 200
KANSAS CITY, MO 64106
PARCEL ACCOUNT NO. 12/10/1/2-
PIN NO. 12-6363-00-22-7014
DEED BOOK/PAGE 2428/5608
2. OWNER EPT SKI PROPERTIES, INC.
509 WALNUT SUITE 200
KANSAS CITY, MO 64106
PARCEL ACCOUNT NO. 12/10/1/2-
PIN NO. 12-6363-00-20-6992
DEED BOOK/PAGE 2428/5783
3. OWNER EPT SKI PROPERTIES, INC.
509 WALNUT SUITE 200
KANSAS CITY, MO 64106
PARCEL ACCOUNT NO. 12/10/1/2-
PIN NO. 12-6363-03-33-5160
DEED BOOK/PAGE 2428/5783
4. OWNER EPT SKI PROPERTIES, INC.
509 WALNUT SUITE 200
KANSAS CITY, MO 64106
PARCEL ACCOUNT NO. 12/10/1/2-
PIN NO. 12-6363-00-22-8392
DEED BOOK/PAGE 2428/5608

APPLICANT INFORMATION

B H2O, L.P.
CAMELBACK ROAD
ANNERSVILLE, PA 18372
PHONE: (570) 629-1661

CORPORATE OFFICERS:
WEN ELLIS
ARTHUR BERRY

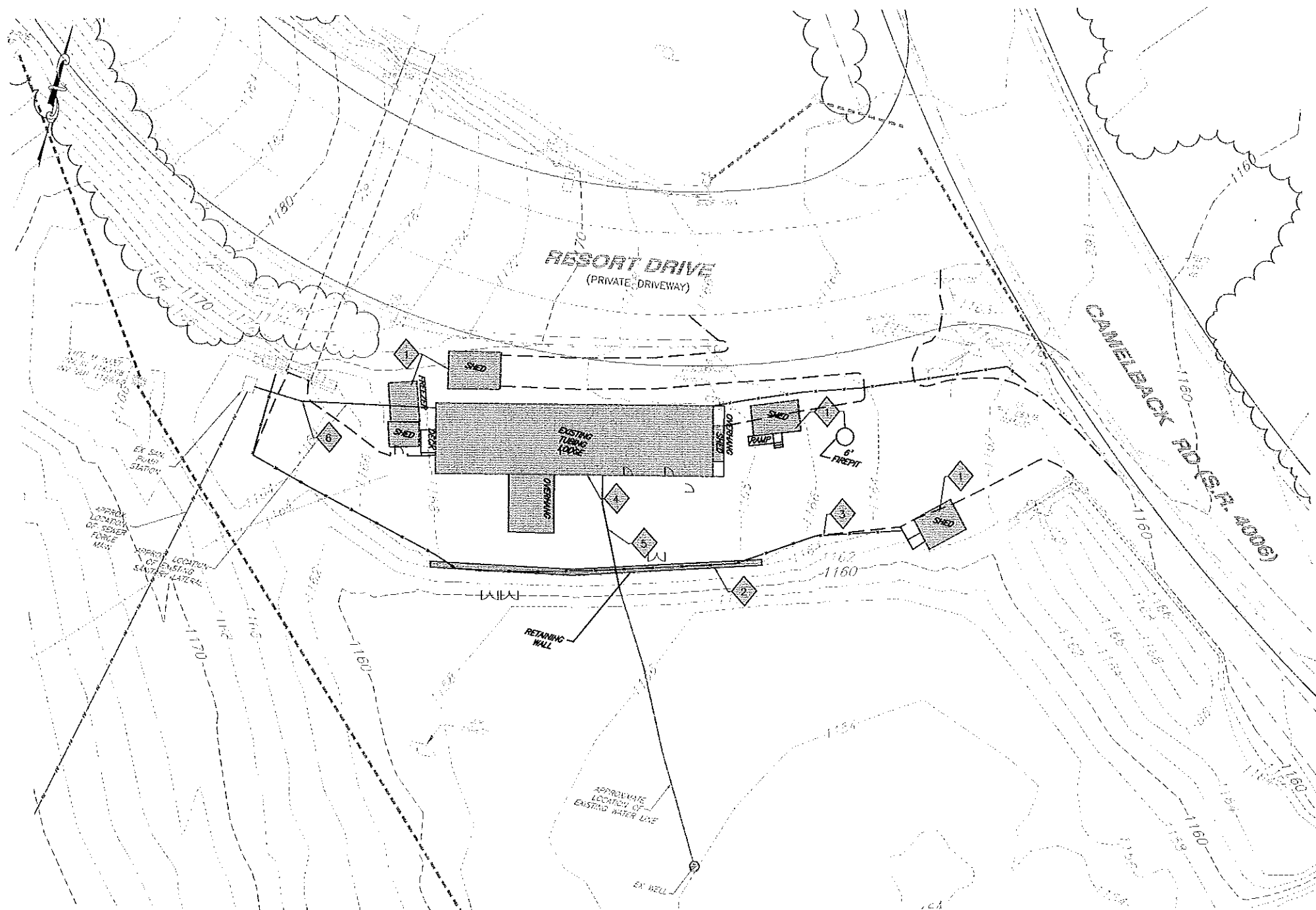
RECORD PLAN

Boucher & James, Inc.
CONSULTING ENGINEERS
DOYLESTOWN  STROUDSBURG
REGIONAL OFFICE: 2738 BIRCHROCK DRIVE, STROUDSBURG, PA 1
VOICE: (570) 629-0300 FAX: (570) 629-0366



SHEET
2 OF 6

JULY 23, 2015



LEGEND

-
- ADJOINER LINE
EXISTING BOUNDARY
- EXISTING BUILDINGS
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING DRIVEWAY
- EXISTING ELECTRIC AND STRUCTURE
- EXISTING EDGE OF STONE
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING GUARDRAIL
- EXISTING LIGHTS
- EXISTING LEGAL RIGHT-OF-WAY
- EXISTING SIGN
- EXISTING STORM SEWER AND STRUCTURE
- EXISTING TREE/LENE
- EXISTING UTILITY POLE
- EXISTING WALL
- EXISTING BUILDINGS TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING EDGE OF STONE TO BE REMOVED
- EXISTING STEPS TO BE REMOVED
- EXISTING FIREPIT TO BE REMOVED

NOTES

1. REFER TO FULL PLAN SET FOR ADDITIONAL INFORMATION REGARDING THE PROPOSED CONDITIONS.
2. STORM DRAINAGE AND ALL UTILITY SERVICES SHALL REMAIN FUNCTIONAL THROUGHOUT THE CONSTRUCTION PROCESS UNLESS SPECIFICALLY NOTED OTHERWISE. THE OWNER SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO THE DISRUPTION OF ANY SERVICES.
3. ALL CONSTRUCTION MATERIALS ARE TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL MUNICIPALITY REQUIREMENTS AND GUIDELINES.

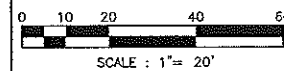
CONSTRUCTION NOTES:

1. RAZE EXISTING ACCESSORY STRUCTURES INCLUDING FIREPIT, FREEZER, SHEDS AND ANY AND ALL RAMPS AND/OR STAIR ACCESS STRUCTURES TO SUCH.
2. REMOVE EXISTING RETAINING WALL.
3. REMOVE EXISTING FENCE SECTIONS TO BE REPLACED WITH NEW SPLIT RAIL FENCING.
4. RAZE EXISTING TUBING LODGE, INCLUDING OVERHANGS, DECKS, SHEDS AND STAIRS. DISCONNECT AND TERMINATE EXISTING UTILITIES IN A SAFE, LEGAL MANNER IN CONJUNCTION WITH APPROPRIATE UTILITY CONTRACTOR.
5. EXISTING WELL LINE TO BE RE-ROUTED FOR PROPOSED STRUCTURE.
6. EXISTING SANITARY LATERAL TO BE RE-ROUTED FOR PROPOSED STRUCTURE.

[illegible][illegible]

CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION
POCONO TOWNSHIP
MONROE COUNTY, PA

APPLICANT : CB H2O L.P.
1 CAMELBACK ROAD
TANNERSVILLE, PA 18372



156579

NAME BY: _____
C.D. _____


CTF
 INDEXED BY:
 MEG

SCALE:
AS NOTED

PLAN STATUS:

DEMOLITION PLAN

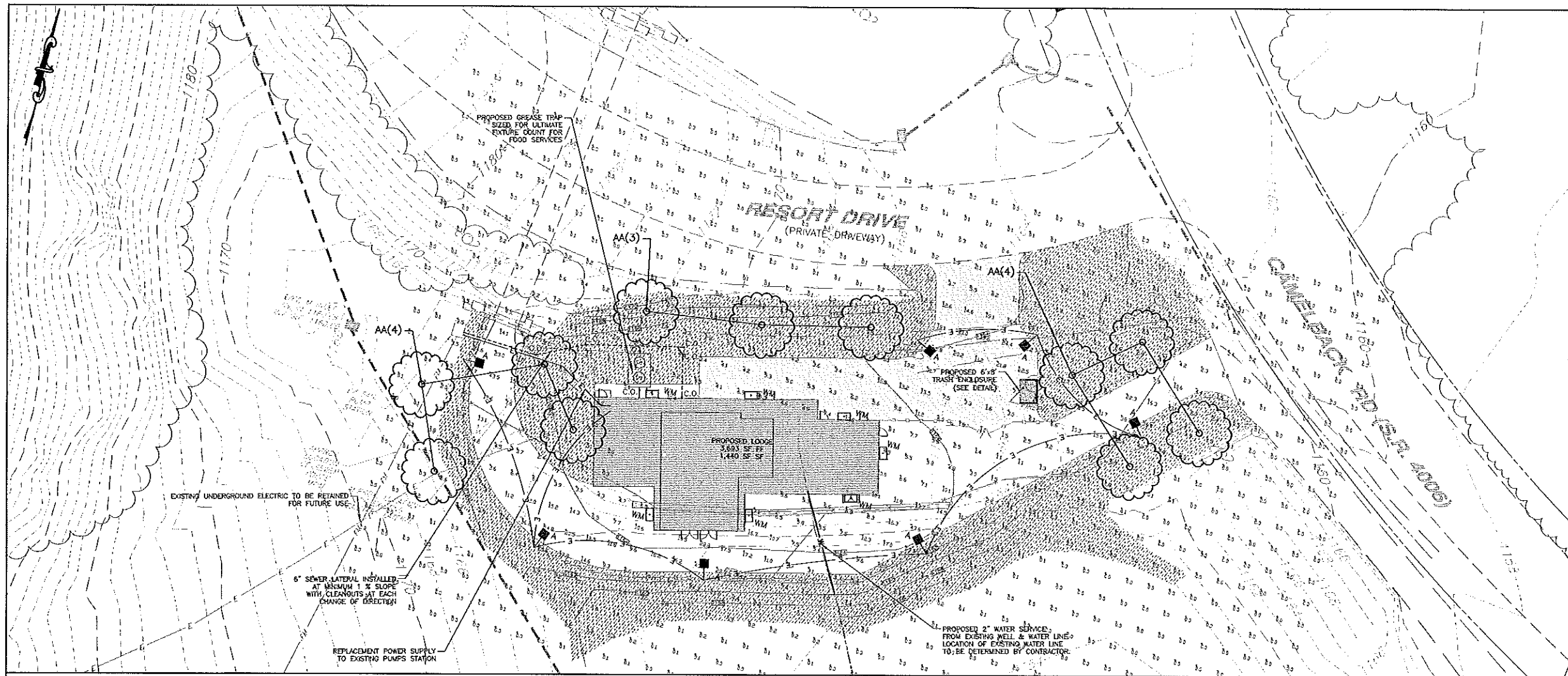
Boucher & James, Inc.

CONSULTING ENGINEERS
DOYLESTOWN  STROUDSBURG
REGIONAL OFFICE: 2738 REMROCK DRIVE, STROUDSBURG, PA 18360
VOICE: (570) 629-0300 FAX: (570) 629-0306

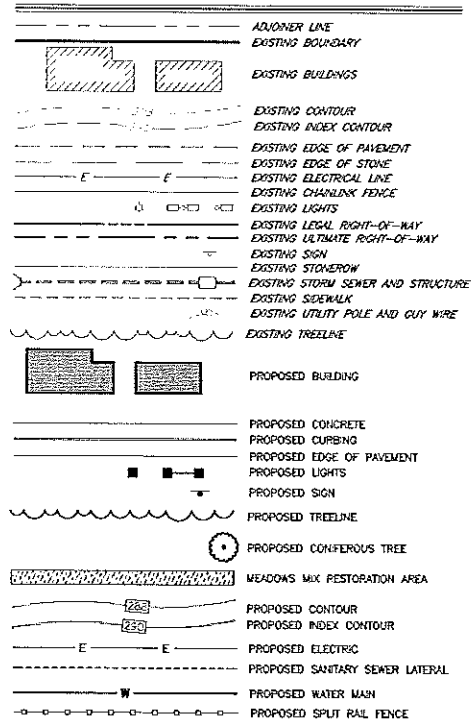


SHEET
3 OF 6

JULY 23, 2015



LEGEND



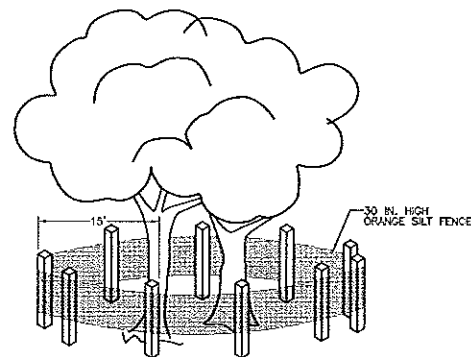
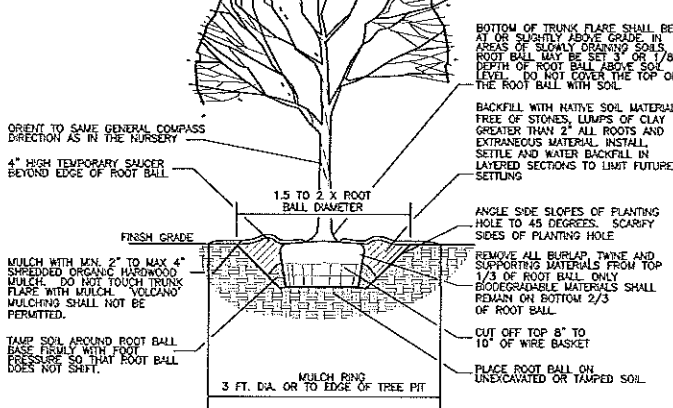
GENERAL SEEDING SPECIFICATIONS

- SITE PREPARATION:**
 - PREPARE AREA TO BE SEEDING AS SPECIFIED FOR EACH SEED MIXTURE.
 - PROTECT DESIRABLE SHRUBS AND TREES ADJACENT TO AREAS WHERE NON-SELECTIVE HERBICIDE IS TO BE APPLIED.
 - REMOVAL AND CONTROL OF WEEDY GROWTH BY SPRAYING OF APPROVED NON-SELECTIVE HERBICIDE (GLYPHOSPHATE) SHALL BE CONDUCTED BY LICENSED SPRAY TECHNICIAN. GOOD PRE-SEEDING WEED CONTROL REQUIRE SPRAYING TWO APPLICATIONS OF GLYPHOSPHATE (AT LEAST TWO WEEKS APART). DEEP ROOTED PERENNIALS AND WOODY SPECIES MAY REQUIRE SPECIAL REMOVAL AND CONTROL MEASURES.
 - VERTICAL DEAD TURF/WEED AREAS TO SCARIFY SURFACE PRIOR TO SEED APPLICATION.
- SEEDING:**
 - SEEDING MAY BE CONDUCTED DURING THE APPROVED PERIODS NOTED FOR EACH SPECIFIED SEED MIXTURE. INSTALL USING THE METHODS SPECIFIED.
 - SEED AT RATE SPECIFIED FOR EACH SPECIFIED SEED MIX.
 - INCORPORATE (PAM-12) EROSION CONTROL GRANULES (OR EQUIVALENT) INTO SEED MIX PRIOR TO SPREADING AS A SEED DISPERSER, EROSION CONTROL AND MOISTURE CONTROL AGENT AT A RATE OF 250 LBS/ACRE. 1PAM-12 EROSION CONTROL GRANULES (OR EQUIVALENT) MAY ALSO BE BROADCAST OR HAND SPREAD AFTER SCARIFICATION-SEEDING IS COMPLETED.
 - SEED SHALL BE SPREAD IN AREAS WHERE PLUGS AND OTHER LANDSCAPING IS EXISTING OR SPECIFIED.
 - ALL SEED MIXES SHALL BE STORED IN SEALED DRY CONTAINERS AND KEPT IN A COOL DRY LOCATION. DAMAGED SEED PACKAGING IS NOT ACCEPTABLE.
 - SEED TASS SHALL BE PROVIDED TO THE OWNER OR OWNERS PROTECT REPRESENTATIVE PRIOR TO THE INSTALLATION OF THE SPECIFIED MIX.
 - ALL SEED SHALL BE LABELED UPON DELIVERY.
 - DO NOT SEED AREAS IN EXCESS OF WHICH CAN BE MULCHED IN THE SAME DAY.
 - APPLY THIN LAYER OF STRAW MULCH OVER ALL NEWLY INSTALLED SEED AT A RATE OF 50 LBS PER ACRE.
 - DO NOT INSTALL SEED IMMEDIATELY FOLLOWING EXCESSIVE RAINFALL EVENTS.
 - A MINIMUM OF 1" OF WATER PER WEEK SHALL BE PROVIDED FOR ALL SEED MIXES THROUGH DECEMBER 1ST. RAINFALL MAY BE DEDUCTED FROM THE REQUIRED AMOUNT OF WATERING FOR THAT SAME WEEK IN EXCESS OF WHICH THE RAIN EVENT OCCURS.
 - CONTRACTOR SHALL WARRANTY SEED MIX INSTALLATION FOR ONE YEAR AFTER DATE OF ACCEPTANCE.
 - ACCEPTANCE IS BASED UPON A MINIMUM OF 80% GERMINATION RATE WHERE EXPOSED GRADE IS NOT GREATER THAN A 3-FOOT AREA ANYWHERE IN THE PROJECT AREA. GERMINATION RATES WILL BE DETERMINED BY FIELD INSPECTION AND VISUAL ESTIMATE CONDUCTED BY THE LANDSCAPE ARCHITECT RESPONSIBLE FOR THESE PLANS.

PLANTING SCHEDULE TREES

Symbol	Key	Botanical Name	Common Name	Size	Remarks	Qty.
AA	AA	Acer rubrum 'Armstrong'	Armstrong Red Maple	2" - 2 1/2" cal.	B&B	11

NOTES:
AT TIME OF PLANTING, PRUNE ONLY DEAD, DAMAGED AND DEFECTIVE BRANCHES OR TO MEET LIMB HEIGHT REQUIREMENTS.
STAKE, WRAP, OR INSTALL TREE GUARDS ONLY UPON THE APPROVAL OF THE SEE STAKING, WRAPPING AND TREE GUARD DETAILS.



- NOTES:**
- TREE PROTECTION FENCE TO BE LOCATED AT A MINIMUM OF 15' FROM TRUNK OR AT EDGE OF DRIP LINE, WHICHEVER IS GREATER TO PREVENT INJURY TO TREE.
 - BOARDS SHALL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS.
 - NO MORE THAN 1/3 OF FEEDER ROOTS SHALL BE CUT IN AN AREA INSIDE THE DRIP LINE OF THE TREE.
 - DAMAGED TRUNKS OR EXPOSED ROOTS SHALL BE PRESCRIBED BY A PROFESSIONAL FORESTER OR LICENSED TREE EXPERT.
 - TREE LIMB REMOVAL, WHERE NECESSARY, SHALL BE CUT FLUSH TO TRUNK OR MAIN BRANCH OF THAT STUB. TREES SHALL BE PRUNED AFTER PLANTING, OR BY THE NURSEMAN AT THE TIME OF DIGGING, TO BALANCE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR NATURAL CHARACTER AND SHAPE. PRUNING SHALL BE RESTRICTED IN GENERAL TO THE SECONDARY BRANCHES AND SOFT SUCKER GROWTH.

TREE PROTECTION DURING CONSTRUCTION

NOT TO SCALE

TYPICAL B&B TREE PLANTING DETAIL

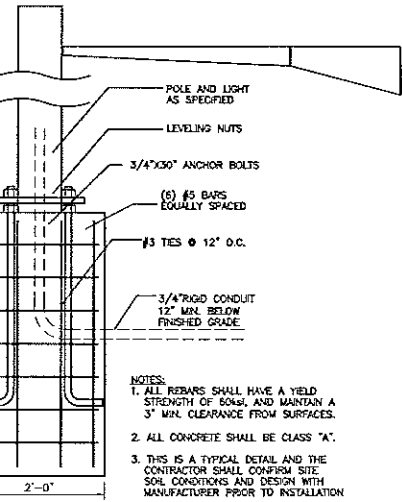
NOT TO SCALE

CALCULATION SUMMARY

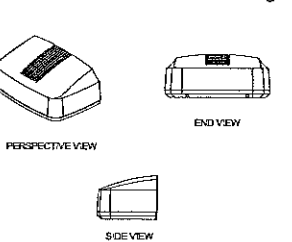
Label	Colotype	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL POINTS AT GRADE	ILLUMINANCE	Fc	2.96	60.6	0.0	N.A.	N.A.
PARKING LOT	ILLUMINANCE	Fc	11.09	54.8	0.8	13.85	68.50

LUMINAIRE SCHEDULE

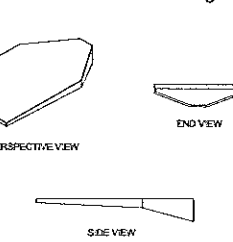
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
7	7	A	SINGLE	XLCM-3-LED-HO-CW-SINGLE-12"MH	0.900	N.A.	27066	265.4
7	7	WM	SINGLE	XPWS3-FT-LED-48-450-NW-UE-12"MH	0.900	N.A.	5775	72



XPWS3 LED Crossover Wall Mount Light



XLCM LED Crossover Area Light



PARKING LOT LIGHT DETAIL

NOT TO SCALE



REVISIONS	DATE	DESCRIPTION	DATE	DESCRIPTION
1	9/21/15	REVISIONS PER TWP. ENG. LETTER DATED 9/18/15		
2	11/10/15	REVISED FOR RESUBMISSION		

CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION
POCONO TOWNSHIP
MONROE COUNTY, PA

CB H20 L.P.
1 CAMELBACK ROAD
TANNERSVILLE, PA 18372



156579
DESIGN BY: NEG
DRAWN BY: NEG
SCALE: AS NOTED
PLAN STATUS: PERMITTING

UTILITY, LIGHTING AND LANDSCAPING PLAN

Boucher & James, Inc.
CONSULTING ENGINEERS

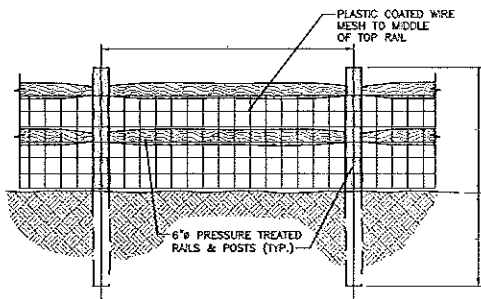
DOYLESTOWN • STROUDSBURG
REGIONAL OFFICE: 2738 BROADWAY DRIVE, STROUDSBURG, PA 18350
VOICE: (570) 629-0300 FAX: (570) 629-0305



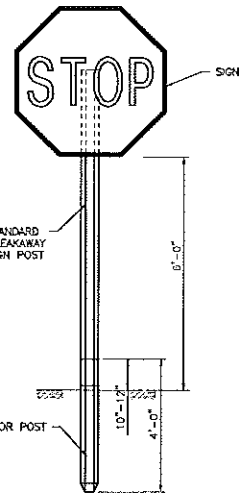
SHEET
5 OF 6

CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION PLANS

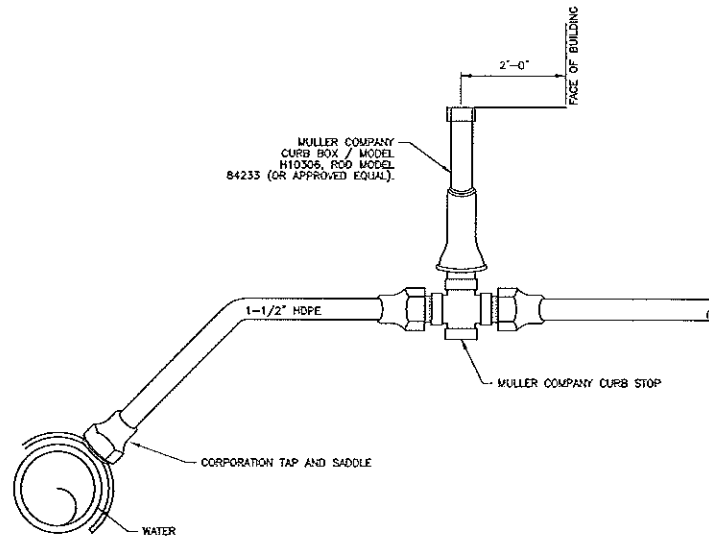
JULY 23, 2015



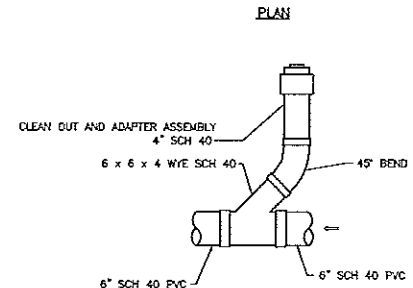
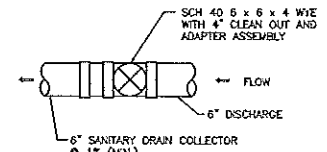
SPLIT RAIL FENCE WITH WIRE MESH DETAIL
NOT TO SCALE



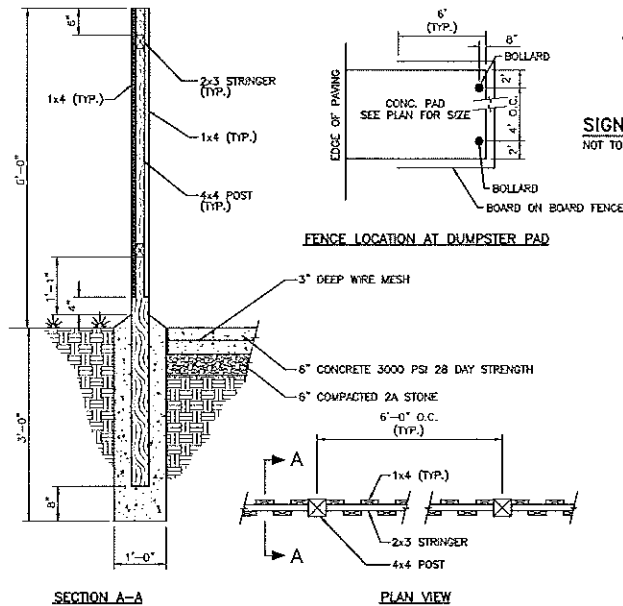
SIGN POST INSTALLATION DETAIL
NOT TO SCALE



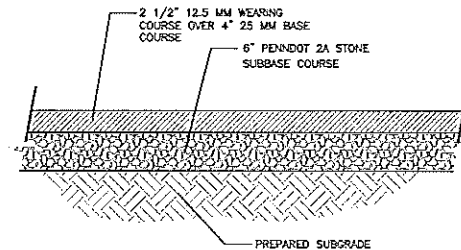
WATER SERVICE DETAIL
NOT TO SCALE



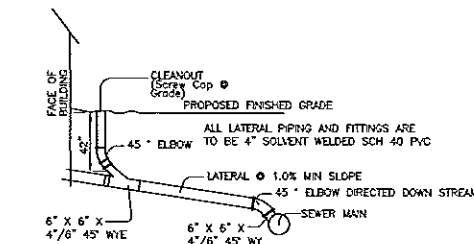
CLEAN OUT ASSEMBLY DETAIL
NOT TO SCALE



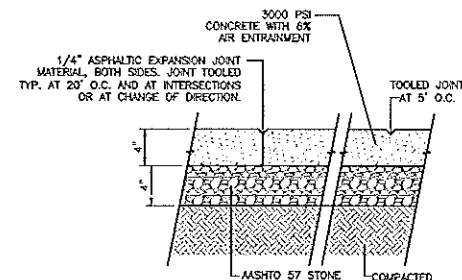
FENCE LOCATION AT DUMPSTER PAD



TYPICAL BITUMINOUS PAVEMENT SECTION
NOT TO SCALE

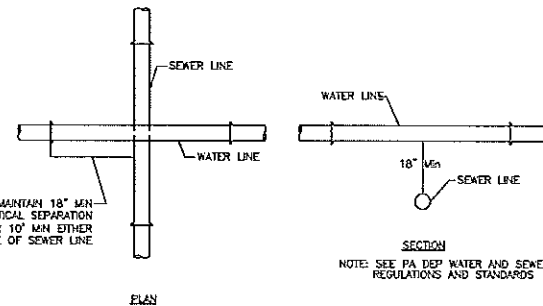


SANITARY LATERAL DETAIL
NOT TO SCALE



NOTES:
1. TOOL ALL EDGES
2. 1/4" PER. FT. CROSS SLOPE
3. BROOM OR BURLAP FINISH
4. SIDEWALK TO BE MIN. 5'-0" WIDE OR AS INDICATED ON THE PLAN
SIDEWALK DETAIL
NOT TO SCALE

TRASH ENCLOSURE DETAIL
NOT TO SCALE



8.7.3 CROSSINGS
WHENEVER WATER MAINS MUST CROSS BUILDING DRAINS, STORM DRAINS, OR SANITARY SEWERS, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS 18 INCHES ABOVE THE TOP OF THE DRAIN OR SEWER. THIS VERTICAL SEPARATION SHALL BE MAINTAINED FOR THE PORTION OF THE WATER MAIN LOCATED WITHIN 10 FEET HORIZONTALLY OF ANY SEWER OR DRAIN IT CROSSES. THE 10 FEET IS TO BE MEASURED AS A PERPENDICULAR DISTANCE FROM THE DRAIN OR SEWER LINE TO THE WATER LINE.

8.7.4 EXCEPTION
WHEN IT IS IMPOSSIBLE TO OBTAIN THE PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED IN SECTION 8.7.2 AND 8.7.3, BOTH THE WATER MAIN AND SEWER LINE SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON, GALVANIZED STEEL OR PROTECTED STEEL PIPE HAVING MECHANICAL JOINTS. OTHER TYPES OF JOINTS OF EQUAL OR GREATER INTEGRITY MAY BE USED AT THE DISCRETION OF THE DEPARTMENT. THERMOPLASTIC PIPE MAY BE USED PROVIDED MECHANICAL OR SOLVENT WELD PIPE JOINTS ARE USED. THESE SHALL BE PRESSURE-TESTED TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING. WHERE WATER MAINS MUST CROSS UNDER A SEWER, ADDITIONAL PROTECTION SHALL BE PROVIDED BY:

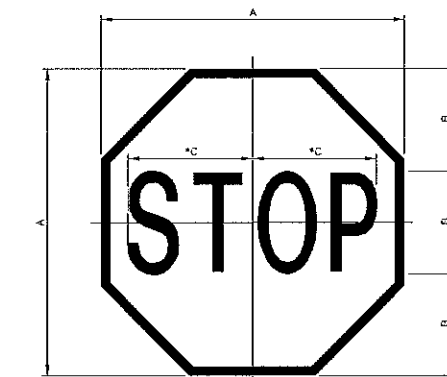
A. A VERTICAL SEPARATION OF AT LEAST 18 INCHES BETWEEN THE BOTTOM OF THE SEWER AND THE TOP OF THE WATER LINE.

B. ADEQUATE STRUCTURAL SUPPORT FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF THE JOINTS AND THE SETTLING ON AND BREAKING OF THE WATER LINE.

C. THAT THE LENGTH OF THE WATER LINE BE CENTERED AT THE POINT OF THE CROSSING SO THAT THE JOINTS SHALL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER.

THE DEPARTMENT SHALL BE CONSULTED WHEN ANY OF THE ABOVE CONDITIONS CANNOT BE MET TO DISCUSS THE USE OF DOUBLE CASING OR CONCRETE ENCASEMENT OF SEWER AND/OR WATER LINES AS POSSIBLE ALTERNATIVES.

WATER AND SEWER LINE CROSSING DETAIL AND NOTES
NOT TO SCALE

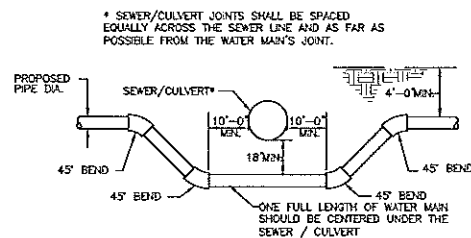


COLOR: LEGEND AND BORDER BACKGROUND WHITE (REFLECTORIZED) RED (REFLECTORIZED)

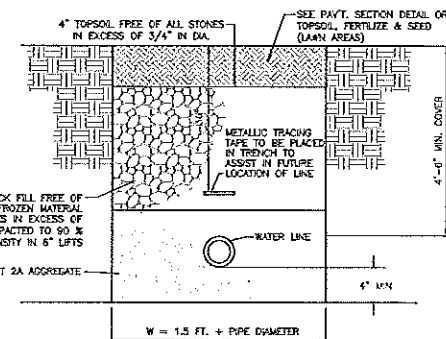
SIZE	A	B	C	SERIES	BOR- DER	BLANK STD.
24x24	24	8	10	C	24	B1-24
30x30	30	10	12	C	30	B1-30
36x36	36	12	15	C	36	B1-36
48x48	48	15	20	C	48	B1-48

NOTE: SIGN SHALL BE INSTALLED ON STANDARD BREAK-AWAY POST.

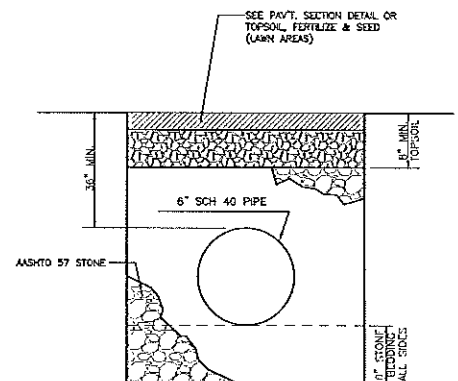
STOP SIGN (R1-1)
NOT TO SCALE



TYPICAL WATER LINE CROSSING
NOT TO SCALE



WATER MAIN TRENCH DETAIL
NOT TO SCALE



STANDARD PIPE BEDDING DETAIL
NOT TO SCALE

5/3/2014 14:57:47 Final Draw: LDP Tubing Slope Lodge Reconstruction Details.dwg | Dec 02, 2015 1:31:59pm | Mobile



Boucher & James, Inc.
CONSULTING ENGINEERS
DOYLESTOWN, PA
REGIONAL OFFICE: 2738 RIMROCK DRIVE, STROUDSBURG, PA 18360
VOICE: (570) 623-0300 FAX: (570) 623-0308
www.bjeng.com

DATE	DESCRIPTION	DATE	DESCRIPTION
9/21/15	REVISIONS PER TYP. ENG. LETTER DATED 9/18/15		
11/10/15	REVISED FOR RESUBMISSION		

CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION
POCONO TOWNSHIP
MONROE COUNTY, PA

APPLICANT:
CB H2O L.P.
1 CAMELBACK ROAD
TANNERSVILLE, PA 18372

CAMELBACK MOUNTAIN

JOB NO.:
156579

DESIGNED BY:
MEG

DRAWN BY:
MEG

SCALE:
AS NOTED

PLAN STATUS:
PERMITTING

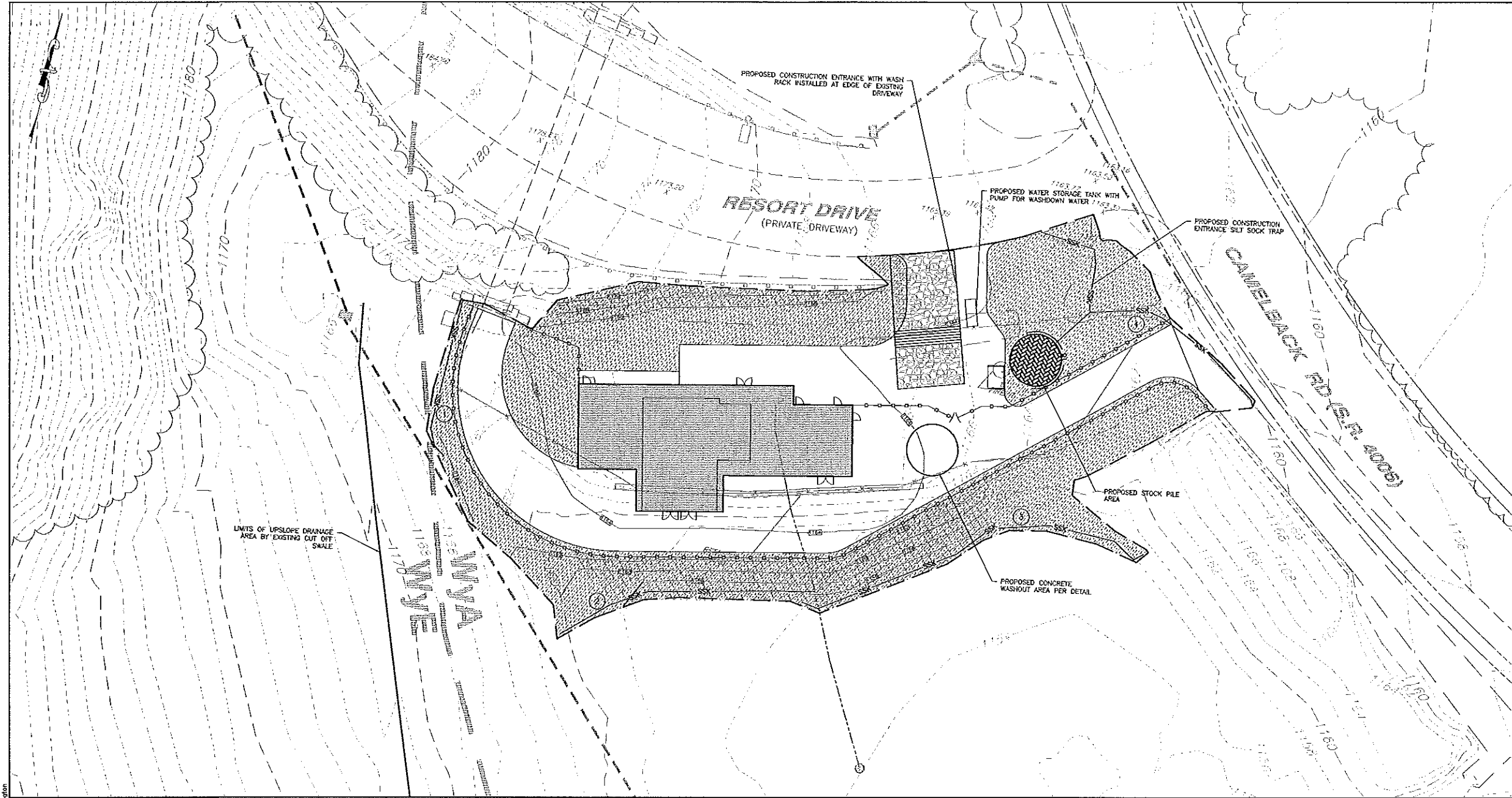
CONSTRUCTION DETAILS

Boucher & James, Inc.
CONSULTING ENGINEERS
DOYLESTOWN, PA
REGIONAL OFFICE: 2738 RIMROCK DRIVE, STROUDSBURG, PA 18360
VOICE: (570) 623-0300 FAX: (570) 623-0308
www.bjeng.com

SHEET
6 OF 6

CAMELBACK TUBING SLOPE LODGE RECONSTRUCTION PLANS

JULY 23, 2015



LEGEND

ADJACENT LINE
EXISTING BOUNDARY
EXISTING BUILDINGS
EXISTING BOLLARD
EXISTING CONTOUR
EXISTING INDEX CONTOUR
EXISTING DRIVEWAY
EXISTING ELECTRIC AND STRUCTURES
EXISTING EDGE OF PAVEMENT
EXISTING EDGE OF STONE
EXISTING CHAINLINK FENCE
EXISTING GUIDE RAIL
EXISTING LIGHTS
EXISTING LEGAL RIGHT-OF-WAY
EXISTING ULTIMATE RIGHT-OF-WAY
EXISTING STORM SEWER AND STRUCTURES
EXISTING SIDEWALK
EXISTING SPOT ELEVATION
EXISTING TREELINE
EXISTING UTILITY POLE AND GUY WIRE
EXISTING WATER LINE AND STRUCTURES
EXISTING WATER SERVICE AND STRUCTURE
LIMITS OF EXISTING DRAINAGE AREA

PROPOSED BUILDING
PROPOSED CONCRETE
PROPOSED CONTOUR
PROPOSED INDEX CONTOUR
PROPOSED EDGE OF PAVEMENT
PROPOSED EDGE OF STONE
PROPOSED SPLIT RAIL FENCE
PROPOSED SIDEWALK
PROPOSED STORM SEWER AND STRUCTURE
PROPOSED LIMITS OF DISTURBANCE
PROPOSED SILT SOCK
PROPOSED SILT SOCK
PROPOSED EROSION CONTROL MATTING
NAG S155
PROPOSED NPDES BOUNDARY
PROPOSED TEMPORARY RIP-RAP

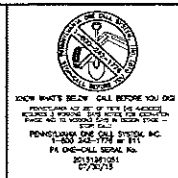
L&C
M&C
MaC
SOILS BOUNDARY AND DESIGNATOR

SA2014-14374.dwg Plotted: 03/28/2015 11:56:00 AM User: jmcgovernor Plot Device: HPGL-2 Plotter: HPGL-2

Written dimensions shall have priority over scaled dimensions. All dimensions, elevations, locations, and conditions, shall be verified by the Engineer prior to construction, and the Owner and Boucher & James, Inc. shall be notified of any discrepancies with the information shown on drawings.

Only those plans representing the latest or not in professional seal shall be considered official and relied upon. All design, drawings and amendments presented herein were developed for use only, and in connection with the specific project being prepared for the Owner. These plans may not be reproduced or altered without the expressed written permission of Boucher & James, Inc.


Information shown on this plan represents professional services provided by Boucher & James, Inc. and is not to be used for any other purpose. Reproduction of this plan without written approval of Boucher & James, Inc. is prohibited. Unauthorized reproduction of this plan for any purpose will be considered a violation of the professional code of ethics. Any violation will be prosecuted to the fullest extent of the law.



REVISIONS:			
DATE	DESCRIPTION	DATE	DESCRIPTION
03/28/15	REVISED PER MCD COMMENTS		
04/11/15	REVISED PER TOWNSHIP ENGINEER'S LETTER DATED 6/15/15		

TUBING SLOPE LODGE ESPC PLANS
POCONO TOWNSHIP
MONROE COUNTY, PA

CLIENT:
CB H2O L.P.
1 CAMELBACK ROAD
TANNERSVILLE, PA 18372



CAMELBACK MOUNTAIN

0 10 20 40 60
SCALE: 1" = 20'

JOB NO.: 156579
DATE: 03/28/15
CHECKED BY: MEG
SCALE: AS SHOWN
PLAN STATUS: PERMITTING

EROSION AND SEDIMENTATION CONTROL PLAN

Boucher & James, Inc.
CONSULTING ENGINEERS
DOYLESTOWN • STROUDSBURG • MORGANTOWN
REGIONAL OFFICE: 2738 RIMROCK DRIVE, STROUDSBURG, PA 18350
VOICE: (570) 629-0300 FAX: (570) 629-0306


www.bjeng.com

SHEET
E1 OF 3
DATE: JULY 23, 2015

TUBING SLOPE LODGE ESPC PLANS

SOILS RESOLUTIONS

- A. SOILS DEEMED UNSUITABLE FOR CONSTRUCTION (E.G., ORGANIC SOILS, OVERLY WET SOILS, Boulders, ETC.), SHALL BE TREATED, ELIMINATED OR MODIFIED UNTIL SUITABLE, OR DISPOSED OF OFF-SITE.
- B. SOILS EXHIBITING LOW SHEAR STRENGTH SHALL BE BLENDED WITH OTHER ON-SITE SOILS OR OTHERWISE TREATED UNTIL THEY MEET THE CONTRACT SPECIFICATIONS. ALTERNATIVELY LOW SHEAR STRENGTH SOILS MAY BE DISPOSED OF OFF-SITE.
- C. THE ON-SITE SOILS ARE MOISTURE SENSITIVE. WINTER GRADING IS A CONCERN DUE TO THE FINE GRAIN/COHESIVE NATURE OF THE SITE SOILS. FROZEN SOIL SHALL NOT BE USED AS FILL MATERIAL, UNLESS THAWED AND PROVEN ACCEPTABLE FOR USE AS FILL IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.
- D. ERODIBLE SOILS EXIST AT THE SITE. SOILS PRONE TO EROSION SHALL BE CONTROLLED BY THE MEASURES AND FACILITIES PRESENTED HEREIN.
- E. THE ON-SITE SOILS HAVE A SLIGHTLY ELEVATED SEEDLING MORTALITY RATE AND ARE WELL DRAINED. THE CONTRACTOR SHALL UTILIZE LIME AND SHALL WATER THE SITE TO ENSURE GROWTH OF GRASS AND LANDSCAPING.

THE SOILS ON THIS SITE ARE AS FOLLOWS:

W1A -- WYOMING GRAVELLY LOAM, 0 TO 3 PERCENT SLOPES
MAP UNIT SETTING
ELEVATION: 400 TO 1,800 FEET
MEAN ANNUAL PRECIPITATION: 30 TO 55 INCHES
MEAN ANNUAL AIR TEMPERATURE: 45 TO 54 DEGREES F
FROST-FREE PERIOD: 110 TO 180 DAYS
FASLAND CLASSIFICATION: FARMLAND OF STATEWIDE IMPORTANCE
MAP UNIT COMPOSITION
WYOMING AND SLOAN SOILS: 90 PERCENT
DESCRIPTION OF WYOMING SETTING
LANDFORM TERRACES
LANDFORM POSITION (TWO-DIMENSIONAL): TOESLOPE
LANDFORM POSITION (THREE-DIMENSIONAL): RISER
DOWN-SLOPE SHAPE: LINEAR
ACROSS-SLOPE SHAPE: LINEAR
PROPERTIES AND QUALITIES
SLOPE: 0 TO 3 PERCENT
DEPTH TO RESTRICTIVE FEATURE: MORE THAN 80 INCHES
NATURAL DRAINAGE CLASS: SOMEWHAT EXCESSIVELY DRAINED
CAPACITY OF THE MOST LIMITING LAYER TO TRANSMIT WATER (Ksat):
HIGH TO VERY HIGH (6.00 TO 20.00 IN/HR)
DEPTH TO WATER TABLE: MORE THAN 80 INCHES
FREQUENCY OF FLOODING: NONE
FREQUENCY OF FLOODING: NONE
AVAILABLE WATER CAPACITY: 1.04 (ABOUT 3.2 INCHES)
INTERPRETIVE GROUPS
LAND CAPABILITY (NONERODIBLE): 3S
HYDROLOGIC SOIL GROUP: A
TYPICAL PROFILES
H1 -- 0 TO 7 INCHES: GRAVELLY SANDY LOAM
H2 -- 7 TO 25 INCHES: VERY GRAVELLY SANDY LOAM
H3 -- 25 TO 60 INCHES: EXTREMELY GRAVELLY LOAMY COARSE SAND

RESOLUTIONS FOR SOILS

- THE SOILS ARE NOTED FOR HAVING BOULDERS WHICH MAY IMPEDE EXCAVATION AND REQUIRE OVER EXCAVATION AND REDUCTION/CRUSHING OF THE STONES FOR REUSE ON SITE.
- THE SOIL IS ACIDIC. THE APPLICATION OF LIME IS REQUIRED TO REDUCE SEEDLING MORTALITY FOR STABILIZATION WITH VEGETATION.
- THE SOIL HAS MILD TO MODERATE SOIL EROSION. TRADITIONAL SOIL EROSION PROTECTION BMPs SHOULD BE SUFFICIENT FOR THIS PROJECT.

DISPOSAL/RECYCLING

INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIAL CONSTRUCTION WASTE. INCLUDING WASTES SUCH AS, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, DAMAGED NETTING OR MATINGS, SANITARY WASTES, GENERAL TRASH, ETC. THAT COULD ADVERSELY EFFECT ON IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING OF THE SITE, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

SEDIMENT REMOVED FROM EROSION CONTROL MEASURES OR FACILITIES AND OTHER SOILS DEEMED UNSUITABLE FOR USE AS FILL SHALL BE STABILIZED AND DISPOSED OF OFF SITE AT AN APPROVED FACILITY. OFF SITE DISPOSAL MUST COMPLY WITH ALL LOCAL, COUNTY, STATE AND FEDERAL RULES, REGULATIONS AND LAWS.

EARTH MOVING DURING WINTER CONDITIONS

IN ORDER TO MINIMIZE THE POTENTIAL FOR SOIL EROSION AND RESULTING POLLUTION DURING THE WINTER MONTHS, THE FOLLOWING EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE TAKEN FOR ALL SOILS LOCATED ON THE SITE.

- WHEN FROZEN SOILS ARE ENCOUNTERED, THEY MUST BE STABILIZED IMMEDIATELY WITH THE MEASURES CALLED OUT IN THE CONSTRUCTION SEQUENCE AND SHOWN ON THE PLAN. AREAS THAT ARE NOT TO BE PERMANENTLY STABILIZED WITH STONE SHALL BE STABILIZED WITH MULCH AND JUTE NETTING UNTIL TEMPORARY OR FINAL SEEDING CAN BE ACCOMPLISHED.
- ADDITIONAL STONE SHALL BE PLACED ON THE CONSTRUCTION ENTRANCE IF REQUIRED TO MAINTAIN ITS EFFECTIVENESS.
- EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE BY WINTER.
- DISTURBED AREAS SHALL BE MULCHED DURING WINTER MONTHS AND SEEDING AND STABILIZED AS SOON AS CONDITIONS ALLOW IN THE SPRING.

CONSTRUCTION SEQUENCE

THE PERMITTEE AND/OR CONTRACTOR/COMMITTEE SHALL NOTIFY THE COUNTY CONSERVATION DISTRICT, BY TELEPHONE OR CERTIFIED MAIL, AT LEAST SEVEN DAYS BEFORE CONSTRUCTION IS TO BEGIN. ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT SHALL BE INVITED TO A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR UNDERWRITING THE EARTHMOVING ACTIVITY.

UNLESS SPECIFICALLY NOTED, EACH STEP OF THE CONSTRUCTION SEQUENCE MUST BE COMPLETED PRIOR TO STARTING WORK ON THE FOLLOWING STEP IN THE SEQUENCE. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL AT ANY ONE TIME BY FOLLOWING THE CONSTRUCTION SEQUENCE AND PREVENT SEDIMENT POLLUTION BY INSTALLING MEASURES SHOWN ON THE PLAN.

PRIOR TO THE START OF OPERATIONS AT ANY SPOT, BORROW OR OTHER WORK AREA NOT DETAILED ON THE ESPC PLAN, WHETHER WITHIN OR OUTSIDE OF THE INDICATED LIMIT OF EARTH DISTURBANCE, THE PERMITTEE OR CO-PERMITTEE SHALL DEVELOP AND HAVE APPROVED BY THE PROCESSING ENTITY, A SEPARATE ESPC PLAN FOR EACH SITE.

UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY OR ANY STAGE THEREOF, THE PROJECT SITE SHOULD BE IMMEDIATELY STABILIZED AS OUTLINED SPECIFIED ON THE SEED RATE TABLES ON THE DETAIL SHEET.

ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF AT A SITE WITH AN APPROVED ESPC PLAN.

- AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL PARTIES INVOLVED IN THESE ACTIVITIES, INCLUDING THE LANDOWNER AND APPROPRIATE MUNICIPAL OFFICIALS, THE COUNTY CONSERVATION DISTRICT, AND ANY OTHER AUTHORITIES FOR AN ON-SITE PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL PLACE A PA-GAE CALL AT LEAST THREE DAYS BEFORE WORK BEGINS.

- INSTALL ALL Silt SOCK SECTIONS AS SHOWN ON PLANS. INSTALL ROCK CONSTRUCTION ENTRANCE AT THE EXISTING SITE DRIVEWAY WITH DOWNSLOPE TRAP.

- REMOVED EXISTING BUILDINGS.

- CONSTRUCT NEW LODGE, INSTALL UTILITIES AND LIGHTING THEN GRADE ENTIRE SITE TO SUBBASE STONE. ELEVATIONS IN PAYMENT AREAS AND FINAL CONTOUR LINES SHALL BE MAINTAINED. STABILIZE ALL AREAS WITH EROSION CONTROL MATTING, SEED AND MULCH, OR STONE AS PER THE PLANS.

- PAVE SITE, INSTALL LANDSCAPING AND STABILIZE SITE.

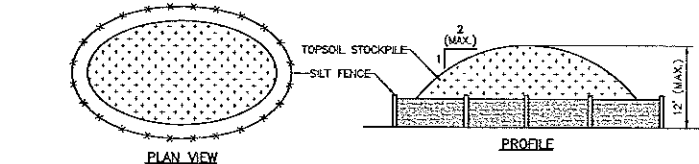
- AFTER ALL AREAS ARE 70 % STABILIZED WITH UNIFORM VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES OR GRAVEL AS APPROPRIATE HAS BEEN ACHIEVED, EROSION CONTROL MEASURES, INLET PROTECTION, ROCK FILTERS, SEDIMENT CONTROL, FENCE, ETC. CAN BE REMOVED. ALL DISTURBANCE ASSOCIATED WITH BMP REMOVAL SHALL BE IMMEDIATELY STABILIZED WITH FINAL TOP SOIL, SEED, AND MULCH.

- ALL MATERIALS, WHETHER NATURAL OR SYNTHETIC, SHALL BE DISPOSED OF IN ACCORDANCE WITH THE PA DEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. AND ANY OTHER APPROPRIATE LOCAL, STATE OR FEDERAL CODE, REGULATION OR LAW. ALL SOIL REMOVED FROM THE SITE THAT IS NOT TO BE DISPOSED OF AT A SITE WITH AN APPROVED ESPC PLAN, THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIALS OR WASTES.

GENERAL EROSION AND SEDIMENTATION CONTROL NOTES:

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EAS PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL NOTIFY ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE OWNER PREPARED, THE PCSM PLAN PREPARED, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE EAS BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS EAS PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FURTH GRUBBING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISSEMINATING UNDESIRABLE CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN EAS PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FT-001 MUST BE OBTAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS (SPECIFY LOT NUMBERS) ONTO (SPECIFY ROAD NAMES).
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION BARRIERS AFTER EACH RAINFALL EVENT. WHEN A WEEDY BASIS, ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, THE CLEANING, RESCHEDULING AND RESETTING MUST BE PERFORMED IMMEDIATELY. IF THE EAS BMPs FAIL TO PERFORM AS EXPECTED, RESCHEDULING MUST BE COMPLETED IMMEDIATELY. THE EAS BMPs SHALL BE MAINTAINED AS EXPECTED.
- ALL LOG-SHOWING DATES THAT EAS BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM SURFACES SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES -- 6 TO 12 INCHES ON COMPACTED SOILS -- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MAXIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS NECESSARY TO REDUCE EROSION, SURFACE SETTLING, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT MATERIALS OF HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATIONS FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA, THE CONTRACTOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- EAS BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE EAS BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION EROSION AND SEDIMENT CONTROL MEASURES. AREAS DISTURBED DURING REPAIR OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL EAS BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF EAS BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN Misdemeanor CRIMINAL PENALTIES FOR EACH VIOLATION.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIALS/WASTES.
- UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.
- CHANNELS HAVING RIPRAP, RIVET MATRESS, OR GABION LININGS MUST BE SUFFICIENTLY OVER-EXCAVATED SO THAT DESIGN DIMENSIONS WILL BE PROVIDED AFTER PLACEMENT OF THE PROTECTIVE LINING.
- SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS.
- SEDIMENT BASINS SHALL BE PROTECTED FROM UNAUTHORIZED ACTS BY THIRD PARTIES.
- ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED PROPERTY.
- UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED TO MAXIMUM 6" LAYERED LIFTS COMPACTED TO 95 % DRY DENSITY. THE MATERIALS MUST HAVE 20 TO 40 % SAND, 40 TO 50 % SILT AND 10 TO 40 % CLAY.

TOPSOIL STOCKPILE



SILT FENCE MUST BE PLACED ON THE DOWNSLOPE SIDE OF SOIL STOCKPILES IMMEDIATELY APPLY TEMPORARY SEEDING TO ALL STOCKPILES WHICH WILL BE IN PLACE FOR 20 DAYS OR MORE.

TOPSOIL STOCKPILE AREA DETAIL

NOT TO SCALE

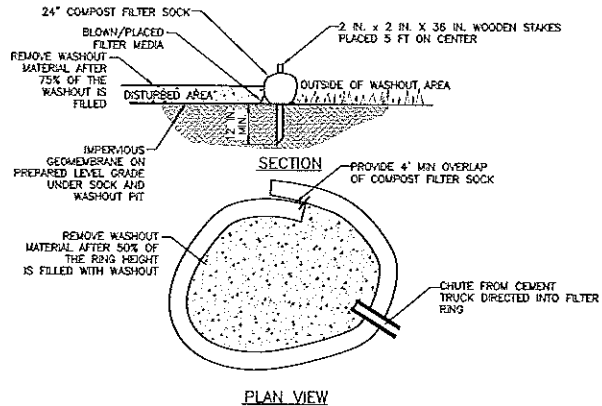
TOPSOIL APPLICATION

- GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENEED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE.
- TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 6 INCHES MINIMUM -- 2 INCHES ON FILL OUTSLOPES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SOILING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE PCSM PLAN.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MOIST CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

TABLE 11.1 Cubic Yards of Topsoil Required for Application to Various Depths ^a		
Depth (in)	Per 1,000 Square Feet	Per Acre
1.00	3.10	134.00
2.00	6.20	268.00
3.00	9.30	402.00
4.00	12.40	536.00
5.00	15.50	670.00
6.00	18.60	804.00
7.00	21.70	938.00
8.00	24.80	1072.00

Soil Amendment Application Rate Equivalents			
Soil Amendment	Permanent Seeding Application Rate		
	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.
Agricultural lime	6 tons	240 lb.	2,480 lb.
10-10-20 fertilizer	1,000 lb.	25 lb.	210 lb.
Temporary Seeding Application Rate			
Agricultural lime	1 ton	40 lb.	410 lb.
10-10-20 fertilizer	500 lb.	12.5 lb.	100 lb.

NOTE: A compost blanket which meets the standards of the PA DEP ESPC Program Manual of March 2012 may be substituted for the soil amendments shown above.

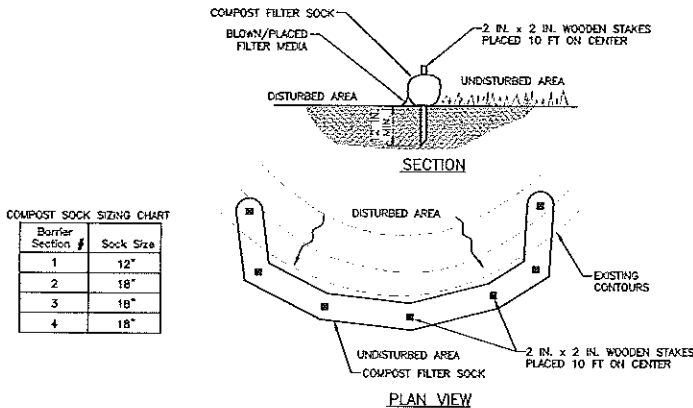


NOTES:

- SOCK MATERIALS AND INSTALLATION SHALL BE CONSISTENT WITH STANDARD DETAIL 4-1 COMPOST FILTER SOCK.
- ADDITIONAL HEIGHT MAY BE ADDED BY ADDING AN ADDITIONAL ROW OF 24" SOCK AND AN ADDITIONAL 18" SOCK ON TOP OF DOUBLE COMPOST FILTER SOCK. WHERE NECESSARY, SOCKS MAY BE STACKED AND STAKED SO AS TO FORM A TRIANGULAR CROSS-SECTION TO INCREASE STORAGE DEPTH PER MANUFACTURER'S RECOMMENDATIONS.
- ALL CONCRETE WASHOUT MUST BE DIRECTED TO A WASHOUT FACILITY. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS.
- SIGNAGE SHALL BE PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
- ADDITIONAL WASHOUT FACILITIES MAY BE ADDED TO THE SITE AT THE DISCRETION/NEED OF THE CONTRACTOR. HOWEVER WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS.
- THE WASHOUT FACILITIES SHALL NOT BE INSTALLED ON ANY SLOPE IN EXCESS OF 2 %.
- ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY AND PRIOR TO USE. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.
- ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
- PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
- THE USE OF PREMANUFACTURED WASHOUT CONTAINERS IS ACCEPTABLE WITH PRIOR AUTHORIZATION FROM THE CONSERVATION DISTRICT.

COMPOST FILTER SOCK CONCRETE WASHOUT DETAIL

NOT TO SCALE



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 6 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1

COMPOST FILTER SOCK

NOT TO SCALE

Permanent Stabilization Seed Mixtures		
Mixture Number	Species	Seeding Rate Pure Live Seed ¹
1 ²	Spring oats (spring), or	64
	Annual ryegrass (spring or fall), or	10
	Winter wheat (fall), or	90
2 ³	Winter rye (fall)	56
	Tall fescue, or	50
	Fine fescue, or	35
	Kentucky bluegrass	25
	Redtop, or	3
	Perennial ryegrass	15

1. PLS is the product of the percentage of pure seeds times percentage germination divided by 100. For example, to secure the actual planting rate for switchgrass, divide 12 pounds PLS shown on the seed tag. Thus, if the PLS content of a given seed lot is 35%, divide 12 PLS by 0.35 to obtain 34.3 pounds of seed required to plant one acre. All mixtures in this table are shown in terms of PLS.

2. If high-purity seed is used, for most species seed spring oats at a rate of 2 bushels per acre, winter wheat at 11.5 bushels per acre, and winter rye at 1 bushel per acre. If germination is below 90%, increase these suggested seeding rates by 0.5 bushel per acre.

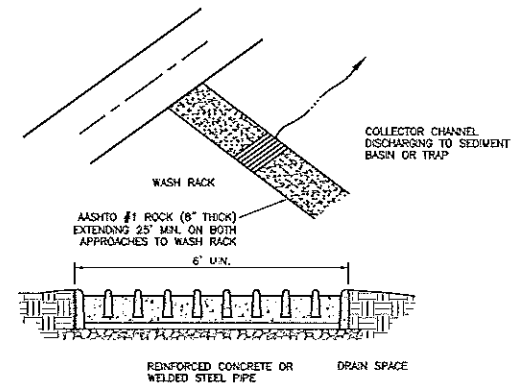
3. This mixture is suitable for frequent mowing. Do not cut shorter than 4 inches.

4. All disturbed areas shall be established with stone, erosion control matting and/or seed and mulch during winter months to prevent soil erosion until spring to allow for final seeding.

TEMPORARY SEEDINGS FOR CRITICAL AREAS AND AREAS NOT SUBJECT TO ONGOING CONSTRUCTION		
TYPE OF COVER & SPECIES OF MIXTURES	APPLICATION RATE IN LBS./1000 sq. ft.	LBS. PER ACRE
1. RYEGRASS	1	20 to 40
2. SPRING OATS (SPRING)	2.5	109
3. WINTER RYE (FALL)	3.5	152

Mulch Application Rates				
Mulch Type	Application Rate (Min.)			Notes
	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.	
Straw	3 tons	140 lb.	1,240 lb.	Either wheat or oat straw, free of weeds, not chopped or finely broken
Hay	3 tons	140 lb.	1,240 lb.	Timothy, mixed clover and timothy or other native forage grasses
Wood Chips	4 -- 6 tons	185 -- 275 lb.	1,650 -- 2,500 lb.	May prevent germination of grasses and legumes
Hydromulch	1 ton	47 lb.	415.00 lb.	See limitations above

Table 4.1 Compost Sock Fabric Minimum Specifications					
Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Biodegradable	Photo-degradable	Photo-degradable
Sock	12"	12"	12"	12"	12"
Diameters	18"	18"	18"	18"	18"
		24"	24"	24"	24"
		32"	32"	32"	32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile					
Strength		26 psi	26 psi	44 psi	202 psi
Ultimate	23% at	23% at		100% at	100% at
Stability %	1000 hr.	1000 hr.		1000 hr.	1000 hr.
Original					
Strength					
(ASTM G-155)					
Minimum					
Functional					
Longevity	6 months	9 months	6 months	1 year	2 years
Two-ply systems					
Inner Containment Netting	HDPE bioliner net				
	Continuously wound				
	Fusion-welded joints				
	3/4" X 3/4" Max. aperture size				
Outer Filtration Mesh	Composite Polypropylene Fabric				
	(Woven layer and non-woven fleece mechanically fused via needle punch)				
3/16" Max. aperture size					
Sock fabrics composed of burlap may be used on projects lasting 6 months or less					



NOTES:

WASH RACK SHALL BE 20 FEET (MIN.) WIDE OR TOTAL WIDTH OF ACCESS.

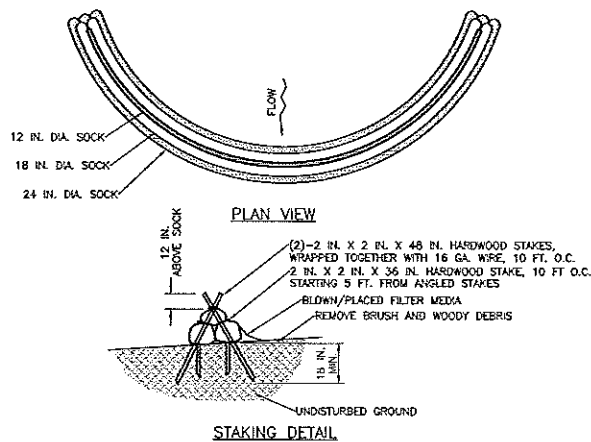
WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED CONSTRUCTION VEHICULAR TRAFFIC.

A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. ALL SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL #3-2 ROCK CONSTRUCTION ACCESS WITH WASH RACK

NOT TO SCALE



DESIGN NOTES:

1. COMPOST SOCK SEDIMENT TRAP SHALL BE SIZED TO PROVIDE 2000 CUBIC FEET OF STORAGE CAPACITY FOR EACH ACRE TRIBUTARY TO THE TRAP.
2. MINIMUM BASE WIDTH IS EQUAL TO THE HEIGHT.
3. SEDIMENT ACCUMULATION SHALL NOT EXCEED 1/3 THE TOTAL HEIGHT OF THE TRAP.
4. SOCKS SHALL BE OF LARGER DIAMETER AT THE BASE OF THE TRAP AND DECREASE IN DIAMETER FOR SUCCESSIVE LAYERS AS SHOWN ON THE PLAN VIEW.
5. ENDS OF THE TRAP SHALL BE A MINIMUM OF 1 FOOT HIGHER IN ELEVATION THAN THE MID-SECTION, WHICH SHALL BE LOCATED AT THE POINT OF DISCHARGE.

NOTES:

SOCK MATERIAL SHALL MEET THE STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST SOCK SEDIMENT TRAPS SHALL NOT EXCEED THREE SOCKS IN HEIGHT AND SHALL BE STACKED IN PYRAMIDAL FORM AS SHOWN ABOVE. MINIMUM TRAP HEIGHT IS ONE 24" DIAMETER SOCK. ADDITIONAL STORAGE MAY BE PROVIDED BY MEANS OF AN EXCAVATED SUMP 12" DEEP EXTENDING 1 TO 3 FEET UPSLOPE OF THE SOCKS ALONG THE LOWER SIDE OF THE TRAP.

COMPOST SOCK SEDIMENT TRAPS SHALL PROVIDE 2,000 CUBIC FEET STORAGE CAPACITY WITH 12" FREEBOARD FOR EACH TRIBUTARY DRAINAGE ACRE. (SEE MANUFACTURER FOR ANTICIPATED SETTLEMENT.)

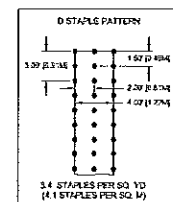
THE MAXIMUM TRIBUTARY DRAINAGE AREA IS 5.0 ACRES. SINCE COMPOST SOCKS ARE "FLOW-THROUGH," NO SPILLWAY IS REQUIRED.

COMPOST SOCK SEDIMENT TRAPS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 THE HEIGHT OF THE SOCKS.

PHOTODEGRADABLE AND BIODEGRADABLE SOCKS SHALL NOT BE USED FOR MORE THAN 1 YEAR.

STANDARD CONSTRUCTION DETAIL #3-11 COMPOST SOCK SEDIMENT TRAP

NOT TO SCALE

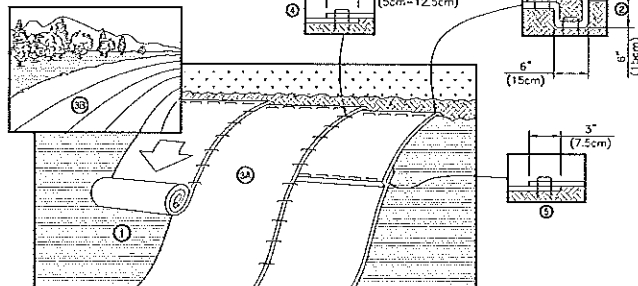


STAPLE PATTERN NOTES:

1. FOR BLANKETS WITH THE NORTH AMERICAN GREEN DOT SYSTEM PLACE STAPLES/STAKES THROUGH EACH OF THE RED COLORED DOTS (1.15 STAPLES PER SQ. YD.).
2. THE STAPLE PATTERN SHOWN ASSUMES THE NORTH AMERICAN GREEN 6.67' STANDARD ROLLS ON 3:1 SLOPES (NON-STANDARD ROLL SIZES AND/OR OTHER USE CONFIGURATIONS WILL REQUIRE ALTERNATE STAPLE PATTERNS).



NAG S150 BLANKET



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPUN DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

NOTE:

*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

14849 HIGHWAY 41 NORTH, EVANSVILLE, INDIANA 47725
USA 1-800-772-2040 CANADA 1-800-448-2040
www.nagreen.com

SLOPE MATTING INSTALLATION AND STAPLE PATTERN

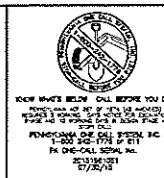
NOT TO SCALE

CONTRACTOR MUST DEMONSTRATE
PERFORMANCE OF SUBSTITUTE
PRODUCTS PRIOR TO SUBSTITUTION

Written dimensions shall have priority over noted dimensions. All dimensions, elevations, locations, and conditions shall be verified by the Contractor prior to construction, and the Owner and Boucher & James, Inc. shall be notified of any discrepancies with the information shown on drawings.

Only those plans incorporating the noted or red ink professional seal and signature shall be considered official and relied upon. All plans, designs and amendments presented heron were developed for use on, and in connection with, the specified project being prepared for the Owner. These plans may not be reproduced or altered without the expressed written permission of Boucher & James, Inc.

Information shown on this plan represents professional services rendered by Boucher & James, Inc. and is not intended to be a representation of Boucher & James, Inc. The reproduction of this plan without written approval of Boucher & James, Inc. is not permitted. Unintentional reproduction of a copy of this plan for any purpose will be considered a violation of the copyright law and a theft of corporate assets. Unintentional disclosure of the plan will be considered a violation of the professional code of ethics and any violation will be prosecuted to the fullest extent of current statutes.



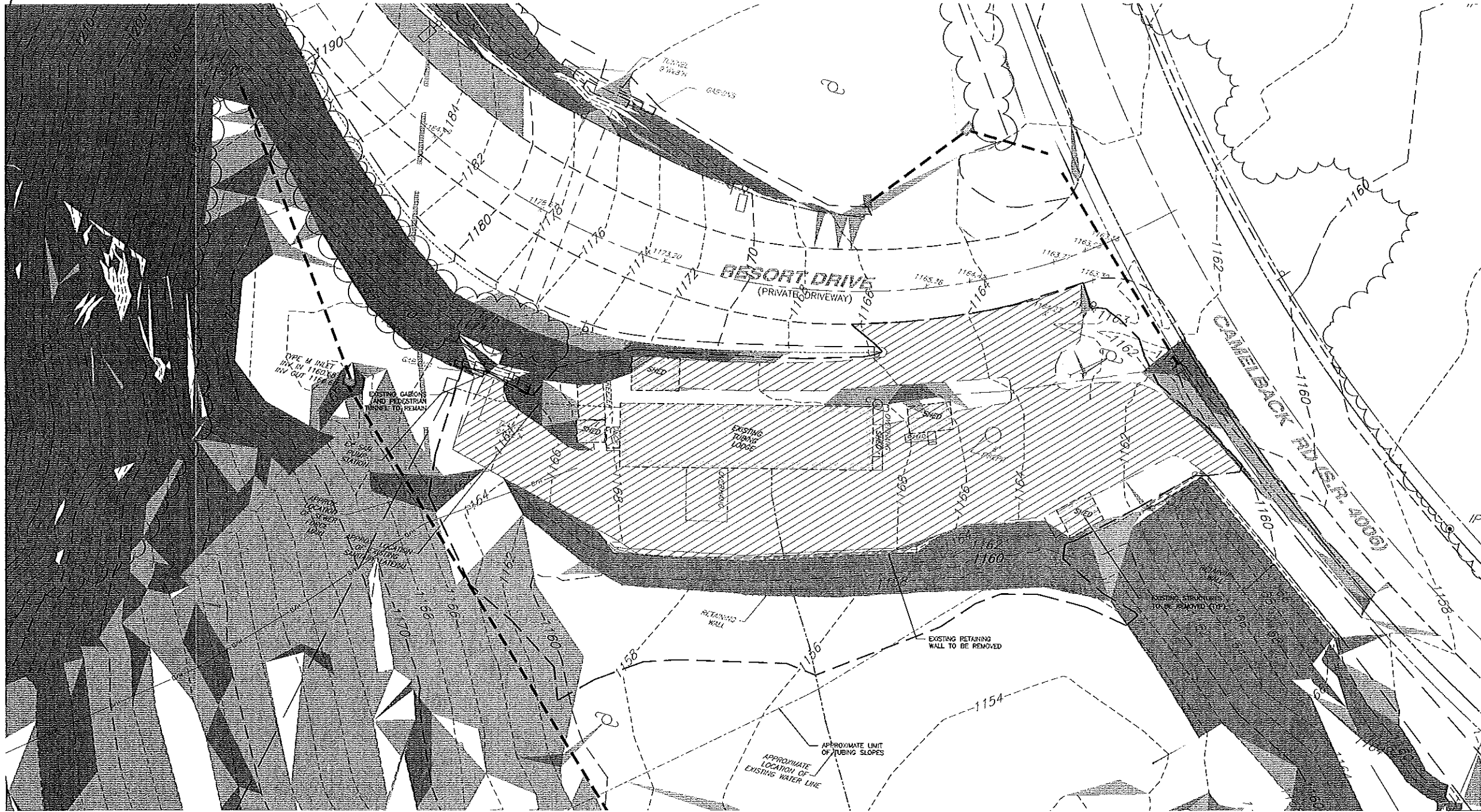
REVISIONS:		DATE	DESCRIPTION
02/02/15	REVISED PER HCD COMMENT		
09/21/15	REVISED PER TOWNSHIP ENGINEER'S LETTER DATED 8/18/15		

PROJECT:		TUBING SLOPE LODGE ESPC PLANS POCONO TOWNSHIP MONROE COUNTY, PA
APPLICANT:		CB H20 L.P. 1 CAMELBACK ROAD TANNERSVILLE, PA 18372

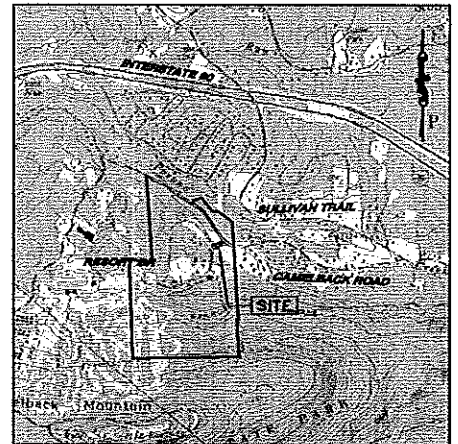


JOB NO.:	156579
DESIGNED BY:	UEG
CHECKED BY:	UEG
SCALE:	N.T.S.
PLAN STATUS:	PERMITTING

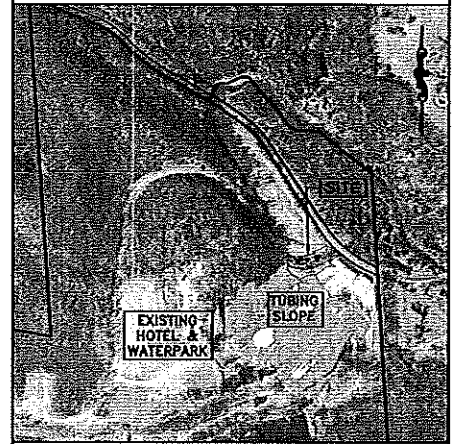
TITLE 1:		TITLE 2:	
EROSION AND SEDIMENTATION CONTROL DETAILS		SHEET E3 OF 3	
Boucher & James, Inc. CONSULTING ENGINEERS DOYLESTOWN • STROUDSBURG • MORAGANTOWN REGIONAL OFFICES: 2738 RIMROCK DRIVE, STROUDSBURG, PA 18360 VOICE: (570) 623-0200 FAX: (570) 623-0306		TUBING SLOPE LODGE ESPC PLANS	
JULY 23, 2015			



NOTE
EXISTING IMPERVIOUS AREA OF 16,284 SF (0.37 AC) TO BE REMOVED.



LOCATION MAP
SCALE: 1"=2000'
SOURCE: PASDA 2008 AERIAL MAPPING



AERIAL MAPPING
SCALE: 1" = 500'

LEGEND	
	EXISTING BOUNDARY
	ADJACENT LINE
	EXISTING BUILDINGS
	EXISTING BOTTOM OF BANK
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING CENTERLINE
	EXISTING OVERHEAD LINES
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF STONE
	EXISTING LEGAL RIGHT-OF-WAY
	EXISTING SIGN
	EXISTING STORM SEWER AND STRUCTURES
	EXISTING TOP OF BANK
	EXISTING TREELINE
	EXISTING TREELINE TO BE REMOVED
	EXISTING UTILITY POLE AND GUY WIRE
	EXISTING IMPERVIOUS AREA
	EXISTING SLOPES 8-15%
	EXISTING SLOPES 15-25%
	EXISTING STEEP SLOPES 25% AND GREATER
	SOILS BOUNDARY AND DESIGNATOR
	PROPOSED LIMITS OF DISTURBANCE

<p>Written dimensions shall have priority over scaled dimensions. All dimensions, elevations, locations, and conditions shall be verified by the Engineer prior to construction, and the Owner and Boucher & James, Inc. shall be notified of any discrepancies with the information shown on this plan.</p> <p>Only those plans incorporating the seal of a registered professional engineer shall be considered official and relied upon. All plans, drawings and correspondence presented herein were developed for use on, and in connection with, the specific project being prepared for the Owner. These plans may not be reproduced or altered without the expressed written permission of Boucher & James, Inc.</p> <p>Information shown on this plan represents professional services provided by Boucher & James, Inc. and is not to be used for any other purpose. Any use of this plan for any purpose other than that intended by Boucher & James, Inc. is not permitted. Unauthorized reproduction of this plan or any portion thereof is prohibited. Violation of the copyright laws and a theft of corporate assets. Unlawful circulation of this plan will be considered a violation of the professional code of ethics. Any violation will be prosecuted to the fullest extent of current statutes.</p>	<table><tr><th>DATE</th><th>DESCRIPTION</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td>9/14/15</td><td>REVISIONS PER TOWNSHIP ENGINEER</td><td></td><td></td></tr><tr><td>11/10/15</td><td>REVISED FOR SUBMISSION</td><td></td><td></td></tr></table>	DATE	DESCRIPTION	DATE	DESCRIPTION	9/14/15	REVISIONS PER TOWNSHIP ENGINEER			11/10/15	REVISED FOR SUBMISSION			<p>PROJECT: TUBING SLOPE LODGE RECONSTRUCTION PCSM PLANS POCONO TOWNSHIP MONROE COUNTY, PA</p> <p>CLIENT: CB H2O L.P. 1 CAMELBACK ROAD TANNERSVILLE, PA 18372</p> <p>CAMELBACK MOUNTAIN</p>	<p>0 10 20 40 60 SCALE: 1" = 20'</p>	<p>JOB NO.: 156579 DATE: 11/10/15 CHECKED BY: MEG SCALE: 1" = 20'</p>	<p>ERSAM PLAN Boucher & James, Inc. CONSULTING ENGINEERS DOYLESTOWN STRODSBURG MORGANTOWN REGIONAL OFFICE: 2738 PINROCK DRIVE, STRODSBURG, PA 18360 VOICE: (570) 629-0300 FAX: (570) 629-0306</p>	<p>SHEET P1 OF 2 JULY 23, 2015</p>
	DATE	DESCRIPTION	DATE	DESCRIPTION														
9/14/15	REVISIONS PER TOWNSHIP ENGINEER																	
11/10/15	REVISED FOR SUBMISSION																	
<p>DO NOT SCALE - SEE ABOVE FOR INFO</p> <p>REVISIONS PER TOWNSHIP ENGINEER</p> <p>REVISED FOR SUBMISSION</p>				<p>PERMITTING</p>	<p>TUBING SLOPE LODGE RECONSTRUCTION PCSM PLANS</p>													



February 11, 2016

Board of Commissioners
Pocono Township
P.O. Box 197
Tannersville, PA 18372

**RE: Camelback Resort
Tubing Slope Lodge Component 3
T & M File # POCOR0450**

Dear Commissioners:

T & M Associates has received and reviewed the revised and updated Land Planning Module – Component 3 for the Tubing Slope Lodge reconstruction project.

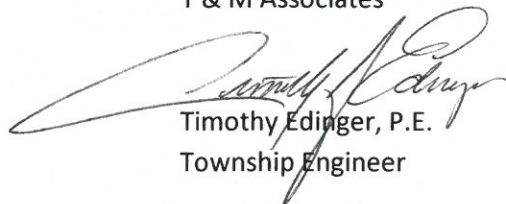
The revised package now includes the various components (Component 4A pending signature by Ronald Swink) for submission to DEP.

Accordingly, we recommend the Commissioners approve the Planning Module and have the appropriate signature(s) and municipal seal affixed where appropriate on the resolution, transmittal letter and certification statement (DEP checklist).

The Township should then forward two complete packages to the Pocono District office of DEP.

If you have any questions, please call this office.

Very Truly Yours,
T & M Associates



Timothy Edinger, P.E.
Township Engineer

Cc: Gregg Schuster, Township Manager
Leo DeVito, Township Solicitor
Rick Fisher, Zoning Enforcement Officer

Form



pennsylvania
DEPARTMENT OF ENVIRONMENTAL
PROTECTION

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked ☒.

A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Camelback Tubing Slope Lodge
2. Brief Project Description Reconstruction of an existing tubing slope lodge at the Camelback Resort

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
Pocono Township	Monroe	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Fisher	Rick			Zoning Office/Admin
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1	Mailing Address Line 2			
P.O. Box 197	112 Township Drive			
Address Last Line -- City	State	ZIP+4		
Tannersville,	PA	18372		
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
570-62+9-1922	570-629-7325			

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

Camelback Resort

Site Location Line 1

Resort Drive

Site Location Line 2

Site Location Last Line -- City

Tannersville

State

PA

ZIP+4

18372

Latitude

N 41° 3'

14.1056"

Longitude

W 75° 20'

35.8589"

Detailed Written Directions to Site From Interstate 80, Take SR 715 North, to Sullivan Trail North, to Camelback Rd North, to Resort Drive

Description of Site Existing Resort with a tubing slope and related facilities

Site Contact (Developer/Owner)

Last Name

Berry

First Name

Authur

MI

Suffix

Phone

(570) 629-1661

Ext.

Site Contact Title

Owner

Site Contact Firm (if none, leave blank)

CB H20, LP

FAX

570-629-2388

Email

Mailing Address Line 1

301 Resort Drive

Mailing Address Line 2

Mailing Address Last Line -- City

Tannersville

State

PA

ZIP+4

18372

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name

Gable

First Name

Michael

MI

Suffix

Title

Director of Engineering Services

Consulting Firm Name

Boucher & James, Inc.

Mailing Address Line 1

2738 Rim Rock Dr

Mailing Address Line 2

Address Last Line -- City

Stroudsburg

State

PA

ZIP+4

18064

Country

Email

mgable@bjengineers.com

Area Code + Phone

570-629-0300

Ext.

Area Code + FAX

570-629-0306

E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

☒ Individual wells or cisterns.

☐ A proposed public water supply.

☐ An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: N/A

F. PROJECT NARRATIVE (See Section F of instructions)

☒ A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- ☐ New collection system ☒ Pump Station ☐ Force Main
☐ Grinder pump(s) ☐ Extension to existing collection system ☐ Expansion of existing facility

Clean Streams Law Permit Number Existing Pump Station, Less than 10,000 gpd, no permit exists.

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 13, (5,200, gpd, 400 GPD/ EDU)

Connections 1

Name of:

existing collection or conveyance system Tubing Slope Pump Station Force main

owner Camelback, CB H2O, LP

existing interceptor N/A

owner N/A

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- ☐ New facility ☒ Existing facility ☐ Upgrade of existing facility ☐ Expansion of existing facility

Name of existing facility Camelback Mountain STP

NPDES Permit Number for existing facility 60569

Clean Streams Law Permit Number PA0060569

Location of discharge point for a new facility. Latitude _____ Longitude _____

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the Owner
(Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality CB H2O, LP

Name of Responsible Agent William R. Toye

Agent Signature _____

Date 1/11/16

(Also see Section I, 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- | | |
|---|--|
| a. Existing and proposed buildings. | j. Any designated recreational or open space area. |
| b. Lot lines and lot sizes. | k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping. |
| c. Adjacent lots. | l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping) |
| d. Remainder of tract. | m. Prime Agricultural Land. |
| e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed. | n. Any other facilities (pipelines, power lines, etc.) |
| f. Show tap-in or extension to the point of connection to existing collection system (if applicable). | o. Orientation to north. |
| g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.) | p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable). |
| h. Existing and proposed rights-of-way. | q. Soils types and boundaries when a land based system is proposed. |
| i. Existing and proposed buildings, streets, roadways, access roads, etc. | r. Topographic lines with elevations when a land based system is proposed |

4. WETLAND PROTECTION

YES NO

- a. ☐ ☒ Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. ☐ ☒ Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- ☐ ☒ Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP
If no, prime agricultural land protection is not a factor to this project.
- ☐ ☐ Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- ☐ ☒ Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at www.dep.state.pa.us, select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice (CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- ☒ The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- ☐ A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials _____

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- ☐ An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.
- The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection (Not Applicable)

- ☐ The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired (Not Applicable)

- ☐ The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters (Not Applicable)

- ☐ The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay (Not Applicable)

- ☐ The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

☐ **J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of Instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 5200 gpd

2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	5200	5200	4500	4500	5200	5200
Conveyance	5200	342720	4500	4500	5200	5200
Treatment	400000	400000	54700	228000	100000	300,000

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. ☐ ☒ This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

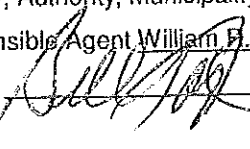
If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality CB H2O, LP

Name of Responsible Agent William F. Toye

Agent Signature 

Date 1/15/16

☐ **J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of Instructions)

c. **Conveyance System**

Name of Agency, Authority, Municipality CB H2O, LP

Name of Responsible Agent William R. Tove

Agent Signature [Signature]

Date 1/11/16

4. **Treatment Facility**

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a. ☐ ☒ This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

b. Name of Agency, Authority, Municipality CB H2O, LP

Name of Responsible Agent William R. Tove

Agent Signature [Signature]

Date 1/11/16

☐ **K. TREATMENT AND DISPOSAL OPTIONS** (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- ☐ 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- ☐ 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- ☐ 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- ☐ 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

☐ **L. PERMEABILITY TESTING** (See Section L of Instructions)

- ☐ The information required in Section L of the instructions is attached.

☐ **M. PRELIMINARY HYDROGEOLOGIC STUDY** (See Section M of Instructions)

- ☐ The information required in Section M of the instructions is attached.

☐ **N. DETAILED HYDROGEOLOGIC STUDY** (See Section N of instructions)

☐ The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. ☐ ☒ Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows 5200 gpd

Yes No

3. ☐ ☒ Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. ☐ ☒ If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization CB H2O, LP

Name of Responsible Agent William R. Tove

Agent Signature [Signature]

Date 1/11/16

- c. Conveyance System

Name of Responsible Organization CB H2O, LP

Name of Responsible Agent William R. Tove

Agent Signature [Signature]

Date 1/11/16

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. ☐ ☒ If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility CB H2O, LP Camelback Mountain STP

Name of Responsible Agent William R. Toye

Agent Signature [Signature]

Date 1/4/16

(For completion by the municipality)

6. ☐ The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1. ☐ ☒ Does the project propose the construction of a sewage treatment facility?
2. ☐ ☒ Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. ☐ ☒ Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. ☐ ☒ Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. ☐ ☒ Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. ☐ ☒ Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7. ☐ ☒ Does the project involve a major change in established growth projections?
8. ☐ ☒ Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT *cont'd.* (See Section P of instructions)

9. ☐ ☒ Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
10. ☐ ☒ Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
11. ☐ ☒ Will sewage facilities discharge into high quality or exceptional value waters?
- ☐ Attached is a copy of:
- ☐ the public notice,
 - ☐ all comments received as a result of the notice,
 - ☐ the municipal response to these comments.
- ☐ No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

William R. Tove

Name (Print)

Signature

CB H2O, LP Camelback Mountain

Title

Date

P.O. Box 197, Tannersville, PA 18372

Address

570-629-0300

Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- ☒ I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- ☐ I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$_____ payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- ☐ I request to be exempt from the DEP planning module review fee because this planning module creates **only one** new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____

Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\# \text{ } ______ \text{ Lots (or EDUs) X } \$50.00 = \$ \text{ } ______$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.

2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \text{ } ______ \text{ Lots (or EDUs) X } \$35.00 = \$ \text{ } ______$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)



TRANSMITTAL LETTER FOR SEWAGE FACILITIES PLANNING MODULE

DEP USE ONLY				
DEP CODE #	APS ID #	CLIENT ID #	SITE ID #	AUTH. ID #

TO: Approving Agency (DEP or delegated local agency)

Date _____

Dear Sir:

Attached please find a completed Sewage Facilities Planning Module prepared by Boucher & James, Inc. Michael E. Gable, PE
 Director of Engineering Services _____ for Camelback Resort _____
 _____ (Title) _____ (Name)
 a subdivision, commercial, or industrial facility located in Pocono Township

 _____ Monroe _____ County.
 _____ (City, Borough, Township)

Check one

- ☐ (i) The Planning Module, as prepared and submitted by the applicant, is approved by the municipality as a proposed ☐ revision ☐ supplement for new land development to its "Official Sewage Facilities Plan", and is ☐ adopted for submission to the Department of Environmental Protection ☐ transmitted to the delegated local agency for approval in accordance with the requirements of Chapter 71 and the Sewage Facilities Act, OR
- ☐ (ii) The Planning Module will not be approved by the municipality as a proposed revision or supplement for new land development to its "Official Sewage Facilities Plan" because the project described therein is unacceptable for the reason(s) checked below.

Check Boxes

- ☐ Additional studies are being performed by or on behalf of this municipality which may have an effect on the Planning Module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.
- ☐ The Planning Module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g., zoning, land use, Chapter 71). Specific reference or applicable segments of such laws or plans are attached hereto.
- ☐ Other (attach additional sheet giving specifics)

Municipal Secretary: Indicate below by checking appropriate boxes which components are being transmitted to the Approving Agency.

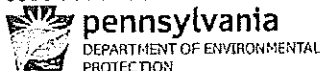
- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Resolution of Adoption | <input checked="" type="checkbox"/> 3. Sewage Collection/Treatment Facilities | <input checked="" type="checkbox"/> 4.A. Municipal Planning Agency Review |
| <input type="checkbox"/> 2. Individual and Community Onlot Disposal of Sewage | <input type="checkbox"/> 3s Small Flow Treatment Facilities | <input checked="" type="checkbox"/> 4.B. County Planning Agency Review |
| <input type="checkbox"/> 2m. Sewage Management Program | | <input type="checkbox"/> 4.C. County or Joint Health Department Review |

Municipal Secretary (print)

Signature

Date

Note: Please remove and recycle the Instructions portion of the Sewage Facilities Planning Module prior to mailing the appropriate completed components and supporting documents to the approving agency.



RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF THE ~~(SUPERVISORS)~~ (COMMISSIONERS) ~~(COUNCILMEN)~~ of Pocono
(TOWNSHIP) ~~(BOROUGH)~~ (CITY), Monroe COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the "Pennsylvania Sewage Facilities Act", as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (Department) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

WHEREAS CB H2O, LP has proposed the development of a parcel of land identified as
land developer

Camelback Resort, and described in the attached Sewage Facilities Planning Module, and
name of subdivision

proposes that such subdivision be served by: (check all that apply), ☐ sewer tap-ins, ☐ sewer extension, ☐ new treatment facility, ☐ individual onlot systems, ☐ community onlot systems, ☐ spray irrigation, ☐ retaining tanks, ☒ other, (please specify). Expansion of an existing Lodge

WHEREAS, Pocono Township finds that the subdivision described in the attached
municipality

Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the ~~(Supervisors)~~ (Commissioners) ~~(Councilmen)~~ of the (Township) ~~(Borough)~~ (City) of Pocono hereby adopt and submit to the Department of Environmental Protection for its approval as a revision to the "Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I _____, Secretary, _____
(Signature) Commissioners

Township Board of ~~Supervisors~~ ~~(Borough Council)~~ ~~(City Councilmen)~~, hereby certify that the foregoing is a true copy of the Township (Borough) (City) Resolution # _____, adopted, _____, 20____.

Municipal Address:

Pocono Township

P.O. Box 197, 112 Township Drive

Tannersville, Pa. 18372

Telephone 570-629-1922

Seal of

Governing Body



pennsylvania
DEPARTMENT OF ENVIRONMENTAL
PROTECTION

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

DEP Code #:

**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the existing local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Camelback Tubing Slope Lodge

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency. December 14, 20152. Date review completed by agency. January 25, 2016

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use?
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 5. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Will any known historical or archaeological resources be impacted by this project?
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 7. Will any known endangered or threatened species of plant or animal be impacted by this project?
If yes, describe impacts _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 8. Is there a municipal zoning ordinance? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 9. Is this proposal consistent with the ordinance?
If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 11. Have all applicable zoning approvals been obtained? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 12. Is there a municipal subdivision and land development ordinance? |

SECTION C. AGENCY REVIEW (continued)

Yes No

- ☒ ☐ 13. Is this proposal consistent with the ordinance?
If no, describe the inconsistencies Subject to Conditions
- ☒ ☐ 14. Is this plan consistent with the municipal Act 537 Official Sewage Facilities Plan?
If no, describe the inconsistencies _____
- ☐ ☒ 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
If yes, describe Not that the Township is aware of
- ☐ ☒ 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
- ☐ ☐ If yes, is the proposed waiver consistent with applicable ordinances?

17. Name, title and signature of planning agency staff member completing this section:

Name: Ronald SwinkTitle: Chairman of the Planning CommissionSignature: *Ronald Swink*Date: Feb 11, 2016Name of Municipal Planning Agency: Pocono Township Planning CommissionAddress 112 Township Drive, P.O. Box 197, Tannersville, PA 18372Telephone Number: 570-629-1922**SECTION D. ADDITIONAL COMMENTS (See Section D of Instructions)**

This Component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are desired, attach additional sheets.

The planning agency must complete this Component within 60 days.

This component and any additional comments are to be returned to the project sponsor.



**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW
(or Planning Agency with Areawide Jurisdiction)**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and one copy of this *Planning Agency Review Component* should be sent to the existing county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Camelback Tubing Slope Lodge

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county planning agency. December 16, 2015

2. Date plan received by planning agency with areawide jurisdiction N/A

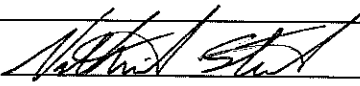
Agency name _____

3. Date review completed by agency December 23, 2015

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes No

- | | | |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 <i>et seq.</i>)? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Does this proposal meet the goals and objectives of the plan?
If no, describe goals and objectives that are not met _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe inconsistency _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation?
If no, describe inconsistencies: <u>N/A</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 6. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
If yes, describe impact _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Will any known historical or archeological resources be impacted by this project?
If yes, describe impacts <u>Unknown</u> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 8. Will any known endangered or threatened species of plant or animal be impacted by the development project? As per the Pennsylvania Natural Diversity Inventory (PNDI) Report submitted as part of the Land Development Application for this project. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Is there a county or areawide zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does this proposal meet the zoning requirements of the ordinance?
If no, describe inconsistencies <u>N/A</u> |

Yes	No	SECTION C. AGENCY REVIEW (continued)	
<input type="checkbox"/>	<input type="checkbox"/>	11.	Have all applicable zoning approvals been obtained? <u>Information regarding zoning approvals was not included within the submitted materials.</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	12.	Is there a county or areawide subdivision and land development ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	13.	Does this proposal meet the requirements of the ordinance? N/A If no, describe which requirements are not met _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	14.	Is this proposal consistent with the municipal Act 537 Official Sewage Facilities Plan? If no, describe inconsistency <u>N/A</u>
<input type="checkbox"/>	<input type="checkbox"/>	15.	Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe <u>Unknown</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.	Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
<input type="checkbox"/>	<input type="checkbox"/>		If yes, is the proposed waiver consistent with applicable ordinances. If no, describe the inconsistencies <u>N/A</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.	Does the county have a stormwater management plan as required by the Stormwater Management Act? McMichael Creek Watershed & Brodhead Creek Watershed
<input type="checkbox"/>	<input checked="" type="checkbox"/>		If yes, will this project plan require the implementation of storm water management measures?
		18.	Name, Title and signature of person completing this section: Name: <u>Nathaniel T. Staruch</u> Title: <u>Senior Planner</u> Signature: <u></u> Date: <u>December 23, 2015</u> Name of County or Areawide Planning Agency: <u>Monroe County Planning Commission</u> Address: <u>1 Quaker Plaza, Room 106, Stroudsburg, PA 18360</u> Telephone Number: <u>(570) 517-3100</u>
SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)			
This Component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.			
The county planning agency must complete this Component within 60 days. This Component and any additional comments are to be returned to the applicant.			

Water and Sanitary Sewer Services

Camelback Tubing Slope Lodge

Background

The Tubing Slope Lodge was built in the 1980s at the Camelback Resort. The Lodge is currently provided with water services from an existing onsite well, which has an operating permit for a non-community transient water supply. Sanitary sewage services are provided by an onsite sewage treatment plant operated by the Resort. The existing Lodge currently has a building with 2,332 square feet of area on the first floor with a basement for storage and utilities. The facility provides restrooms, locker facilities, a staff lounge, and food services for snack and light meal foods such as hot dogs. The facility also has multiple small sheds and out buildings for services at the development.

Camelback desires to reconstruct the Lodge to provide enhanced guest services to include an improved changing areas, an expanded meal menu, drink services, and additional guest and employee service areas.

Sanitary Sewer Conveyance, Treatment and disposal

The Camelback Resort has a regional sewage treatment plant which treats sewage from the resort and from the Northridge residential development. The plant maintains a NPDES Discharge Permit No. PA0060569 and DRBC Docket No. D-86-21 with a permitted capacity of 400,000 gallons per day. Based on the review of 12 months of Discharge Monitoring Reports, the peak daily discharge of the facility was 228,000 gallons per day from March 2014 through July 2015, with no reported exceedances of the plant discharge limitations. There is more than sufficient capacity in the plan for this facility.

The service area of the plant was established as part of a socio-economic justification study which was approved by the PA DEP in the mid 1980s. The service area of the plant does include the Tubing Slope Lodge based on the mapping prepared as part of that study.

The sewage is conveyed to the regional sewage treatment plant from an existing pump station located at the Lodge through a 4" force main which is 3,250 feet long with a lift of approximately 145 feet.

The pump station was evaluated by Camelback staff for operational capacity. The pump station is a rectangular wet well, and is 12 feet long, 5 foot- 2 inches wide with a depth of 4 feet. The pump station has two pumps, a lead and lag system, with on and off floats with a third alarm float. It was found that the pump station took 120 seconds to drain down one foot, or a total volume of 478 gallons, resulting in a flow rate of 239 gallons per minute. The size of the pumps could not be determined. Based on the flow rate and the length of 4" pipe, the pump size can be estimated. A 4" PVC line, assuming a C value of 140, would produce a head loss of 108 feet resulting in a total dynamic head of 253 feet. These conditions require a pump with 18 base horse power. Thus, assuming 60% efficiency of the pump, a 30 hp pump is required to meet the loading conditions of the pump station.

Water Supply Well

The well was tested on October 7, 2015. It was determined that a 1 hp pump is currently installed with a reported historic yield of approximately 15 gpm. A new pump was temporarily installed and produced a sustained yield of 28 gallons per minute. A new 5 hp pump on a VFD drive with the pump set at 175 feet below top of casing producing a dynamic water elevation in the well of 30 feet below the top of the casing is recommended.

Facility Demand

The facility is proposing the following which produce sewage/water demand:

1. The facility anticipates up to 800 people during any given day. This facility is considered a fairground, or park/picnic area, as outlined in PA Code Chapter 73. Thus, the facility will produce 5 gallons per day per person, or 4,000 gallons.
2. Expanded light menu for food services. It is anticipated that the Tubing Slope Lodge will provide services for up to 800 people per day. The current trend is that 50% of those people eat meals, or 400 meals served. The services will be with single serve utensils at 3 gallons per day per patron or 1,200 gallons per day.

As outlined above, the facility has a daily demand of no more than 5,200 gallons per day. This facility is generally open for an 8 hour period resulting in a higher demand. Thus the instantaneous demand would be $5,200 \text{ gpd} / 8 \text{ hrs/day} / 60 \text{ min} * 2.5$ peaking factor is 27 gallons per minute. The average demand would be 10.5 gallons per minute. Considering the impacts of high capacity flush toilets, there will be an estimated period of 30 seconds of flow from toilets that have a demand that exceeds 27 gpm. These toilets flush 1.5 gallons in 10 seconds, or a demand of 153 gpm for 10 second, if all facilities are used at the same time. Adding the average demand to that rate produces a required flow rate for 10 seconds of 164 gallons per minute.

The sewage pump station can convey in excess of 238 gpm, and is not a concern.

The well system will need to be supplemented with a bladder tank to overcome fast cycle changes in peak demand. The typical speed changes in VFD drives have a reaction time of 30 seconds. Thus, from pump on to full speed of 28 gpm the system will have an operating volume deficit as follows:

Considering a 30 second demand cycle

Flow supplied over 30 seconds	4 gallons
Demand over 30 seconds	153 from toilets
	5 from average utilization
<u>Operational deficit</u>	<u>154 gallons</u>

Operating at a minimum pressure of 40 psi with a high pressure of 60 psi results in an acceptance factor of 0.268 for a bladder tank. Thus, the minimum recommended bladder tank size shall be no less than 575 gallons. It is recommended to install 5-119 gallon Well X Trol WX 350 Bladder Tanks at the facility to overcome peak demand. The pump should be set to run to maintain a pressure at 55 psi, off at 60 psi. The minimum operational pressure the system will observe is 40 psi during peak usage at the facility.

Pocono District Office
Clean Water Program

Date 1/15/2016

Name BOUCHER & JAMES, INC.
Address 2738 RIMROCK DRIVE
STROUDSBURG, PA 18360

RE: Planning Module for New Land Development
Subdivision CAMELBACK RESORT
4000 GPD RECREATIONAL
POCONO TWP., MONROE County
DEP Code No: 2-45913486-3

Dear:

In response to your postcard application, enclosed are the applicable planning modules required for the proposed development. Please submit the completed planning module and supporting information to the municipality(ies) in which the project is located. The Department must receive 3 copies. Please answer all questions. Do Not answer "N/A" or "Not Applicable". If you find a question does not apply, explain all reasons to support that answer.

A copy of the letter **MUST** be attached to the planning module when resubmitted through the municipality to the Department. This letter is to be used as a completion checklist and guide to completing the planning modules and does not supersede the rules and regulations found in Chapter 71. The municipality must submit the complete module package to the Department, (see end of letter for certification statement).

Effective December 15, 1995 Act 149 required the Department to assess planning module review fees. This fee is based on the type of development and total equivalent dwelling units proposed. The applicant will be billed upon Department approval or denial of the project.

If you are applying for a planning module exemption for this project, the exemption was not granted for the following reason(s):

<u>Materials required</u>	<u>Municipal Checklist</u>		<u>DEP Completeness Review</u>
<u>X</u>		Department cover/Checklist letter	
<u>X</u>		Transmittal letter, completed and signed by the Municipal Secretary.	
<u>X</u>		Resolution of Adoption completed and signed by the Municipal Secretary and containing the municipal seal.	
		Component 2-Follow attached guidance.	
<u>X</u>		Component 3-Follow attached guidance.	
		Component 3s-Follow attached guidance.	
<u>X</u>		Component 4a-Municipal Planning Agency Review	
<u>X</u>		Component 4b-County Planning Agency Review	
		Potential Impact(s) has occurred based on your search of the PA Natural Diversity Inventory. These issues must be resolved with each agency before the Department's review of Planning Modules can occur.	
		Sewage management program as per 25 Pa. Code Subsection 71.72	
		Hydrogeologic Study -- Analysis of interbasin transfer of water between a Special Protection watershed into a Non-Special Protection watershed.	
		Delaware River Basin Commission Notice of Applications Received (NAR) for projects with sewage flows exceeding 10,000 GPD.	
		Preliminary hydrogeology	
		Permeability testing, to be determined at site testing	
		Detailed hydrogeologic study	

Materials required **Municipal Checklist**

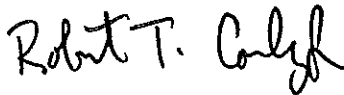
DEP
Completeness
Review

_____	_____	Socio-economic justification	_____
_____	_____	If the project is located in a Special Protection Watershed, please submit an Antidegradation Analysis meeting the Requirement of Chapter 93.4(b), 93.4(a) and 93.4c(b)(2)	_____

In all cases, address the immediate and long range sewage disposal needs of the proposal and comply with 25 Pa. Code, Chapter 71, Subchapter C relating to New Land Development Plan Revisions.

Please note that the Department will return the planning module package if an incomplete revision is submitted.

Sincerely,



Robert T. Corby, Jr.
Sewage Planning Specialist
Clean Water Program

CERTIFICATION STATEMENT

I certify that this submittal is complete and includes all requested items. Failure to submit a complete module package will result in return of package.

Municipal Address _____

Municipal Telephone Number _____

Signed: _____, Municipal Secretary

List below any individuals and address that should be copied if the planning module is returned to the municipality (if address is not provided, no copy will be sent):

_____	_____
_____	_____



Pennsylvania Fish & Boat Commission

Division of Environmental Services
Natural Diversity Section
450 Robinson Lane
Bellefonte, PA 16823
814-359-5237

July 2, 2015

IN REPLY REFER TO
SIR# 44542

Boucher & James, Inc.
Michael Gable
910 Rim Roack Road
Stroudsburg, Pennsylvania 18360

RE: Species Impact Review (SIR) – Rare, Candidate, Threatened and Endangered Species
PNDI Search No. 20150603516234
Camelback Hotel
MONROE County: Pocono Township

Dear Michael Gable:

This responds to your inquiry about a Pennsylvania Natural Diversity Inventory (PNDI) Internet Database search “potential conflict” or a threatened and endangered species impact review. These projects are screened for potential conflicts with rare, candidate, threatened or endangered species under Pennsylvania Fish & Boat Commission jurisdiction (fish, reptiles, amphibians, aquatic invertebrates only) using the Pennsylvania Natural Diversity Inventory (PNDI) database and our own files. These species of special concern are listed under the Endangered Species Act of 1973, the Wild Resource Conservation Act, and the Pennsylvania Fish & Boat Code (Chapter 75), or the Wildlife Code.

An element occurrence of a rare, candidate, threatened, or endangered species under our jurisdiction is known from the vicinity of the proposed project. However, given the nature of the proposed project, the immediate location, or the current status of the nearby element occurrence(s), no adverse impacts are expected to the species of special concern.

This response represents the most up-to-date summary of the PNDI data and our files and is valid for two (2) years from the date of this letter. An absence of recorded species information does not necessarily imply species absence. Our data files and the PNDI system are continuously being updated with species occurrence information. Should project plans change or additional information on listed or proposed species become available, this determination may be reconsidered, and consultation shall be re-initiated.

Our Mission:

www.fish.state.pa.us

To protect, conserve and enhance the Commonwealth's aquatic resources and provide fishing and boating opportunities.

If you have any questions regarding this review, please contact Kathy Gipe at 814-359-5186 and refer to the SIR # 44542. Thank you for your cooperation and attention to this important matter of species conservation and habitat protection.

Sincerely,

A handwritten signature in black ink, reading "Christopher A. Urban". The signature is written in a cursive style with a large, stylized "C" and "U".

Christopher A. Urban, Chief
Natural Diversity Section

CAU/KDG/dn

1. PROJECT INFORMATION

Project Name: **Camelback Hotel**

Date of review: **6/3/2015 1:46:06 PM**

Project Category: **Development, Additions/maintenance to existing development facilities**

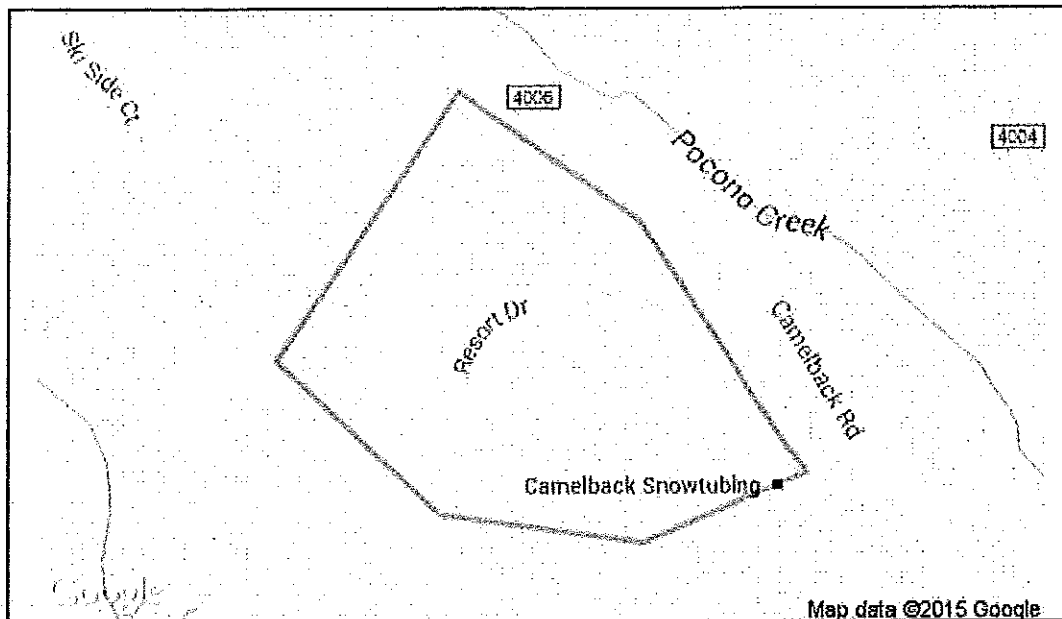
Project Area: **25.9 acres**

County: **Monroe Township/Municipality: Pocono**

Quadrangle Name: **MOUNT POCONO ~ ZIP Code: 18372**

Decimal Degrees: **41.054349 N, -75.348461 W**

Degrees Minutes Seconds: **41° 3' 15 N, W**



2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	Potential Impact	FURTHER REVIEW IS REQUIRED, See Agency Response
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate there may be potential impacts to threatened and endangered and/or special concern species and resources within the project area. If the response above indicates "No Further Review Required" no additional communication with the respective agency is required. If the response is "Further Review Required" or "See Agency Response," refer to the appropriate agency comments below. Please see the DEP Information Section of this receipt if a PA Department of Environmental Protection Permit is required.

Note that regardless of PNDI search results, projects requiring a Chapter 105 DEP individual permit or GP 5, 6, 7, 8, 9 or 11 in certain counties (Adams, Berks, Bucks, Carbon, Chester, Cumberland, Delaware, Lancaster, Lebanon, Lehigh, Monroe, Montgomery, Northampton, Schuylkill and York) must comply with the bog turtle habitat screening requirements of the PASPGP.

RESPONSE TO QUESTION(S) ASKED

Q1: Will the entire project occur within an existing building, parking lot, driveway, road, street, or maintained (periodically mowed) lawn?

Your answer is: **2. No**

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE: No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE: No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE: Further review of this project is necessary to resolve the potential impacts(s). Please send project information to this agency for review (see WHAT TO SEND).

PFBC Species: (Note: The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer species than what is listed below.)

Scientific Name: Sensitive Species**

Common Name:

Current Status: Special Concern Species*

U.S. Fish and Wildlife Service

RESPONSE: No impacts to federally listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 *et seq.*) is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

* Special Concern Species or Resource - Plant or animal species classified as rare, tentatively undetermined or candidate as well as other taxa of conservation concern, significant natural communities, special concern populations (plants or animals) and unique geologic features.

** Sensitive Species - Species identified by the jurisdictional agency as collectible, having economic value, or being susceptible to decline as a result of visitation.

WHAT TO SEND TO JURISDICTIONAL AGENCIES

If project information was requested by one or more of the agencies above, send the following information to the agency(s) seeking this information (see AGENCY CONTACT INFORMATION).

Check-list of *Minimum Materials to be submitted:*

- ☐ **SIGNED** copy of this Project Environmental Review Receipt
- ☐ Project narrative with a description of the overall project, the work to be performed, current physical characteristics of the site and acreage to be impacted.
- ☐ Project location information (name of USGS Quadrangle, Township/Municipality, and County)
- ☐ USGS 7.5-minute Quadrangle with project boundary clearly indicated, and quad name on the map

The inclusion of the following information may expedite the review process.

- ☐ A basic site plan (particularly showing the relationship of the project to the physical features such as wetlands, streams, ponds, rock outcrops, etc.)
- ☐ Color photos keyed to the basic site plan (i.e. showing on the site plan where and in what direction each photo was taken and the date of the photos)
- ☐ Information about the presence and location of wetlands in the project area, and how this was determined (e.g., by a qualified wetlands biologist), if wetlands are present in the project area, provide project plans showing the location of all project features, as well as wetlands and streams

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. For cases where a "Potential Impact" to threatened and endangered species has been identified before the application has been submitted to DEP, the application should not be submitted until the impact has been resolved. For cases where "Potential Impact" to special concern species and resources has been identified before the application has been submitted, the application should be submitted to DEP along with the PNDI receipt. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. DEP and the jurisdictional agency will work

together to resolve the potential impact(s). See the DEP PNDI policy at <http://www.naturalheritage.state.pa.us>.

5. ADDITIONAL INFORMATION

The PNDI environmental review website is a **preliminary** screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552, Harrisburg, PA.
17105-8552
Fax: (717) 772-0271

U.S. Fish and Wildlife Service

Pennsylvania Field Office
110 Radnor Rd; Suite 101, State College, PA 16801
NO Faxes Please.

PA Fish and Boat Commission

Division of Environmental Services
450 Robinson Lane, Bellefonte, PA. 16823-7437
NO Faxes Please

PA Game Commission

Bureau of Wildlife Habitat Management
Division of Environmental Planning and Habitat Protection
2001 Elmerton Avenue, Harrisburg, PA. 17110-9797
Fax: (717) 787-6957

7. PROJECT CONTACT INFORMATION

Name: Michael Coble
Company/Business Name: Bowman & Sons, Inc
Address: 2738 Birch Creek Dr. Lewisburg PA 17033
City, State, Zip: _____
Phone: (520) 627-0300 Fax: (520) 629-0306
Email: mcoble@bowmans.com

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.


applicant/project proponent signature

6/3/15
date



Pennsylvania Fish & Boat Commission

Division of Environmental Services
Natural Diversity Section
450 Robinson Lane
Bellefonte, PA 16823
814-359-5237

July 2, 2015

IN REPLY REFER TO
SIR# 44542

Boucher & James, Inc.
Michael Gable
910 Rim Roack Road
Stroudsburg, Pennsylvania 18360

RE: Species Impact Review (SIR) – Rare, Candidate, Threatened and Endangered Species
PNDI Search No. 20150603516234
Camelback Hotel
MONROE County: Pocono Township

Dear Michael Gable:

This responds to your inquiry about a Pennsylvania Natural Diversity Inventory (PNDI) Internet Database search “potential conflict” or a threatened and endangered species impact review. These projects are screened for potential conflicts with rare, candidate, threatened or endangered species under Pennsylvania Fish & Boat Commission jurisdiction (fish, reptiles, amphibians, aquatic invertebrates only) using the Pennsylvania Natural Diversity Inventory (PNDI) database and our own files. These species of special concern are listed under the Endangered Species Act of 1973, the Wild Resource Conservation Act, and the Pennsylvania Fish & Boat Code (Chapter 75), or the Wildlife Code.

An element occurrence of a rare, candidate, threatened, or endangered species under our jurisdiction is known from the vicinity of the proposed project. However, given the nature of the proposed project, the immediate location, or the current status of the nearby element occurrence(s), no adverse impacts are expected to the species of special concern.

This response represents the most up-to-date summary of the PNDI data and our files and is valid for two (2) years from the date of this letter. An absence of recorded species information does not necessarily imply species absence. Our data files and the PNDI system are continuously being updated with species occurrence information. Should project plans change or additional information on listed or proposed species become available, this determination may be reconsidered, and consultation shall be re-initiated.

Our Mission:

www.fish.state.pa.us

To protect, conserve and enhance the Commonwealth's aquatic resources and provide fishing and boating opportunities.

If you have any questions regarding this review, please contact Kathy Gipe at 814-359-5186 and refer to the SIR # 44542. Thank you for your cooperation and attention to this important matter of species conservation and habitat protection.

Sincerely,

A handwritten signature in black ink, reading "Christopher A. Urban". The signature is written in a cursive, flowing style.

Christopher A. Urban, Chief
Natural Diversity Section

CAU/KDG/dn



CAMELBACK Mountain Resort

October 6, 2015

Mike Gable
Boucher & James, Inc.
2738 Rim Rock Drive
Stroudsburg, Pa. 18360

Dear Mike,

As requested CBH2O as the permittee for the Camelback Wastewater treatment plant verifies that the Tubing Lodge is within the service area of the treatment plant, and has the necessary capacity to accept the Tubing Lodge Sewerage.

Sincerely,

Bill Toye
Director of Mountain Operations



CAMELBACK
REAL ESTATE

CAMELBEACH
MOUNTAIN WATERPARK

Leon Clapper, Inc.

Water Conditioning Plumbing & Heating

5009 Neyhart Road Stroudsburg, PA 18360



Phone: (570) 629-2833 Fax: (570) 619-5236

October 7, 2015

TO: Bill Toye

RE: CAMELBACK TUBING PARK

8/20/2015

Ran pump for 4 hours at 30GPM. The wires heated up.

8/21/2015

Pulled the pump and ran temporary wires from the building down the well.

8/24/2015

Started pump test again. Ran pump for 3 hours and everything looked good and the amp draw was good. We pumped between 28GPM and 29GPM. We left the pump running all night long.

8/25/2015

Returned and found the pump running great at 28GPM-29FGPM. The water level maintained 30' from the top of the well casing throughout the 19 hours of pumping. At that time we stopped the pump test and felt secure that that pump could pump continuously at the 28GPM-29GPM with the static level staying 30'.

I feel comfortable with this well with the pump setting at 175' and I feel you can do a 25GPM variable speed pump on this well.

Any questions/concerns please contact me.

Sincerely,

Leon Clapper

LC:dr
Cc:file

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP
PERMITTEE: CBH20 LP
 PO BOX 168
 TANNERSVILLE, PA
ADDRESS: 18372-0168

PERMIT NUMBER: PA0060569
OUTFALL: 001
MONITORING PERIOD: From: 2014-03-01
 To: 2014-03-31

REGION: EP NE Rgnl Off Wilkes Barre
COUNTY: Monroe
CITY: TANNERSVILLE
NO DISCHARGE FROM SITE: ()

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.53	*****	7.75	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	3.29	*****	lbs/day	*****	8.75	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.12	*****	lbs/day	*****	0.32	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	20.0 Average Monthly	*****		*****	6.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.045	0.095	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.36	.90	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	3.1	80	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	2.06	*****	lbs/day	*****	5.5	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	66.7 Average Monthly	*****		*****	20.0 Average Monthly	*****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent		Telephone No	Date	
										2014-04-27	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP
PERMITTEE: CBH20 LP
 PO BOX 168
 TANNERSVILLE, PA
ADDRESS: 18372-0168

PERMIT NUMBER: PA0060569
OUTFALL: 001
MONITORING PERIOD: From: 2014-04-01
 To: 2014-04-30

REGION: EP NE Rgnl Off Wilkes Barre
COUNTY: Monroe
CITY: TANNERSVILLE
NO DISCHARGE FROM SITE: ()

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		7.28	*****	7.98	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum		1/day	Grab	
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	1.59	*****	lbs/day	*****	6.8	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****		1/week	8-Hr Composite	
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.033	*****	lbs/day	*****	0.14	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	20.0 Average Monthly	*****		*****	6.0 Average Monthly	*****		1/week	8-Hr Composite	
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.028	0.091	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****		Continuous	Recorded	
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.22	0.88	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum		1/day	Grab	
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	1.8	16	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum		1/week	Grab	
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	0.56	*****	lbs/day	*****	2.4	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	66.7 Average Monthly	*****		*****	20.0 Average Monthly	*****		1/week	8-Hr Composite	
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date 2014-05-28		

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP PERMITTEE: CBH20 LP PO BOX 168 TANNERSVILLE, PA ADDRESS: 18372-0168	PERMIT NUMBER: PA0060569 OUTFALL: 001 MONITORING PERIOD: From: 2014-05-01 To: 2014-05-31	REGION: COUNTY: CITY: NO DISCHARGE FROM SITE:	EP NE Rgnl Off Wilkes Barre Monroe TANNERSVILLE ()
---	--	--	--

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH	Sample Measurement	*****	*****		6.88	*****	7.38	S.U.	0	1/day	Grab
Parameter Code: 00400 Stage Code: 1	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids	Sample Measurement	1.20	*****		*****	5	*****		0	1/week	8-Hr Composite
Parameter Code: 00530 Stage Code: 1	Permit Requirement	100.0 Average Monthly	*****	lbs/day	*****	30.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Ammonia-Nitrogen	Sample Measurement	0.033	*****		*****	0.14	*****		0	1/week	8-Hr Composite
Parameter Code: 00610 Stage Code: 1	Permit Requirement	10.0 Average Monthly	*****	lbs/day	*****	3.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Flow (mgd)	Sample Measurement	0.029	0.11		*****	*****	*****		0	Continuous	Recorded
Parameter Code: 50050 Stage Code: 1	Permit Requirement	Report Average Monthly	Report Daily Maximum	MGD	*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC)	Sample Measurement	*****	*****		*****	0.19	0.50		0	1/day	Grab
Parameter Code: 50060 Stage Code: 1	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum	mg/L		1/day	Grab
Fecal Coliform	Sample Measurement	*****	*****		*****	3.2	27		0	1/week	Grab
Parameter Code: 74055 Stage Code: 1	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum	CFU/100 mL		1/week	Grab
CBOD5	Sample Measurement	0.58	*****		*****	2.4	*****		0	1/week	8-Hr Composite
Parameter Code: 80082 Stage Code: 1	Permit Requirement	33.4 Average Monthly	*****	lbs/day	*****	10.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite

Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).	Signature of Principal Executive Officer Or Authorized Agent	Telephone No		Date
					2014-06-27

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP	PERMIT NUMBER: PA0060569	REGION: EP NE Rgnl Off Wilkes Barre
PERMITTEE: CBH20 LP	OUTFALL: 001	COUNTY: Monroe
PO BOX 168		CITY: TANNERSVILLE
TANNERSVILLE, PA	MONITORING PERIOD: From: <u>2014-06-01</u>	NO DISCHARGE FROM SITE: ()
ADDRESS: 18372-0168	To: <u>2014-06-30</u>	

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.93	*****	7.38	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum		1/day	Grab	
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	1.0	*****	lbs/day	*****	5	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****		1/week	8-Hr Composite	
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.040	*****	lbs/day	*****	0.17	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0 Average Monthly	*****		*****	3.0 Average Monthly	*****		1/week	8-Hr Composite	
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.028	0.071	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****		Continuous	Recorded	
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.24	0.42	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum		1/day	Grab	
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	9.5	600	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum		1/week	Grab	
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	6.6	*****	lbs/day	*****	28.25	*****	mg/L	1	1/week	8-Hr Composite
	Permit Requirement	33.4 Average Monthly	*****		*****	10.0 Average Monthly	*****		1/week	8-Hr Composite	
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent		Telephone No	Date	
										2014-07-26	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP	PERMIT NUMBER: PA0060569	REGION: EP NE Rgnl Off Wilkes Barre
PERMITTEE: CBH20 LP	OUTFALL: 001	COUNTY: Monroe
PO BOX 168		CITY: TANNERSVILLE
TANNERSVILLE, PA	MONITORING From: 2014-07-01	NO DISCHARGE FROM
ADDRESS: 18372-0168	PERIOD: To: 2014-07-31	SITE: ()

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.25	*****	7.27	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	2.1	*****	lbs/day	*****	4	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.16	*****	lbs/day	*****	.31	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0 Average Monthly	*****		*****	3.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	.062	0.15	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.26	0.88	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	10	1300	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	1.09	*****	lbs/day	*****	2.1	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	33.4 Average Monthly	*****		*****	10.0 Average Monthly	*****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date		
									2014-08-27		

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP
PERMITTEE: CBH20 LP
 PO BOX 168
 TANNERSVILLE, PA
ADDRESS: 18372-0168

PERMIT NUMBER: PA0060569
OUTFALL: 001
MONITORING PERIOD: From: 2014-08-01
 To: 2014-08-31

REGION: EP NE Rgnl Off Wilkes Barre
COUNTY: Monroe
CITY: TANNERSVILLE
NO DISCHARGE FROM SITE: ()

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.18	*****	7.28	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	2.83	*****	lbs/day	*****	5.0	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.13	*****	lbs/day	*****	0.23	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0 Average Monthly	*****		*****	3.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.068	0.0985	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.16	0.45	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	36	102	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	1.13	*****	lbs/day	*****	2.0	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	33.4 Average Monthly	*****		*****	10.0 Average Monthly	*****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date		
									2014-09-27		

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP
PERMITTEE: CBH20 LP
 PO BOX 168
 TANNERSVILLE, PA
ADDRESS: 18372-0168

PERMIT NUMBER: PA0060569
OUTFALL: 001
MONITORING PERIOD: From: 2014-09-01
 To: 2014-09-30

REGION: EP NE Rgnl Off Wilkes Barre
COUNTY: Monroe
CITY: TANNERSVILLE
NO DISCHARGE FROM SITE: ()

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.62	*****	7.39	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	1.21	*****	lbs/day	*****	5	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	.04	*****	lbs/day	*****	.15	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0 Average Monthly	*****		*****	3.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.029	0.096	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.31	1.37	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	2.5	35	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	.046	*****	lbs/day	*****	1.9	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	33.4 Average Monthly	*****		*****	10.0 Average Monthly	*****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent		Telephone No	Date	
										2014-10-28	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP PERMITTEE: CBH20 LP PO BOX 168 TANNERSVILLE, PA ADDRESS: 18372-0168	PERMIT NUMBER: PA0060569 OUTFALL: 001 MONITORING PERIOD: From: <u>2014-10-01</u> To: <u>2014-10-31</u>	REGION: COUNTY: CITY: NO DISCHARGE FROM SITE:	EP NE Rgnl Off Wilkes Barre Monroe TANNERSVILLE ()
---	--	--	---

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH	Sample Measurement	*****	*****		6.90	*****	7.20	S.U.	0	1/day	Grab
Parameter Code: 00400 Stage Code: 1	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids	Sample Measurement	1.31	*****		*****	5	*****		0	1/week	8-Hr Composite
Parameter Code: 00530 Stage Code: 1	Permit Requirement	100.0 Average Monthly	*****	lbs/day	*****	30.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Ammonia-Nitrogen	Sample Measurement	0.018	*****		*****	0.07	*****		0	1/week	8-Hr Composite
Parameter Code: 00610 Stage Code: 1	Permit Requirement	10.0 Average Monthly	*****	lbs/day	*****	3.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Flow (mgd)	Sample Measurement	0.0315	0.072		*****	*****	*****		0	Continuous	Recorded
Parameter Code: 50050 Stage Code: 1	Permit Requirement	Report Average Monthly	Report Daily Maximum	MGD	*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC)	Sample Measurement	*****	*****		*****	0.27	0.83		0	1/day	Grab
Parameter Code: 50060 Stage Code: 1	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum	mg/L		1/day	Grab
Fecal Coliform	Sample Measurement	*****	*****		*****	6.2	35		0	1/week	Grab
Parameter Code: 74055 Stage Code: 1	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum	CFU/100 mL		1/week	Grab
CBOD5	Sample Measurement	5.20	*****		*****	2	*****		0	1/week	8-Hr Composite
Parameter Code: 80082 Stage Code: 1	Permit Requirement	33.4 Average Monthly	*****	lbs/day	*****	10.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent		Telephone No	Date
											2014-11-27

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP
PERMITTEE: CBH20 LP
 PO BOX 168
 TANNERSVILLE, PA
ADDRESS: 18372-0168

PERMIT NUMBER: PA0060569
OUTFALL: 001
MONITORING PERIOD: From: 2014-11-01
 To: 2014-11-30

REGION: EP NE Rgnl Off Wilkes Barre
COUNTY: Monroe
CITY: TANNERSVILLE
NO DISCHARGE FROM SITE: ()

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH	Sample Measurement	*****	*****		*****	*****	*****	S.U.	0	1/week	8-Hr Composite
Parameter Code: 00400 Stage Code: 1	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids	Sample Measurement	1.4	*****		*****	5	*****		0	1/week	8-Hr Composite
Parameter Code: 00530 Stage Code: 1	Permit Requirement	100.0 Average Monthly	*****	lbs/day	*****	30.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Ammonia-Nitrogen	Sample Measurement	0.17	*****		*****	0.06	*****		0	1/week	8-Hr Composite
Parameter Code: 00610 Stage Code: 1	Permit Requirement	20.0 Average Monthly	*****	lbs/day	*****	6.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Flow (mgd)	Sample Measurement	0.033	0.057		*****	*****	*****		0	Continuous	Recorded
Parameter Code: 50050 Stage Code: 1	Permit Requirement	Report Average Monthly	Report Daily Maximum	MGD	*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC)	Sample Measurement	*****	*****		*****	0.37	1.44		0	1/day	Grab
Parameter Code: 50060 Stage Code: 1	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum	mg/L		1/day	Grab
Fecal Coliform	Sample Measurement	*****	*****		*****	4.6	430		0	1/week	Grab
Parameter Code: 74055 Stage Code: 1	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum	CFU/100 mL		1/week	Grab
CBOD5	Sample Measurement	0.55	*****		*****	2.0	*****		0	1/week	8-Hr Composite
Parameter Code: 80082 Stage Code: 1	Permit Requirement	66.7 Average Monthly	*****	lbs/day	*****	20.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date		
									2014-12-26		

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP
PERMITTEE: CBH20 LP
 PO BOX 168
 TANNERSVILLE, PA
ADDRESS: 18372-0168

PERMIT NUMBER: PA0060569
OUTFALL: 001
MONITORING PERIOD: From: 2014-12-01
 To: 2014-12-31

REGION: EP NE Rgnl Off Wilkes Barre
COUNTY: Monroe
CITY: TANNERSVILLE
NO DISCHARGE FROM SITE: ()

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.3	*****	7.5	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum		1/day	Grab	
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	2.21	*****	lbs/day	*****	5	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****		1/week	8-Hr Composite	
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.45	*****	lbs/day	*****	1.02	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	20.0 Average Monthly	*****		*****	6.0 Average Monthly	*****		1/week	8-Hr Composite	
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.053	0.124	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****		Continuous	Recorded	
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.42	1.07	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum		1/day	Grab	
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	2	4	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum		1/week	Grab	
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	0.89	*****	lbs/day	*****	2.0	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	66.7 Average Monthly	*****		*****	20.0 Average Monthly	*****		1/week	8-Hr Composite	
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent		Telephone No	Date	
										2015-01-28	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP
PERMITTEE: CBH20 LP
 PO BOX 168
 TANNERSVILLE, PA
ADDRESS: 18372-0168

PERMIT NUMBER: PA0060569
OUTFALL: 001
MONITORING PERIOD: From: 2015-01-01
 To: 2015-01-31

REGION: EP NE Rgnl Off Wilkes Barre
COUNTY: Monroe
CITY: TANNERSVILLE
NO DISCHARGE FROM SITE: ()

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH	Sample Measurement	*****	*****		6.5	*****	7.4	S.U.	0	1/day	Grab
Parameter Code: 00400 Stage Code: 1	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids	Sample Measurement	2.62	*****		*****	5	*****		0	1/week	8-Hr Composite
Parameter Code: 00530 Stage Code: 1	Permit Requirement	100.0 Average Monthly	*****	lbs/day	*****	30.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Ammonia-Nitrogen	Sample Measurement	0.05	*****		*****	0.1	*****		0	1/week	8-Hr Composite
Parameter Code: 00610 Stage Code: 1	Permit Requirement	20.0 Average Monthly	*****	lbs/day	*****	6.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Flow (mgd)	Sample Measurement	0.063	0.125		*****	*****	*****		0	Continuous	Recorded
Parameter Code: 50050 Stage Code: 1	Permit Requirement	Report Average Monthly	Report Daily Maximum	MGD	*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC)	Sample Measurement	*****	*****		*****	0.26	0.43		0	1/day	Grab
Parameter Code: 50060 Stage Code: 1	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum	mg/L		1/day	Grab
Fecal Coliform	Sample Measurement	*****	*****		*****	11.5	600		0	1/week	Grab
Parameter Code: 74055 Stage Code: 1	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum	CFU/100 mL		1/week	Grab
CBOD5	Sample Measurement	1.37	*****		*****	2.6	*****		0	1/week	8-Hr Composite
Parameter Code: 80082 Stage Code: 1	Permit Requirement	66.7 Average Monthly	*****	lbs/day	*****	20.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).					Signature of Principal Executive Officer Or Authorized Agent		Telephone No		Date 2015-02-27		

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP
PERMITTEE: CBH20 LP
 PO BOX 168
 TANNERSVILLE, PA
ADDRESS: 18372-0168

PERMIT NUMBER: PA0060569
OUTFALL: 001
MONITORING PERIOD: From: 2015-02-01
 To: 2015-02-28

REGION: EP NE Rgnl Off Wilkes Barre
COUNTY: Monroe
CITY: TANNERSVILLE
NO DISCHARGE FROM SITE: ()

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.8	*****	7.5	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum		1/day	Grab	
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	8.37	*****	lbs/day	*****	14.75	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****		1/week	8-Hr Composite	
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	.14	*****	lbs/day	*****	0.24	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	20.0 Average Monthly	*****		*****	6.0 Average Monthly	*****		1/week	8-Hr Composite	
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	.068	.168	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****		Continuous	Recorded	
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.31	.97	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum		1/day	Grab	
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	670	4600	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum		1/week	Grab	
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	1.7	*****	lbs/day	*****	3.0	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	66.7 Average Monthly	*****		*****	20.0 Average Monthly	*****		1/week	8-Hr Composite	
Name/Title of Principal Executive Officer Or Authorized Agent		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).					Signature of Principal Executive Officer Or Authorized Agent		Telephone No	Date	
										2015-03-27	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP
PERMITTEE: CBH20 LP
 PO BOX 168
 TANNERSVILLE, PA
ADDRESS: 18372-0168

PERMIT NUMBER: PA0060569
OUTFALL: 001
MONITORING PERIOD: From: 2015-03-01
 To: 2015-03-31

REGION: EP NE Rgnl Off Wilkes Barre
COUNTY: Monroe
CITY: TANNERSVILLE
NO DISCHARGE FROM SITE: ()

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		7.1	*****	7.7	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	4.1	*****	lbs/day	*****	15.5	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.06	*****	lbs/day	*****	0.22	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	20.0 Average Monthly	*****		*****	6.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.032	0.089	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.31	1.37	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	86.5	3500	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	0.75	*****	lbs/day	*****	2.8	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	66.7 Average Monthly	*****		*****	20.0 Average Monthly	*****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).					Signature of Principal Executive Officer Or Authorized Agent		Telephone No	Date		
									2015-04-28		

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP	PERMIT NUMBER: PA0060569	REGION: EP NE Rgnl Off Wilkes Barre
PERMITTEE: CBH20 LP	OUTFALL: 001	COUNTY: Monroe
PO BOX 168		CITY: TANNERSVILLE
TANNERSVILLE, PA	MONITORING PERIOD: From: 2015-04-01 To: 2015-04-30	NO DISCHARGE FROM SITE: ()
ADDRESS: 18372-0168		

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH	Sample Measurement	*****	*****		7.2	*****	7.7	S.U.	0	1/day	Grab
Parameter Code: 00400	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Stage Code: 1											
Total Suspended Solids	Sample Measurement	2.57	*****		*****	7.0	*****		0	1/week	8-Hr Composite
Parameter Code: 00530	Permit Requirement	100.0 Average Monthly	*****	lbs/day	*****	30.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Stage Code: 1											
Ammonia-Nitrogen	Sample Measurement	0.01	*****		*****	0.28	*****		0	1/week	8-Hr Composite
Parameter Code: 00610	Permit Requirement	20.0 Average Monthly	*****	lbs/day	*****	6.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Stage Code: 1											
Flow (mgd)	Sample Measurement	0.044	0.069		*****	*****	*****		0	Continuous	Recorded
Parameter Code: 50050	Permit Requirement	Report Average Monthly	Report Daily Maximum	MGD	*****	*****	*****			Continuous	Recorded
Stage Code: 1											
Total Residual Chlorine (TRC)	Sample Measurement	*****	*****		*****	0.29	0.93		0	1/day	Grab
Parameter Code: 50060	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum	mg/L		1/day	Grab
Stage Code: 1											
Fecal Coliform	Sample Measurement	*****	*****		*****	1	1		0	1/week	Grab
Parameter Code: 74055	Permit Requirement	*****	*****		*****	2000 Geometric Mean	10000 Instantaneous Maximum	CFU/100 mL		1/week	Grab
Stage Code: 1											
CBOD5	Sample Measurement	1.21	*****		*****	3.31	*****		0	1/week	8-Hr Composite
Parameter Code: 80082	Permit Requirement	66.7 Average Monthly	*****	lbs/day	*****	20.0 Average Monthly	*****	mg/L		1/week	8-Hr Composite
Stage Code: 1											
Name/Title of Principal Executive Officer Or Authorized Agent		I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent		Telephone No	Date
											2015-05-28

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP PERMITTEE: CBH20 LP PO BOX 168 TANNERSVILLE, PA ADDRESS: 18372-0168	PERMIT NUMBER: PA0060569 OUTFALL: 001 MONITORING PERIOD: From: <u>2015-05-01</u> To: <u>2015-05-31</u>	REGION: EP NE Rgnl Off Wilkes Barre COUNTY: Monroe CITY: TANNERSVILLE NO DISCHARGE FROM SITE: ()
---	--	--

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		7.0	*****	7.6	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	3.29	*****	lbs/day	*****	5.0	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.079	*****	lbs/day	*****	0.12	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0 Average Monthly	*****		*****	3.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.079	0.152	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.15	0.84	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	97	410	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	1.32	*****	lbs/day	*****	2	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	33.4 Average Monthly	*****		*****	10.0 Average Monthly	*****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent	Telephone No	Date		

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP PERMITTEE: CBH20 LP PO BOX 168 TANNERSVILLE, PA ADDRESS: 18372-0168	PERMIT NUMBER: PA0060569 OUTFALL: 001 MONITORING PERIOD: From: <u>2015-06-01</u> To: <u>2015-06-30</u>	REGION: EP NE Rgnl Off Wilkes Barre COUNTY: Monroe CITY: TANNERSVILLE NO DISCHARGE FROM SITE: ()
---	--	--

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		7.1	*****	7.5	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	2.8	*****	lbs/day	*****	4	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.11	*****	lbs/day	*****	0.16	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0 Average Monthly	*****		*****	3.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.084	0.125	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.26	0.48	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	0.26	0.48	CFU/100 mL	0	1/day	Grab
	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	1.4	*****	lbs/day	*****	2	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	33.4 Average Monthly	*****		*****	10.0 Average Monthly	*****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent		Telephone No	Date	
										2015-07-27	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.

Pennsylvania Department of Environment Protection Discharge Monitoring Report (DMR)

FACILITY: CBH20 LP PERMITTEE: CBH20 LP PO BOX 168 TANNERSVILLE, PA ADDRESS: 18372-0168	PERMIT NUMBER: PA0060569 OUTFALL: 001 MONITORING PERIOD: From: 2015-07-01 To: 2015-07-31	REGION: EP NE Rgnl Off Wilkes Barre COUNTY: Monroe CITY: TANNERSVILLE NO DISCHARGE FROM SITE: ()
---	--	--

Parameter		Quantity or Loading		Units	Quality or Concentration			Units	No. Ex.	Frequency of Analysis	Sample Type
		Value	Value		Value	Value	Value				
pH Parameter Code: 00400 Stage Code: 1	Sample Measurement	*****	*****		6.9	*****	7.4	S.U.	0	1/day	Grab
	Permit Requirement	*****	*****		6.0 Minimum	*****	9.0 Maximum			1/day	Grab
Total Suspended Solids Parameter Code: 00530 Stage Code: 1	Sample Measurement	5.1	*****	lbs/day	*****	4	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	100.0 Average Monthly	*****		*****	30.0 Average Monthly	*****			1/week	8-Hr Composite
Ammonia-Nitrogen Parameter Code: 00610 Stage Code: 1	Sample Measurement	0.19	*****	lbs/day	*****	0.15	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	10.0 Average Monthly	*****		*****	3.0 Average Monthly	*****			1/week	8-Hr Composite
Flow (mgd) Parameter Code: 50050 Stage Code: 1	Sample Measurement	0.153	0.228	MGD	*****	*****	*****		0	Continuous	Recorded
	Permit Requirement	Report Average Monthly	Report Daily Maximum		*****	*****	*****			Continuous	Recorded
Total Residual Chlorine (TRC) Parameter Code: 50060 Stage Code: 1	Sample Measurement	*****	*****		*****	0.20	0.43	mg/L	0	1/day	Grab
	Permit Requirement	*****	*****		*****	1.0 Average Monthly	2.0 Instantaneous Maximum			1/day	Grab
Fecal Coliform Parameter Code: 74055 Stage Code: 1	Sample Measurement	*****	*****		*****	4.7	66	CFU/100 mL	0	1/week	Grab
	Permit Requirement	*****	*****		*****	200 Geometric Mean	1000 Instantaneous Maximum			1/week	Grab
CBOD5 Parameter Code: 80082 Stage Code: 1	Sample Measurement	2.55	*****	lbs/day	*****	2	*****	mg/L	0	1/week	8-Hr Composite
	Permit Requirement	33.4 Average Monthly	*****		*****	10.0 Average Monthly	*****			1/week	8-Hr Composite
Name/Title of Principal Executive Officer Or Authorized Agent	I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).						Signature of Principal Executive Officer Or Authorized Agent		Telephone No	Date	
										2015-08-29	

Report all violations during the reporting period on a Non-Compliance Reporting Form, as an attachment to your eDMR submission.



Pocono Township
Tannersville, PA
ZONING OFFICER

February 11, 2016

MEMORANDUM

To: Gregg Schuster, Township Manager
All Commissioners

Re: Sanofi Proposed Zoning Map Change

On Monday evening, at the conclusion of the planning commission meeting, Aaron Sisler, PE of Borton Lawson hand delivered to me proposed zoning map changes requested by Sanofi Pasteur Inc.

Please place on the Commissioners agenda for consideration for referral to the planning commission.

Thank you.



Borton
Lawson

ENGINEERING
ARCHITECTURE

February 8, 2016

Pocono Township Commissioners
P.O. Box 197
112 Township Drive
Tannersville, PA 18372

RE: Sanofi Pasteur, Inc. – Request for Rezoning
Pocono Township, Monroe County, PA

BL No.: 2015-1528-015

Dear Commissioners:

On behalf of Sanofi Pasteur, we are submitting a formal request to the Board of Commissioners to the rezoning of a portion of two (2) parcels (PIN #'s 12-6374-01-17-7161 and 12-6374-01-26-5585) owned by Sanofi Pasteur, Inc. from R-1:Residential to I:Industrial. A portion of the current zoning map, which highlights the referenced parcels, is enclosed (EX-1).

The two (2) parcels, located to the east of the existing main campus parcel and consist of undeveloped woodlands. Approximately 23.9 acres of land from these parcels are requested to be rezoned as shown in the attached "Rezoning Exhibit" (EX-2). A lot line adjustment plan has been submitted to the Township to consolidate these 23.9 acres into the overall main campus parcel.

Sanofi Pasteur, Inc. would like to be placed on an upcoming Board of Commissioner's meeting for consideration and further discussion.

If you have any questions, please do not hesitate to contact me at (484) 821-0470 ext. 2105.

Sincerely,

Aaron M. Sisler, P.E.
Project Manager

Enclosure(s)
AMS/dth

c: File

RECEIVED
FEB 08 2016

POCONO TOWNSHIP

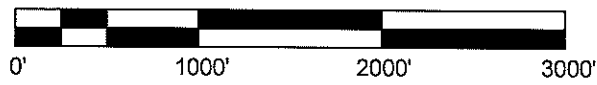
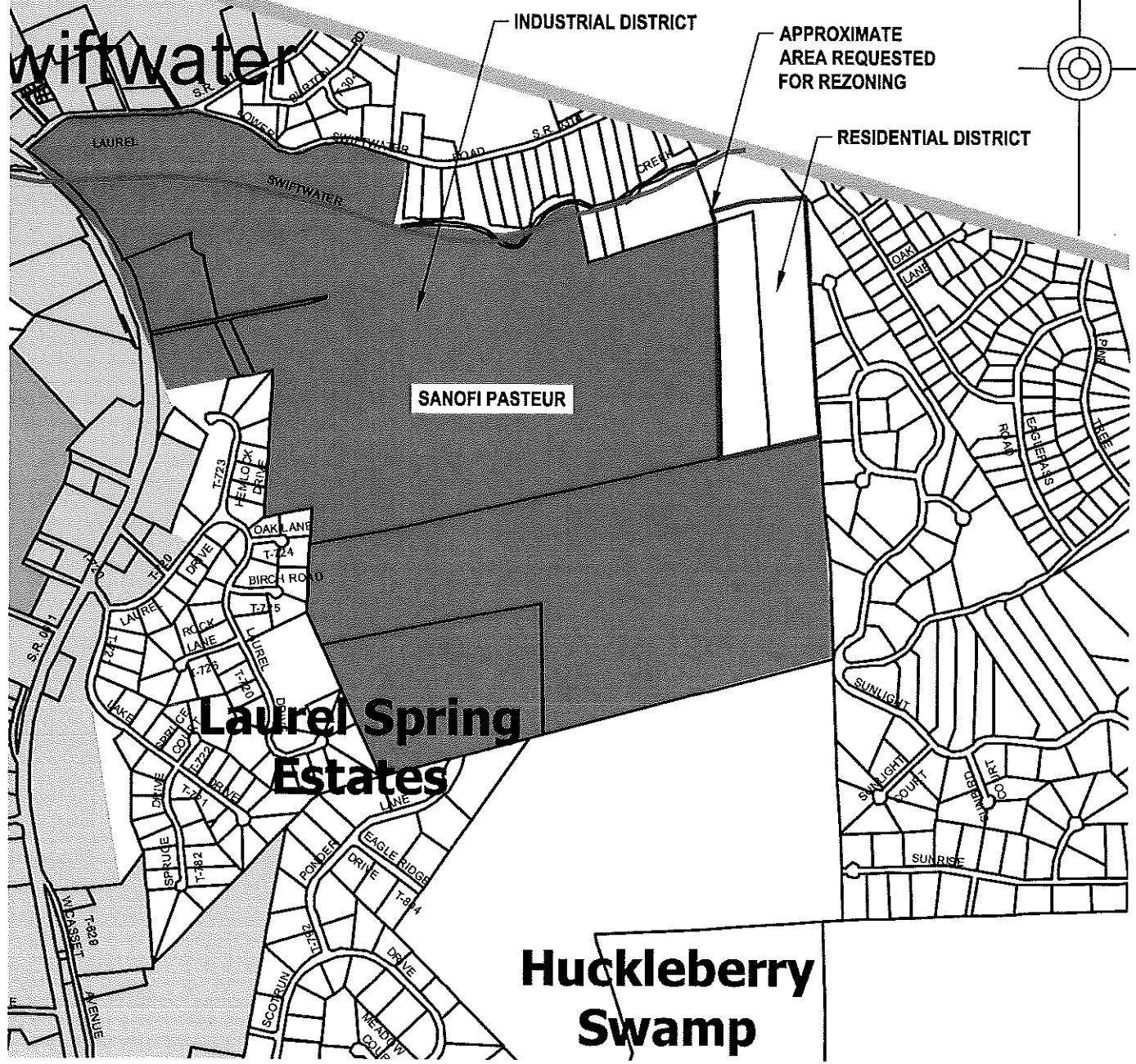
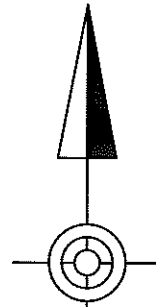
Bethlehem
Harrisburg
Pittsburgh
State College
Wilkes-Barre

BETHLEHEM

3897 Adler Place
Bethlehem, PA 18017

Phone: 484.821.0470
Fax: 484.821.0474

PARADISE TOWNSHIP



DRAWING TITLE & PROJECT NAME
CURRENT TOWNSHIP ZONING
SANOFI PASTEUR INC REZONING REQUEST
POCONO TOWNSHIP, MONROE COUNTY, PENNSYLVANIA

DRAWN BY	MRB
DATE	2/8/2016
PROJECT NUMBER	2015-1528-015
DRAWING NUMBER	EX1

**TOWNSHIP OF POCONO, MONROE COUNTY,
PENNSYLVANIA**

RESOLUTION NO. _____

A RESOLUTION APPROVING AN AGREEMENT WITH CS-GRAPHX

WHEREAS, Pocono Township desires to enter into an agreement for support and maintenance of the Permit Manager system; and

WHEREAS, CS-Graphx provides said services; and

WHEREAS, the Board desires to execute the agreement with CS-Graphx; and

NOW, THEREFORE, BE IT ADOPTED AND RESOLVED that the agreement with CS-Graphx be accepted and approved.

RESOLVED at a duly constituted meeting of the Board of Commissioners of the Township of Pocono the 16th day of February, 2016.

ATTEST:

Township of Pocono
Board of Commissioners

By: _____
Print Name: Pamela Finkbeiner
Title: Secretary

By: _____
Print Name: Tom Felver
Title: President



CSG Permit Manager Software Support and Maintenance Agreement

THIS AGREEMENT, made this **31st Day of JANUARY, 2016** between CS-Graphx ("Provider")

and **POCONO TOWNSHIP, MONROE CO PA** ("Client")

Services:

Under the terms of this agreement, and pursuant to the schedule below and purchases made by client, Provider shall undertake the following:

1 - This agreement shall be in force for one (1) year from the date agreed to above.

2 - Unlimited telephone and email support will be provided via the current contact numbers and email address provided.

(570) 460-3730 CS-Graphx office 7:00 AM – 7:00 PM EST
email: cork@cs-graphx.com

3 - On Site Support, provided by CS-Graphx or authorized representative as required (defined as the CSG Permit Manager problem cannot be remedied over the telephone in a reasonable time and/or it is the opinion of CS-Graphx that the On Site support will be the best method to resolve the CSG Permit Manager problem), up to (8) hours annually. Additional time to be billed at \$75.00 per hr + expenses.

4 - Upgrades and Updates to the CSG Permit Manager software program. All upgrades and updates including technical and feature shall be provided without additional charge during the annual life of this agreement.

This agreement is for the CSG Permit Manager Software Program as delivered from the developer. It shall be null and void in the event that there are changes to the program that have not been authorized by the developer. In the event that changes are made to the program structure by a third party, all support will be charged at the prevailing hourly rate at the time of service. If the data file becomes corrupted the client is aware that not all data is recoverable from a corrupt data file and the only remedy would be to replace the current data file with a previous backup. It is therefore imperative that the client perform a daily or at least a weekly backup of the data file(s). CS-Graphx is not responsible for the loss or corruption of data. The client is responsible for maintaining and retaining regular daily or weekly backups of the data file(s).

The cost of this annual Support and Maintenance contract is **\$1,850.00** and is due at the time of signing this agreement and each anniversary of the date of signing. Unless there is a change in any element of the agreement, this agreement will be in force from year to year with the payment of the annual fee here in stated.

Accepted by Provider,

Brentwood "Cork" Shunk
CS-Graphx

12.31.15
Date

Accepted by Client,

Date