



WORTHINGTON HRA
EQUAL HOUSING OPPORTUNITY

INVITATION FOR SEALED BIDS

FOR THE REHABILITATION OF THE SINGLE-FAMILY HOME LOCATED AT:

1203 Apel Ave, Worthington, MN 56187

Property Owner: HRA of Worthington, MN

HRA Office: 507-376-3655

Prepared by: City of Worthington Community Development and the HRA of Worthington,
MN

PLEASE RETURN THE BID IN A SEAL ENVELOPE LABELED PROJECT:

1203 Apel Ave

By 4:00 P.M. on September 25, 2025

TO: HRA OF WORTHINGTON

819 10th St, Worthington, MN 56187

INVITATION FOR SEALED BIDS

Rehabilitation of 1203 Apel Ave, Worthington, MN 56187

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SUPPLEMENTAL INSTRUCTIONS

1. BID FORM: All bids must utilize the Form of Bid forms included in this solicitation. The following documents must be completed and included in bid submittal:

A. Bid Form

B. Responsible Contractor & Certification of Compliance form

C. Bid Bond (for projects/bids exceeding \$175,000)

Bids must be received by the HRA no later than 4:00 p.m. (local time) on September 25th, 2025. Bids must be submitted to the address below, with the envelope conspicuously marked, as follows (e-mailed bids will not be accepted): Invitation for Bids – 1203 Apel Ave- Single Family Home Rehab, Worthington HRA, 819 10th St, Worthington, MN 56187. The HRA reserves the right to reject any or all bids, and the further right to accept or reject any bid item(s), and to waive any informalities. Any addenda to the specifications, if issued, will be on file in the above office. It shall be the Bidders responsibility to make inquiry as to addenda issued before submitting the bid.

2. EXAMINATION OF SITE: Contractors are encouraged to examine the site independently. The HRA will hold a viewing period from 9:00am-12:00pm on Wednesday, September 10th.

3. CALENDAR OF EVENTS: Listed below are dates of action related to this solicitation. Solicitation Issued Wednesday, August 27th, 2025

Deadline for Submission of Bids Thursday, September 25th, 2025 4:00 p.m.

HRA Board Approval Wednesday, October 1st, 2025

Anticipated Award of Contract Thursday, October 2nd, 2025

Project to be completed no later than Tuesday September 1st, 2026

4. AWARD: Following evaluation of all written submissions, the HRA may select the lowest responsible, responsive bid. The HRA of Worthington reserves the right to accept or reject any or all line items in the proposal, any alternates, or portion of the proposal.

5. NOTICE TO PROCEED: The Contractor agrees to sign a Contract in a form prescribed by the HRA for the total amount of the contract within three days after being notified of the award of contract. The awarded Contractor will be instructed by a "Notice to Proceed" to commence work approximately on or after October 1, 2025. Proof of insurance and payment/performance bonds must be received prior to issuance of the Notice to Proceed. The Contractor shall complete all work required under this contract within 180 days of the effective date established in the Notice to Proceed.

6. PERMITS AND CODES: The Contractor shall comply with all applicable codes and regulations (Federal, State and Local) and manufacturer recommendations. The Contractor shall secure and pay for all permits, fees, and licenses necessary for the proper execution and completion of the work.

7. INSURANCE: The Contractor and all subcontractors shall meet HRA insurance requirements for indemnification, liability and workers compensation. The HRA shall be named and covered as an additional insured on the Contractors and all Subcontractors General Liability Insurance Policies. This insurance shall be written for not less than the following limits: Per Occurrence - \$500,000, Aggregate - \$1,000,000. The Contractor shall provide the HRA with a certificate of Insurance. Contractor shall provide subcontractor insurance to the HRA prior to subcontractor(s) commencement work.

8. BONDING: Bid bonds are required for bids \$175,000 or more. If bid is \$175,000 or more, bid bond must accompany bid. Performance and Payment bonds are required for bids \$175,000 or more and will be required before a notice to proceed is issued.

9. WORK PERFORMANCE: All work shall be performed by the Contractor and employees who are licensed by the State of Minnesota, as required. All employees must work in harmony with employees of the HRA and employees of other contractors who may be working at the location at which the work is to be done. The Contractor shall not subcontract any portion of the services to be performed under this Contract nor assign this contract without prior written approval of the HRA. In the event that a subcontract is approved, prompt payment must be made to subcontractor in accordance with Minnesota Statute 471.425 Subd.4a.

10. INDEMNIFICATION: The Contractor and Subcontractors shall indemnify and hold harmless the HRA, their agents, employees, and tenants from and against all claims, damages, losses and expenses including attorney's fees arising out of or resulting from the performance of the work under the Contract, provided that any such claim, damage or expense (1) is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the work itself) including the loss of use resulting therefrom and (2) is caused in part by a party indemnified hereunder. In any and all claims against the HRA, their agents, employees, and tenants by any employee of the Contractor and/or Subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, the indemnification obligation under this paragraph shall not be limited in any way by any limitation on the amount or type or damages, compensation or benefits payable by or for the Contractor or any Subcontractor under workmen's compensation acts, disability benefit acts or other employee benefit acts. The HRA shall be named and covered as an additional insured on the Contractors and Subcontractors General Liability Insurance Policy.

11. PAYMENT TERMS: The HRA shall pay the Contractor the price as provided in this contract. The contractor shall bill monthly for work performed. Payment shall be made to the contractor within approximately thirty (30) days after acceptance of the completed work and the receipt of invoice, or any other required paperwork. Pay application meetings may occur monthly at the HRA's discretion to review billed work.

12. SALES AND USE TAX: It is assumed that in the preparation of the proposal, the proposer has taken into consideration his liability to the State of Minnesota and City of Worthington for any use/sales tax for the use of and consumption of any materials, services or supplies required for performance of the contract work. The Contractor's tax liability will be considered as his/her expense for which no direct compensation will be made by the HRA to the Contractor over and above the accepted bid price.

13. WITHHOLDING AFFIDAVIT: Minnesota Statute S290.97 requires that local governments shall not make final settlement with any contractor until a satisfactory showing is made that the Contractor has complied with Minnesota Statute S290.92 which relates to the withholding of a payment for payroll taxes. All Contractors and Subcontractors must obtain and submit a copy certified by the Minnesota Department of Revenue, "Withholding Affidavit for Contractors", form IC-134, before the final settlement payment can be made on the contract.

14. RESPONSIBLE CONTRACTOR: Per Minnesota Statute §16C.285, subdivision 3, all Bidders submitting a proposal for this project must verify that they meet the minimum criteria specified in the statute by submitting a Responsible Contractor Verification and Certification of Compliance form (attached). The owner or officer of the company must sign the form verifying compliance with each of the minimum criteria. Bidders must obtain verification of compliance from all subcontractors. Proposer must submit signed copies of verifications and certifications of compliance from subcontractors at the HRA's request.

Worthington HRA Bid Form

Rehabilitation of 1203 Apel Ave, Worthington, MN 56187

Viewing Period:

The HRA will hold a viewing period from 9:00am – 12:00pm on Wednesday, September 10th, 2025. Interested bidders are encouraged to view the property prior to submission of bid.

Bid Opening Date and Time:

Submit bids via USPS or hand delivery, clearly marked with the address(es) of the property for which the bid applies. Bids must be received at the office of Tanner Rogers, Executive Director, Worthington HRA, 819 10th St, Worthington, MN 56187, by 4:00 PM on September 25th, 2025. Late bids will not be opened. Emailed bids will not be accepted. Bids will be opened on at 5:20pm on October 1st, 2025, at the Worthington HRA monthly board meeting. Labor and Materials Payment Bond and Performance Bond are not required if the project bid is less than \$175,000.00. The HRA reserves the right to accept all, any or none of the line items at their discretion.

Items Required with Sealed Bid Submission:

- 1. Certificate of Insurance** - Submit Certificate of Insurance naming Worthington HRA as additional insured
- 2. Responsible Contractor Verification – Attached** – per Minnesota Statute §16C.285, subdivision 3, all Bidders submitting a proposal for this project must verify that they meet the minimum criteria specified in the statute by submitting a Responsible Contractor Verification and Certification of Compliance form (attached). The owner or officer of the company must sign the form verifying compliance with each of the minimum criteria. Bidders must obtain verification of compliance from all subcontractors. Proposer must submit signed copies of verifications and certifications of compliance from subcontractors at the HRA's request.
- 3. Project Delivery Schedule** – Submit Project Delivery Schedule with duration and all milestone dates including Date of Substantial Completion

The undersigned, having personally examined the Invitation for Bids (IFB), including all associated documents and requirements, will complete roofing replacement for the following price(s):

Base Bid: \$_____

Name/Title:_____

Signature/Date:_____

Firm Name:_____



**Construction
Specifications/Scope of Work
for the rehabilitation of
1203 Apel Ave, Worthington,
MN 56187**

ALL WORK AND MATERIALS MUST MEET OR EXCEED ALL STATE AND LOCAL CODES. ONLY GOOD QUALITY MATERIALS AND WORKMANSHIP WILL BE ACCEPTABLE. BID PROPOSAL SHALL INCLUDE COST AND ACQUISITION OF PERMIT. EACH TRADE IS RESPONSIBLE FOR DISPOSING AND PROPERLY CLEANING OF THEIR RELATED DEBRIS. EACH TRADE MUST COOPERATE AND COORDINATE WITH OTHER TRADES ON THIS PROJECT.

FOUNDATION - EXTERIOR REPAIR - CONCRETE

Concrete the exterior perimeter of the entire foundation. Furnish and securely fasten concrete, use wire mesh if necessary. Coat the entire exterior perimeter with a commercial grade cement mix as per the manufacturer's specifications. Install thickly enough to provide a durable, protective coat. Trowel to a smooth finish. The contractor shall be responsible for clean-up. Paint entire foundation, color by owner.

DEMOLITION

Contractor shall remove concrete steps on front and side of the house, and dispose of offsite. Disconnect (if any) all electrical, plumbing, gas and/or sewer hookups to structure(s) and cap off, seal or de-energize as required by local code. Fill and grade to existing adjacent contours and cover with good soils. New Deck and stairs to be install.

TREE REMOVAL

Contractor shall identify, remove, and properly dispose of any Ash trees located on the west side of garage. Contract shall remove and properly dispose of tree nearest garage on the west side. Tree removal is to be done in such a manner that the tree trunks or limbs do not endanger pedestrian or property. All parts of the removed tree including trunks, limbs, branches, bark and other debris is to be removed from the property upon completion. Stumps shall be grubbed out and fill brought in and leveled off to grade. Install sod to cover new fill.

EXTERIOR IMPROVEMENTS - LANDSCAPING

Bidding contractor is required to provide owner with a landscaping plan for the site. Including type of trees, shrubs, and ground covers and planting mix.

FRONT SERVICE WALK - REPLACE

Repair concrete by removing and replacing. New installation shall be minimum 3 1/2" thick, placed on 4" compacted sand/gravel fill. Edge of the walk adjoining dwelling shall have a 1/2" x 4" expansion joint. New installation shall be pitched away from dwelling, minimum 1/2" per foot. Float and trowel to true surface and broom finish across direction of traffic. Round edges at sides and at expansion joints prior to broom finish.

New walks to be sized to the existing walks. Concrete to be 4000# ready mixed air entrained. Protect with barricades until concrete is set. Remove forms after 24 hours and restore grade, allowing for grass turf to finish flush with top of walk.

CHIMNEY – REPAIR IN BASEMENT

Restore to a sound and acceptable state of operation, serviceability and appearance. After supporting chimney to prevent collapse, remove rotten brick and loose mortar if necessary. Lay new brick (if necessary) and tuck point in new mortar.

CONSTRUCTION - BATHROOM

Construct a new bathroom - utility gable roofed addition. Furnish and frame out new addition (LIFTING ROOF SECTION) using 2 x 6 wall studs 16" O.C where plumbing pipes will be installed., 2 x 6 ceiling joists and rafters 16 O.C. Rafter tails are to extend from addition wall to provide a minimum 16" soffit. Use 3/4" tongue and groove blandex as sub-flooring with 1/2" CDX plywood roof sheathing and 1/2" CDX plywood wall sheathing. Furnish and install 3 1/2 x 15 Kraft back fiberglass with barrier installed to the heated side of addition. Furnish and install 12" of blown-in cellulose insulation to attic with continuous soffit and ridge venting. Frame out for three 24" x 32" casement windows as per diagram. Cut into and frame out 36" open arch as per diagram, finishing with drywall.

Roofing shall consist of new asphalt seal tab shingles laid over 15# felt and D roof edge on all exposed edges. Flashings shall be installed in new valleys if any and where the new soil vent exists the roof. Shingles shall be securely fastened and sealed to roof decking. Shingles shall be properly lapped and double nailed as per manufacturer's specifications. Shingle color to match existing as closely as possible.

Provide and install new vinyl siding to surface exterior walls. Installation shall include backing paper "N" joints, and corners. Nailing to be to manufacturer's specifications. Color to match existing.

Building shower stub wall and soffit as per diagram. Use 2 x 6 framing where plumbing pipes will be installed with 2 x 4 ceiling and floor plates all from construction grade fir. Anchor securely into ceiling and floor joists. Install 1/2" drywall over 4 mil vapor barrier sealed all walls, use moisture resistant drywall on walls in contact with shower. Use 5/8" drywall on ceiling. Tape and cover joints with joint compound. All outside edges will be installed with metal corners. Butt seams must be kept a minimum. Apply three coats of joint compound over all nails, screws and tape. Feather edges and sand after final coating to prepare surfaces for painting.

Frame-out and install new 32" hollow core mahogany passage door as per diagram. Door is to be complete with all hardware. Furnish and install lever type privacy knobs. Install base and door trim. Doors to be stained and varnished or painted. Color by owner.

Build in a new removable plumbing access panel in closet/shower stub wall in next room, trim with 2 1/4" pine trim with mitered joints.

Remove siding from existing exterior wall that is enclosed by new addition. Finish walls as above with 1/2" drywall to form wall of new addition.

The contractor must allow placement of wiring and plumbing runs before closing interior finish

INTERIOR FINISH FOR NEW BATHROOM IN FIRST FLOOR

Building wall and soffit as per diagram to build a new 1/2 bathroom. Use 2 x 6 framing where plumbing will be installed. Anchor securely into ceiling and floor joists. Install 1/2" drywall over 4 mil vapor barrier all walls, use moisture resistant drywall on walls in contact with sink. Use 5/8" drywall on ceiling. Tape and cover joints with joint compound. All outside edges will be installed with metal corners. Butt seams must be kept a minimum. Apply three coats of joint compound over all nails, screws and tape. Feather edges and sand after final coating to prepare surfaces for painting. Color by owner.

Frame-out and install new 32" hollow core mahogany passage door, hinged to inside as per diagram. Door is to be complete with all hardware. Install oak base and door trim. Color by owner.

Remove siding from existing exterior wall that is enclosed by new addition. Finish walls as above with 1/2" drywall to form eastern wall of new addition. Color by owner.

The contractor must allow placement of wiring and plumbing runs before closing interior finish.

DETACHED FRONT DECK 4' BY 8'

Remove and dispose of at an approved site deteriorated floor decking, joists, and band joists. Support porch to prevent collapse. New joists shall be sized accordingly and be construction grade pressure treated 16" O.C. secured to band joist. The band joist parallel and adjacent to dwelling shall be installed by securely spiking new joist into frame wall members. Outside band joist shall be doubled. Joist to have framing anchors or joist supports on each end. Decking shall be 3/4" pressure treated decking. New sill plate to be pressure treated.

DETACHED SIDE DECK 3' BY 4'

Remove and dispose of at an approved site all concrete steps. New joists shall be sized accordingly and be construction grade, pressure treated 16" O.C. secured to band joist. The band joist parallel and adjacent to dwelling shall be installed by securely spiking new joist into frame wall members. Outside band joist shall be doubled. Joist to have framing

anchors or joist supports on each end. Decking shall be 3/4" pressure treated decking. New sill plate to be pressure treated.

GARAGE – STEEL EXTERIOR DOOR INSTALLATION

Provide and install new steel exterior door to existing garage. Haul away old door and dispose of properly. Installation shall be complete with all required framing and include lock and all hardware.

Door shall be primed and painted. Color by owner.

GARAGE – SECTIONAL STEEL DOOR INSTALLATION

Furnish and install sectional steel garage door of flush or panel type. Door shall have extension or torsion spring hardware balancing and galvanized track. Door shall be provided with keyed lock and latches that engage on both sides of the door track. Weatherstripping shall be provided at the bottom of the door and new wood stops shall be installed at the head and sides of the jamb. Installation shall be in accordance with manufacturer's instructions and balancing shall be adjusted for easy opening and closing. Install new garage door opener. Prime and paint-if needed.

SIDE DOOR - PRE-HUNG - STEEL

Furnish and install new insulated, pre-hung, pre-finished steel door(s) of good quality. Installation shall include removal and disposal of old door and frame. Door shall be 1-3/4" thick in a wood frame complete with all hardware, dead bolt lock and insulated glass lite, size to be 36" door. Interior casings to be used unless damaged and in that case are to be replaced with new that match existing. Any damaged siding will be replaced. Door shall be factory weather stripped on both sides, top and at threshold. New frame will be securely fastened into opening and sealed. Color by owner.

MANUFACTURER NAME: _____

MANUFACTURER #: _____

FRONT DOOR - STEEL - RELOCATE NEW INSTALLATION

Remove and dispose of the existing door, Remove door and frame to the header and wall studs. Furnish and install 2" X 4" cripples at 16 O.C. Insulate the opening with 3 1/2" kraft faced fiberglass. Sheath over the exterior opening with CDX plywood sized to be flush with the existing wall sheathing. Tooth-in siding w/backing to match existing. Finish interior with drywall sized to be flush with the existing interior wall covering. Tape and sand to a smooth finish. Cut-in and frame out for a new 3' 0" pre-hung steel door in the EAST wall (FRONT), furnishing and installing a new door header sized to adequately support the existing load. Furnish and install a new, insulated, pre-hung, pre-finished steel door of good quality. Door shall be 1 3/4" thick in a wood frame, jamb width shall be

flush with existing wall. Door shall be installed complete with all hardware, keyed lock set, dead bolt lock and insulated door lite. Door shall be weather stripped on both sides, top and at threshold. Install new door casing to match the existing window and passage door trim. The new door shall be hung square and plumb and shall be securely fastened to wall studs and header. Color by owner.

MANUFACTURER NAME: _____

MANUFACTURER #: _____

DOOR -All INTERIOR PASSAGE

Furnish and install new interior passage door. Door(s) shall be 1-3/8" minimum thickness, hollow core, Lauan finish. Installation to include new butts and passage latch. Adjust door stops as necessary. See drawings. Color by owner.

MANUFACTURER NAME: _____

MANUFACTURER #: _____

ALL WINDOWS WITH THE EXEMPTION OF BASEMENT- VINYL REPLACEMENTS

Remove existing window units (contractor to field verify) and furnish and install new vinyl replacement window units. All units to be single-hung, tilt removable, with insulated, Low-E glazing and full-length screens with the exception of stationary/picture units. All windows need to be with high quality weatherstripping, operating hardware, extension jambs, drip cap, inside trim. New window shall be set true and plumb and securely anchored; sill shall be adequately supported along its entire length, and rough-opening shall be properly insulated and caulked to assure a weathertight joint between window and surrounding structure. All trim shall be replaced with new, all trim need to match. Provide any appropriate sales brochures on the windows you are proposing to install. Contractor to include windows in garage. Contractor to verify requirement for safety glazing and fault protection. Color by owner.

MANUFACTURER NAME: _____

MANUFACTURER #: _____

KITCHEN WALLS - REMOVE EXISTING

Remove the existing kitchen on walls as per drawings (by new refrigerator). Disconnect and remove all plumbing fixtures, supplies and waste lines and electrical fixtures. Dispose of all debris at an approved site, this should include the removal of kitchen flooring.

KITCHEN WALLS - FINISH

Build new walls in kitchen to accommodate new cabinets as per diagram. Finish walls by adding ½" drywall tape and sand to a smooth finish. Walls and ceilings to be painted. with added texture on walls. Color by owner. Furnish and install 2 1/4" pine base.

KITCHEN CABINETS

Installation shall include removal and disposal of old cabinets. Kitchen cabinets to be Merillat, medium quality (Meadow Oak, example) or equal. Countertop to be Formica or equal with rolled edge and backsplash (countertop high pressure 1/16" laminated plastic). Color and style selection by owner. Countertop shall have mitered joints with seams being plumb and level and shall be scribed to existing walls. Countertop shall be secured front and back to cabinets. Installer shall use silicone sealant between adjacent walls and countertop or backsplash. Cabinets shall fit flush to kitchen fixtures and walls, when not possible, install matching finish cabinet extensions to fill openings. Installer shall cut countertop for sink placement. Cabinets shall be securely anchored to wall studs. Add a breakfast cabinet with countertop to match all kitchen cabinets, see drawing. Cabinets should include base units and upper wall hung units.

BASEMENT WALLS BY EXISTING TOILET - REMOVE EXISTING

Remove the existing basement walls as per drawings (by existing toilet and by stairs). Disconnect and remove all plumbing fixtures, supplies and waste lines and electrical fixtures. Dispose of all debris at an approved site, this should include the removal and disposal of debris.

BASEMENT WALLS - FINISH

Build new walls in basement to properly enclosed existing toilet area and by stairs as per diagram. Finish walls by adding ½" drywall tape and sand to a smooth finish. Walls and ceilings to be painted. with added texture on walls. Color by owner.

WALLS - FINISH DINING ROOM

Finish interior first floor walls. Strip-out wall paneling, add furring strips enclosing the interior adding ½" drywall tape and sand to a smooth finish with added texture on walls. Walls and ceilings to be painted. Color by owner. Furnish and install 2 1/4" pine base.

FLOORING - REPAIR BATH FLOOR

Coordinate with plumber with lifting and re-setting of stool which is included under the plumbing portion of this scope. Remove existing flooring and rotted areas of sub-flooring. Sister any weak floor joists to match existing with construction grade fir. Install new sub-flooring at same thickness as existing (ACX grade plywood). Recover entire floor

with 1/4" masonite underlayment. Install Armstrong Sundial linoleum equal. Owner's choice of style and color. Materials cost ____ per yard.

FLOORS - VINYL FLOOR COVERING

Installation shall include 1/4" mahogany solid core underlayment. Install new medium quality minimum of 10 mil wear layer, FHA approved, no wax vinyl floor covering as per manufacturer's specifications. Maximum materials cost to be no more than 18.00 per yard. Style and color selection by owner. Installation shall include pre-finished baseboard, rubber base, or vinyl base if needed and all necessary metal threshold strips. See drawings.

MANUFACTURER NAME AND # _____ # of Square Yards _____

CARPETING AND PAD

Furnish and install new jute back carpeting. Carpet to be selected by owner and not to exceed \$16.00 per yard for carpet and pad. All edges shall be finished in a professional manner. Carpet shall be properly stretched and secured for a finished job. See drawings.

MANUFACTURER NAME AND # _____ # of Square Yards _____

PAINTING – ALL INTERIOR WALLS AND CEILINGS – INCLUDING BASEMENT

Remove all paneling on walls, new surfaces or two coat system plaster or drywall surfaces should be completely dry, clean and free from any foreign matter before priming. All cracks, holes and scratches should be filled or patched and such area, after patching, sanded lightly. with added texture on walls. Sufficient time shall be allowed between coats of paint or sealers to assure thorough drying of all coats. Two coat minimum application is required. Color by owner. Furnish and install 2 1/4" pine base.

All materials shall be completely free of lead or lead compounds.

HANDRAIL – INTERIOR TO SECOND FLOOR AND BASEMENT

Furnish and install wood rounded type, free from slivers, knots or other defects. Attach securely with wall brackets at top, bottom and every 8 lineal feet securely screwed or bolted into wall stud, or vertical stair supports. Rail shall be located between 30 and 34 inches vertically above the nosing of the stair tread. Contractor to prime and paint. Color by owner.

GARAGE-SIDING - VINYL

Remove the old siding and dispose of it at an approved location. Furnish and install new vinyl siding to resurface exterior walls. Siding shall be .040" thick solid vinyl by Certainteed or equal. Owner's choice of color and style. Installation shall include all corners, louvered gables to allow for attic ventilation and louvered soffit panels. Soffit

panels shall be secured in channels to eliminate looseness. All door and window sills, window jambs, casings and fascia are to be sheathed with pre-finished, .019" aluminum to match siding. Install drip cap over windows and doors. Material shall be lapped for proper drainage and applied in full sections. Caulk in joints. All nails shall be properly secured; staples are not to be used for installation. Contractor will be responsible to allow for shrinkage and expansion due to temperature differences. No splices under 32" will be allowed.

HOUSE-SIDING - VINYL

Remove the old siding and dispose of it at an approved location. Furnish and install new vinyl siding to resurface exterior walls. Siding shall be .040" thick solid vinyl by Certainteed or equal. Owner's choice of color and style. Installation shall include all corners, louvered gables to allow for attic ventilation and louvered soffit panels. Soffit panels shall be secured in channels to eliminate looseness. All door and window sills, window jambs, casings and fascia are to be sheathed with pre-finished, .019" aluminum to match siding. Install drip cap over windows and doors. Material shall be lapped for proper drainage and applied in full sections. Caulk in joints. All nails shall be properly secured; staples are not to be used for installation. Contractor will be responsible to allow for shrinkage and expansion due to temperature differences. No splices under 32" will be allowed.

SOFFIT AND FASCIA – ALUMINUM FOR HOUSE AND GARAGE

Repair soffit and fascia by completely covering with .019" prefinished aluminum using solid or perforated soffit material. Color selection by owner. Remove and replace all loose and deteriorated existing material. Soffit panels shall be secured in channels to eliminate looseness and rattling. Materials shall be lapped for proper drainage and applied in full sections. Caulk joints. Staples shall not be used for installation.

GUTTERS/DOWNSPOUTS - METAL

Remove old gutters and downspouts and install minimum new 5" "K" style, pre-finished 26-gauge metal with hangers placed under roofing. Install gutters on all horizontal roof edges. All gutters that are above another roof line shall have a downspout and leader that empties directly into the gutter on the lower roof line. All joints are to be sealed using silicone-based sealant. Downspouts shall be securely attached to exterior walls and be installed with minimum 36" leaders that direct water down slope away from foundation. Old gutters and downspouts are to be disposed of at an approved site. Color selection by owner.

GARAGE-ROOFING - TEAR OFF

Remove all existing shingles, felts, and flashings to roof boards. Clean surface of all old nails and replace any rotted roof sheathing with new to match existing. Install new pre-finished roof edging to all outer roof edges. A starter strip of self-adhering underlayment such as "Winter Guard" or Storm Shield" or their equal shall be installed starting at the roof edge running a minimum of 1' up past the wall blocking and a minimum of 3' from the roof edge. The self-adhering underlayment shall also be installed in all valleys. Cover balance of roof with 15# felt. Starter strip and first row of shingles must be sealed and securely fastened to roof decking. Reline valleys with new 26-gauge galvanized metal to run a minimum 12" on each side of center of valley over felt. Chimney(s), vertical wall surfaces, and soil vents shall be flashed with new 26-gauge metal. Masonry chimney(s) shall be counter-flashed and soil vents are to have new storm collars installed as counter-flashing. Apply new 25 YEAR Architectural shingles furnished by contractor, color selection by owner. Shingles shall be properly lapped and double nailed as per manufacturer's specifications. Nails shall be of sufficient length to penetrate into decking. Ridge shall be individual shingles laid "Boston" style. Where shingles overlie flashings, they shall be set in roofing cement. Contractor shall remove all old materials from job site and dispose of them at an approved site.

BATH - FIBERGLASS TUB SECOND FLOOR

Bathtub shall be integral fiberglass tub and wall surround by Aqua Glass or equal. Unit shall be fitted with multi-flex pop-up drain, Kohler combination or equal, fixed tub and show supply fitting. Including bath faucets. Connect hot and cold supplies with shut-offs, drain, overflow waste, and p-trap connected to waste line and vented as per State Plumbing Code. Furnish and supply new Kohler or equal adjustable flow restricted shower head. Fiberglass tub shall have textured bottom and shall comply with the slip resistance requirement. The unit shall be one piece molded reinforced fiberglass with a minimum fiberglass content of 15% and outer coating of reinforced polyester coating. Install one (1) 32" straight grab bar mounted horizontally on back wall at a height of 36" from tub floor. Grab bar to be 1 1/2" O.D. 18 gauge stainless steel. Mountings shall be attached with stainless steel nuts and bolts, securely anchored with 3" x 3" stainless steel mounting plates. All fixture openings and bolts are to be caulked and sealed in place with silicone based sealant. Installation will also include bypass glass doors securely mounted at top and tub with aluminum rails. Owner's choice of all styles and color of installation. Remove existing tub and dispose of at an approved site. Coordinate with other trades.

NOTE: Stub wall/soffit, plumbing access.

NOTE: Curtain rod.

LAVATORY – REPLACE SECOND FLOOR

Remove and replace existing lavatory with new Kohler or equal 19" x 17" acid resisting steel enameled wall hung. Same shall be installed with mixing combination faucet, pop-up drain, supplies with shut-offs and 1 1/4" p-trap with clean-out. Lavatory drain shall be connected with new 1 1/4" PVC waste line to main soil line. All connections, waste and venting of lavatory as per State Plumbing Code. Dispose of old lavatory at an approved site.

WATER CLOSET – REPLACE SECOND FLOOR

Water closet shall be Kohler or equal siphon jet round front close - coupled closet combination. Install supply with tap, T seat, and cover with anti-syphon ball cock. Dispose of old unit off site. Seal new stool with new wax ring and securely fasten to floor. Furnish and install chrome plated shut-off valve on stool supply line.

WATER CLOSET - NEW INSTALLATION – FIRST FLOOR

Furnish and install Kohler or equal siphon jet round front, close-coupled, closet combination with supply and shut-off, with anti-syphon ballcock, new seat and cover. Install 3" PVC soil line with trap, clean-out and vent as per State Plumbing Code. Trench and run solid line under basement floor to main soil line. Re-lay concrete floor to match existing floor level.

LAVATORY - VANITY – NEW INSTALLATION - FIRST FLOOR

Furnish and install a wood vanity with single piece marbled lavatory top, complete with mixing faucet, hot and cold supplies with shut-offs, PVC waste line, p-trap and vented as per State Plumbing Code. Homeowner's choice of finish and style.

SINK - KITCHEN - NEW DOUBLE COMPARTMENT

Sink shall be stainless steel two compartment Kohler, or equal, self-rim 20 gauge. To be fitted with swing spout faucet, duo-strainers, continuous drain, 1 1/2" p-trap with cleanout, and shut-off on supply lines. Unit to be vented and installed as per State Plumbing Code. Disposal of removed equipment shall be made off site. Seal lip with silicone-based sealant. Including faucets.

NOTE: On new sink bases, carpenter will cut for sink.

NOTE: Verify type of sink with homeowner.

SINK - LAUNDRY OR UTILITY- BASEMENT

Furnish and install laundry or utility sink complete with required waste connection, traps, faucets and spout, tub stand and hot and cold connections. Sink to be of fiberglass by

Crane, or equal. Plumbing installation and venting to be in accordance with State Plumbing Code.

LAVATORY - VANITY – NEW INSTALLATION – BASEMENT – BY EXISTING TOILET

Furnish and install a wood vanity with single piece marbled lavatory top, complete with mixing faucet, hot and cold supplies with shut-offs, PVC waste line, p-trap and vented as per State Plumbing Code. Homeowner's choice of finish and style.

DEMOLITION-EXISTING SHOWER IN BASEMENT

Contractor shall remove existing shower in basement, and dispose of offsite. Disconnect (if any) all electrical, plumbing, gas and/or sewer hookups to structure(s) and cap off, seal or de-energize as required by local code.

OUTSIDE FAUCET - UTILITY - REPLACE

Replacement faucet, shall be vacuum breaker and it shall meet ASSE 1019-A standards.

KITCHEN STOVE-GAS SUPPLIES

Furnish and install drip tees, gas union valves and supply shut-offs as per the mechanical code for the kitchen stove.

GAS PIPING - DISCONNECTED EXISTING GAS STOVE PIPING

Cap off disconnected gas piping with sealed screw joint fittings as per the state mechanical code. The disconnected gas supply is located in the following area:

FORCED AIR HEAT SUPPLIES/RETURNS - INSTALL – SECOND FLOOR

Furnish and install formed metal supplies and returns using industry approved standards that result in a quiet, low static system with balanced, uniform air distribution. All supplies and returns shall be galvanized steel ducting, mechanically fastened in a workmanlike manner and shall be airtight. New supplies shall be added to provide 2 sq. in. of unobstructed total area per 1,000 BTU approved appliance rating. Install branching ducts from plenum to exterior walls. Install main heat supply to 2nd floor branching out to provide uniform heat to all rooms. All heat runs shall be dampered to allow proper distribution of heat. Heat runs passing through unheated spaces (crawl spaces, attics, etc.) shall be insulated to R-11. Only as a last resort will supplies be installed through attics. Returns shall be installed for every floor to facilitate air movement and balanced air pressures throughout. Return air shall be sized to provide a minimum of 2 sq. in. unobstructed total area per 1,000 BTU approved appliance rating. Return air shall be balanced to the CFM output of the furnace fan. Negative basement or furnace room pressures are not acceptable. Install registers on all supplies and returns. Registers are to be prime coated, metal, adjustable louver type. An easily accessible air filter rack shall

be installed in the main return air plenum. Indicate in this proposal if any supplies or returns that will be exposed to a living area. If not indicated in this proposal, then all boxing in of exposed duct work shall be the heating contractor's responsibility.

FORCED AIR REGISTERS

Install meal, prime coated, adjustable louver registers to all new and existing ductwork to first and second floor.

WIRING - REWIRE RECEPTACLE – 1ST ST AND 2ND FLOOR

Rewire all receptacles on the 1ST and 2nd floor that are connected to existing wiring and connect to new grounded non-metallic wiring rated to the expected amperes load of those receptacles. Install new duplex flush receptacles with matching cover plates in those openings. All outlets shall be grounded. Balance receptacles so no circuit is overloaded.

WIRING - REWIRE BASEMENT

Replace all old, worn, or hazardous wiring in basement. All wiring junctions or splices shall be placed as per code in junction boxes with covers. Rewire individual outlets and/or fixtures.

FIXTURE – REPLACE ALL- INCLUDING IN BASEMENT (ADD EXTRA FIXTURE IN BASEMENT IF NEEDED) ADD OUTSIDE FIXTURE BY NEW DOOR

Furnish and install new fixture with a UL approved type. Replace shallow junction box with new standard box. All connections and installation shall be as per National Electrical code.

Install wall switch for replacement fixtures, if there isn't a switch already available. The wall switch shall be installed in a proper manner at the entrance of the room.

Material allowance as follows:

Basement porcelain	\$ 8.00
Bathroom (no outlet connection acceptable)	\$40.00
Bedrooms	\$25.00
Dining room/living room	\$35.00
Kitchen	\$45.00
Exterior fixtures	\$30.00

FIXTURE - MEDICINE CABINET

Medicine cabinet shall be surface mounted with mirrored front and light. Unit having an outlet shall be connected and controlled by a GFCI as per NEC.

SWITCH - INSTALL – NEW BY NEW FRONT DOOR

Install new electrical toggle switch with matching cover plate as per National Electrical Code.

SWITCH - REPLACE

Replace defective electrical switch with new flush toggle switch with matching cover plate as per National Electrical Code

RECEPTACLES - GFCI - INTERIOR

Furnish and install new ground fault outlet with matching cover plate at each outlet within 6' of bathroom, kitchen sinks and laundry area as per National Electrical Code and test after installation. Ground fault breaker is not acceptable in this installation. Any outlets within metal medicine cabinet or light fixture shall be disconnected as part of this installation.

RECEPTACLE - INSTALL – NEW IN BASEMENT

Install new duplex flush receptacle with matching cover plate. All outlets shall be grounded. Install as per National Electrical Code.

RECEPTACLE - INSTALL – NEW IN BASEMENT

Install new 220 OUTLET receptacle with matching cover plate for clothes dryer. All outlets shall be grounded. Install as per National Electrical Code.

RECEPTACLE - INSTALL – KITCHEN

Install new 220 OUTLET receptacle with matching cover plate for kitchen range. All outlets shall be grounded. Install as per National Electrical Code.

RECEPTACLE - REPLACE

Replace defective electrical wall receptacle with new duplex flush receptacle with matching cover plate as per National Electrical Code.

RECEPTACLE - COVER PLATES

Provide and install new cover plates on all switches, outlets and junction boxes to match existing as close as possible.

EXHAUST FAN - BATH - FAN/LIGHT -BOTH BATHROOMS

Furnish and install Nu-Tone exhaust fan/light combination unit model #667 or equal. Unit to be ducted to exterior with 4" metal duct vented through metal roof or wall cap. Any duct passing through unheated space shall be insulated to R-11. Unit to be complete with back draft damper. Replace existing switch or install new control switch as necessary. Unit to be installed as per manufacturer's specifications and as per NEC. Noise level not to exceed 4 sones.

NOTE: Unit size 60 CFM.

RANGE HOOD - DUCTED

Furnish and install Nu-Tone LL6000 Series range hood or equal. Unit to include two speed motor, 75 watt light, 7: round duct rated at a minimum of 190CFM, back-draft damper and grease filter. Noise level not to exceed 7.5 sones. Size to be _____. Unit to be ducted to exterior with metal roof or wall cap. Any duct passing through an unheated space shall be wired to manufacturer's specifications and as per NEC. Color as per homeowner's choice.

NOTE: Size, 24", 30", 36", 42".

SMOKE DETECTOR – HARDWIRED (IF REQUIRED)

Furnish and install UL approved hardwired smoke detector with pigtails for permanent and tandem connection and battery back-up. Unit shall have test button indicator. Contractor shall test unit after installation. When installing more than one detector, install in tandem. If there are existing hardwired smoke detectors the new smoke detectors must be the same type to work compatibly in tandem with those existing.

SMOKE DETECTOR - BATTERY TYPE – INSTALL (IF HARDWIRED NOT DONE)

Furnish and install battery operated smoke alarm. Unit shall be UL approved. Battery shall be supplied with unit and unit shall have test button indicator. Contractor shall test unit after installation.

WIRING - REWIRE GARAGE

Replace all old, worn, or hazardous wiring in basement. All wiring junctions or splices shall be placed as per code in junction boxes with covers. Rewire individual outlets and/or fixtures – Including garage door opener.

**ATTACHMENT A
PRIME CONTRACTOR RESPONSE**

RESPONSIBLE CONTRACTOR VERIFICATION AND CERTIFICATION OF COMPLIANCE

PROJECT TITLE: _____

This form includes changes by statutory references from the Laws of Minnesota 2015, chapter 64, sections 1-9.
This form **must** be submitted with the response to this solicitation. **A response received without this form, will be rejected.**

Minn. Stat. § 16C.285, Subd. 7. **IMPLEMENTATION.** ... any prime contractor or subcontractor or motor carrier that does not meet the minimum criteria in subdivision 3 or fails to verify that it meets those criteria is not a responsible contractor and is not eligible to be awarded a construction contract for the project or to perform work on the project...

Minn. Stat. § 16C.285, Subd. 3. **RESPONSIBLE CONTRACTOR, MINIMUM CRITERIA.** "Responsible contractor" means a contractor that conforms to the responsibility requirements in the solicitation document for its portion of the work on the project and verifies that it meets the following minimum criteria:

- | | |
|-----|--|
| (1) | <p>The Contractor:</p> <ul style="list-style-type: none">(i) is in compliance with workers' compensation and unemployment insurance requirements;(ii) is in compliance with Department of Revenue and Department of Employment and Economic Development registration requirements if it has employees;(iii) has a valid federal tax identification number or a valid Social Security number if an individual; and(iv) has filed a certificate of authority to transact business in Minnesota with the Secretary of State if a foreign corporation or cooperative. |
| (2) | <p>The contractor or related entity is in compliance with and, during the three-year period before submitting the verification, has not violated section 177.24, 177.25, 177.41 to 177.44, 181.13, 181.14, or 181.722, and has not violated United States Code, title 29, sections 201 to 219, or United States Code, title 40, sections 3141 to 3148. For purposes of this clause, a violation occurs when a contractor or related entity:</p> <ul style="list-style-type: none">(i) repeatedly fails to pay statutorily required wages or penalties on one or more separate projects for a total underpayment of \$25,000 or more within the three-year period, provided that a failure to pay is "repeated" only if it involves two or more separate and distinct occurrences of underpayment during the three-year period;(ii) has been issued an order to comply by the commissioner of Labor and Industry that has become final;(iii) has been issued at least two determination letters within the three-year period by the Department of Transportation finding an underpayment by the contractor or related entity to its own employees;(iv) has been found by the commissioner of Labor and Industry to have repeatedly or willfully violated any of the sections referenced in this clause pursuant to section 177.27;(v) has been issued a ruling or findings of underpayment by the administrator of the Wage and Hour Division of the United States Department of Labor that have become final or have been upheld by an administrative law judge or the Administrative Review Board; or(vi) has been found liable for underpayment of wages or penalties or misrepresenting a construction worker as an independent contractor in an action brought in a court having jurisdiction. Provided that, if the contractor or related entity contests a determination of underpayment by the Department of Transportation in a contested case proceeding, a violation does not occur until the contested case proceeding has concluded with a determination that the contractor or related entity underpaid wages or penalties;* |

(3)	The contractor or related entity is in compliance with and, during the three-year period before submitting the verification, has not violated section 181.723 or chapter 326B. For purposes of this clause, a violation occurs when a contractor or related entity has been issued a final administrative or licensing order;*
(4)	The contractor or related entity has not, more than twice during the three-year period before submitting the verification, had a certificate of compliance under section 363A.36 revoked or suspended based on the provisions of section 363A.36, with the revocation or suspension becoming final because it was upheld by the Office of Administrative Hearings or was not appealed to the office;*
(5)	The contractor or related entity has not received a final determination assessing a monetary sanction from the Department of Administration or Transportation for failure to meet targeted group business, disadvantaged business enterprise, or veteran-owned business goals, due to a lack of good faith effort, more than once during the three-year period before submitting the verification;*
	* Any violations, suspensions, revocations, or sanctions, as defined in clauses (2) to (5), occurring prior to July 1, 2014, shall not be considered in determining whether a contractor or related entity meets the minimum criteria.
(6)	The contractor or related entity is not currently suspended or debarred by the federal government or the state of Minnesota or any of its departments, commissions, agencies, or political subdivisions that have authority to debar a contractor; and
(7)	All subcontractors and motor carriers that the contractor intends to use to perform project work have verified to the contractor through a signed statement under oath by an owner or officer that they meet the minimum criteria listed in clauses (1) to (6).

Minn. Stat. § 16C.285, Subd. 5. **SUBCONTRACTOR VERIFICATION.**

A prime contractor or subcontractor shall include in its verification of compliance under subdivision 4 a list of all of its first-tier subcontractors that it intends to retain for work on the project. Prior to execution of a construction contract, and as a condition precedent to the execution of a construction contract, the apparent successful prime contractor shall submit to the contracting authority a supplemental verification under oath confirming compliance with subdivision 3, clause (7). Each contractor or subcontractor shall obtain from all subcontractors with which it will have a direct contractual relationship a signed statement under oath by an owner or officer verifying that they meet all of the minimum criteria in subdivision 3 prior to execution of a construction contract with each subcontractor.

If a prime contractor or any subcontractor retains additional subcontractors on the project after submitting its verification of compliance, the prime contractor or subcontractor shall obtain verifications of compliance from each additional subcontractor with which it has a direct contractual relationship and shall submit a supplemental verification confirming compliance with subdivision 3, clause (7), within 14 days of retaining the additional subcontractors.

A prime contractor shall submit to the contracting authority upon request copies of the signed verifications of compliance from all subcontractors of any tier pursuant to subdivision 3, clause (7). A prime contractor and subcontractors shall not be responsible for the false statements of any subcontractor with which they do not have a direct contractual relationship. A prime contractor and subcontractors shall be responsible for false statements by their first-tier subcontractors with which they have a direct contractual relationship only if they accept the verification of compliance with actual knowledge that it contains a false statement.

Subd. 5a. Motor carrier verification. A prime contractor or subcontractor shall obtain annually from all motor carriers with which it will have a direct contractual relationship a signed statement under oath by an owner or officer verifying that they meet all of the minimum criteria in subdivision 3 prior to execution of a construction contract with each motor carrier. A prime contractor or subcontractor shall require each such motor carrier to provide it with immediate written notification in the event that the motor carrier no longer meets one or more of the minimum criteria in subdivision 3 after submitting its annual verification. A motor carrier shall be ineligible to perform work on a project covered by this section if it does not meet all the minimum criteria in subdivision 3. Upon request, a prime contractor or subcontractor shall submit to the contracting authority the signed verifications of compliance from all motor carriers providing for-hire transportation of materials, equipment, or supplies for a project.

Minn. Stat. § 16C.285, Subd. 4. **VERIFICATION OF COMPLIANCE.**

A contractor responding to a solicitation document of a contracting authority shall submit to the contracting authority a signed statement under oath by an owner or officer verifying compliance with each of the minimum criteria in subdivision 3, with the exception of clause (7), at the time that it responds to the solicitation document.

A contracting authority may accept a signed statement under oath as sufficient to demonstrate that a contractor is a responsible contractor and shall not be held liable for awarding a contract in reasonable reliance on that statement. A prime contractor, subcontractor, or motor carrier that fails to verify compliance with any one of the required minimum criteria or makes a false statement under oath in a verification of compliance shall be ineligible to be awarded a construction contract on the project for which the verification was submitted.

A false statement under oath verifying compliance with any of the minimum criteria may result in termination of a construction contract that has already been awarded to a prime contractor or subcontractor or motor carrier that submits a false statement. A contracting authority shall not be liable for declining to award a contract or terminating a contract based on a reasonable determination that the contractor failed to verify compliance with the minimum criteria or falsely stated that it meets the minimum criteria. A verification of compliance need not be notarized. An electronic verification of compliance made and submitted as part of an electronic bid shall be an acceptable verification of compliance under this section provided that it contains an electronic signature as defined in section 325L.02, paragraph (h).

CERTIFICATION

By signing this document I certify that I am an owner or officer of the company, and I swear under oath that:

- 1) My company meets each of the Minimum Criteria to be a responsible contractor as defined herein and is in compliance with Minn. Stat. § 16C.285,**
- 2) If my company is awarded a contract, I will submit Attachment A-1 prior to contract execution, and**
- 3) if my company is awarded a contract, I will also submit Attachment A-2 as required.**

Authorized Signature of Owner or Officer:

Printed Name:

Title:

Date:

Company Name:

NOTE: Minn. Stat. § 16C.285, Subd. 2, (c) If only one prime contractor responds to a solicitation document, a contracting authority may award a construction contract to the responding prime contractor even if the minimum criteria in subdivision 3 are not met.

**ATTACHMENT A-1
FIRST-TIER SUBCONTRACTORS LIST**

SUBMIT PRIOR TO EXECUTION OF A CONSTRUCTION CONTRACT

PROJECT TITLE: _____

Minn. Stat. § 16C.285, Subd. 5. A prime contractor or subcontractor shall include in its verification of compliance under subdivision 4 a list of all of its first-tier subcontractors that it intends to retain for work on the project. Prior to execution of a construction contract, and as a condition precedent to the execution of a construction contract, the apparent successful prime contractor shall submit to the contracting authority a supplemental verification under oath confirming compliance with subdivision 3, clause (7). Each contractor or subcontractor shall obtain from all subcontractors with which it will have a direct contractual relationship a signed statement under oath by an owner or officer verifying that they meet all of the minimum criteria in subdivision 3 prior to execution of a construction contract with each subcontractor.

FIRST TIER SUBCONTRACTOR NAMES* (Legal name of company as registered with the Secretary of State)	Name of city where company home office is located

*Attach additional sheets as needed for submission of all first-tier subcontractors.

SUPPLEMENTAL CERTIFICATION FOR ATTACHMENT A-1	
By signing this document I certify that I am an owner or officer of the company, and I swear under oath that: All first-tier subcontractors listed on attachment A-1 have verified through a signed statement under oath by an owner or officer that they meet the minimum criteria to be a responsible contractor as defined in Minn. Stat. § 16C.285 .	
Authorized Signature of Owner or Officer:	Printed Name:
Title:	Date:
Company Name:	

ATTACHMENT A-2

ADDITIONAL SUBCONTRACTORS LIST

PRIME CONTRACTOR TO SUBMIT AS SUBCONTRACTORS ARE ADDED TO THE PROJECT

PROJECT TITLE: _____

This form must be submitted to the Project Manager or individual as identified in the solicitation document.

Minn. Stat. § 16C.285, Subd. 5. ... If a prime contractor or any subcontractor retains additional subcontractors on the project after submitting its verification of compliance, the prime contractor or subcontractor shall obtain verifications of compliance from each additional subcontractor with which it has a direct contractual relationship and shall submit a supplemental verification confirming compliance with subdivision 3, clause (7), within 14 days of retaining the additional subcontractors. ...

ADDITIONAL SUBCONTRACTOR NAMES (Legal name of company as registered with the Secretary of State)	Name of city where company home office is located

*Attach additional sheets as needed for submission of all additional subcontractors.

SUPPLEMENTAL CERTIFICATION FOR ATTACHMENT A-2	
By signing this document I certify that I am an owner or officer of the company, and I swear under oath that:	
All additional subcontractors listed on Attachment A-2 have verified through a signed statement under oath by an owner or officer that they meet the minimum criteria to be a responsible contractor as defined in Minn. Stat. § 16C.285.	
Authorized Signature of Owner or Officer:	Printed Name:
Title:	Date:
Company Name:	

WORTHINGTON HOUSING AUTHORITY -

1203 APEL AVE

Worthington, Minnesota

DRAWING INDEX:

A0.1	COVER SHEET
A0.2	SCOPE OF WORK
A0.3	SCOPE OF WORK
A1.0	DEMO PLANS
A1.1	FLOOR PLANS

SCOPE OF WORK

Housing Redevelopment Authority

Construction Specifications for the rehabilitation of 1203 Apel Ave Worthington, MN

ALL WORK AND MATERIALS MUST MEET OR EXCEED ALL STATE AND LOCAL CODES. ONLY GOOD QUALITY MATERIALS AND WORKMANSHIP WILL BE ACCEPTABLE. BID PROPOSAL SHALL INCLUDE COST AND ACQUISITION OF PERMIT. EACH TRADE IS RESPONSIBLE FOR DISPOSING AND PROPERLY CLEANING OF THEIR RELATED DEBRIS. EACH TRADE MUST COOPERATE AND COORDINATE WITH OTHER TRADES ON THIS PROJECT.

FOUNDATION - EXTERIOR REPAIR - CONCRETE

Concrete the exterior perimeter of the entire foundation. Furnish and securely fasten concrete, use wire mesh if necessary. Coat the entire exterior perimeter with a commercial grade cement mix as per the manufacturer's specifications. Install thickly enough to provide a durable, protective coat. Trowel to a smooth finish. The contractor shall be responsible for clean-up. Paint entire foundation, color by owner.

DEMOLITION

Contractor shall remove concrete steps on front and side of the house, and dispose of offsite. Disconnect (if any) all electrical, plumbing, gas and/or sewer hookups to structure(s) and cap off, seal or de-energize as required by local code. Fill and grade to existing adjacent contours and cover with good soils. New Deck and stairs to be install.

TREE REMOVAL

Contractor shall identify, remove, and properly dispose of any Ash trees located on the west side of garage. Contract shall remove and properly dispose of tree nearest garage on the west side. Tree removal is to be done in such a manner that the tree trunks or limbs do not endanger pedestrian or property. All parts of the removed tree including trunks, limbs, branches, bark and other debris is to be removed from the property upon completion. Stumps shall be grubbed out and fill brought in and leveled off to grade. Install sod to cover new fill.

EXTERIOR IMPROVEMENTS - LANDSCAPING

Bidding contractor is required to provide owner with a landscaping plan for the site. Including type of trees, shrubs, and ground covers and planting mix.

FRONT SERVICE WALK - REPLACE

Repair concrete by removing and replacing. New installation shall be minimum 3 1/2" thick, placed on 4" compacted sand/gravel fill. Edge of the walk adjoining dwelling shall have a 1/2" x 4" expansion joint. New installation shall be pitched away from dwelling, minimum 1/2" per foot. Float and trowel to true surface and broom finish across direction of traffic. Round edges at sides and at expansion joints prior to broom finish.

New walks to be sized to the existing walks. Concrete to be 4000# ready mixed air entrained. Protect with barricades until concrete is set. Remove forms after 24 hours and restore grade, allowing for grass turf to finish flush with top of walk.

CHIMNEY – REPAIR IN BASEMENT

Restore to a sound and acceptable state of operation, serviceability and appearance. After supporting chimney to prevent collapse, remove rotten brick and loose mortar if necessary. Lay new brick (if necessary) and tuck point in new mortar.

CONSTRUCTION - BATHROOM

Construct a new bathroom - utility gable roofed addition. Furnish and frame out new addition (LIFTING ROOF SECTION) using 2 x 6 wall studs 16" O.C where plumbing pipes will be installed., 2 x 6 ceiling joists and rafters 16 O.C. Rafter tails are to extend from addition wall to provide a minimum 16" soffit. Use 3/4" tongue and groove blandex as sub-flooring with 1/2" CDX plywood roof sheathing and 1/2" CDX plywood wall sheathing. Furnish and install 3 1/2 x 15 Kraft back fiberglass with barrier installed to the heated side of addition. Furnish and install 12" of blown-in cellulose insulation to attic with continuous soffit and ridge venting. Frame out for three 24" x 32" casement windows as per diagram. Cut into and frame out 36" open arch as per diagram, finishing with drywall.

Roofing shall consist of new asphalt seal tab shingles laid over 15# felt and D roof edge on all exposed edges. Flashings shall be installed in new valleys if any and where the new soil vent exists the roof. Shingles shall be securely fastened and sealed to roof decking. Shingles shall be properly lapped and double nailed as per manufacturer's specifications. Shingle color to match existing as closely as possible.

Provide and install new vinyl siding to surface exterior walls. Installation shall include backing paper "N" joints, and corners. Nailing to be to manufacturer's specifications. Color to match existing.

Building shower stub wall and soffit as per diagram. Use 2 x 6 framing where plumbing pipes will be installed with 2 x 4 ceiling and floor plates all from construction grade fir. Anchor securely into ceiling and floor joists. Install 1/2" drywall over 4 mil vapor barrier sealed all walls, use moisture resistant drywall on walls in contact with shower. Use 5/8" drywall on ceiling. Tape and cover joints with joint compound. All outside edges will be installed with metal corners. Butt seams must be kept a minimum. Apply three coats of joint compound over all nails, screws and tape. Feather edges and sand after final coating to prepare surfaces for painting.

Frame-out and install new 32" hollow core mahogany passage door as per diagram. Door is to be complete with all hardware. Furnish and install lever type privacy knobs. Install base and door trim. Doors to be stained and varnished or painted. Color by owner.

Build in a new removable plumbing access panel in closet/shower stub wall in next room, trim with 2 1/4" pine trim with mitered joints.

Remove siding from existing exterior wall that is enclosed by new addition. Finish walls as above with 1/2" drywall to form wall of new addition.

The contractor must allow placement of wiring and plumbing runs before closing interior finish

INTERIOR FINISH FOR NEW BATHROOM IN FIRST FLOOR

Building wall and soffit as per diagram to build a new 1/2 bathroom. Use 2 x 6 framing where plumbing will be installed. Anchor securely into ceiling and floor joists. Install 1/2" drywall over 4 mil vapor barrier all walls, use moisture resistant drywall on walls in contact with sink. Use 5/8" drywall on ceiling. Tape and cover joints with joint compound. All outside edges will be installed



875 140th Avenue
Luverne, Minnesota 56156
Phone: 507.227.6920

3551 West Mill Lake Road SW
Farwell, Minnesota 56327
Phone: 507.227.6920

WORTHINGTON HOUSING AUTHORITY -
1203 APEL AVE
Worthington, Minnesota

SHEET NAME:
COVER SHEET

PROJECT NUMBER:
25-039
DRAWN BY:
HD
CHECKED BY:
SD
DATE:
08/04/2025

SHEET:
A.01

SCOPE OF WORK

with metal corners. Butt seams must be kept a minimum. Apply three coats of joint compound over all nails, screws and tape. Feather edges and sand after final coating to prepare surfaces for painting. Color by owner.

Frame-out and install new 32" hollow core mahogany passage door, hinged to inside as per diagram. Door is to be complete with all hardware. Install oak base and door trim. Color by owner.

Remove siding from existing exterior wall that is enclosed by new addition. Finish walls as above with 1/2" drywall to form eastern wall of new addition. Color by owner.

The contractor must allow placement of wiring and plumbing runs before closing interior finish.

DETACHED FRONT DECK 4' BY 8'

Remove and dispose of at an approved site deteriorated floor decking, joists, and band joists. Support porch to prevent collapse. New joists shall be sized accordingly and be construction grade pressure treated 16" O.C. secured to band joist. The band joist parallel and adjacent to dwelling shall be installed by securely spiking new joist into frame wall members. Outside band joist shall be doubled. Joist to have framing anchors or joist supports on each end. Decking shall be 3/4" pressure treated decking. New sill plate to be pressure treated.

DETACHED SIDE DECK 3' BY 4'

Remove and dispose of at an approved site all concrete steps. New joists shall be sized accordingly and be construction grade, pressure treated 16" O.C. secured to band joist. The band joist parallel and adjacent to dwelling shall be installed by securely spiking new joist into frame wall members. Outside band joist shall be doubled. Joist to have framing anchors or joist supports on each end. Decking shall be 3/4" pressure treated decking. New sill plate to be pressure treated.

GARAGE – STEEL EXTERIOR DOOR INSTALLATION

Provide and install new steel exterior door to existing garage. Haul away old door and dispose of properly. Installation shall be complete with all required framing and include lock and all hardware.

Door shall be primed and painted. Color by owner.

GARAGE – SECTIONAL STEEL DOOR INSTALLATION

Furnish and install sectional steel garage door of flush or panel type. Door shall have extension or torsion spring hardware balancing and galvanized track. Door shall be provided with keyed lock and latches that engage on both sides of the door track. Weatherstripping shall be provided at the bottom of the door and new wood stops shall be installed at the head and sides of the jamb. Installation shall be in accordance with manufacturer's instructions and balancing shall be adjusted for easy opening and closing. Install new garage door opener. Prime and paint-if needed.

SIDE DOOR - PRE-HUNG - STEEL

Furnish and install new insulated, pre-hung, pre-finished steel door(s) of good quality. Installation shall include removal and disposal of old door and frame. Door shall be 1-3/4" thick in a wood frame complete with all hardware, dead bolt lock and insulated glass lite, size to be 36" door.

4

Installation shall include 1/4" mahogany solid core underlayment. Install new medium quality minimum of 10 mil wear layer, FHA approved, no wax vinyl floor covering as per manufacturer's specifications. Maximum materials cost to be no more than 18.00 per yard. Style and color selection by owner. Installation shall include pre-finished baseboard, rubber base, or vinyl base if needed and all necessary metal threshold strips. See drawings.

MANUFACTURER NAME AND # _____ # of Square Yards _____

CARPETING AND PAD

Furnish and install new jute back carpeting. Carpet to be selected by owner and not to exceed \$16.00 per yard for carpet and pad. All edges shall be finished in a professional manner. Carpet shall be properly stretched and secured for a finished job. See drawings.

MANUFACTURER NAME AND # _____ # of Square Yards _____

PAINTING – ALL INTERIOR WALLS AND CEILINGS – INCLUDING BASEMENT

Remove all paneling on walls, new surfaces or two coat system plaster or drywall surfaces should be completely dry, clean and free from any foreign matter before priming. All cracks, holes and scratches should be filled or patched and such area, after patching, sanded lightly. with added texture on walls. Sufficient time shall be allowed between coats of paint or sealers to assure thorough drying of all coats. Two coat minimum application is required. Color by owner. Furnish and install 2 1/4" pine base.

All materials shall be completely free of lead or lead compounds.

HANDRAIL – INTERIOR TO SECOND FLOOR AND BASEMENT

Furnish and install wood rounded type, free from slivers, knots or other defects. Attach securely with wall brackets at top, bottom and every 8 lineal feet securely screwed or bolted into wall stud, or vertical stair supports. Rail shall be located between 30 and 34 inches vertically above the nosing of the stair tread. Contractor to prime and paint. Color by owner.

GARAGE-SIDING - VINYL

Remove the old siding and dispose of it at an approved location. Furnish and install new vinyl siding to resurface exterior walls. Siding shall be .040" thick solid vinyl by Certainteed or equal. Owner's choice of color and style. Installation shall include all corners, louvered gables to allow for attic ventilation and louvered soffit panels. Soffit panels shall be secured in channels to eliminate looseness. All door and window sills, window jambs, casings and fascia are to be sheathed with pre-finished, .019" aluminum to match siding. Install drip cap over windows and doors. Material shall be lapped for proper drainage and applied in full sections. Caulk in joints. All nails shall be properly secured; staples are not to be used for installation. Contractor will be responsible to allow for shrinkage and expansion due to temperature differences. No splices under 32" will be allowed.

HOUSE-SIDING - VINYL

Remove the old siding and dispose of it at an approved location. Furnish and install new vinyl siding to resurface exterior walls. Siding shall be .040" thick solid vinyl by Certainteed or equal. Owner's choice of color and style. Installation shall include all corners, louvered gables to allow

Interior casings to be used unless damaged and in that case are to be replaced with new that match existing. Any damaged siding will be replaced. Door shall be factory weather stripped on both sides, top and at threshold. New frame will be securely fastened into opening and sealed. Color by owner.

MANUFACTURER NAME: _____ MANUFACTURER #: _____

FRONT DOOR - STEEL - RELOCATE NEW INSTALLATION

Remove and dispose of the existing door, Remove door and frame to the header and wall studs. Furnish and install 2" X 4" cripples at 16 O.C. Insulate the opening with 3 1/2" kraft faced fiberglass. Sheath over the exterior opening with CDX plywood sized to be flush with the existing wall sheathing. Tooth-in siding w/backing to match existing. Finish interior with drywall sized to be flush with the existing interior wall covering. Tape and sand to a smooth finish. Cut-in and frame out for a new 3' 0" pre-hung steel door in the EAST wall (FRONT), furnishing and installing a new door header sized to adequately support the existing load. Furnish and install a new, insulated, pre-hung, pre-finished steel door of good quality. Door shall be 1 3/4" thick in a wood frame, jamb width shall be flush with existing wall. Door shall be installed complete with all hardware, keyed lock set, dead bolt lock and insulated door lite. Door shall be weather stripped on both sides, top and at threshold. Install new door casing to match the existing window and passage door trim. The new door shall be hung square and plumb and shall be securely fastened to wall studs and header. Color by owner.

MANUFACTURER NAME: _____ MANUFACTURER #: _____

DOOR -All INTERIOR PASSAGE

Furnish and install new interior passage door. Door(s) shall be 1-3/8" minimum thickness, hollow core, Luan finish. Installation to include new butts and passage latch. Adjust door stops as necessary. See drawings. Color by owner.

MANUFACTURER NAME: _____ MANUFACTURER #: _____

ALL WINDOWS WITH THE EXEMPTION OF BASEMENT- VINYL REPLACEMENTS

Remove existing window units (contractor to field verify) and furnish and install new vinyl replacement window units. All units to be single-hung, tilt removable, with insulated, Low-E glazing and full-length screens with the exception of stationary/picture units. All windows need to be with high quality weatherstripping, operating hardware, extension jambs, drip cap, inside trim. New window shall be set true and plumb and securely anchored; sill shall be adequately supported along its entire length, and rough-opening shall be properly insulated and caulked to assure a weathertight joint between window and surrounding structure. All trim shall be replaced with new, all trim need to match. Provide any appropriate sales brochures on the windows you are proposing to install. Contractor to include windows in garage. Contractor to verify requirement for safety glazing and fault protection. Color by owner.

MANUFACTURER NAME: _____ MANUFACTURER #: _____

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for attic ventilation and louvered soffit panels. Soffit panels shall be secured in channels to eliminate looseness. All door and window sills, window jambs, casings and fascia are to be sheathed with pre-finished, .019" aluminum to match siding. Install drip cap over windows and doors. Material shall be lapped for proper drainage and applied in full sections. Caulk in joints. All nails shall be properly secured; staples are not to be used for installation. Contractor will be responsible to allow for shrinkage and expansion due to temperature differences. No splices under 32" will be allowed.

SOFFIT AND FASCIA – ALUMINUM FOR HOUSE AND GARAGE

Repair soffit and fascia by completely covering with .019" prefinished aluminum using solid or perforated soffit material. Color selection by owner. Remove and replace all loose and deteriorated existing material. Soffit panels shall be secured in channels to eliminate looseness and rattling. Materials shall be lapped for proper drainage and applied in full sections. Caulk joints. Staples shall not be used for installation.

GUTTERS/DOWNSPOUTS - METAL

Remove old gutters and downspouts and install minimum new 5" "K" style, pre-finished 26-gauge metal with hangers placed under roofing. Install gutters on all horizontal roof edges. All gutters that are above another roof line shall have a downspout and leader that empties directly into the gutter on the lower roof line. All joints are to be sealed using silicone-based sealant. Downspouts shall be securely attached to exterior walls and be installed with minimum 36" leaders that direct water down slope away from foundation. Old gutters and downspouts are to be disposed of at an approved site. Color selection by owner.

GARAGE-ROOFING - TEAR OFF

Remove all existing shingles, felts, and flashings to roof boards. Clean surface of all old nails and replace any rotted roof sheathing with new to match existing. Install new pre-finished roof edging to all outer roof edges. A starter strip of self-adhering underlayment such as "Winter Guard" or Storm Shield" or their equal shall be installed starting at the roof edge running a minimum of 1' up past the wall blocking and a minimum of 3' from the roof edge. The self-adhering underlayment shall also be installed in all valleys. Cover balance of roof with 15# felt. Starter strip and first row of shingles must be sealed and securely fastened to roof decking. Reline valleys with new 26-gauge galvanized metal to run a minimum 12" on each side of center of valley over felt. Chimney(s), vertical wall surfaces, and soil vents shall be flashed with new 26-gauge metal. Masonry chimney(s) shall be counter-flashed and soil vents are to have new storm collars installed as counter-flashing. Apply new 25 YEAR Architectural shingles furnished by contractor, color selection by owner. Shingles shall be properly lapped and double nailed as per manufacturer's specifications. Nails shall be of sufficient length to penetrate into decking. Ridge shall be individual shingles laid "Boston" style. Where shingles overlie flashings, they shall be set in roofing cement. Contractor shall remove all old materials from job site and dispose of them at an approved site.

BATH - FIBERGLASS TUB SECOND FLOOR

Bathtub shall be integral fiberglass tub and wall surround by Aqua Glass or equal. Unit shall be fitted with multi-flex pop-up drain, Kohler combination or equal, fixed tub and show supply fitting. Including bath faucets. Connect hot and cold supplies with shut-offs, drain, overflow waste, and

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KITCHEN WALLS - REMOVE EXISTING

Remove the existing kitchen on walls as per drawings (by new refrigerator). Disconnect and remove all plumbing fixtures, supplies and waste lines and electrical fixtures. Dispose of all debris at an approved site, this should include the removal of kitchen flooring.

KITCHEN WALLS - FINISH

Build new walls in kitchen to accommodate new cabinets as per diagram. Finish walls by adding ½" drywall tape and sand to a smooth finish. Walls and ceilings to be painted. with added texture on walls. Color by owner. Furnish and install 2 1/4" pine base.

KITCHEN CABINETS

Installation shall include removal and disposal of old cabinets. Kitchen cabinets to be Merillat, medium quality (Meadow Oak, example) or equal. Countertop to be Formica or equal with rolled edge and backsplash (countertop high pressure 1/16" laminated plastic). Color and style selection by owner. Countertop shall have mitered joints with seams being plumb and level and shall be scribed to existing walls. Countertop shall be secured front and back to cabinets. Installer shall use silicone sealant between adjacent walls and countertop or backsplash. Cabinets shall fit flush to kitchen fixtures and walls, when not possible, install matching finish cabinet extensions to fill openings. Installer shall cut countertop for sink placement. Cabinets shall be securely anchored to wall studs. Add a breakfast cabinet with countertop to match all kitchen cabinets, see drawing. Cabinets should include base units and upper wall hung units.

BASEMENT WALLS BY EXISTING TOILET - REMOVE EXISTING

Remove the existing basement walls as per drawings (by existing toilet and by stairs). Disconnect and remove all plumbing fixtures, supplies and waste lines and electrical fixtures. Dispose of all debris at an approved site, this should include the removal and disposal of debris.

BASEMENT WALLS - FINISH

Build new walls in basement to properly enclosed existing toilet area and by stairs as per diagram. Finish walls by adding ½" drywall tape and sand to a smooth finish. Walls and ceilings to be painted. with added texture on walls. Color by owner.

WALLS - FINISH DINING ROOM

Finish interior first floor walls. Strip-out wall paneling, add furring strips enclosing the interior adding ½" drywall tape and sand to a smooth finish with added texture on walls. Walls and ceilings to be painted. Color by owner. Furnish and install 2 1/4" pine base.

FLOORING - REPAIR BATH FLOOR

Coordinate with plumber with lifting and re-setting of stool which is included under the plumbing portion of this scope. Remove existing flooring and rotted areas of sub-flooring. Sister any weak floor joists to match existing with construction grade fir. Install new sub-flooring at same thickness as existing (ACX grade plywood). Recover entire floor with 1/4" masonite underlayment. Install Armstrong Sundial linoleum equal. Owner's choice of style and color. Materials cost ____ per yard.

FLOORS - VINYL FLOOR COVERING

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p-trap connected to waste line and vented as per State Plumbing Code. Furnish and supply new Kohler or equal adjustable flow restricted shower head. Fiberglass tub shall have textured bottom and shall comply with the slip resistance requirement. The unit shall be one piece molded reinforced fiberglass with a minimum fiberglass content of 15% and outer coating of reinforced polyester coating. Install one (1) 32" straight grab bar mounted horizontally on back wall at a height of 36" from tub floor. Grab bar to be 1 1/2" O.D. 18 gauge stainless steel. Mountings shall be attached with stainless steel nuts and bolts, securely anchored with 3" x 3" stainless steel mounting plates. All fixture openings and bolts are to be caulked and sealed in place with silicone based sealant. Installation will also include bypass glass doors securely mounted at top and tub with aluminum rails. Owner's choice of all styles and color of installation. Remove existing tub and dispose of at an approved site. Coordinate with other trades.

NOTE: Stub wall/soffit, plumbing access.

NOTE: Curtain rod.

LAVATORY – REPLACE SECOND FLOOR

Remove and replace existing lavatory with new Kohler or equal 19" x 17" acid resisting steel enameled wall hung. Same shall be installed with mixing combination faucet, pop-up drain, supplies with shut-offs and 1 1/4" p-trap with clean-out. Lavatory drain shall be connected with new 1 1/4" PVC waste line to main soil line. All connections, waste and venting of lavatory as per State Plumbing Code. Dispose of old lavatory at an approved site.

WATER CLOSET – REPLACE SECOND FLOOR

Water closet shall be Kohler or equal siphon jet round front close - coupled closet combination. Install supply with tap, T seat, and cover with anti-syphon ball cock. Dispose of old unit off site. Seal new stool with new wax ring and securely fasten to floor. Furnish and install chrome plated shut-off valve on stool supply line.

WATER CLOSET - NEW INSTALLATION – FIRST FLOOR

Furnish and install Kohler or equal siphon jet round front, close-coupled, closet combination with supply and shut-off, with anti-syphon ballcock, new seat and cover. Install 3" PVC soil line with trap, clean-out and vent as per State Plumbing Code. Trench and run solid line under basement floor to main soil line. Re-lay concrete floor to match existing floor level.

LAVATORY - VANITY – NEW INSTALLATION - FIRST FLOOR

Furnish and install a wood vanity with single piece marbled lavatory top, complete with mixing faucet, hot and cold supplies with shut-offs, PVC waste line, p-trap and vented as per State Plumbing Code. Homeowner's choice of finish and style.

SINK - KITCHEN - NEW DOUBLE COMPARTMENT

Sink shall be stainless steel two compartment Kohler, or equal, self-rim 20 gauge. To be fitted with swing spout faucet, duo-strainers, continuous drain, 1 1/2" p-trap with cleanout, and shut-off on supply lines. Unit to be vented and installed as per State Plumbing Code. Disposal of removed equipment shall be made off site. Seal lip with silicone-based sealant. Including faucets.

NOTE: On new sink bases, carpenter will cut for sink.

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3551 West Mill Lake Road SW
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WORTHINGTON HOUSING AUTHORITY -
1203 APEL AVE

Worthington, Minnesota

SHEET NAME:

SCOPE OF
WORK

PROJECT NUMBER:
25-039

DRAWN BY:
HD

CHECKED BY:
SD

DATE:
08/04/2025

SHEET:

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SCOPE OF WORK

NOTE: Verify type of sink with homeowner.

SINK - LAUNDRY OR UTILITY- BASEMENT

Furnish and install laundry or utility sink complete with required waste connection, traps, faucets and spout, tub stand and hot and cold connections. Sink to be of fiberglass by Crane, or equal. Plumbing installation and venting to be in accordance with State Plumbing Code.

LAVATORY - VANITY – NEW INSTALLATION – BASEMENT – BY EXISTING TOILET

Furnish and install a wood vanity with single piece marbled lavatory top, complete with mixing faucet, hot and cold supplies with shut-offs, PVC waste line, p-trap and vented as per State Plumbing Code. Homeowner's choice of finish and style.

DEMOLITION-EXISTING SHOWER IN BASEMENT

Contractor shall remove existing shower in basement, and dispose of offsite. Disconnect (if any) all electrical, plumbing, gas and/or sewer hookups to structure(s) and cap off, seal or de-energize as required by local code.

OUTSIDE FAUCET - UTILITY - REPLACE

Replacement faucet, shall be vacuum breaker and it shall meet ASSE 1019-A standards.

KITCHEN STOVE-GAS SUPPLIES

Furnish and install drip tees, gas union valves and supply shut-offs as per the mechanical code for the kitchen stove.

GAS PIPING - DISCONNECTED EXISTING GAS STOVE PIPING

Cap off disconnected gas piping with sealed screw joint fittings as per the state mechanical code. The disconnected gas supply is located in the following area:

FORCED AIR HEAT SUPPLIES/RETURNS - INSTALL – SECOND FLOOR

Furnish and install formed metal supplies and returns using industry approved standards that result in a quiet, low static system with balanced, uniform air distribution. All supplies and returns shall be galvanized steel ducting, mechanically fastened in a workmanlike manner and shall be airtight. New supplies shall be added to provide 2 sq. in. of unobstructed total area per 1,000 BTU approved appliance rating. Install branching ducts from plenum to exterior walls. Install main heat supply to 2nd floor branching out to provide uniform heat to all rooms. All heat runs shall be dampered to allow proper distribution of heat. Heat runs passing through unheated spaces (crawl spaces, attics, etc.) shall be insulated to R-11. Only as a last resort will supplies be installed through attics. Returns shall be installed for every floor to facilitate air movement and balanced air pressures throughout. Return air shall be sized to provide a minimum of 2 sq. in. unobstructed total area per 1,000 BTU approved appliance rating. Return air shall be balanced to the CFM output of the furnace fan. Negative basement or furnace room pressures are not acceptable. Install registers on all supplies and returns. Registers are to be prime coated, metal, adjustable louver type. An easily accessible air filter rack shall be installed in the main return air plenum. Indicate in this proposal if any supplies or returns that will be exposed to a living area. If not indicated in this proposal, then all boxing in of exposed duct work shall be the heating contractor's responsibility.

FORCED AIR REGISTERS

Install meal, prime coated, adjustable louver registers to all new and existing ductwork to first and second floor.

WIRING - REWIRE RECEPTACLE – 1ST ST AND 2ND FLOOR

Rewire all receptacles on the 1ST and 2nd floor that are connected to existing wiring and connect to new grounded non-metallic wiring rated to the expected amperes load of those receptacles. Install new duplex flush receptacles with matching cover plates in those openings. All outlets shall be grounded. Balance receptacles so no circuit is overloaded.

WIRING - REWIRE BASEMENT

Replace all old, worn, or hazardous wiring in basement. All wiring junctions or splices shall be placed as per code in junction boxes with covers. Rewire individual outlets and/or fixtures.

FIXTURE – REPLACE ALL- INCLUDING IN BASEMENT (ADD EXTRA FIXTURE IN BASEMENT IF NEEDED) ADD OUTSIDE FIXTURE BY NEW DOOR

Furnish and install new fixture with a UL approved type. Replace shallow junction box with new standard box. All connections and installation shall be as per National Electrical code.

Install wall switch for replacement fixtures, if there isn't a switch already available. The wall switch shall be installed in a proper manner at the entrance of the room.

Material allowance as follows:

Basement porcelain	\$ 8.00
Bathroom (no outlet connection acceptable)	\$40.00
Bedrooms	\$25.00
Dining room/living room	\$35.00
Kitchen	\$45.00
Exterior fixtures	\$30.00

FIXTURE - MEDICINE CABINET

Medicine cabinet shall be surface mounted with mirrored front and light. Unit having an outlet shall be connected and controlled by a GFCI as per NEC.

SWITCH - INSTALL – NEW BY NEW FRONT DOOR

Install new electrical toggle switch with matching cover plate as per National Electrical Code.

SWITCH - REPLACE

Replace defective electrical switch with new flush toggle switch with matching cover plate as per National Electrical Code

RECEPTACLES - GFCI - INTERIOR

Furnish and install new ground fault outlet with matching cover plate at each outlet within 6' of bathroom, kitchen sinks and laundry area as per National Electrical Code and test after installation. Ground fault breaker is not acceptable in this installation. Any outlets within metal medicine cabinet or light fixture shall be disconnected as part of this installation.

RECEPTACLE - INSTALL – NEW IN BASEMENT

Install new duplex flush receptacle with matching cover plate. All outlets shall be grounded. Install as per National Electrical Code.

RECEPTACLE - INSTALL – NEW IN BASEMENT

Install new 220 OUTLET receptacle with matching cover plate for clothes dryer. All outlets shall be grounded. Install as per National Electrical Code.

RECEPTACLE - INSTALL – KITCHEN

Install new 220 OUTLET receptacle with matching cover plate for kitchen range. All outlets shall be grounded. Install as per National Electrical Code.

RECEPTACLE - REPLACE

Replace defective electrical wall receptacle with new duplex flush receptacle with matching cover plate as per National Electrical Code.

RECEPTACLE - COVER PLATES

Provide and install new cover plates on all switches, outlets and junction boxes to match existing as close as possible.

EXHAUST FAN - BATH - FAN/LIGHT -BOTH BATHROOMS

Furnish and install Nu-Tone exhaust fan/light combination unit model #667 or equal. Unit to be ducted to exterior with 4" metal duct vented through metal roof or wall cap. Any duct passing through unheated space shall be insulated to R-11. Unit to be complete with back draft damper. Replace existing switch or install new control switch as necessary. Unit to be installed as per manufacturer's specifications and as per NEC. Noise level not to exceed 4 sones.

NOTE: Unit size 60 CFM.

RANGE HOOD - DUCTED

Furnish and install Nu-Tone LL6000 Series range hood or equal. Unit to include two speed motor, 75 watt light, 7: round duct rated at a minimum of 190CFM, back-draft damper and grease filter. Noise level not to exceed 7.5 sones. Size to be _____. Unit to be ducted to exterior with metal roof or wall cap. Any duct passing through an unheated space shall be wired to manufacturer's specifications and as per NEC. Color as per homeowner's choice.

NOTE: Size, 24", 30", 36", 42".

SMOKE DETECTOR – HARDWIRED (IF REQUIRED)

Furnish and install UL approved hardwired smoke detector with pigtails for permanent and tandem connection and battery back-up. Unit shall have test button indicator. Contractor shall test unit

after installation. When installing more than one detector, install in tandem. If there are existing hardwired smoke detectors the new smoke detectors must be the same type to work compatibly in tandem with those existing.

SMOKE DETECTOR - BATTERY TYPE – INSTALL (IF HARDWIRED NOT DONE)

Furnish and install battery operated smoke alarm. Unit shall be UL approved. Battery shall be supplied with unit and unit shall have test button indicator. Contractor shall test unit after installation.

WIRING - REWIRE GARAGE

Replace all old, worn, or hazardous wiring in basement. All wiring junctions or splices shall be placed as per code in junction boxes with covers. Rewire individual outlets and/or fixtures – Including garage door opener.



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WORTHINGTON HOUSING AUTHORITY -
1203 APEL AVE
Worthington, Minnesota

SHEET NAME:

SCOPE OF
WORK

PROJECT NUMBER:
25-039

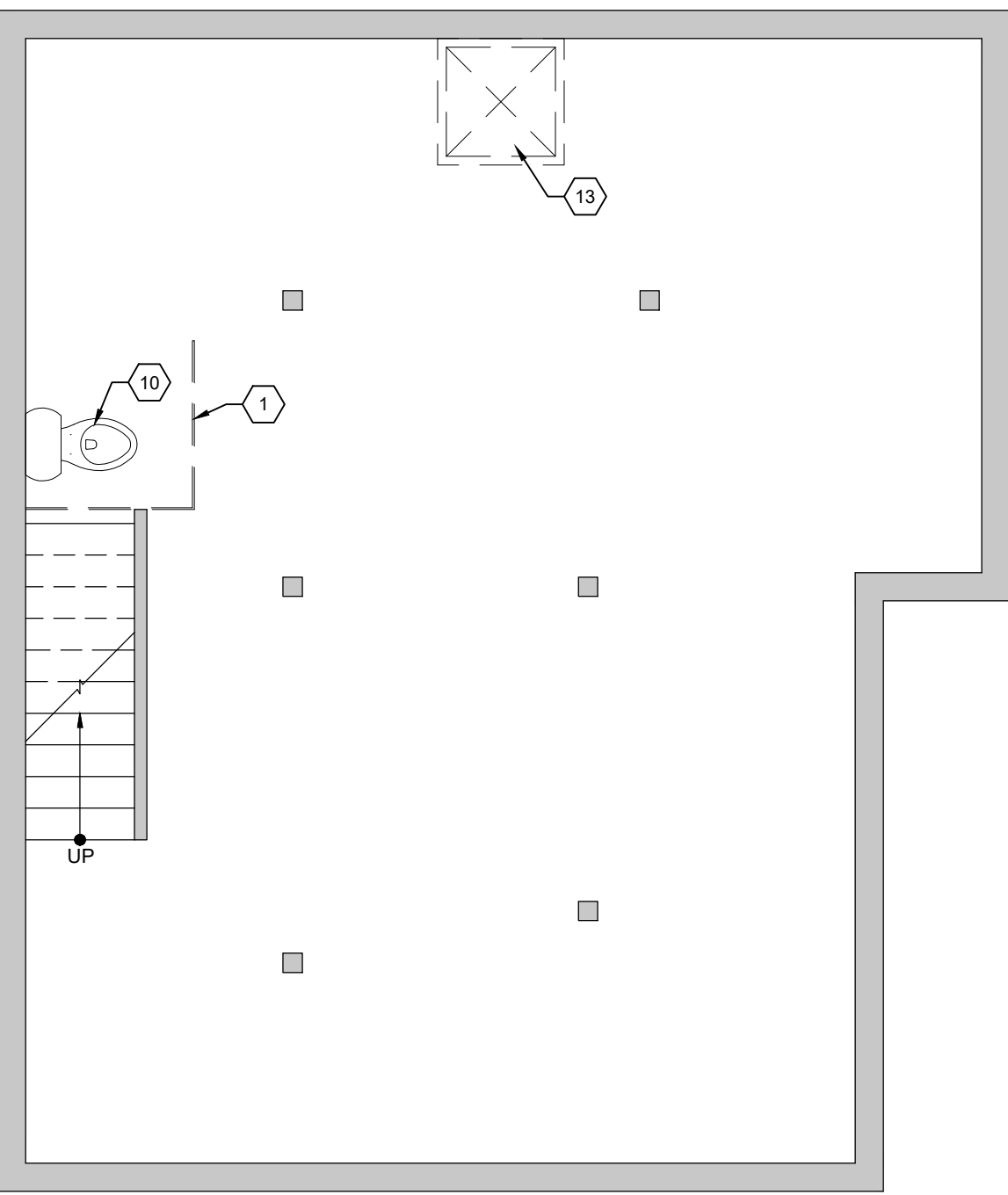
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HD

CHECKED BY:
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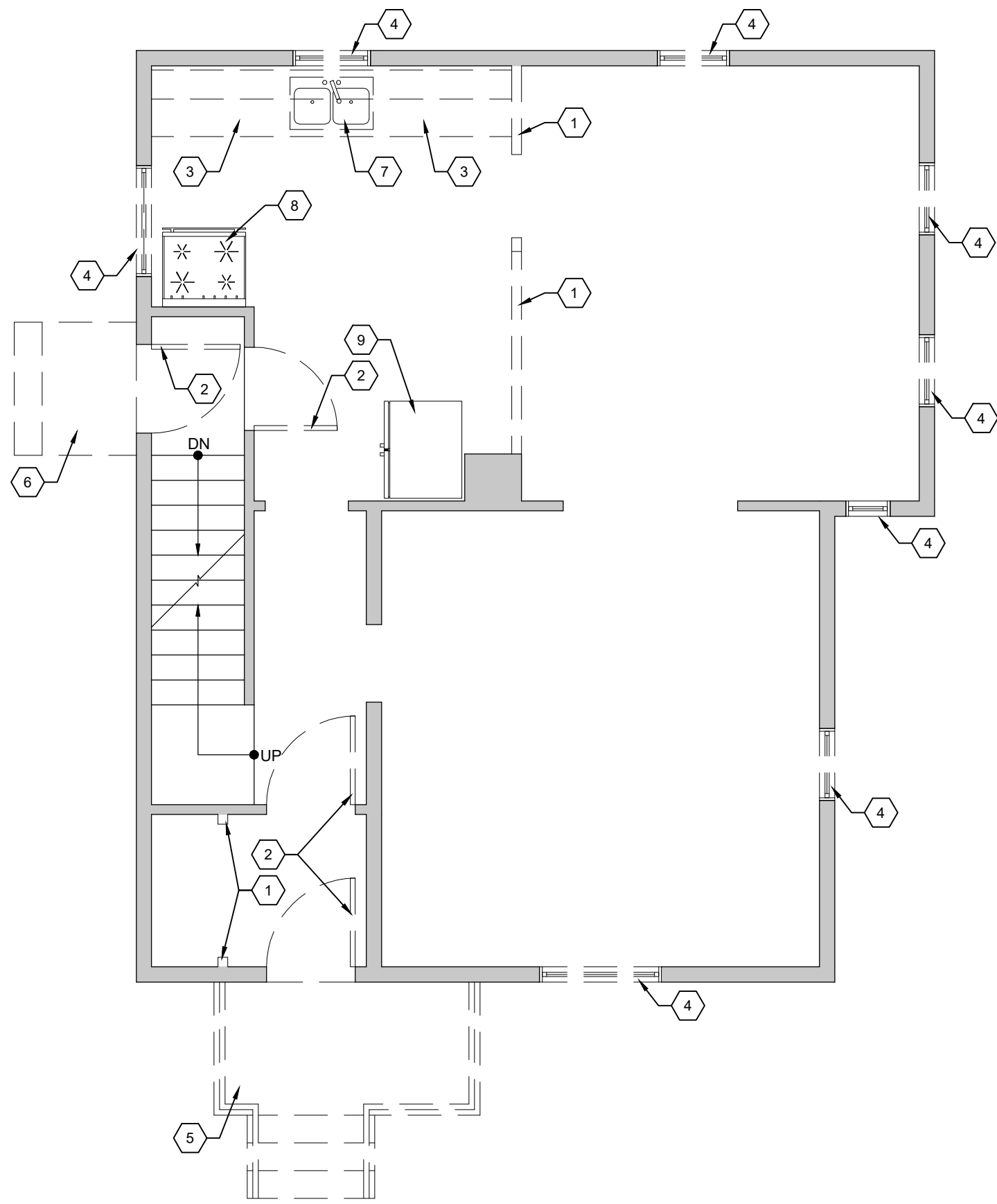
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08/04/2025

SHEET:

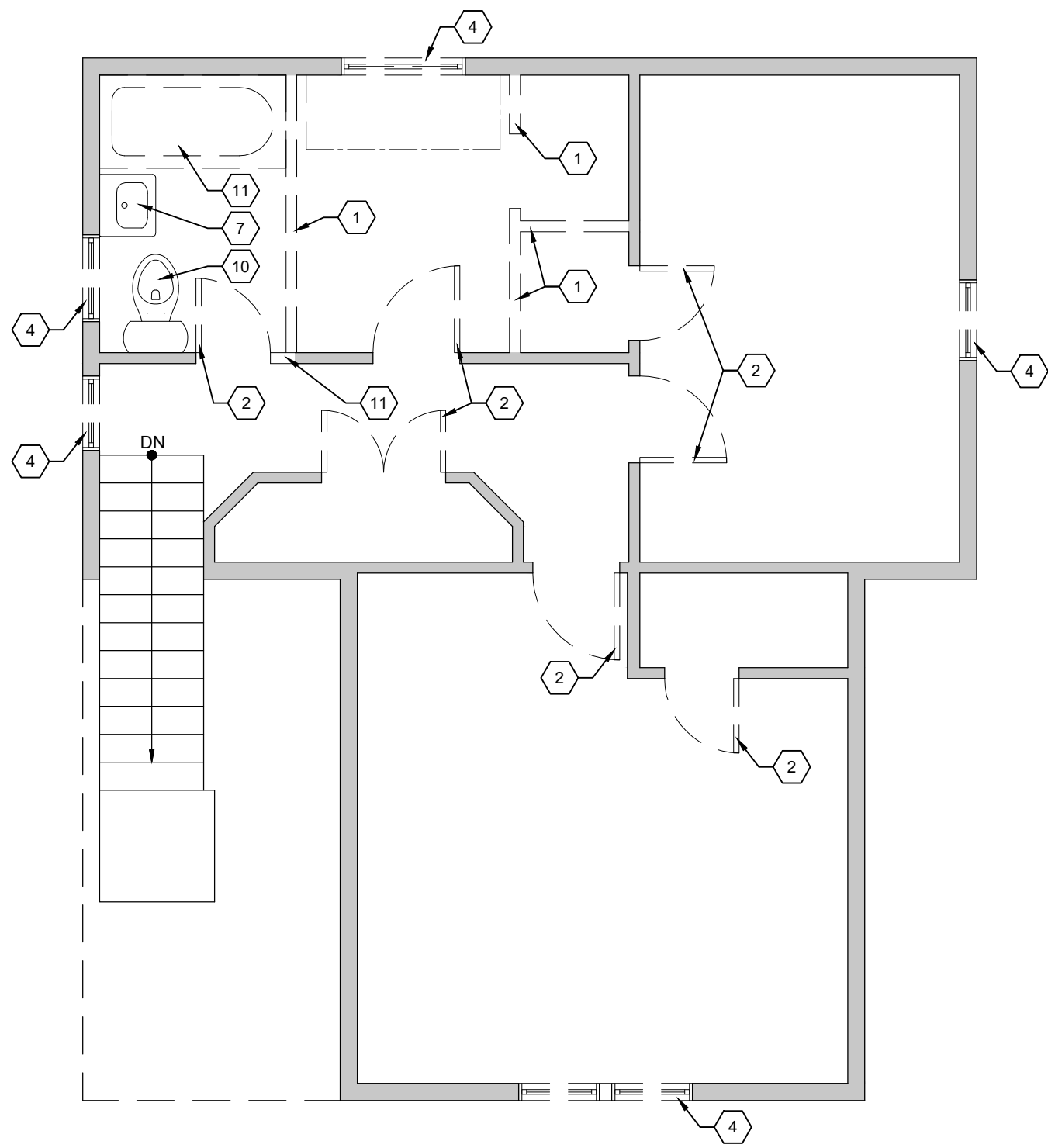
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1 DEMO PLAN - LOWER LEVEL
A1.0 1/4" = 1'-0"



2 DEMO PLAN - MAIN LEVEL
A1.0 1/4" = 1'-0"



3 DEMO PLAN - SECOND LEVEL
A1.0 1/4" = 1'-0"

KEYNOTES:

1. REMOVE EXISTING WALL CONSTRUCTION AND DISPOSE
2. REMOVE EXISTING DOOR AND FRAME AND DISPOSE
3. REMOVE EXISTING CASEWORK AND DISPOSE
4. REMOVE EXISTING WINDOW AND DISPOSE
5. REMOVE EXISTING DECK CONSTRUCTION AND CONCRETE STOOP BELOW AND DISPOSE
6. REMOVE EXISTING CONCRETE STOP AND DISPOSE
7. REMOVE EXISTING SINK AND DISPOSE
8. REMOVE EXISTING RANGE AND DISPOSE
9. REMOVE EXISTING REFRIGERATOR AND DISPOSE
10. REMOVE EXISTING TOILET AND DISPOSE
11. REMOVE EXISTING TUB/SHOWER UNIT AND DISPOSE
12. REMOVE EXISTING WALL CONSTRUCTION AND DISPOSE AS NEEDED TO ACCOMMODATE NEW DOOR. SEE PLAN FOR SIZE AND LOCATION.
13. REMOVE EXISTING SHOWER UNIT AND DISPOSE

GENERAL NOTES:

- A. ALL DIMENSIONS FROM STUD FACE TO STUD FACE UNLESS OTHERWISE NOTED.
- B. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE LOCATION OF ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL EQUIPMENT, PIPING, WIRING AND OPENINGS PRIOR TO INSTALLATION.
- C. PLUMBING AND ELECTRICAL LOCATIONS SHOWN SCHEMATICALLY ONLY. GENERAL CONTRACTOR TO COORDINATE EXACT LOCATIONS WITH SUBCONTRACTORS AND TO VERIFY ALL APPLICABLE CODES.
- D. GENERAL CONTRACTOR TO VERIFY ALL ROUGH-INS AND ROUGH-OPENINGS.
- E. GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH ANY WORK.
- F. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.

LEGEND:

- | | |
|--|--------------------------|
| | WALLS TO BE REMOVED |
| | EXISTING WALLS TO REMAIN |
| | NEW WALL CONSTRUCTION |

WORTHINGTON HOUSING AUTHORITY -
1203 APEL AVE

Worthington, Minnesota

SHEET NAME:
DEMO PLANS

PROJECT NUMBER:
25-039

DRAWN BY:
HD

CHECKED BY:
SD

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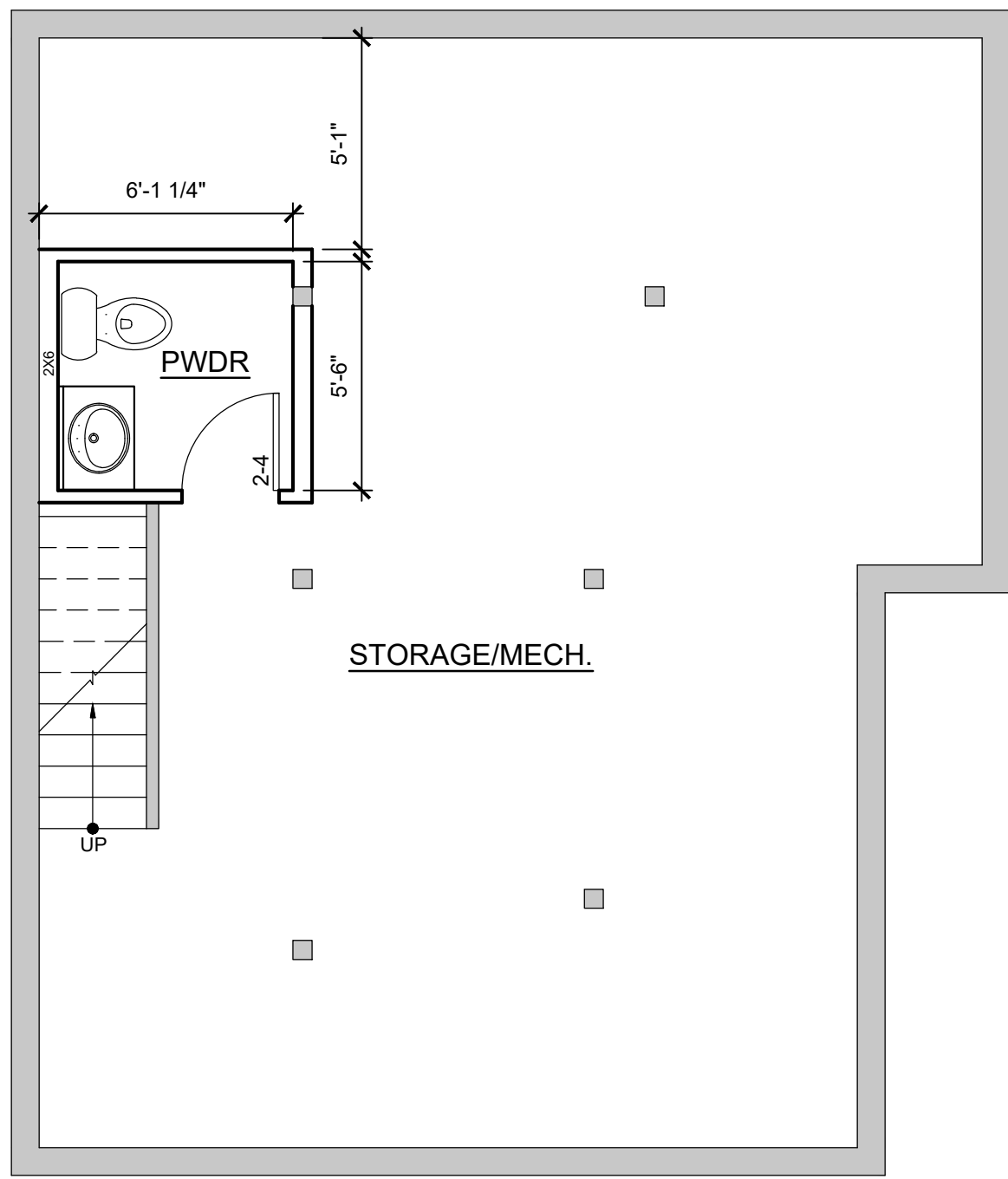
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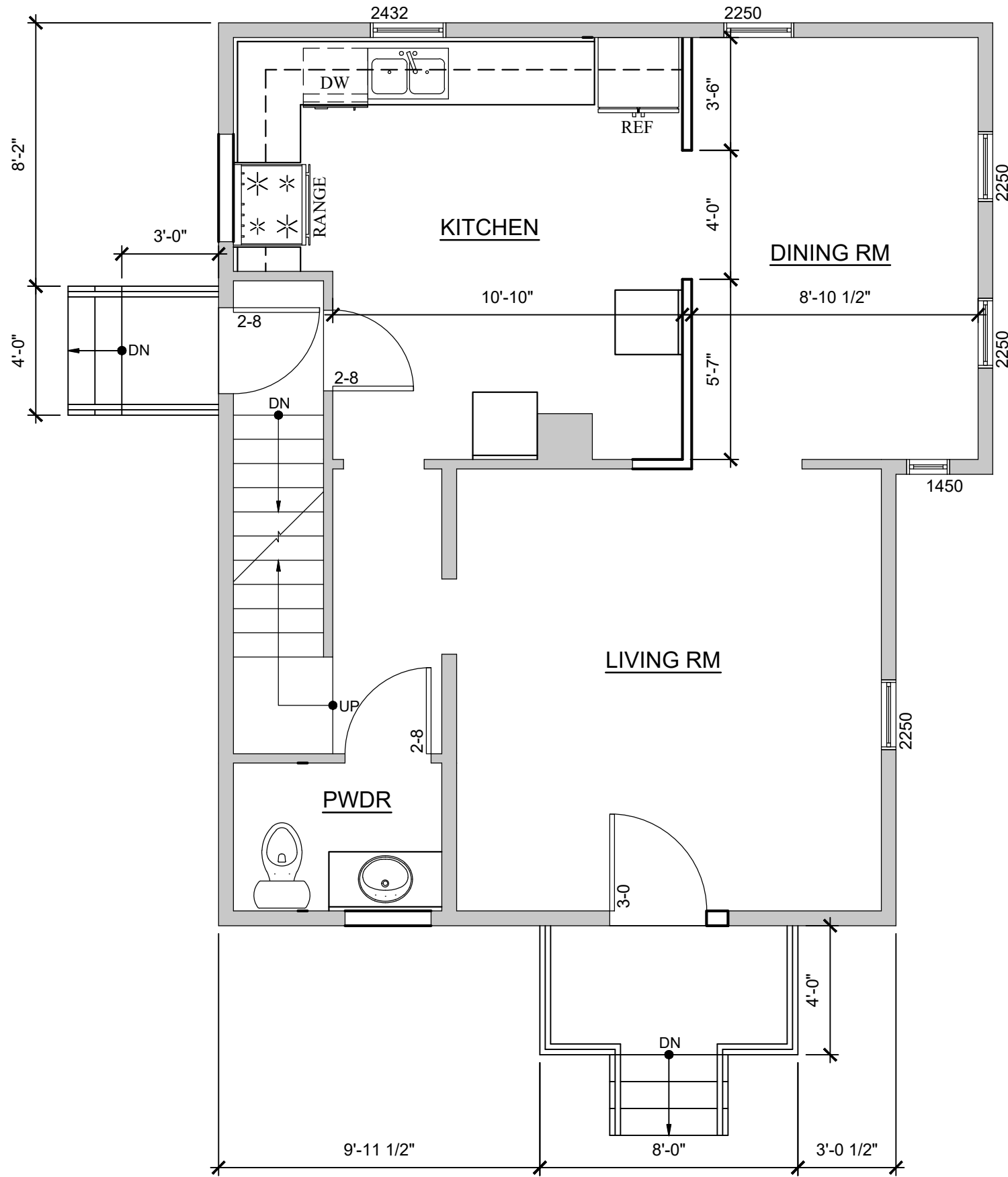


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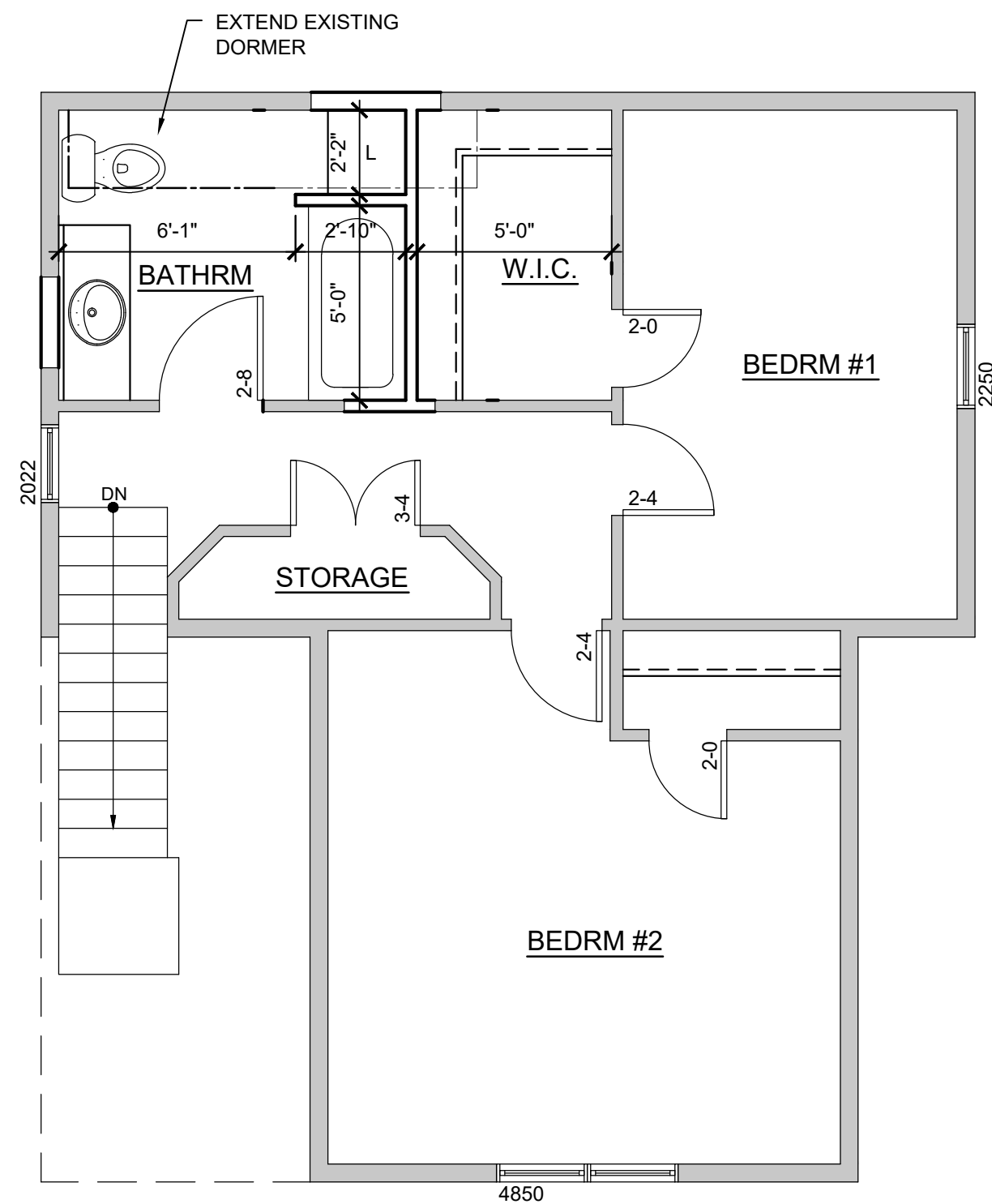
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1 FLOOR PLAN - LOWER LEVEL
A1.1 1/4" = 1'-0"



2 FLOOR PLAN - MAIN LEVEL
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- WALLS TO BE REMOVED
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