



AEI Consultants

August 12, 2021

Physical Needs Assessment

Property Identification:

Golden Gate Village
429 Drake Avenue
Marin City, California 94965

AEI Project No. 413524
Site Inspection Date: November 7, 2019

Prepared For:

Marin Housing Authority
4020 Civic Drive
San Rafael, California 94903

Prepared By:

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Marin Housing Authority
4020 Civic Drive,
San Rafael, California 94903

Subject: Physical Needs Assessment
Golden Gate Village
429 Drake Avenue, Marin City, California 94965
AEI Project No. 413524

Dear Evan Smith:

AEI's Physical Needs Assessment (PNA) (the Physical Inspection Report) has been prepared for the above-mentioned asset (the Property). During the property assessment and research, our needs assessor met with agents representing the Property, or agents of the owner, and reviewed the property and its history. This assessment and Physical Inspection Report have been prepared in accordance with ASTM-2018 "Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process", and HUD's Special Application Center's (SAC) PIH Notice 2018-04.

This assessment included a site reconnaissance as well as research and interviews with on-site personnel and representatives of the regulatory agencies and property ownership. An assessment was made, preliminary cost estimates developed, and recommendations outlined.

We appreciate the opportunity to provide engineering services to you. If you have any questions concerning this report, or if we can assist you in any other matter, please contact Jeb Bonnett at (804) 955-8373 or jbonnett@aeiconsultants.com.



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1.0 EXECUTIVE SUMMARY AND PROPERTY DESCRIPTION

AEI was retained by Marin Housing Authority on October 4, 2019 to conduct a HUD Demolition/Disposition (PNA) at Golden Gate Village property located at 429 Drake Avenue in Marin City, California. The property features 300 dwelling units within 29 buildings, which were built in 1960 and are situated on 29.8 acres, which includes two separate parcels. The property was observed in Fair physical condition. There are 8 residential buildings, known as the high-rise buildings, which are 5 stories tall and 20 residential buildings, known as the low-rise buildings, which are 1 and 2-story buildings. Parking is located at grade around the buildings.

Please note that AEI's rehabilitation cost model is showing that it will cost approximately **\$63,750,526** to renovate the property. According to HUD Total Development Cost (TDC) thresholds, the new construction maximum limit to completely rebuild the site would be **\$99,843,679**. According to HUD's Special Application Center's (SAC) PIH Notice 2018-04, in order for the property to be considered an qualified candidate for demolition or disposition, the ratio of renovation costs to new construction costs would have to exceed **57.14%**. The current ratio is **63.85%**; therefore, per this renovation model, the renovation costs do qualify the property for a demolition/disposition application. AEI believes additional funds may be needed for site work renovations, such as parking lots, sidewalks, and utilities. AEI did not review any environmental reports and is uncertain what level of hazmat abatement would have to occur during a gut renovation. In addition, AEI recommends that a local architect assist with determining all building code component upgrades necessary for a renovation of structures located in a severe fire hazard area.

HIGH RISE UNITS: - 168 Total Units – 8 Buildings 21 Units Per Building

23 – ONE BEDROOM

132 – TWO BEDROOMS

13 – THREE BEDROOMS

LOW RISE – 132 Total Units

21 – One Bedroom

102 Three Bedrooms

9 – Four Bedroom

A summary of the Property improvements is provided in the following table.

Item	Description
Property Type	Multifamily
Number of Floors	2-5
Number of Apartment Units	300

Item	Description
Total Number of Buildings	29
Number of Apartment Buildings	28
Ancillary Buildings	1: Leasing office / maintenance building
Parking	320 total spaces 302 of Regular Spaces 18 of Accessible Spaces All spaces are nncovered Source: Google Maps
Gross Floor Area	230113 per Owner or Property Manager
Net Rentable Floor Area	230113 per Owner or Property Manager
Site Area	29.8 acres per Assessor
Year of Construction	1960

1.1 OVERALL CONDITION OF THE PROPERTY

Overall Condition of the Property

Based on AEI's observation of the Property and improvements, the Property appears to be in overall Fair condition.

Adequate funding has not been identified nor is it anticipated in future years to correct the extensive backlog of deferred maintenance requirements which will result in the property condition degrading from the current Fair status to Poor Status"

Recommendations in this Report

The recommendations in this report are based upon ASTM guidelines and are limited to visual observations. Testing of systems was not performed and no invasive or destructive testing was undertaken. No recommendations for immediate, further investigation have been included in the Assessment and Recommendation sections of this report.

1.2 REMAINING USEFUL LIFE

Based on the general condition of the Property reported above, it is AEI's opinion that the Remaining Useful Life (RUL) of the Property has expired. The property is showing signs foundation deterioration with elements exposed to weather. In addition, there are pest management issues that are causing an unsafe living environment. The vast majority of the building components are original to the date of construction 1960.

2.0 PURPOSE AND SCOPE

Cost Calculation Methodology

Estimates are based on construction costs developed by construction resources such as Marshall & Swift, RS Means, AEI's Commercial Inspectors' experience with past costs for similar projects, city cost indexes, consulting with local specialty contractors, client provided information, and assumptions regarding future economic conditions.

Actual costs may differ from AEI's cost estimates. Actual cost estimates are determined by many factors including but not limited to: choice and availability of materials, choice and availability of a qualified contractor, regional climate zone, quality of existing materials, site compatibility, and access to the subject property and buildings. Costs are solely based on material replacement and do not account for soft costs.

2.1 PURPOSE

The purpose of this survey and related report is to assist Marin Housing Authority and HUD in the evaluation of the physical aspects of the subject property and how its condition may affect the soundness of their financial decisions over time. For this assessment, the Project Manager has performed a reconnaissance assessment of the subject property and its improvements, evaluated the apparent physical conditions, reviewed available documentation, assessed the expected useful life (EUL), and estimated the cost for repairs, replacements, and significant maintenance items. The Project Manager assessed a representative sample of the building/s; the assessment typically included roofs, operational components, parking structures, and all common areas and exteriors.

The PNA is not, and should not be construed as, a warranty or guarantee about the condition of the improvements. Neither is the Assessment intended to assure clear title to the property in question. This investigation was prepared for the sole use and benefit of Marin Housing Authority and HUD. Neither this report, nor any of the information contained herein shall be used or relied upon for any purpose by any person or entity other than Marin Housing Authority and HUD.

We have performed our services and prepared this Report in accordance with applicable, generally accepted engineering, environmental or appraisal consulting practices. We make no other warranties, either expressed or implied, as to the character and nature of such services and product.

2.2 SCOPE OF WORK

AEI was retained by Marin Housing Authority on October 4, 2019 to conduct a HUD Demolition/Disposition (PNA) to fulfill the due diligence requirements of a pending real estate application. The PNA was performed in conformance with the scope and limitations of ASTM-2018 "Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process", and HUD's Special Application Center's (SAC) PIH Notice 2018-04. Golden Gate Village is located at 429 Drake Avenue in Marin City, California. The scope of work included the following:

- The inspection of a sample of each unit type;
 - The visual examination of the property's components, including MEP equipment, exterior walls, roofing, foundations, landscaping, utilities, and interior elements;
 - The interviewing of property management and tenants;
 - The information gathering from Freedom of Information request letters from the local Building, Zoning, and Fire departments;
 - The data population of HUD Form 52860-b;
 - The creation of an independent R.S. Means based cost estimates based on the standards outlined in the most recent International Building Code (IBC) and National Fire Protection Association (NFPA) 5000 standards as well as the following list of capital improvements:
1. PHAs may include local code requirements (i.e., fire codes; requirements for natural disasters such as flooding or wildfires);
 2. Building systems (e.g., HVAC, plumbing, electric), external amenities (e.g., roofs, doors, windows), and internal amenities (e.g., kitchens, bathrooms, flooring) limited to those that address immediate capital needs for a maximum of three years. Replacement costs are restricted to the remaining useful life of an item for three years or less. Actual service life may depend on initial quality of the item, local environmental factors, use/abuse, and levels of routine maintenance. Age of an item alone is not evidence of need to repair or replace. Each item is individually estimated and may reference life cycle values per the R.S. Means Facilities Maintenance and Repair Cost Data book;
 3. Underground utilities (e.g., sewer, water, gas, electric), regardless of distances, provided the PHA owns the utility and evidences the need for replacement;
 4. Mitigation costs of asbestos, lead-based paint, or other environmental issues supported by reports submitted with the SAC application;
 5. Structural defects when supported by reports from a licensed professional engineer;
 6. Accessibility improvements for persons with mobility, vision, hearing or other impairments, provided improvements are consistent with standards, regulations, and other requirements under Section 504 of the Rehabilitation Act of 1973 (including the Uniform Federal Accessibility Standards (UFAS)), Fair Housing Act, Americans with Disabilities Act, other applicable federal authorities, state or local requirements that exceed federal baseline requirements, and accessibility requirements in remedial agreements or orders;
 7. Imminent health and/or safety issues even if such costs are otherwise not eligible provided the PHA provides supporting documentation from an independent party evidencing the occurrence and resulting health and/or safety risks.

Any exceptions to, or deletions from, this practice are described in Section 7 of this report.

2.2.1 ASSESSMENT METHODOLOGY

The PNA meets the specifications of the lender and has included the following:

Preliminary Due Diligence

Prior to the site visit by the Property Evaluator, the pre-survey questionnaire was provided to the managers of the Property with a request that the questionnaire be completed prior to the visit.

Site Reconnaissance

The PNA findings are based on the visual, non-intrusive and non-destructive evaluation of various external and internal site and building systems and components as noted during a site walk-through survey conducted by AEI representatives. The survey included access and observation of representative tenant spaces and common areas.

Interviews and Research

AEI representatives conducted limited research to identify and review available maintenance procedures, available drawings, and other readily available documentation concerning the property. AEI representatives also conducted interviews with available management and maintenance staff. As conditions warranted, contractors for the property were contacted for pertinent information. AEI requested readily available records with public agencies familiar with the property to gather historical property information. A summary of findings have been included in the narrative sections of this report.

Report

The evaluation covered readily apparent conditions at the property. Upon completion of the site reconnaissance, interviews, and research, AEI produced this summary report. This report includes a discussion of topics related to the property condition and outlines the costs to correct the deficiencies noted. AEI formulates and presents the rehabilitation cost estimates within a table located in the Appendices of this report.

Based upon observations during our site visit and information received from our interviews with building management and service personnel, which for the purpose of the PNA was deemed reliable, AEI prepared general-scope, Opinions of Probable Cost based on appropriate remedies for the deficiencies noted. Such remedies and their associated costs were considered commensurate with the Property's position in the market and prudent expenditures. These opinions are for components of systems exhibiting significant deferred maintenance, and existing deficiencies requiring major repairs or replacement. Repairs or improvements that could be classified as (i) cosmetic, (ii) decorative, (iii) part or parcel of a building's renovation program or to reposition the asset in the marketplace, (iv) routine or normal preventative maintenance, or (v) that are the responsibility of the tenants were not included.

It is the intent of the PNA to reflect material physical deficiencies and the corresponding opinion of probable costs that are (i) commensurate with the complexity of the Property and (ii) not minor or insignificant.

Standard Estimated Useful Life (EUL)

The EUL is the average amount of time in years that a system, component or structure is estimated to function when installed new and assuming that routine maintenance is practiced.

Assessed Remaining Useful Life (ARUL)

This is the Needs Assessor's best professional judgment of the actual RUL of the Component ID based on observed conditions.

2.3 SITE VISIT INFORMATION

Site Visit Facts

Date of Site Visit	November 7, 2019
Time of Site Visit	9:00 AM
Weather Conditions	Clear and sunny with some fog in the morning, temperatures in the 60's
Site Assessor	Kevin Pressey
Site Escorts	Evan Smith
Point of Contact	Evan Smith
Total Units Inspected	52

Dwelling Units Inspected

Unit Type	Unit Identification	Unit Status
Unit ID	Floorplan	Occupancy
15	2-bedroom/1-bath	Down
8	3-bedroom/1-bath	Vacant
21	2-bedroom/1-bath	Vacant
12	2-bedroom/1-bath	Occupied
13	2-bedroom/1-bath	Occupied
5	3-bedroom/1-bath	Occupied
18	2-bedroom/1-bath	Occupied
14	2-bedroom/1-bath	Occupied
13	2-bedroom/1-bath	Occupied
15	2-bedroom/1-bath	Occupied
16	2-bedroom/1-bath	Occupied
5	2-bedroom/1-bath	Occupied
7	1-bedroom/1-bath	Occupied
11	2-bedroom/1-bath	Occupied
12	2-bedroom/1-bath	Occupied
15	2-bedroom/1-bath	Occupied
14	2-bedroom/1-bath	Occupied
16	2-bedroom/1-bath	Occupied
2	2-bedroom/1-bath	Occupied
9	2-bedroom/1-bath	Occupied
10	2-bedroom/1-bath	Occupied
16	2-bedroom/1-bath	Occupied
21	2-bedroom/1-bath	Occupied
16	2-bedroom/1-bath	Occupied
13	2-bedroom/1-bath	Occupied
9	2-bedroom/1-bath	Occupied
2	2-bedroom/1-bath	Occupied
2	2-bedroom/1-bath	Occupied
5	2-bedroom/1-bath	Occupied
9	2-bedroom/1-bath	Occupied
19	2-bedroom/1-bath	Occupied
72	3-bedroom/1-bath	Occupied
387	3-bedroom/1-bath	Occupied
307	3-bedroom/1-bath	Occupied
305	3-bedroom/1-bath	Occupied

Unit Type	Unit Identification	Unit Status
50	3-bedroom/1-bath	Occupied
37	3-bedroom/1-bath	Occupied
25	1-bedroom/1-bath	Vacant
5	3-bedroom/1-bath	Occupied
255	4-bedroom/1-bath	Occupied
211	3-bedroom/1-bath	Vacant
213	3-bedroom/1-bath	Occupied
187	1-bedroom/1-bath	Occupied
185	1-bedroom/1-bath	Occupied
129	3-bedroom/1-bath	Occupied
131	3-bedroom/1-bath	Occupied
109	3-bedroom/1-bath	Occupied
123	3-bedroom/1-bath	Occupied

2.4 RELIANCE

The PNA is not, and should not be construed as, a warranty or guarantee about the condition of the improvements. Neither is the Assessment intended to assure clear title to the property in question. The investigation was conducted on behalf of and for the exclusive use of Marin Housing Authority (Client) and HUD solely for use in a property condition evaluation of the subject property. The report has been prepared only for the purpose of securing mortgage financing/re-financing and/or loan securitization. This report and findings contained herein shall not, in whole or in part, be disseminated or conveyed to any other party, nor used by any other party, in whole or in part without prior written consent of AEI. AEI acknowledges and agrees that the report may be conveyed to and relied upon by the Client, their successors and assigns, rating agencies and bond investors.

Reliance is provided in accordance with AEI's Proposal and Terms and Conditions executed by Marin Housing Authority on October 4, 2019. The limitation of liability defined in the Terms and Conditions is the aggregate limit of AEI's liability to the client and all relying parties.

3.0 PROPERTY CHARACTERISTICS

AEI was retained by Marin Housing Authority on October 4, 2019 to conduct a HUD Demolition/Disposition (PNA) at Golden Gate Village property located at 429 Drake Avenue in Marin City, California. The property features 300 dwelling units within 29 buildings, which were built in 1960 and are situated on 29.8 acres, which includes two separate parcels. The property was observed in Fair physical condition. There are 8 buildings, known as the high-rise buildings, which are 5 stories tall and 20 buildings, known as the low-rise buildings, which consist of one and two story buildings. Parking is located at grade around the buildings.

3.1 SITE

3.1.1 SITE TOPOGRAPHY

The Property slopes moderately downward from west and south to the east and north across the site.

3.1.2 STORMWATER DRAINAGE

Item	Description	Action	Condition
Topography	Moderate slopes throughout Property	R&M	Good
Retaining Walls	Small walls constructed with concrete and with wood to level out areas are required for the site	R&M	Good
Adjoining Properties	Roughly at similar elevation to the Property.	R&M	Good
Storm Water Collection System	Underground municipal drainage system	R&M	Good
Landscape Drainage System	Landscaped areas sloped towards area drains	IM	Good/Fair
Pavement Drainage System	Storm water area drains	R&M	Good
Foundation Drainage System	Landscaping sloped away from the foundation	IM	Fair/Poor

ASSESSMENT / RECOMMENDATION

The site contact indicated that drainage is an issue when the flows are heavy. The hillside drainage system is unable to handle the amount of water at times. Building 49 currently has an apartment unit that is down because water seeps into the unit during rain events.

AEI did not observe unusual evidence of erosion or chronically-standing water. The storm water system appeared to provide adequate runoff capacity in low water events. Overall, property drainage appeared to be fair and the drainage infrastructure components appeared to be in good to fair condition. Also, there is no unusual evidence of storm water runoff from adjacent properties.

AEI recommends that the overall site drainage system be reviewed by a Professional Engineer to determine the best course of action to prevent continued drainage issues and determine estimated costs to resolve the observed problems.

Please note that this estimate does not include an opinion of cost for the repairs, which are contingent on the results of the recommended study.

Photographs



Site - Concrete paving drainage inlet



Site - Damaged asphalt and trench drain



Site - Hillside drainage



Site - Landscape drain near a walkway



Site - Landscape drain



Site - Parking lot drainage swale

3.1.3 ACCESS & EGRESS

Items	Description	Action	Condition
Site Access	Access to the property is provided by nine entrances from adjoining municipal streets.	R&M	Good
Signalization at Site Access	No traffic lights are provided at the entrances to the Property.	NA	Not applicable
Easement or Alley Way	Not applicable	NA	Not applicable

Photographs



Site - Parking lot driveway



Site - Driveway at the leasing office

3.1.4 PAVING, CURBING, & PARKING

Items	Description	Action	Condition
Asphalt Pavement	Asphalt pavement is provided for on-site parking	RR	Good/Fair
Concrete Pavement	Concrete pavement is provided at dumpster locations	R&M	Good
Curbing	Concrete	R&M	Good
Seal Coating	Seal coating is worn and is considered to be at the end of its EUL.	RR	Fair
Striping	Striping for parking spaces is faded	RR	Fair
Total Number of Parking Spaces	320 spaces in open lots	R&M	Good
Number of ADA Spaces	18	R&M	Good

Photographs



Site - Damaged asphalt and trench drain



Site - Parking area



Site - Parking lot and light poles



Site - Parking lot driveway



Site - Parking lot near lowrise buildings



Site - Trash enclosure near the lowrise buildings

3.1.5 FLATWORK (WALKS, PLAZAS, TERRACES, PATIOS)

Item	Description	Action	Condition
Sidewalks	Concrete	RR	Good/Fair

Item	Description	Action	Condition
Ramps	Poured in place concrete	R&M	Fair
Exterior Steps	Concrete steps are located along pedestrian walkways due to changes in topography.	R&M	Good/Fair
Handrails	Exterior stairs are protected by steel handrails	R&M	Good
Loading Docks	Not applicable	NA	Not applicable

Photographs



Site - Concrete retaining wall and walkway



Site - Concrete sidewalk tripper



Site - Concrete walkway with tripper



Site - Landscape stair



Site - Stairs at change in grades



Site - Walkway and stair



Site - Walkway with steps

3.1.6 LANDSCAPING & APPURTENANCES

Item	Description	Action	Condition
Landscaping	Trees, shrubbery, and manicured lawn.	RR	Fair/Poor
Irrigation	Automatic underground system	RR	Fair
Perimeter Fencing	Not applicable	NA	Not applicable
Entry Gates	Not applicable	NA	Not applicable
Patio Fencing	Wood and wire fencing	IM/RR	Fair
Refuse Area Fencing	Wood fencing	R&M	Good
Site/Building Lighting	Exterior building mounted light fixtures	R&M	Good
Parking Area Lighting	Pole-mounted fixtures	R&M	Good
Signage	Monument sign	R&M	Good
Water Features	Not applicable	NA	Not applicable

Photographs



Exterior - Security lighting



Exterior - Soffit and emergency lighting



Site - Barren landscape



Site - Community garden



Site - Fencing



Site - Landscape stair



Site - Parking lot pole lighting



Site - Skate park and fencing



Site - Wood landscape retaining wall



Site - Yard fencing at grade level highrise units

3.1.7 RECREATIONAL FACILITIES

Item	Description	Action	Condition
Swimming Pool Filtration Equipment	Not applicable	NA	Not applicable
Swimming Pool / Spa / Pool Decking	Not applicable	NA	Not applicable
Barbecue	Not applicable any more	NA	Not applicable
Picnic Areas	Multiple picnic tables	RR	Fair
Sport Courts	Basketball court and skate park	R&M	Good
Tennis Courts	Not Applicable	NA	Not applicable
Playground	Three children's playground areas	RR	Fair

Photographs



Site - Basketball court



Site - Community garden



Site - Concrete picnic tables



Site - Courtyard near lowrise with tables



Site - Courtyard table and seats heavily weathered



Site - Kids playground equipment



Site - Old BBQ



Site - Playground equipment



Site - Skate park and fencing



Site - Skate park equipment

Other Structures

Item	Description	Action	Condition
Garages	Not applicable	NA	Not applicable
Carports	Not applicable	NA	Not applicable
Maintenance Shed	Not applicable	NA	Not applicable
Porte Cochere	Not applicable	NA	Not applicable
Landscaping Structures	Not applicable	NA	Not applicable

3.1.8 SITE UTILITIES

Utility Provider	Provider
Natural Gas	PG&E
Electricity	PG&E
Potable Water	Marin Municipal Water District
Sanitary Sewerage	Sausalito-Marín City Sanitation District
Storm Sewer	Municipal
Fuel Oil	Not applicable

Photographs



MEP - Building 409 electrical meters



MEP - Lowrise building typical electrical meters



MEP - Lowrise electrical main meters and breakers



MEP - Pole mounted electrical transformer



MEP - Typical high rise electrical meters



MEP - Typical high rise gas meter



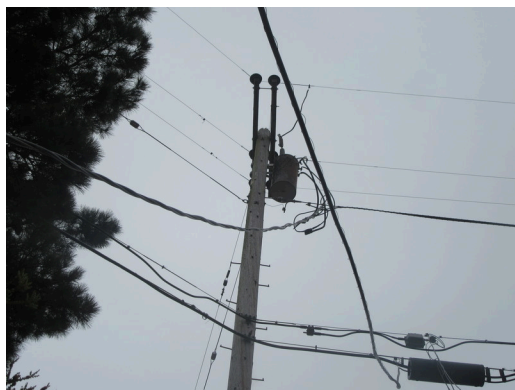
MEP - Typical low rise building gas meters



MEP - Water backflow preventer near low rise buildings

Item	Description	Action	Condition
Domestic Water Supply Lines	Galvanized and copper pipe	IM	Good/Fair
Waste Service Lines	Cast Iron, ABS, and may be clay at underground mains	IM	Good/Fair
Lift Stations	Not applicable	NA	Not applicable
Waste Water Treatment System	Municipal waste water treatment facility.	R&M	Good
Water Wells	Not applicable	NA	Not applicable
Emergency Generator	Not applicable	NA	Not applicable
Transformers	Overhead lines and pole-mounted transformers.	R&M	Good
Alternative Energy Systems	Not applicable	NA	Not applicable

Photographs



MEP - Pole mounted electrical transformer



MEP - Water backflow preventer near low rise buildings



MEP - Water piping

3.2 STRUCTURAL FRAME & BUILDING ENVELOPE

3.2.1 FOUNDATION

Item	Description	Action	Condition
Foundation Type	Concrete slab-on-grade	IM	Good/Fair
Foundation Walls	Shallow foundation (thickened and reinforced concrete slab)	IM	Good/Fair
Building Slab	Concrete slab-on-grade	IM	Good/Fair
Moisture Control	Landscaping sloped away from the foundation	IM	Fair/Poor
Uniformity	The foundation is considered to be generally uniform, but this could not be confirmed.	IM	Good/Fair

ASSESSMENT / RECOMMENDATION

The substructure is considered to be generally adequate and in overall fair to good condition.

The site contact indicated that drainage is an issue when the flows are heavy. The hillside drainage system is unable to handle the amount of water at times. Building 49 currently has an apartment unit that is down because water seeps into the unit during rain events.

AEI recommends that the overall site drainage system be reviewed by a Professional Engineer to determine the best course of action to prevent continued drainage issues and determine estimated costs to resolve the observed problems.

AEI has allowed for concrete work as needed during the renovations.

3.2.2 FRAMING

3.2.2.1 FRAMING SYSTEM, FLOORS & WALLS

Item	Description	Action	Condition
Wall Structure	Concrete Frame and cmu and wood framing	IM	Good/Fair
Secondary Framing Members	Not applicable	NA	Not applicable

Item	Description	Action	Condition
Mezzanine	Not applicable	NA	Not applicable
Walls and Floors Plumb, Level and Stable	No unusual problems were observed or reported, leveling work is anticipated during the renovations.	IM	Good/Fair
Significant Signs of Deflection, Movement	No unusual problems were observed or reported, leveling work is anticipated during the renovations.	IM	Good/Fair

Photographs



Structure - Lowrise building post and beam



Structure - Lowrise roof ridge framing



Structure - Roof framing at leasing and maintenance building



Structure - Steel beam and column support for upper walkway

3.2.2.2 CRAWL SPACES, ENVELOPE PENETRATIONS

There are no crawl spaces at the apartment buildings.

3.2.2.3 ROOF FRAME & SHEATHING

Item	Description	Action	Condition
Roof Design	Pitched with attic space	IM	Good/Fair
Roof Framing	Wood rafters	IM	Good/Fair

Item	Description	Action	Condition
Roof Deck or Sheathing	Plywood decking, not currently fire resistant	IM	Fair/Poor
FRT Plywood	FRT plywood was not observed in the attic area.	IM	Fair/Poor
Significant Signs of Deflection, Movement	No unusual problems were observed or reported, leveling work is anticipated during the renovations.	IM	Good/Fair

Photographs



Elevations - Highrise elevations



Elevations - Low rise building elevation

3.2.2.4 FLASHING & MOISTURE PROTECTION

Roof flashing appeared to be in overall fair to good condition; however, renovations are necessary to retrofit the roofs to be fire resistant.

Photographs



Roof - Highrise roofing



Roof - Lowrise building roofing



Roof - Soffit ventilation

3.2.2.5 ATTICS & EAVES

The attics are ventilated by a combination of end wall vents and perforated eave vents. The end wall vents are screened in openings in the exterior walls.

Photographs



Roof - Soffit ventilation

3.2.2.6 INSULATION

The roofs are reported insulated with fiberglass batts.

3.2.2.7 EXTERIOR STAIRS, RAILS, BALCONIES/PORCHES, CANOPIES

Item	Description	Action	Condition
Balcony Framing	Concrete	IM	Good/Fair
Balcony Deck Material	Concrete deck	IM	Good/Fair
Balcony Railing	Precast concrete or fiberglass panels	IM	Poor
Patio Construction	Concrete patio	IM	Good/Fair
Terraces	Not applicable	NA	Not applicable

Item	Description	Action	Condition
Fire Escapes	Not Applicable	NA	Not applicable
Elevated Walkway	Poured in place concrete deck	IM	Good/Fair
Exterior Stairs	Steel frame stairs with metal pan treads filled with concrete, and poured in place concrete stairs	IM	Good/Fair

Photographs



Elevations - Typical high rise side elevation



Exterior - Building 409 exterior stair



Exterior - Fiberglas replacement panel



Exterior - Highrise exterior stair tower



Exterior - Highrise stairway railing



Exterior - Typical highrise deck

3.2.2.8 EXTERIOR DOORS & ENTRY SYSTEMS

Item	Description	Action	Condition
Unit Entry Doors	Painted wood	IM	Fair
Service Doors	Painted wood door	IM	Fair
Sliding Glass Doors	Aluminum frame	IM	Fair
Overhead Doors	Not applicable	NA	Not applicable
Common Entrance Doors	Not applicable	NA	Not applicable

Photographs



Exterior - Typical high rise apartment door



Interiors - 49-8 living area

3.2.3 SIDEWALL SYSTEM

Item	Description	Action	Condition
Primary Exterior Wall Finishes and Cladding	Painted wood siding	IM	Fair
Trim Finishes	Painted wood	IM	Fair
Soffits/Eaves	Exposed	IM	Fair

Item	Description	Action	Condition
Sealants	Sealants are used at control joint locations of dissimilar materials as well as at windows and doors.	IM	Fair
Painting	Last painted many years ago.	IM	Fair

Photographs



Elevations - Highrise building elevation



Elevations - Highrise elevations



Elevations - Leasing and maintenance building elevation



Elevations - Low rise building elevation



Elevations - Lowrise building elevation



Elevations - Partial lowrise building elevation



Elevations - Typical high rise side elevation

3.2.3.1 WINDOWS

Item	Description	Action	Condition
Window Type	Sliding windows	IM	Fair/Poor
Window Frame	Aluminum frame	IM	Fair/Poor
Window Panes	Single pane	IM	Fair/Poor

Photographs



Exterior - Highrise window and screen



Exterior - Lowrise typical window



Exterior - Lowrise window



Exterior - Window detail

3.2.4 ROOFING FINISH

Roof ID	Construction Type	Approx. Area	Reported Age	RUL	Warranty	Action	Condition
High-rise Buildings	Pitched with clay tiles	60,000 SF	60 years	2 years	No	IM	Fair
Low-rise Building	Pitched with asphalt shingles	55,000 SF	16 years	2 years	No	IM	Fair

Roof ID	Drainage	Coping (parapet)	Skylights	Action	Condition
All	Pitched roofs do not have gutters. Rainwater cascades over the roof edge and onto the ground plane near the foundation.	Not applicable	Not applicable	IM	Good

3.3 MECHANICAL & ELECTRICAL SYSTEMS

3.3.1 PLUMBING

Item	Description	Action	Condition
Hot and Cold Water Distribution	Galvanized and copper pipe	IM	Good/Fair
Polybutylene Water Piping	No polybutylene piping was observed or reported	NA	Not applicable
Sanitary Waste and Vent	Cast iron and PVC pipe	IM	Fair
Domestic Water Circulation Pumps	Small in line pumps	IM	Fair
Domestic Water Heaters	Central gas-fired, commercial- grade water heaters with 100-gallon capacity at the high-rise buildings and individual 40-gallon capacity at the low-rise buildings.	IM/RR	Good/Fair
Domestic Water Boilers	Building 79 uses a domestic boiler for hot water	RR	Good/Fair
Boiler Peripherals	Not applicable	NA	Not applicable
Water Softening / Treatment	Not applicable	NA	Not applicable

Photographs



MEP - 25 water heater



MEP - 72 water heater



MEP - Building 49 water heater



MEP - Building 79 domestic water boiler and storage tank



MEP - Building 89 water heaters



MEP - Building 99 water heater



MEP - Water piping

3.3.2 HVAC SYSTEMS

Item	Description	Action	Condition
Cooling Equipment	Not applicable	NA	Not applicable
Heating Equipment	Package boiler and individual furnaces	IM/RR	Good/Fair
Cooling Tower	Not applicable	NA	Not applicable

Item	Description	Action	Condition
Terminal Units	Cabinet fan coil units	IM	Fair
Refrigerant	Not applicable	NA	Not applicable
Tonnage of Cooling Equipment	Not applicable	NA	Not applicable
Distribution System	Ducted forced-air system at low-rise buildings and steam radiators at high-rise buildings	IM	Fair
Controls	Local thermostats	IM	Good/Fair
Supplemental Systems	Not applicable	NA	Not applicable
Corridor and Stair-tower Ventilation	Not applicable	NA	Not applicable
Toilet Room Ventilation	Direct vent bathroom fans	IM	Good/Fair

Photographs



MEP - 25 furnace



MEP - 72 furnace



MEP - 255 water heater and furnace



MEP - Building 48 boiler



MEP - Building 49 boiler



MEP - Building 59 boiler



MEP - Building 79 boiler



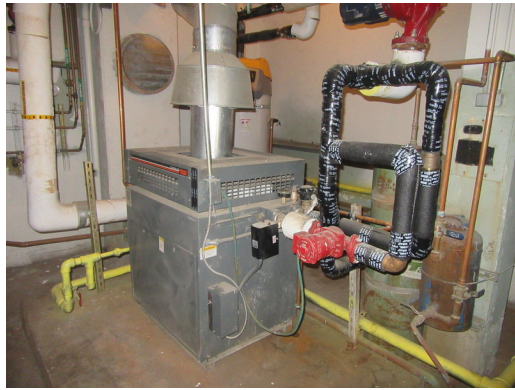
MEP - Building 89 boiler



MEP - Building 99 boiler



MEP - Building 409 boiler



MEP - Building 419 boiler



Interiors - 49-8 living area



Interiors - 59-21 bedroom

3.3.3 ELECTRICAL SYSTEM

Item	Description	Action	Condition
Service Type	Overhead lines and pole-mounted transformers.	R&M	Good
Building Service	200-Amp, 120/240-Volt, single-phase, three-wire, alternating current (AC) at each high-rise building	IM	Fair
Typical Tenant Service Amperage	50 or 60 Ampere main breaker	IM	Fair
Panel Manufacturer	Blakeman Brothers, GE and FPE Stab-lok electric panels	IM	Fair/Poor
Overload Protection	Circuit breaker switches	IM	Fair
Service Wire	Copper wiring	IM	Fair
Branch Wiring	Copper and aluminum wiring	IM	Fair
Ground Fault Circuit Interrupter	Observed in kitchen, bathrooms, and wet areas	IM	Fair

Photographs



MEP - 25 FPE electrical sub-panel



MEP - 37 FPE electrical sub-panel



MEP - 49-8 electrical sub-panel



MEP - 49-15 electrical sub-panel



MEP - 50 FPE electrical sub-panel



MEP - 69-15 electrical sub-panel



MEP - 72 FPE electrical sub-panel



MEP - 72 GFCI outlet



MEP - 129 electrical sub-panel



MEP - 307 FPE electrical sub-panel



MEP - 387 FPE electrical sub-panel



MEP - 419-5 electrical sub-panel



MEP - Building 89 electrical meters



MEP - Building 409 electrical meters



MEP - Lowrise building typical electrical meters



MEP - Lowrise building typical electrical meters



MEP - Lowrise electrical main meters and breakers



MEP - Typical high rise apartment unit electrical main breaker



MEP - Typical high rise electrical meters

ASSESSMENT / RECOMMENDATION

The interior electrical breaker panels at the Low-rise Buildings were manufactured by Federal Pacific Electric (FPE) and have been identified as Stab-Lok circuit breaker panels. Stab-Lok circuit breaker panels have been identified as a potential fire hazard due to a high failure rate that occurs when the breaker does not trip in an overload or short circuit situation. A class action lawsuit in 2005 found that FPE committed fraud in reporting test results required for UL listing. Due to safety considerations and the inability to purchase replacement parts, AEI recommends immediate replacement of all FPE Stab-lok circuit breaker panels at the Property.

Stab-Lok electric panel system, found in use at the subject property as an electrical over-load protection device, has been identified by the construction industry as being well below industry standards and is generally considered to be a safety hazard. These Stab-Lok electrical panels, originally manufactured by Federal Pacific Electric (FPE) and later bought by Reliance Electric Company, were widely used by builders in the 1960s and 1970s, but are now considered unsafe. The Stab-Lok circuit breakers were shown in NY state court to have erroneously been sold before having been UL approved. Studies have repeatedly shown overload protection failure. The system is therefore considered to be a latent safety hazard. The panels and circuit breakers themselves do not cause an unsafe condition such as a short in a wire, but the breakers may not trip when necessary. This can lead to shock hazards, overheating, and fires.

AEI considers the Stab-Lok panels and breakers to be unreliable and recommends comprehensive, immediate replacement of the systems throughout the subject property. An opinion of cost for this work is included in the Tables.

The interior electrical breaker panels at the High-rise Buildings vary and many have been changed out, and many have been painted over so that it is not possible to see who the manufacturer is. We were told that they are not having many issues with the electrical panels. However, because of the age and condition, AEI recommends the replacement of the old original sub-panels as well.

AEI was informed that some of the existing wiring from the main meter to the interior electrical sub-panels is aluminum wiring.

The primary concern with aluminum branch wiring is that as a result of current flow, heated aluminum expands approximately 40% faster than copper. The unequal expansion rates between the aluminum wire and the copper, steel or brass switch or outlet connection point, subjects the heated aluminum wire to a rapidly rising compressive stress (compressed wire expands). When the current is turned off, the termination cools causing the wire to contract, which in turn, causes the connection to become loose. A loose electrical connection will accelerate the heating of the wire due to the restricted current flow (because the connection point is not snug); subsequently, the wire will heat up similar to a burner on a stove. An overheated connection could potentially lead to a fire.

The Consumer Products Safety Commission’s (CPSC) Publication 516, July 2011 (Repairing Aluminum Wiring), recommends a permanent repair using one of the following three methods:

1. complete rewiring of the building
2. copper pig-tailing at the receptacles using COPALUM crimp connectors
3. copper pig-tailing at the receptacles using AlumiConn connectors.

In general, retrofitting with AlumiConn connectors is considered to be the most cost effective solution.

AEI recommends that a licensed electrician be retained to retrofit the electrical connections at the Property. An opinion of cost for this work is included in the Tables.

3.4 ELEVATORS

ASSESSMENT / RECOMMENDATION

There are no elevators at the subject property.

3.5 LIFE & FIRE SAFETY

Item	Description	Condition	Action
Fire Suppression Systems	Not applicable the High-rise Buildings do have a standpipe with fire department connections at each floor located in the exterior stairway.	Poor	IM
Fire Suppression System Inspection Date	Not applicable	Poor	IM
Other Equipment and Devices	Hard-wired smoke detectors with battery back-up	Fair	IM
Fire Extinguishers	Mounted in laundry rooms Last inspection completed on October 2019	Fair	IM
Fire Alarms	Not applicable	Poor	IM
Fire Alarm Inspection Date		Poor	IM
Fire Hydrants	There are fire hydrants located along the adjacent streets	Good	R&M
Fire Egress Stairs	The high-rise buildings feature exterior stairways at each end of the building	Good/Fair	IM

Photographs



FLS - 409-2 missing smoke detector



FLS - Fire department connection at highrise



FLS - Fire extinguisher out of date



FLS - Fire hydrant



FLS - Highrise standpipe



FLS - Smoke detector disabled



FLS - Smoke detector



Exterior - Building 409 exterior stair



Exterior - Highrise exterior stair tower

3.6 INTERIOR ELEMENTS

3.6.1 COMMON AREA INTERIOR ELEMENTS

Item	Description	Action	Condition
Common Area Laundry	Located at each high-rise building	IM	Fair

Photographs



Interiors - Building 49 laundry room



Interiors - Building 59 laundry room



Interiors - Building 69 laundry room



Interiors - Building 89 laundry room



Interiors - Building 99 laundry room



Interiors - Building 409 laundry room

3.6.2 DWELLING UNIT INTERIOR ELEMENTS

Unit Finishes

Item	Description	Action	Condition
Carpet	Residential grade carpet	IM	Fair/Poor
Resilient Flooring (vinyl)	Vinyl tile and sheet vinyl	IM	Fair
Other	Wood laminate	IM	Fair
Walls	Gypsum board with painted finish	IM	Fair
Ceilings	Gypsum board with painted finish	IM	Fair
Window Coverings	Window blinds are provided	IM	Fair

Photographs



Interiors - 25 bedroom



Interiors - 25 entrance view



Interiors - 37 bedroom



Interiors - 49-8 living area



Interiors - 49-13 living area



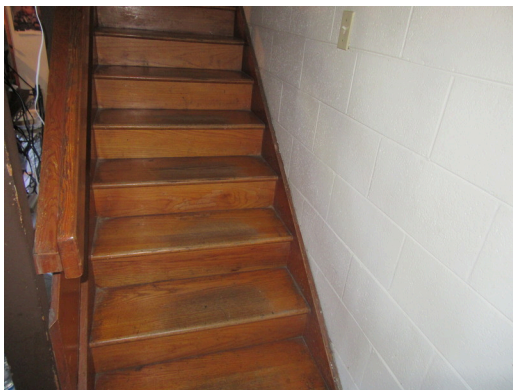
Interiors - 59-12 bedroom



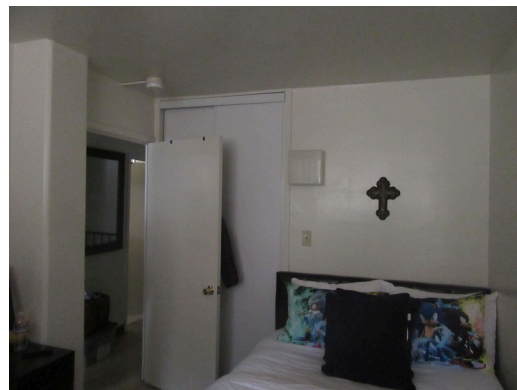
Interiors - 59-21 bedroom



Interiors - 69-16 bedroom



Interiors - 72 interior stair



Interiors - 79-12 bedroom



Interiors - 79-12 living room



Interiors - 89-15 bedroom



Interiors - 99-21 living room



Interiors - 129 bedroom



Interiors - 129 living room



Interiors - 131 bedroom



Interiors - 131 carpet at upper hallway



Interiors - 211 upper hallway and stair flooring

Appliances

Item	Description	Action	Condition
Refrigerators	Units vary in age and condition	IM	Good/Fair
Ranges	Units vary in age and condition	IM	Good/Fair
Range hoods	Units vary in age and condition	IM	Good/Fair
Dishwashers	Not applicable	NA	Not applicable
Microwaves	Not applicable	NA	Not applicable
Garbage Disposals	Not applicable	NA	Not applicable
Dryers	Not applicable	NA	Not applicable
Washers	Not applicable	NA	Not applicable

Photographs



Interiors - 25 kitchen



Interiors - 49-13 kitchen



Interiors - 59-12 kitchen



Interiors - 72 kitchen

Cabinets & Fixtures

Item	Description	Action	Condition
Kitchen Sink & Countertop	Plastic laminated particle board	IM	Fair
Bathroom Sink and Countertop	Vanity unit with cultured marble counter with integral sink and plastic laminated particle board	IM	Fair
Kitchen Cabinetry	Wood frame with solid wood doors	IM	Fair
Bathroom Cabinetry	Wood frame with solid wood doors	IM	Fair
Bathtub/Shower and Enclosure	Enamel over steel bathtub with ceramic tile tub surround for most	IM	Fair
Toilet	Water saver toilet	IM	Fair
Accessories	Medicine cabinet Towel bars Wall mounted mirror	IM	Fair

Photographs



Interiors - 5 kitchen



Interiors - 25 bathroom



Interiors - 37 kitchen



Interiors - 48-18 bathroom



Interiors - 50 kitchen



Interiors - 59-5 kitchen



Interiors - 59-21 bathroom



Interiors - 72 kitchen



Interiors - 79-5 UFAS bathroom, need s/a wrap (Critical Repair)



Interiors - 79-5 UFAS kitchen sink, need S/A wrap (Critical Repair)



Interiors - 79-5 ADA shower



Interiors - 131 kitchen



Interiors - 185 kitchen



Interiors - 255 bathroom



Interiors - 305 kitchen



Interiors - 307 bathroom



Interiors - 409-13 kitchen

4.0 ADDITIONAL CONSIDERATIONS

4.1 MOISTURE AND MICROBIAL GROWTH

Microbial growth (e.g., mold or fungus) may occur when excess moisture is present. Porous building materials such as gypsum board, insulation in walls and ceilings, and carpeting retain moisture and become microbial growth sites if moisture sources are not controlled or mitigated. Potential sources of moisture include rainwater intrusion, groundwater intrusion, condensation on cold surfaces, and water leaks from building systems (e.g., plumbing leaks, HVAC system leaks, overflowing drains, etc.). Inadequate ventilation of clothes dryers and shower stalls may also result in excess moisture conditions. Microbial growth may be clearly visible (e.g., ceramic tile mortar in shower stalls) or may be concealed with no visible evidence of its existence (e.g., inside wall cavities). However, without proper tests, the existence of mold cannot be verified. Testing for mold is outside the scope of a base-line PNA.

AEI conducted a limited visual survey for the presence of microbial growth at the Property. Sampling or testing was not included in the scope of work for this survey. The assessment consisted of gaining entry to interior spaces, and visually evaluating the accessible areas.

Evan Smith reported that he was not aware of suspected mold or microbial growth at the Property and that tenant occupants have not had complaints concerning suspected mold or microbial growth. Evan Smith indicated that no formal indoor air quality management plan currently exists at the Property.

AEI identified no documents regarding indoor air quality or microbial concerns.

Evan Smith was not aware of any roof leaks, water leaks or infiltration and associated damage from pipes, fixtures, or HVAC systems at the Property.

ASSESSMENT / RECOMMENDATION

Mold should be remediated during renovations as discovered.

4.2 PEST MANAGEMENT

As part of the site and property assessment, AEI conducted limited, visual, non-intrusive observations to ascertain if there was evidence of wood destroying organism (WDO) activity on the physical structures at the Property during our site visit. Our WDO assessment process included visual observation of select interior and exterior building systems for noticeable signs of WDO activity, such as damaged or deteriorated wood, noticeable remnants of deceased WDO's (termites, beetles, ants, bees, etc.), and applying hand pressure (with a hard object tool) to reachable areas where these types of organisms generally attack to determine if there is any hidden damage to such surfaces (surfaces generally limited to trim work along baseboards and around windows).

Our WDO assessment process also included a limited visual and physical assessment of easily accessible and observable site conditions. The visual assessment included looking for noticeable signs of WDO activity on the Property, such as mud tubes on walls, round or oval holes, mounded

soil around building perimeters, trace insect residue, and damaged wood. Our observations of exterior materials also include the application of hand pressure to reachable areas where these types of organisms generally attack, to determine if there is any hidden damage to such surfaces. This information is provided incidental to our standard PNA assessment. WDO observations, conducted by AEI, are not intended, and may not be interpreted as a professional pest inspection, and AEI makes no representation or warranty as to these activities or observations.

Our WDO assessment did not identify any unusual problems or concerns related to WDO activity on the property.

ASSESSMENT / RECOMMENDATION

AEI recommends a WDO report for the wood structures at the site.

4.3 SEISMIC ZONE

AEI reviewed the property location in order to determine whether or not the site is located in an area that may constitute a seismic hazard as determined by the ASCE/SEI Standard ASCE 41-13 "Seismic Evaluation and Retrofit of Existing Buildings. The determination employs output from design mapping with data provided from the US Geological Survey.

Per Appendix 5C subparts B3 and B4 of the HUD MAP Guide (revised January 29, 2016), any detached or semi-detached structure where the calculated Design Earthquake Spectral Response Acceleration Parameter (S_{XS}) is less than .400g and any building where both Design Earthquake Spectral Response Acceleration Parameters (S_{XS} and S_{X1}) are less than .330g and .133g respectively, a detailed seismic hazard and building performance analysis is not required.

The values for S_{XS} and S_{X1} have been provided as output from a Design Maps Summary Report as derived from current USGS data.

A copy of the USGS data is included in the USGS Design Maps Appendix.

The value for S_{XS} was calculated at MORE than 0.330g.

The value for S_{X1} was calculated at MORE than 0.133g.

ASSESSMENT / RECOMMENDATION

Based on our field observations on November 26, 2019 and using the damage prediction method developed by Thiel and Zsutty, ground fault and acceleration data from the USGS database and SeismiCat; it is our professional judgment that the SEL estimates for the subject property are **15%, 16% and 19% for the 1-story, 2-story and 5-story buildings, respectively** of the replacement cost of the buildings.

It was determined that the site is not located within a mapped Earthquake Fault Zone as defined in the Alquist-Priolo Earthquake Zone Act. However, high ground accelerations are expected due to the close proximity of the N. San Andreas fault zone, which trenches approximately 6 miles from the site.

It appears that for this seismic area, the basic elements of a lateral force-resisting system have been provided in accordance with the Building Code in effect at the time of original construction and design.

Recommendations

Other than routine maintenance, no other recommendations are provided at this time.

4.4 WIND ZONE

AEI reviewed the property location in order to determine the wind zone in which the property is located. The Design Wind Speed measuring criteria are consistent with ASCE 7-05. Our judgement is that the property is located in Wind Zone I.

Wind Zones are defined as follows:

Zone I (130 MPH)

Zone II (160 MPH)

Zone III (200 MPH)

Zone IV (250 MPH)

Special Wind Zone

Hurricane Susceptible Zone

4.5 FLOOD PLAIN

AEI reviewed FEMA flood zone maps to identify the flood zone in which the property is located. According to Panel No. 06041C0507E, dated March 16, 2016, this property is located within Flood Zone X (Non-shaded).

Flood Zones are described as follows:

Flood Zone A, defined as an area of 100-year flood; base flood elevations and flood hazard factors not determined.

Flood Zone AE, defined as an area of 100-year flood; base flood elevation determined.

Flood Zone B, defined as an area between limits of the 100-year flood and 500-year flood; an area subject to 100-year flooding with average depths less than one foot or where the contributing drainage area is less than one square mile; or an area protected by levees from the base flood.

Flood Zone C, defined as an area of minimal flooding.

Flood Zone D, defined as an area of undetermined, but possible flood hazards.

Flood Zone V, defined as an area of 100-year flood with velocity (wave action); base flood elevations and flood hazard factors not determined.

Flood Zone X (shaded area), defined as an area of 500-year flood; an area of 100- year flood with average depths of less than one foot or with drainage areas less than one square mile; or an area protected by levees from 100-year flood.

Flood Zone X (non-shaded area), defined as an area outside the 500-year flood plain.

This information is provided for reference purposes only. Further Study may be undertaken at the discretion of our client.

4.6 KNOWN PROBLEMATIC BUILDING MATERIALS

The following list of Known Problematic Building Materials has been developed by Fannie Mae and is typically referenced in PNA reports as a general summary of systems or organisms that have been part of a manufacturer recalled or have been specifically identified as problematic. If these items are identified through reports or observation, the topic will be further discussed in the report sections listed in the following table:

Red Flag Material or System	Identified	Action Recommended
Fire Retardant Treated Plywood (FRTP)	No	Not applicable
Compressed Wood or Composite Board Siding	Yes	Routine Maintenance
Exterior Insulation and Finishing (EIFS)	No	Not applicable
Problem Drywall (aka "Chinese Drywall")	No	Not applicable
Unit electrical capacity less than 60 amps	Yes	Further Study
Electrical Overload Protection - Fused Subpanels	No	Not applicable
Federal Pacific Electric Stab-Lok panels	Yes	Repair
Polybutylene Water Distribution Lines	No	Not applicable
Galvanized Steel Water Distribution Lines	Yes	Not applicable
Recalled fire sprinkler heads (Central, Omega, Gem, Star)	No	Not applicable
Recalled Cadet Brand Electric in-Wall Heaters	No	Not applicable
Recalled General Electric / Hotpoint dishwashers	No	Not applicable
Microbial Growth	No	Not applicable
Wood Destroying Organisms	No	Not applicable

5.0 DOCUMENT REVIEW & INTERVIEWS

5.1 DOCUMENTS REVIEWED

Document	Source / Author	Date
Pre-Survey Questionnaire		
Construction Drawings	Marin Housing Authority	February 2021
ALTA Survey		
Historical Capital Schedule		
Rent Roll	Marin Housing Authority	October 31, 2019

5.2 INTERVIEWS

Contact Name	Contact Title	Contact Phone	Information Source Provided
Evan Smith	Property Manager	415.491.2558	Provided interview and conducted the site visit
Dante	Maintenance Supervisor	415.491.2558	Provided interview and conducted the site visit
Marin County Planning Division Website		415.473.6279	Received information related to planning and zoning
Marin County Building & Safety Division Website		415.473.6550	Received information related to building and life safety
Scott Alber	Fire Marshal Marin County Fire Department	415.473.6717	Received information related to fire and life safety

5.3 BUILDING CODE COMPLIANCE

AEI reviewed a record of open violations on file for the Property from the City of Marin County Building & Safety Division WebsiteDepartment .

No open violations were reported for the Property at the time of the assessment.

5.4 FIRE CODE COMPLIANCE

AEI requested a record of open violations on file for the Property from the City of Marin City Fire Department.

As of the date of this report, a written response has not been provided. AEI will continue to follow-up with the respective parties and will forward information received separately as soon as it has been received.

5.5 ZONING COMPLIANCE

The property is zoned RMP-13: Residential Multiple Planned and based on online research the property is a legal conforming use.

This information is provided for reference purposes only. Further Study may be undertaken at the discretion of our client.

AEI can perform a zoning review of the property for additional fee.

5.6 HUD REAL ESTATE ASSESSMENT CENTER (REAC) INSPECTION

AEI was not provided with a copy of the most recent REAC inspection for review. Therefore, it is recommended that the owner provide a copy of the most recent REAC inspection for review as a Critical Repair.

6.0 ACCESSIBILITY & INTRUSIVE EXAMINATIONS

6.1 ACCESSIBILITY

Determination of ADA, UFAS, FHA Applicability

Application	Yes/No	Definition
Age: Was this property constructed after July 1992? (ADAAG Question)	No	Under Title III of the ADA, all "new construction" (construction, modification, or alterations) after the effective date of the ADA (approx. July 1992) must be fully compliant with the ADAAG.
Use: Does the property feature areas of public accommodation? (ADAAG Question)	Yes, leasing office	A public accommodation is a private entity that owns, operates, leases, or leases to a place of public accommodation. Places of public accommodation include restaurants, hotels, theaters, doctor's offices, pharmacies, retail stores, museums, libraries, parks, private schools, and day care centers, and entities that offer certain examinations and courses related to educational or occupational certification.
Use: Is the property classified as a historic structure? (ADAAG Question)	Yes	Properties listed or are eligible for listing in the National Register of Historic Places or properties designated as historic under state or local law should comply to the "maximum extent feasible" unless the changes would destroy the historic significance of a feature of the building.
Use: Is the property classified as a private club or religious structure? (ADAAG Question)	No	Properties classified as such are exempt from complying with the ADAG.
Use: Does the property plan a significant renovation that is at least 20% of the value of the building? (If so, the renovation budget should include upgrades to correct all ADA issues). (ADAAG Question)	No	Alterations include, but are not limited to, remodeling, renovation, rehabilitation, reconstruction, historic restoration, changes or rearrangement in structural parts or elements, and changes or rearrangement in the plan configuration of walls and full-height partitions. Normal maintenance, reroofing, painting or wallpapering, asbestos removal, or changes to mechanical and electrical systems are not alterations unless they affect the usability of the building or facility.
Use: Does the property feature federal financial assistance? (UFAS Question)	Yes	Section 504 of the Rehabilitation Act of 1973 states: No otherwise qualified individual with a disability in the United States. . .shall, solely by reason of her or his disability, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program, service or activity receiving federal financial assistance or under any program or activity conducted by any Executive agency or by the United States Postal Service. (29 U.S.C. 794). This

Application	Yes/No	Definition
		means that Section 504 prohibits discrimination on the basis of disability in any program or activity that receives financial assistance from any federal agency, including the U.S. Department of Housing and Urban Development (HUD) as well as in programs conducted by federal agencies including HUD.
Age: Was this property constructed prior to July 11, 1988? (UFAS Question)	Yes	While UFAS is still applicable for all project based properties; HUD has allowed for load bearing wall, financial, and administrative burden exceptions to retroactively achieving UFAS compliance.
Age: Was this property constructed after March 13, 1991? (FHA Question)	No	Multi-family properties constructed after March 13, 1991 should be in compliance with the Fair Housing Act Accessibility Guidelines. There are select exceptions.
Age: Was this property provided original building permits after June 15, 1990? (FHA Question)	No	Buildings where the last building permit was issued on or before June 15, 1990 are not covered by the design and construction requirements. Even if the last building permit was issued after June 15, 1990, if the property was occupied before March 13, 1991, it is not covered. HUD adopted these dates to allow time for the requirements to be considered during the design and construction phase of new properties.

Abbreviated Screening Checklist for ADAAG Compliance

	Building History	Yes	No	N/A	Comments
1.	Has an ADA survey previously been completed on the property?		✓		No previous ADA Survey for the property was provided or reported.
2.	Have any ADA improvements been made to the property?		✓		
3.	Does a Transition Plan / Barrier Removal Plan exist for the property?		✓		
4.	Has building ownership or management received any ADA-related complaints that have not been resolved?		✓		
5.	Is any litigation pending related to ADA issues?		✓		
Parking					
1.	Are there sufficient accessible parking spaces with respect to the total number of reported spaces?	✓			320 total spaces 18 designated accessible spaces
2.	Are there sufficient van-accessible parking spaces available (96" wide aisle for van)?	✓			3 van accessible space is provided
3.	Are accessible spaces marked with the International Symbol of Accessibility? Are there signs reading "Van Accessible" at van spaces?	✓			

Building History		Yes	No	N/A	Comments
4.	Is there at least one accessible route provided within the boundary of the site from public transportation stops, accessible parking spaces, passenger loading zones, if provided, and public streets and sidewalks?	✓			
5.	Do curbs on the accessible route have depressed, ramped curb cuts at drives, paths, and drop-offs?		✓		
6.	If required does signage exist directing you to accessible parking and an accessible building entrance?		✓		
Ramps					
1.	Do all ramps along accessible path of travel appear to meet slope requirements? (1:12 or less) Please note shorter ramps can be more steep than 1:12 if rise is less than 6-inches.		✓		
2.	Are ramps that appear longer than 6 ft complete with railings on both sides?	✓			
3.	Does the width between railings appear to be at least 36 inches?	✓			
4.	Are the cross slopes less steep than 1:48?		✓		
5.	Do the ramp runs rise no more than 30-inches?		✓		
6.	Are there level landings at the bottom and top of the ramp runs?	✓			
Entrances/Exits					
1.	Do all required accessible entrance doorways appear at least 32 inches wide and not a revolving door?	✓			
2.	If the main entrance is inaccessible, are there alternate accessible entrances?			✓	
3.	Is the door hardware easy to operate (lever/push type hardware, no twisting required and not higher than approximately 48 inches above the floor)?		✓		
Paths of Travel					
1.	Are all paths of travel free of obstruction and wide enough for a wheelchair (appear at least 36 inches wide)?	✓			
2.	Are wheelchair-accessible facilities (toilet rooms, exits, etc.) identified with signage?		✓		
3.	Is there a path of travel that does not require the use of stairs?		✓		

	Building History	Yes	No	N/A	Comments
Elevators					
1.	Do the call buttons have visual and audible signals to indicate when a call is registered and answered when car arrives?			✓	
2.	Are there visual and audible signals inside cars indicating floor change?			✓	
3.	Are there standard raised and Braille marking on both jambs of each hoist way entrance as well as all cab/call buttons?			✓	
4.	Do elevator doors have a reopening device that will stop and reopen a car door if an object or a person obstructs the door?			✓	
5.	Are elevator controls low enough to be reached from a wheelchair (appears to be between 15 and 48 inches)?			✓	
6.	If a two-way emergency communication system is provided within the elevator cab, is it usable without voice communication?			✓	
Toilet Rooms					
1.	Are common area public restrooms located on an accessible route?			✓	
2.	Are pull handles push/pull or lever type?			✓	
3.	Are toilet room access doors wheelchair-accessible (appear to be at least 32 inches wide)?			✓	
4.	Are public restrooms large enough to accommodate a wheelchair turnaround (appear to have 60"• turning diameter)?			✓	
5.	Are toilet stall doors wheelchair accessible (appear to be at least 32"• wide)?			✓	
6.	Are grab bars provided in toilet stalls?			✓	
7.	Are sinks provided with clearance for a wheelchair to roll under?			✓	
8.	Are sink handles operable with one hand without grasping, pinching or twisting?			✓	
9.	Are exposed pipes under sink sufficiently insulated against contact?			✓	
Pools					
1.	Are public access pools provided? If the answer is no, please disregard this section.			✓	
2.	How many accessible access points are provided to each pool/spa? Provide number in comment field.			✓	

Abbreviated Screening Checklist for UFAS Compliance

Building History		Yes	No	N/A	Comments
Common Area Paths of Travel					
1.	Are all paths of travel free of obstruction and wide enough for a wheelchair?			✓	
2.	Do the common laundry rooms have a front controlled washing machine?		✓		
3.	Is there a path of travel that does not require the use of stairs to get to all common areas?			✓	
Play Area					
1.	Are the common area playgrounds accessible by wheelchair?	✓			
Designated Handicapped Dwelling Units					
1.	Do the unit entrance doors as well as the bathroom and bedroom doors feature 32" clear openings and low entrance thresholds for wheelchair access?	✓			
2.	Do all accessible doors have adequate space provided at latch side of door (see UFAS Figure 25)?		✓		
3.	Are exterior balconies/decks <1/2" below interior floor level?			✓	
4.	Are all switches, controls and outlets located at between 15" and 54" above floor		✓		
5.	Accessible Kitchens: Is a 30x48 clear space provided at range/cooktop as well as front controls?	✓			
6.	Accessible Kitchens: Is 40" clearance provided between counters, cabinets, walls, or appliances and opposing item. Is a 60" turning radius available in U-shaped kitchens if sink or range/cooktop is located at base of U? Are the sinks roll-under for a 30"x48" forward approach?	✓			
7.	Accessible Kitchens: Are the countertops and sinks lowered from 36" to approximately 34"?	✓			
8.	Accessible Bathrooms: Do the bathrooms feature adequate clear floor space to each of the fixtures?	✓			
9.	Accessible Bathrooms: Do the bathrooms feature accessible accessories (levered hardware, shower hoses, shower chairs or benches, lowered mirrors etc)?		✓		

Abbreviated Screening Checklist for FHA Compliance

Building History		Yes	No	N/A	Comments
Fair Housing Act Accessibility Review					
1.	Requirement 1. Are there accessible building entrances on an accessible route? All covered multifamily dwellings must have at least one accessible building entrance on an accessible route unless it is impractical to do so because of the terrain or unusual characteristics of the site.			✓	Built before 1991
2.	Requirement 2. Are the public and common use areas accessible? Covered housing must have accessible and usable public and common-use areas. Public and common-use areas cover all parts of the housing outside individual units. They include -- for example -- building-wide fire alarms, parking lots, storage areas, indoor and outdoor recreational areas, lobbies, mailrooms and mailboxes, and laundry areas.			✓	
3.	Requirement 3. Are the doors "Usable" (usable by a person in a wheelchair)? All doors that allow passage into and within all premises must be wide enough to allow passage by persons using wheelchairs (32-inch nominal clearance).			✓	
4.	Requirement 4. Is there an accessible route into and through the dwelling unit? There must be an accessible route into and through each covered unit.			✓	
5.	Requirement 5. Are the light switches, electrical outlets, thermostats and other environmental controls in accessible locations? Light switches, electrical outlets, thermostats and other environmental controls must be in accessible locations.			✓	
6.	Requirement 6. Are there reinforced walls in bathrooms for later installation of grab bars? Reinforcements in bathroom walls must be installed, so that grab bars can be added when needed. The law does not require installation of grab bars in bathrooms.			✓	

	Building History	Yes	No	N/A	Comments
7.	Requirement 7. Are the kitchens and bathrooms "Usable"? Kitchens and bathrooms must be usable - that is, designed and constructed so an individual in a wheelchair can maneuver in the space provided.			✓	

These checklists do not cover all of the requirements for ADA, UFAS, and Fair Housing compliance; therefore it is not for facilities undergoing new construction, remodels or alterations. In addition, these checklist do not attempt to illustrate all possible barriers/problems or propose all possible barrier removal and modifications solutions. Not all situations are covered above.

The checklist are intended as a general screening of the existing subject property and shall not be construed as a legal "Accessibility Survey." Additionally, not all areas of the subject property may have been accessed during the Capital Needs Assessment. AEI recommendations are offered and are based upon visual observations of deficiencies that are considered to be readily achievable. Further financial study of the recommendations may be necessary in order to determine if they may constitute an undue financial burden.

RECOMMENDATIONS

ADAAG Concerns:

- The ramp to the leasing office appears to have slopes that are non-compliant (Repair).

UFAS Concerns:

- The UFAS units were observed with non-compliant features (Repair).
- The laundry room fixtures were observed without front control hardware on the washers and dryers (Repair).

FHA Design Concerns:

- Not applicable.

Photographs



Interiors - 79-5 UFAS bathroom, need s/a wrap (Critical Repair)



Interiors - 79-5 UFAS kitchen sink, need S/A wrap (Critical Repair)



Interiors - 79-5 UFAS shower, no grab bars



Interiors - 79-5 kitchen



Interiors - 419-5 UFAS bathroom shower



Interiors - 419-5 UFAS bathroom, mirror too high, no s/a wrap



Interiors - 419-5 ADA kitchen



Interiors - Building 49 laundry room



Interiors - Building 69 laundry room



Interiors - Building 89 laundry room



Interiors - Building 99 laundry room



Site - ADA parking space with path to the nearest building

7.0 OPINIONS OF PROBABLE COST

7.1 RENOVATION COSTS

Date:	03/02/2021	1-story Building			Gross Square Feet:		20,855
Project:	Golden Gate Village	Total for (7) Buildings			Number of Units:		28
Address:	429 Drake Avenue				R.S. Means City Source:		San Francisco
City, State:	Marin City, California				Labor Type (Standard or Union):		Union, DBWR
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost
1	3	Concrete					\$ 21,973.00
	030130712010	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, clean/grind surface free of contaminants	LF	\$ 2.27	700.0	\$ 1,589.00
	030130712020	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, rout crack with v-notch crack chaser if needed	LF	\$ 3.24	700.0	\$ 2,268.00
	030130712030	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, blow out crack with oil-free dry compressed air (1 pass)	LF	\$ 0.31	700.0	\$ 217.00
	030130712040	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, cap crack with epoxy gel at underside of elevated slabs if needed	LF	\$ 3.19	700.0	\$ 2,233.00
	030130712050	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, insert backer rod in crack if needed	LF	\$ 2.31	700.0	\$ 1,617.00
	030130712060	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, partially fill crack with dry sand if needed	LF	\$ 1.15	700.0	\$ 805.00
	030130712070	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, apply 2 beads of sealant alongside crack to form a reservoir if needed	LF	\$ 2.62	700.0	\$ 1,834.00
	038113500300	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete slabs, plain, up to 3" deep, includes blade cost, layout and set up time	LF	\$ 3.12	1,400.0	\$ 4,368.00
	038113500320	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete, existing slab, plain, for each additional inch of depth over 3", includes blade cost, layout and set up time	LF	\$ 1.04	1,400.0	\$ 1,456.00
	033053405001	Concrete Floor Demo for MEP Repair	Structural concrete, in place, slab on grade (3000 psi), 4" thick, includes concrete (Portland cement Type I), placing and broom finish, excludes forms and reinforcing	SF	\$ 3.99	1,400.0	\$ 5,586.00
2	4	Masonry					\$ 42,303.60
	040120100520	CMU Repairs	Patching masonry, CMU patching, 1/4" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 20.75	360.0	\$ 7,470.00
	040120100540	CMU Repairs	Patching masonry, CMU patching, 3/8" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 28.28	360.0	\$ 10,180.80
	040120100580	CMU Repairs	Patching masonry, CMU patching, 1/2" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 36.11	360.0	\$ 12,999.60
	040120200600	CMU Repairs	Pointing masonry, tuck, cut and re-point, soft old mortar, running bond	SF	\$ 10.79	1,080.0	\$ 11,653.20
3	5	Metals					\$ 5,250.00
	AEI estimate	Utility Meter Enclosure Repairs	Repair/replace chain link fence style meter enclosures, gates, and locks	EA	\$ 750.00	7.0	\$ 5,250.00
4	6	Rough Carpentry					\$ 304,941.33
	060505103500	Selective Demolition- 35%	Selective demolition, wood framing, fascia boards, 2" x 8"	LF	\$ 2.32	1,820.0	\$ 4,222.40
	060505105684	Selective Demolition- 15%	Selective demolition, wood framing, rafters, 6/12 - 8/12 pitch, 2" x 8", 16" OC	SF	\$ 2.25	4,200.0	\$ 9,450.00
	060505106092	Selective Demolition- 25%	Selective demolition, wood framing, sheathing, 5/8", from roof	SF	\$ 1.53	4,200.0	\$ 6,426.00
	060505106720	Selective Demolition- 15%	Selective demolition, wood framing, wall framing, 2" x 4", includes studs, plates and blocking	SF	\$ 23.09	3,264.0	\$ 75,365.76
	090505302350	Selective Demolition- 15%	Walls and partitions demolition, metal or wood studs, finish two sides, plywood	SF	\$ 5.96	2,448.0	\$ 14,590.08
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	39.8	\$ 3,226.23
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	8.9	\$ 7,098.59
	074629102800	Wood Siding Replacement, plywood	Wood product siding, plywood, redwood textured panels, 5/8" thick	SF	\$ 5.73	840.0	\$ 4,813.20
	061516100650	Wood Roof T&G Replacement- 15%	Wood roof decking, douglas fir, 2" thick	SF	\$ 9.64	4,200.0	\$ 40,488.00
	061323102300	Heavy Timber Roof Joist replace- 10%	Wood framing, heavy mill timber, roof purlins, structural grade, 4" thick	LF	\$ 4.97	1,680.0	\$ 8,345.45
	061636100205	Roofing Lumber	Sheathing, plywood on roof, CDX, 5/8" thick, pneumatic nailed	SF	\$ 2.75	4,200.0	\$ 11,550.00
	061110022625	Attic Mic. Framing	2" x 4" miscellaneous wood blocking, to wood construction, pneumatic nailed, per M.B.F.	MBF	\$ 6,625.73	3.5	\$ 23,190.06
	061110022665	Attic Mic. Framing	2" x 8" miscellaneous wood blocking, to wood construction, pneumatic nailed	MBF	\$ 4,848.50	1.8	\$ 8,484.88
	061110060017	Attic Mic. Framing	1" x 3" wood bridging, for joists 16" OC, pneumatic nailed	PR	\$ 7.90	420.0	\$ 3,318.00
	061110305060	Roofing Lumber	Wood framing, roofs, rafters, ordinary, to 4 in 12 pitch, 2" x 8"	LF	\$ 4.26	896.0	\$ 3,816.96
	061110305880	Roofing Lumber	Wood framing, roofs, ridge boards, #2 or better, 2" x 8"	LF	\$ 6.91	910.0	\$ 6,288.10
	061110306070	Roofing Lumber	Wood framing, roofs, fascia boards, 2" x 8"	MBF	\$ 8,959.68	1.8	\$ 16,306.62
	AEI estimate	Meter Box Rebuild	3/4" plywood, 2" x 4" framing, mitered corners, hinges, screwed to block wall	EA	\$ 300.00	7.0	\$ 2,100.00
	061110420800	Cabinetry blocking	Furring, wood, on walls, on CMU, 1" x 3"	LF	\$ 5.14	2,352.0	\$ 12,089.28
	061110420300	Rough Carpentry- walls	Furring, wood, on walls, masonry, 1x2, 24" O.C. (LF of furring) - exterior and dividing masonry walls at all units, ceilings at select locations	LF	\$ 1.50	29,120	\$ 43,771.73
5	6	Finish Carpentry					\$ 50,924.90
	062213505950	Finish Carpentry	Units - Moldings, window & door, window trim sets, 2-1/2" wide, includes casings, header, stops, stool & apron, pine	Opng.	\$ 97.93	520	\$ 50,924.90
6	7	Thermal and Moisture Protection					\$ 40,913.60
	079213200055	Exterior Window Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	3,792.0	\$ 13,272.00
	079213200060	Exterior Door Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 3/8", in place	LF	\$ 3.54	5,040.0	\$ 17,841.60
	079213200055	Interior Dissimilar Material Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	2,800.0	\$ 9,800.00
7	7	Insulation					\$ 5,300.00
	AEI allowance	Insulation	Window and Door chinking/grouting	EA	\$ 25.00	212.0	\$ 5,300.00
8	7	Roofing					\$ 640,561.77
	070505101170	Roofing Demolition	Selective demolition, thermal and moisture protection, roof accessories, adjustable metal chimney flashing	EA	\$ 92.10	56	\$ 5,157.60
	070505101325	Roofing Demolition	Selective demolition, thermal and moisture protection, roof accessories, plumbing vent flashing	EA	\$ 25.83	350	\$ 9,040.50
	070505103125	Roofing Demolition	Selective demolition, thermal and moisture protection, roofing, roofing felt, #30	SQ	\$ 27.55	420	\$ 11,571.00
	070505103180	Roofing Demolition	Selective demolition, thermal and moisture protection, roofing, asphalt shingles, 2 layers	SF	\$ 2.39	28,000	\$ 66,920.00
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	52.5	\$ 4,252.50
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	10.4	\$ 8,296.30
	075216101600	*Code 7A Fire: Mineral Cap Sheet	SBS modified bituminous membrane, smooth surface cap sheet, 145 mils, mopped	SF	\$ 4.42	28,000.0	\$ 123,760.00
	079213203500	*Code 7A Fire: Caulking Eaves/Soffits	Joint sealants, caulking and sealants, polyurethane, bulk, in place, 1 or 2 component, 1/4" x 1/4"	LF	\$ 3.61	3,400.0	\$ 12,274.00
	079213203510	*Code 7A Fire: Caulking Eaves/Soffits	Joint sealants, caulking and sealants, polyurethane, bulk, in place, 1 or 2 component, 1/4" x 3/8"	LF	\$ 3.78	5,100.0	\$ 19,278.00
	073113100505	New Shingle Roofing	Asphalt shingles, premium, laminated multi-layered shingles, class A, 300-385 lb/sq, pneumatic nailed	SQ	\$ 748.59	462	\$ 345,848.58
	073113100825	New Shingle Roofing	Asphalt shingles, #30 felt underlayment	SQ	\$ 29.41	462	\$ 13,587.42
	073113100850	New Shingle Roofing	Asphalt shingles, self adhering polyethylene and rubberized asphalt underlayment	SQ	\$ 134.34	116	\$ 15,516.27
	073113100905	New Shingle Roofing	Asphalt shingles, ridge shingles, pneumatic nailed	LF	\$ 5.56	910	\$ 5,059.60
9	7	Sheet Metal					\$ 19,551.00
	076510100100	Roofing Sheet Metal Flashing	Sheet metal flashing, aluminum, flexible, mill finish, .032" thick, including up to 4 bends	SF	\$ 9.31	2,100	\$ 19,551.00
10	8	Doors					\$ 380,148.46
	080505100200	Selective Demolition	Door demolition, exterior door, single, 3' x 7' high, 1-3/4" thick, remove	EA	\$ 53.53	36.0	\$ 1,927.08
	080505101500	Selective Demolition	Door demolition, interior door, hollow core, remove	EA	\$ 53.53	280.0	\$ 14,988.40
	080505102200	Selective Demolition	Door demolition, door frames, wood, remove	EA	\$ 66.50	336.0	\$ 22,344.00

Date:	03/02/2021	1-story Building			Gross Square Feet:	20,855	
Project:	Golden Gate Village	Total for (7) Buildings			Number of Units:	28	
Address:	429 Drake Avenue				R.S. Means City Source:	San Francisco	
City, State:	Marin City, California				Labor Type (Standard or Union):	Union, DBWR	
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost
024119192150		Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	9.1	\$ 739.37
024119195000		Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	18.1	\$ 14,488.89
081723101640		Unit Entry Door	Doors, prehung, exterior, entrance door, flush, birch, solid core, 4-5/8" solid jamb, 1-3/4" x 6'-8" x 3'-0" wide	EA	\$ 559.76	56.0	\$ 31,346.56
083213100400		Unit Patio Doors	Doors, glass, sliding, aluminum, premium, 5/8" tempered insulated glass, 6'-0" x 6'-8"	EA	\$ 2,141.00	28.0	\$ 59,948.00
081723105000		Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-6" wide	EA	\$ 504.58	120.0	\$ 60,549.60
081723105020		Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-8" wide	EA	\$ 349.22	92.0	\$ 32,128.24
081433204460		Unit Closet Door	Doors, wood, residential, interior, bi-passing closet, flush, luan, 6'-0" x 6'-8", incl. hardware and frame, excl. trim	EA	\$ 389.92	68.0	\$ 26,514.56
087120401400		Entry Door Hardware	Door hardware, lockset, heavy duty, cylindrical, with sectional trim, residential, minimum	EA	\$ 247.79	56.0	\$ 13,876.35
087120411000		Entry Door Hardware	Door hardware, deadlock, tubular, standard duty, outside key	EA	\$ 110.69	56.0	\$ 6,198.44
087120452020		Entry Door Hardware	Peepholes, wide view	EA	\$ 32.00	56.0	\$ 1,792.00
087120650800		Entry Door Hardware	Thresholds, rubber, 2-3/4" x 1/2"	EA	\$ 79.26	56.0	\$ 4,438.39
087120401100		Interior Door Hardware	Door hardware, non-keyed, heavy duty, cylindrical, with sectional trim, residential, interior door, minimum	EA	\$ 325.00	212.0	\$ 68,900.00
087120501300		Interior Door Hardware	Door stops, wall bumper, 4" dia., w/rubber pad	EA	\$ 31.38	212.0	\$ 6,653.40
087120900012		All Door Hardware	Hinges, full mortise, steel base	SET	\$ 39.63	336.0	\$ 13,315.18
11	8	Windows					\$ 147,870.26
080505200200		Window Demolition	Window demolition, aluminum, to 12 S.F.	EA	\$ 53.53	112.0	\$ 5,995.36
080505200280		Window Demolition	Window demolition, aluminum, to 50 S.F.	EA	\$ 171.93	44.0	\$ 7,564.92
024119192150		Window Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	2.2	\$ 176.90
024119195000		Window Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	2.9	\$ 2,311.11
085113204100		New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 3'-0" x 2'-0" opening, incl. frame and glazing	EA	\$ 507.08	48.0	\$ 24,339.84

Date:	03/02/2021		1-story Building		Gross Square Feet:		20,855	
Project:	Golden Gate Village		Total for (7) Buildings		Number of Units:		28	
Address:	429 Drake Avenue				R.S. Means City Source:		San Francisco	
City, State:	Marin City, California				Labor Type (Standard or Union):		Union, DBWR	
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost	
085113204400		New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 5'-0" x 3'-0" opening, incl. frame and glazing	EA	\$ 746.37	64.0	\$ 47,767.68	
085113204700		New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 8'-0" x 4'-0" opening, incl. frame and glazing	EA	\$ 1,049.98	16.0	\$ 16,799.68	
085113205100		New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 9'-0" x 5'-0" opening, incl. frame and glazing	EA	\$ 1,532.67	28.0	\$ 42,914.76	
12	8	Glass	NONE INCLUDED		\$ -		\$ -	
13	9	Lath and Plaster					\$ 24,808.00	
		074646100030	Exterior Stucco Panel Repair	Repair and fill select areas of concrete stucco with textured finish	SF	\$ 4.43	5,600	\$ 24,808.00
14	9	Drywall					\$ 58,970.54	
		090505100200	Drywall demolition	Ceiling demolition, gypsum wall board, furred and nailed, remove	SF	\$ 1.48	700.0	\$ 1,036.00
		090505301000	Drywall demolition	Walls and partitions demolition, gypsum wallboard, per s.f., nailed or screwed	SF	\$ 0.60	3,840.0	\$ 2,304.00
		024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	22.4	\$ 1,814.40
		024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	33.2	\$ 26,548.15
		092910302050	Unit Drywall	Gypsum wallboard, on walls, standard, taped & finished (level 4 finish), 5/8" thick	SF	\$ 1.63	3,840.0	\$ 6,261.85
		092910305350	Unit Drywall	Gypsum wallboard, for finishing corners, inside, add	LF	\$ 2.54	1,344.0	\$ 3,413.76
		092910305355	Unit Drywall	Gypsum wallboard, for finishing outer corners, add	LF	\$ 2.11	7,168.0	\$ 15,124.48
		092910303050	Unit Drywall	Gypsum wallboard, on ceilings, standard, taped & finished (level 4 finish), 5/8" thick	SF	\$ 3.53	700	\$ 2,467.90
15	9	Ceramic Tile					\$ 38,331.24	
		090505303760	Ceramic tile demolition	Walls and partitions demolition, tile, ceramic, on walls, thin set	SF	\$ 2.94	812	\$ 2,387.28
		090505202000	Ceramic tile demolition	Flooring demolition, tile, ceramic, thin set	SF	\$ 2.60	150	\$ 390.00
		024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	72.2	\$ 5,844.15
		024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	3.0	\$ 2,375.31
		093113103300	Ceramic Tile Floors- ADA Bathrooms	Ceramic tile, floors, glazed, porcelain type, 1 color, color group 2, 1" x 1"	SF	\$ 15.07	150	\$ 2,260.50
		093113102100	Ceramic Tile Bath Surrounds	Ceramic tile, bathtub, adhesive set, 5' w x 7' h, with 4-1/4" x 4-1/4" tile wainscot	EA	\$ 895.50	28	\$ 25,074.00
16	9	Acoustical					\$ -	
			NONE INCLUDED		\$ -		\$ -	
17	9	Wood Flooring					\$ -	
			NONE INCLUDED		\$ -		\$ -	
18	9	Resilient Flooring					\$ 174,040.83	
		090505200900	Selective demolition	Flooring demolition, vinyl composition tile, 12" x 12"	SF	\$ 1.76	20,855.0	\$ 36,704.80
		024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	52.1	\$ 4,223.14
		024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	5.8	\$ 4,634.44
		AEI estimate	Unit Floor Prep	Scrape, repair, level concrete floor to receive vct flooring	SF	\$ 0.25	20,855.0	\$ 5,213.75
		096519197400	Unit Resilient Flooring	Flooring, vinyl composition tile, solid, 12" x 12" x 1/8"	SF	\$ 3.94	20,855.0	\$ 82,168.70
		096513131100	Unit Resilient Flooring	Wall base, rubber, straight or cove, standard colors, 4" high, 1/8" thick	SF	\$ 4.67	8,800.0	\$ 41,096.00
19	9	Painting					\$ 170,961.72	
		090190930810	Paint Preparation	Surface preparation, exterior, siding, masonry, brick & block, pressure wash, based on 2500 lb operating pressure	SF	\$ 0.40	20,160.0	\$ 8,064.00
		099113900410	Building Facade- First Floor	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, first coat, latex, roller	SF	\$ 0.76	20,160.0	\$ 15,321.60
		099113900420	Building Facade- First Floor	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, second coat, latex, roller	SF	\$ 0.62	20,160.0	\$ 12,499.20
		099113620530	Building Facade- Second Floor	Paints & coatings, siding, misc., smooth wood (butt, T&G, beveled, drop, or B&B siding), primer + 2 coats, exterior latex, roller	SF	\$ 2.41	6,272.0	\$ 15,115.52
		099113620570	Building Facade- Second Floor	Paints & coatings, siding, misc., smooth wood (butt, T&G, beveled, drop, or B&B siding), primer + 2 coats, exterior latex, spray	SF	\$ 1.36	6,272.0	\$ 8,529.92

Date:	03/02/2021		1-story Building			Gross Square Feet:		20,855
Project:	Golden Gate Village		Total for (7) Buildings			Number of Units:		28
Address:	429 Drake Avenue					R.S. Means City Source:		San Francisco
City, State:	Marin City, California					Labor Type (Standard or Union):		Union, DBWR
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost	
099113800150		Building Facade- Second Floor	Paints & coatings, trim, exterior, fascia, latex paint, 1 coat coverage, brushwork, 1" x 6" to 1" x 10"	LF	\$ 1.61	1,620.0	\$ 2,608.20	
099113800120		Building Facade- Second Floor	Paints & coatings, trim, exterior, fascia, latex paint, 1 coat coverage, brushwork, 1" x 4"	LF	\$ 1.54	1,620.0	\$ 2,494.80	
099113700170		Painting, exterior	Paints & coatings, exterior doors, flush, roll & brush, finish coat, exterior latex, incl. frame & trim	EA	\$ 103.68	36.0	\$ 3,732.48	
099113700120		Painting, exterior	Paints & coatings, exterior door frames & trim only, brushwork, finish coat, exterior latex	LF	\$ 2.00	324.0	\$ 648.00	
099123722110		Painting, Interior	Paints & coatings, walls & ceilings, interior, masonry or concrete block, latex paint, smooth finish, roller	SF	\$ 0.99	19,440.0	\$ 19,245.60	
099123720480		Painting, Interior	Paints & coatings, walls & ceilings, interior, concrete, drywall or plaster, latex paint, 1 coat, smooth finish, spray	SF	\$ 0.50	46,080.0	\$ 23,040.00	
099123350140		Painting, Interior	Paints & coatings, interior latex, doors, flush, both sides, roll & brush, primer + 2 coats, incl. frame & trim	EA	\$ 213.08	280.0	\$ 59,662.40	
20	10	Specialties					\$ 38,930.07	
024116190370		Selective demolition - bathroom	Minor building deconstruction, salvage labor, toilet accessories (5% of line item cost)	EA	\$ 20.40	196.0	\$ 3,997.42	
024119192150		Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	7.0	\$ 567.00	
102813130200		Specialties	Toilet accessories, curtain rod, stainless steel, 1" diameter x 5' long	EA	\$ 73.34	28.0	\$ 2,053.39	
102813136500		Specialties	Toilet accessories, towel bar, stainless steel, 30" long	EA	\$ 80.62	56.0	\$ 4,514.92	
102813134300		Specialties	Toilet accessories, robe hook, regular, single	EA	\$ 25.83	56.0	\$ 1,446.30	
102813136100		Specialties	Toilet accessories, toilet tissue dispenser, stainless steel, surface mount, single roll	EA	\$ 38.13	28.0	\$ 1,067.51	
102816200020		Specialties	Bath accessories, medicine cabinet, with mirror, stainless steel frame, unlighted, 16" x 22"	EA	\$ 142.12	28.0	\$ 3,979.25	
Industry Average		Specialties	Range Queens, pair	EA	\$ 91.10	28.0	\$ 2,550.80	
Industry Average		Specialties	Stainless-steel splash guards @ ranges	EA	\$ 68.33	28.0	\$ 1,913.10	
105723190200		Specialties	Wood shelving, pine, clear grade, no edge band, 1x12 (Closet shelving, Avg. 40lf/unit)	LF	\$ 10.98	1,120	\$ 12,294.86	
105523100300		Specialties	Mail boxes, horizontal, key lock, 5" H x 6" W x 15" D, aluminum, front load	EA	\$ 97.93	28.0	\$ 2,742.11	
101423131050		Specialties	Signs, flexible door sign, adhesive back, w/Braille, 5/8" letters, 6" x 6"	EA	\$ 64.41	28.0	\$ 1,803.42	
21	10	Special Equipment					\$ -	
			NONE INCLUDED				\$ -	
22	11	Cabinets					\$ 319,568.79	
060505201000		Selective demolition - cabinets	Selective demolition, millwork and trim, wood base cabinets	LF	\$ 23.09	392.0	\$ 9,051.28	
060505201020		Selective demolition - cabinets	Selective demolition, millwork and trim, wood wall cabinets	LF	\$ 23.09	392.0	\$ 9,051.28	
060505201510		Selective demolition - countertops	Selective demolition, millwork and trim, counter top, L, U or C shapes	LF	\$ 15.43	392.0	\$ 6,048.56	
024116190370		Selective demolition - bathroom	Minor building deconstruction, salvage labor, vanity (15% of line item cost)	EA	\$ 61.19	28.0	\$ 1,713.18	
024119192150		Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	31.5	\$ 2,551.50	
024119195000		Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	7.2	\$ 5,771.11	
123223109600		New cabinets- RS Means Rule of Thumb	Custom cabinets, rule of thumb: kitchen cabinets, excl. counters & appliances, maximum	LF	\$ 562.57	392.0	\$ 220,527.44	
123623301540		New Countertops	Countertops, plastic laminate, 24" wide, 1-1/2" thick edging, plastic laminate edging, maximum	LF	\$ 50.68	392.0	\$ 19,866.56	
123623302640		Add backsplashes to countertops	Countertops, plastic laminate, backsplash, add to above, maximum	LF	\$ 29.41	392.0	\$ 11,528.72	
123223308050		New Bathroom Vanity Cabinets	Wood casework vanities, base, 2 door, 30" h x 21" d x 30" w	EA	\$ 615.05	28.0	\$ 17,221.40	
224116131040		New Bathroom Vanity Tops	Lavatory, vanity top, cultured marble, white, single bowl, 25" x 19", includes trim	EA	\$ 579.92	28.0	\$ 16,237.76	
23	11	Appliances					\$ -	
			NONE INCLUDED				\$ -	
24	12	Blinds and Shades, Artwork					\$ 23,832.64	
120505104920		Demolition blinds	Selective demolition, blinds, interior, horizontal or vertical	LF	\$ 4.55	844	\$ 3,840.20	
122113130020		Blinds and Shades	Blinds, interior, horizontal, 1" aluminum slats, solid color, stock	SF	\$ 6.94	2,880	\$ 19,992.44	
25	12	Carpets					\$ -	
			NONE INCLUDED				\$ -	
26	13	Special Construction					\$ 305,684.02	
RS Means SF		Sprinklers- 1st floor	Wet pipe sprinkler systems, steel, light hazard, 4 floors, 10,000 sf	SF	\$ 2.40	20,855.0	\$ 50,052.00	
078413100250		Special Construction	Firestopping, metallic piping, insulated, through floors 4" diameter (2 per unit)	EA	\$ 26.15	28.0	\$ 732.08	
078413100210		Special Construction	Firestopping, metallic piping, insulated, through walls 4" diameter (2 per unit)	EA	\$ 52.15	28.0	\$ 1,460.33	
038213100500		Special Construction	Concrete core drilling, 4" diameter, up to 6" thick slab (2 per unit)	EA	\$ 80.40	56	\$ 4,502.16	
024113381000		Special Construction	Selective demo, sewer piping & fittings, ductile iron pipe, 8" diameter (Sewer lines)	LF	\$ 15.24	700	\$ 10,668.72	
024113381000		Demolition	Selective demo, sewer piping & fittings, ductile iron pipe, 4" diameter (Sewer lines)	LF	\$ 15.24	700	\$ 10,668.72	
Industry Average		Final Cleaning	Apartment punch-out, cleaning, prelease procedures - Industry Average	EA	\$ 450.00	28	\$ 12,600.00	
Industry Average		Special Construction	ADA A/V Upgrades for Hearing Impaired	EA	\$ 2,500.00	2	\$ 5,000.00	
Industry Average		Demolition	Bulk Hazardous Materials Removal (Asbestos, Lead, and Mold)	Apt	\$ 7,500.00	28	\$ 210,000.00	
27	14	Elevators					\$ -	
			NONE INCLUDED				\$ -	
28	15	Plumbing and Hot Water					\$ 480,941.32	
AEI estimate		MEP demolition	Make safe, cap, remove all MEP piping, devices, fixtures, cable, haul off and dispose	SF	\$ 2.75	20,855.0	\$ 57,351.25	
D2010 Sq. Ft. Est		Plumbing	Three fixture bathroom - lavatory, bathtub, & water closet - system includes rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$ 7.13	20,855.0	\$ 148,696.15	
D2010 Sq. Ft. Est		Plumbing	Kitchen sink system - Kitchen sink w/trim, countertop, 32"x21" double bowl - systems are complete w/trim and rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$ 2.35	20,855.0	\$ 49,009.25	
D2010 Sq. Ft. Est		Domestic Water Distribution	Electric/gas Water Heater, residential, 50-gallon tank	SF	\$ 8.59	20,855.0	\$ 179,144.45	
223430132900		Plumbing	Water heater, safety pan drain, 26" round	EA	\$ 55.12	28	\$ 1,543.23	
231123200130		Plumbing	Gas piping, flexible (CSST), tubing with lightning protection, 3/4" (Interior gas line replacement)	LF	\$ 16.25	1,400.0	\$ 22,753.14	
231123200260		Plumbing	Gas piping, flexible (CSST), tubing, for underground/under slab burial, 1-1/2" (Exterior gas line replacement)	LF	\$ 36.39	350.0	\$ 12,738.06	
231123104010		Plumbing	Gas meter, residential, 3/4" pipe size	EA	\$ 346.64	28.0	\$ 9,705.79	
29	15	Heat and Ventilation					\$ 140,523.04	
235416133564		HVAC	Furnace, gas fired furnace, horizontal flow, 1,200 CFM, 45 MBH, includes standard controls, excludes gas, oil or flue piping	EA	\$ 2,138.66	28	\$ 59,882.48	
233113130500		HVAC	Air Distribution Ductwork	LF	\$ 9.10	4,480	\$ 40,768.00	

Date:	03/02/2021	1-story Building		Gross Square Feet:	20,855		
Project:	Golden Gate Village	Total for (7) Buildings		Number of Units:	28		
Address:	429 Drake Avenue			R.S. Means City Source:	San Francisco		
City, State:	Marin City, California			Labor Type (Standard or Union):	Union, DBWR		
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost
	233713100200	HVAC	Diffuser, aluminum, ceiling, also for sidewall, 8" wide, includes opposed blade damper	EA	\$ 65.14	196	\$ 12,766.75
	113013194150	Kitchen Ventilation	Range hood, residential appliances, vented, min, 2 speed, 30" wide, minimum	EA	\$ 484.37	28	\$ 13,562.36
	233423106670	Bathroom Ventilation	Fans, residential, bath exhaust, grille, back draft damper, 110 CFM	EA	\$ 247.29	28	\$ 6,924.12
	233423106946	Ventilation	Exhaust vent wall cap, 3" & 4" round duct - (Install bathroom exhaust)	EA	\$ 87.46	28	\$ 2,448.77
	233346101500	Ventilation	Exhaust vent duct - flexible, non-insulated, 3" diameter - (Install bathroom exhaust)	LF	\$ 4.29	280	\$ 1,201.43
	233113165410	Heat and Ventilation	Duct, round, spiral, galv., 4" dia., 26 ga. - (Replace exhaust vents unit water heaters)	LF	\$ 5.30	560	\$ 2,969.13
30	15	Air Conditioning					\$ -
			<i>NONE INCLUDED</i>				\$ -
31	16	Electrical					\$ 604,533.51
	D5010 Sq. Ft. Est	Electrical Service/Distribution	Electrical Service/Distribution - Underground service installation, includes excavation, backfill, and compaction, 100' length, 4' depth, 3 phase, 4 wire, 277/480 volts, 2000 A; Feeder installation 600 V, including RGS conduit and XHHW wire, 2000 A; Switchgear installation, incl switchboard, panels & circuit breaker, 120/208 V, 3 phase, 2000 A	SF	\$ 10.47	20,855	\$ 218,351.85
	D5020 Sq. Ft. Est	Lighting and Branch Wiring	Lighting and Branch Wiring - Receptacles incl plate, box, conduit, wire, 10 per 1000 SF, 1.2 watts per SF; Wall switches, 2.5 per 1000 SF; Miscellaneous power, 2 watts; HVAC power; Motor installation, three phase, 200 V, 15 HP motor size; Incandescent fixtures recess mounted, type A, 1 watt per SF, 8 FC, 6 fixtures per 1000 SF	SF	\$ 14.07	20,855	\$ 293,429.85
	D5030 Sq. Ft. Est	Communications and Security	Communications and Security - Communication and alarm systems, fire detection, includes outlets, boxes, conduit and wire	SF	\$ 2.08	20,855	\$ 43,378.40
	262416100300	Electrical Service/Distribution	Load centers, 1 phase, 3 wire, main lugs, indoor, 120/240 V, 100 amp, 12 circuits, incl 20 A 1 pole plug-in breakers	EA	\$ 1,411.69	28	\$ 39,527.32
	265623101160	Electrical	Exterior lighting - HPS fixture, exterior, wall pack, 70 watt, incl. lamps	EA	\$ 351.65	28	\$ 9,846.09
32	0	Subtotal (Structures)					\$ 4,040,863.63
33	0	Accessory Structures					\$ -
			<i>NONE INCLUDED</i>				\$ -
34	0	Total (Lines 33 and 34)					\$ 4,040,863.63
35	31	Earthwork					\$ 18,283.28
	329119131000	Building perimeter regrade/repair	Topsoil placement and grading, fine grading and seeding, with equipment	SY	\$ 4.75	1,960.0	\$ 9,310.00
	310513100800	Building perimeter regrade/repair	Soils for earthwork, topsoil, includes load and haul 2 miles	CY	\$ 32.20	217.8	\$ 7,013.28
	312323131100	Building perimeter regrade/repair	Backfill and compact, by hand, 12" layers, compaction in layers, vibrating plate, add to above	ECY	\$ 9.00	217.8	\$ 1,960.00

Date:	03/02/2021	1-story Building			Gross Square Feet:	20,855	
Project:	Golden Gate Village	Total for (7) Buildings			Number of Units:	28	
Address:	429 Drake Avenue				R.S. Means City Source:	San Francisco	
City, State:	Marin City, California				Labor Type (Standard or Union):	Union, DBWR	
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost
36		Site Utilities					\$ 258,168.13
	333111252040	Sanitary Sewer VCP Replacement	Public sanitary utility sewerage piping, piping polyvinyl chloride pipe, B & S, 20' lengths, 6" diameter, SDR 35, excludes excavation or backfill	LF	\$ 13.04	700.0	\$ 9,128.00
	333111253080	Sanitary Sewer VCP Replacement	Public sanitary utility sewerage piping, piping polyvinyl chloride pipe, fittings, bends or elbows, 6" diameter, SDR 35, excludes excavation or backfill	EA	\$ 108.39	84.0	\$ 9,104.76
	333111253670	Sanitary Sewer VCP Replacement	Public sanitary utility sewerage piping, cap, polyvinyl chloride, 6", SDR 35	EA	\$ 211.00	56.0	\$ 11,816.00
	331413254120	Domestic Water	Water supply distribution piping, polyvinyl chloride pressure pipe, 2", ASTM D2241, class 200, SDR 21, includes trenching to 3' deep	LF	\$ 26.75	350.0	\$ 9,362.50
	221119421160	Domestic Water	Backflow preventer, double check principle, corrosion resistant, automatic operation, gate valves, threaded, 2" pipe size, includes valves and four test cocks	EA	\$ 2,481.59	7.0	\$ 17,371.13
	221119387300	Domestic Water	Water supply meter, turbine type, flanged, to 160 GPM, 2" diameter	EA	\$ 923.11	28.0	\$ 25,847.08
	221119381140	Fire Main- new	Water supply meter, detector, serves dual systems such as fire and domestic or process water, wide range capacity, 700 GPM, 4" mainline x 2" by-pass, UL and FM approved	EA	\$ 10,418.12	7.0	\$ 72,926.84
	221119421220	Fire Main- new	Backflow preventer, double check principle, corrosion resistant, automatic operation, gate valves, flanged, 4" pipe size, includes valves and four test cocks	EA	\$ 4,101.22	7.0	\$ 28,708.54
	331413152020	Fire Main- new	Water supply distribution piping, ductile iron pipe, cement lined, mechanical joint, no fittings, 18' lengths, 4" diameter, class 50, excludes excavation or backfill	LF	\$ 74.93	350.0	\$ 26,225.50
	312316130060	All Utilities	Excavating, trench or continuous footing, common earth, 1/2 C.Y. excavator, 1' to 4' deep, excludes sheeting or dewatering	BCY	\$ 8.47	311.1	\$ 2,635.11
	312316131352	All Utilities	Excavating, trench or continuous footing, common earth, 1/2 C.Y. excavator, 4' to 6' deep, includes trench box, excludes dewatering	BCY	\$ 13.94	466.7	\$ 6,505.33
	312316133020	All Utilities	Excavating, trench backfill, 1 C.Y. bucket, minimal haul, front end loader, wheel mounted, excludes dewatering	LCY	\$ 3.70	777.8	\$ 2,877.78
	024113233200		Utility removal, pipe, sewer/water, steel, welded connections, 4" diameter, remove, excludes excavation, hauling	LF	\$ 14.01	1,400.0	\$ 19,614.00
	312323160050	All Utilities	Fill by borrow and utility bedding, for pipe and conduit, crushed or screened bank run gravel, excludes compaction	LCY	\$ 58.15	155.6	\$ 9,045.56
	312323131100	All Utilities	Backfill and compact, by hand, 12" layers, compaction in layers, vibrating plate, add to above	ECY	\$ 9.00	777.8	\$ 7,000.00
37		Roads & Walks					\$ 41,876.43
	024113175010	Demolition Req'd for Utility Replacement	Demolish, remove pavement & curb, remove bituminous pavement, up to, 3" thick, excludes hauling and disposal fees	SY	\$ 7.12	350.0	\$ 2,492.00
	024113304100	Demolition Req'd for Utility Replacement	Minor site demolition, sidewalk, concrete, plain, 4" thick, remove, excludes hauling	SY	\$ 14.01	233.3	\$ 3,269.00
	024119193000	Demolition Req'd for Utility Replacement	Selective demolition, rubbish handling, loading & trucking, chute loaded, including 2 mile haul, cost to be added to demolition cost (Avg. 7 CY per unit)	C.Y.	\$ 55.80	17.3	\$ 963.46
	320610100100	Asphalt Patch for Utility Replacement	Sidewalks, driveways, and patios, side walks, asphaltic concrete, 2-1/2" thick, excludes base	SY	\$ 18.53	350.0	\$ 6,485.50
	320610100310	Concrete Patch for Utility Replacement	Sidewalks, driveways, and patios, sidewalk, concrete, cast-in-place with 6 x 6 - W1.4 x W1.4 mesh, broomed finish, 3,000 psi, 4" thick, excludes base	SF	\$ 6.39	2,100.0	\$ 13,419.00
	320610100450	Base for Asphalt and Concrete Patch	Sidewalks, driveways, and patios, sidewalks, concrete, excludes base, for 4" thick bank run gravel base, add	SF	\$ 1.74	2,100.0	\$ 3,654.00
	320610102160	Spread Base for Asphalt and Concrete Patch	Sidewalks, driveways, and patios, sidewalk, load, dump and spread stone, 100' haul, with skid steer, excludes base	CY	\$ 91.32	64.8	\$ 5,912.97
	321613130410	Concrete Curb Repair for Utility Replacement	Cast-in place concrete curbs & gutters, concrete, steel forms, straight, 6" x 18", includes concrete	LF	\$ 16.23	350.0	\$ 5,680.50
38		Exterior Improvements					\$ -
			NONE INCLUDED				\$ -
39		Lawns and Plantings					\$ 52,851.93
	329119131000	Perimeter Landscaping Restoration	Topsoil placement and grading, fine grading and seeding, with equipment	SY	\$ 3.74	1,960	\$ 7,338.65
	310513100800	Perimeter Landscaping Restoration	Soils for earthwork, topsoil, includes load and haul 2 miles	CY	\$ 32.20	218	\$ 7,013.28
	AEI allowance	Perimeter Landscaping Restoration	Restoration of foundation plantings for renovation work	EA	\$ 5,500.00	7.0	\$ 38,500.00
40		Unusual Site Conditions					\$ -
			NONE INCLUDED				\$ -
41		Total Land Improvements					\$ 371,179.77
		Combined Structure and Land Improvement Cost					\$ 4,412,043.40
		Soft Costs and Fees					
		PIH 2018-04 % allowed	Contingency	7.50%			\$ 330,903.25
		PIH 2018-04 % allowed	General Conditions	5.00%			\$ 220,602.17
		PIH 2018-04 % allowed	Builders Overhead	2.00%			\$ 88,240.87
		PIH 2018-04 % allowed	Builder's Profit	10.00%			\$ 441,204.34
		PIH 2018-04 % allowed	Architectural Design Fees	5.50%			\$ 242,662.39
		PIH 2018-04 % allowed	PHA Administration Fee	2.00%			\$ 88,240.87
		Subtotal Soft Costs and Fees		32.00%			\$ 1,411,853.89
		TOTAL REHABILITATION / RETROFIT CONSTRUCTION COST BUDGET:					\$ 5,823,897.29
		TOTAL DEVELOPMENT COST					\$ 9,569,346.00
		Rehabilitation Cost % (estimated cost of Rehabilitation/Total TDC) x 100 =					60.86%

Date:	03/02/2021	2-story Low Rise			Gross Square Feet:	108,160	
Project:	Golden Gate Village	Total for (13) Buildings			Number of Units:	104	
Address:	429 Drake Avenue				R.S. Means City Source:	San Francisco	
City, State:	Marin City, California				Labor Type (Standard or Union):	Union, DBWR	
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost
1	3	Concrete					\$ 40,807.00
	030130712010	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, clean/grind surface free of contaminants	LF	\$ 2.27	1,300.0	\$ 2,951.00
	030130712020	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, rout crack with v-notch crack chaser if needed	LF	\$ 3.24	1,300.0	\$ 4,212.00
	030130712030	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, blow out crack with oil-free dry compressed air (1 pass)	LF	\$ 0.31	1,300.0	\$ 403.00
	030130712040	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, cap crack with epoxy gel at underside of elevated slabs if needed	LF	\$ 3.19	1,300.0	\$ 4,147.00
	030130712050	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, insert backer rod in crack if needed	LF	\$ 2.31	1,300.0	\$ 3,003.00
	030130712060	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, partially fill crack with dry sand if needed	LF	\$ 1.15	1,300.0	\$ 1,495.00
	030130712070	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, apply 2 beads of sealant alongside crack to form a reservoir if needed	LF	\$ 2.62	1,300.0	\$ 3,406.00
	038113500300	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete slabs, plain, up to 3" deep, includes blade cost, layout and set up time	LF	\$ 3.12	2,600.0	\$ 8,112.00
	038113500320	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete, existing slab, plain, for each additional inch of depth over 3", includes blade cost, layout and set up time	LF	\$ 1.04	2,600.0	\$ 2,704.00
	033053405001	Concrete Floor Demo for MEP Repair	Structural concrete, in place, slab on grade (3000 psi), 4" thick, includes concrete (Portland cement Type I), placing and broom finish, excludes forms and reinforcing	SF	\$ 3.99	2,600.0	\$ 10,374.00
2	4	Masonry					\$ 50,012.26
	040120100520	CMU Repairs	Patching masonry, CMU patching, 1/4" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 20.75	425.6	\$ 8,831.20
	040120100540	CMU Repairs	Patching masonry, CMU patching, 3/8" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 28.28	425.6	\$ 12,035.97
	040120100580	CMU Repairs	Patching masonry, CMU patching, 1/2" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 36.11	425.6	\$ 15,368.42
	040120200600	CMU Repairs	Pointing masonry, tuck, cut and re-point, soft old mortar, running bond	SF	\$ 10.79	1,276.8	\$ 13,776.67
3	5	Metals					\$ 40,506.18
	AEI estimate	Utility Meter Enclosure Repairs	Repair/replace chain link fence style meter enclosures, gates, and locks	EA	\$ 750.00	13.0	\$ 9,750.00
	055213500905	Exterior Stairs	Railing, pipe, aluminum, wall rail, clear finish, 1-1/4" diameter, shop fabricated	LF	\$ 56.33	546.0	\$ 30,756.18
4	6	Rough Carpentry					\$ 1,511,989.91
	070505104970	Siding Demolition	Selective demolition, thermal and moisture protection, siding, horizontal clapboards	SF	\$ 2.17	23,790	\$ 51,624.30
	070505105670	Siding Demolition	Selective demolition, thermal and moisture protection, siding, textured plywood	SF	\$ 1.14	2,340	\$ 2,667.60
	060505103500	Selective Demolition- 35%	Selective demolition, wood framing, fascia boards, 2" x 8"	LF	\$ 2.32	4,108.0	\$ 9,530.56
	060505105684	Selective Demolition- 15%	Selective demolition, wood framing, rafters, 6/12 - 8/12 pitch, 2" x 8", 16" OC	SF	\$ 2.25	6,656.0	\$ 14,976.00
	060505106092	Selective Demolition- 25%	Selective demolition, wood framing, sheathing, 5/8", from roof	SF	\$ 1.53	12,156.3	\$ 18,599.14
	060505106720	Selective Demolition- 15%	Selective demolition, wood framing, wall framing, 2" x 4", includes studs, plates and blocking	SF	\$ 23.09	3,328.0	\$ 76,843.52
	090505204000	Selective Demolition- 15%	Flooring demolition, wood, subfloor, plywood, nailed	SF	\$ 1.81	8,112.0	\$ 14,682.72
	090505302350	Selective Demolition- 15%	Walls and partitions demolition, metal or wood studs, finish two sides, plywood	SF	\$ 5.96	2,448.0	\$ 14,590.08
	074629102800	Selective Demolition- 15%	Wood product siding, plywood, redwood textured panels, 5/8" thick	SF	\$ 5.73	27,358.5	\$ 156,764.21
	074629102200	Selective Demolition- 15%	Wood product siding, plywood, rough sawn cedar, natural, 3/8" thick	SF	\$ 4.67	2,340.0	\$ 10,927.80
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	231.6	\$ 18,758.95
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	51.6	\$ 41,274.84
	074623105250	Wood Siding Replacement, batten	Wood siding, boards, redwood, tongue & groove, "B" grade, 1" x 4"	SF	\$ 14.05	2,735.9	\$ 38,438.69
	074623105270	Wood Siding Replacement, board	Wood siding, boards, redwood, tongue & groove, "B" grade, 1" x 8"	SF	\$ 15.31	27,358.5	\$ 418,858.64
	074629102800	Wood Siding Replacement, plywood	Wood product siding, plywood, redwood textured panels, 5/8" thick	SF	\$ 5.73	2,340.0	\$ 13,408.20
	061516100650	Wood Roof T&G Replacement- 15%	Wood roof decking, douglas fir, 2" thick	SF	\$ 9.64	12,156.3	\$ 117,186.73
	061623100200	Unit Floor plywood decking- 15%	3/4" thick CDX plywood, subfloor	SF Flr	\$ 3.42	8,112.0	\$ 27,743.04
	061323102300	Heavy Timber Roof Joist replace- 10%	Wood framing, heavy mill timber, roof purlins, structural grade, 4" thick	LF	\$ 4.97	3,120.0	\$ 15,498.69
	061636100205	Roofing Lumber	Sheathing, plywood on roof, CDX, 5/8" thick, pneumatic nailed	SF	\$ 2.75	12,156.3	\$ 33,429.83
	061110022625	Attic Mic. Framing	2" x 4" miscellaneous wood blocking, to wood construction, pneumatic nailed, per M.B.F.	MBF	\$ 6,625.73	13.0	\$ 86,134.49
	061110022665	Attic Mic. Framing	2" x 8" miscellaneous wood blocking, to wood construction, pneumatic nailed	MBF	\$ 4,848.50	3.9	\$ 18,909.15
	061110060017	Attic Mic. Framing	1" x 3" wood bridging, for joists 16" OC, pneumatic nailed	PR	\$ 7.90	1,560.0	\$ 12,324.00
	061110305060	Roofing Lumber	Wood framing, roofs, rafters, ordinary, to 4 in 12 pitch, 2" x 8"	LF	\$ 4.26	3,328.0	\$ 14,177.28
	061110305880	Roofing Lumber	Wood framing, roofs, ridge boards, #2 or better, 2" x 8"	LF	\$ 6.91	1,690.0	\$ 11,677.90
	061110306070	Roofing Lumber	Wood framing, roofs, fascia boards, 2" x 8"	MBF	\$ 8,959.68	3.4	\$ 30,283.72
	AEI estimate	Meter Box Rebuild	3/4" plywood, 2" x 4" framing, mitered corners, hinges, screwed to block wall	EA	\$ 300.00	26.0	\$ 7,800.00
	AEI estimate	Exterior Wood Stairs	Repair exterior wood stairs, railings, decking, concrete treads	EA	\$ 1,500.00	39.0	\$ 58,500.00
	061110420800	Cabinetry blocking	Furring, wood, on walls, on CMU, 1" x 3"	LF	\$ 5.14	9,984.0	\$ 51,317.76
	061110420300	Rough Carpentry- walls	Furring, wood, on walls, masonry, 1x2, 24" O.C. (L of furring) - exterior and dividing masonry walls at all units, ceilings at select locations	LF	\$ 1.50	83,200	\$ 125,062.08
5	6	Finish Carpentry					\$ 523,402.10
	062213505950	Finish Carpentry	Units - Moldings, window & door, window trim sets, 2-1/2" wide, includes casings, header, stops, stool & apron, pine (13 window/door openings per unit avg.)	Opng.	\$ 97.93	1,768	\$ 173,144.66
	062516104300	Finish Carpentry	Plywood paneling, prefinished, architectural grade, custom, 3/4" thick	SF	\$ 16.14	6,656	\$ 107,427.84
	064313400790	Finish Carpentry	Wood stair parts, treads, oak, 1-1/32" x 11-1/2", 36" long, no returns	EA	\$ 86.99	624	\$ 54,281.76
	064316100300	Unit Stair Railings	Railings, stock interior railing, 4" long with spindles 4" OC	LF	\$ 78.74	832.0	\$ 65,511.68
	064316100400	Unit Stair Railings	Railings, stock interior railing, 8" long with spindles 4" OC	LF	\$ 73.94	1,664.0	\$ 123,036.16
6	7	Thermal and Moisture Protection					\$ 118,996.80
	079213200055	Exterior Window Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	15,184.0	\$ 53,144.00
	079213200060	Exterior Door Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 3/8", in place	LF	\$ 3.54	8,320.0	\$ 29,452.80
	079213200055	Interior Dissimilar Material Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	10,400.0	\$ 36,400.00
7	7	Insulation					\$ 42,359.72
	AEI allowance	Insulation	Window and Door chinking/grouting	EA	\$ 25.00	728.0	\$ 18,200.00
	072116102220	Insulation	Blanket insulation for 2nd Floor Overhang, 12" thick, R38 - attic	SF	\$ 2.32	10,400	\$ 24,159.72
8	7	Roofing					\$ 1,445,966.61
	070505101170	Roofing Demolition	Selective demolition, thermal and moisture protection, roof accessories, adjustable metal chimney flashing	EA	\$ 92.10	130	\$ 11,973.00
	070505101325	Roofing Demolition	Selective demolition, thermal and moisture protection, roof accessories, plumbing vent flashing	EA	\$ 25.83	130	\$ 3,357.90
	070505101375	Roofing Demolition	Selective demolition, thermal and moisture protection, roof accessories, ridge vent strip, aluminum	LF	\$ 2.67	3,380	\$ 9,024.60
	070505103125	Roofing Demolition	Selective demolition, thermal and moisture protection, roofing, roofing felt, #30	SQ	\$ 27.55	810	\$ 22,327.07
	070505103180	Roofing Demolition	Selective demolition, thermal and moisture protection, roofing, asphalt shingles, 2 layers	SF	\$ 2.39	81,042	\$ 193,690.38

	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	101.3	\$	8,205.50
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	30.0	\$	24,012.44
	075216101600	*Code 7A Fire Mineral Cap Sheet	SBS modified bituminous membrane, smooth surface cap sheet, 145 mils, mopped	SF	\$	4.42	81,042.0	\$	358,205.64
	079213203500	*Code 7A Fire Caulking Eaves/Soffits	Joint sealants, caulking and sealants, polyurethane, bulk, in place, 1 or 2 component, 1/4" x 1/4"	LF	\$	3.61	8,060.0	\$	29,096.60
	079213203510	*Code 7A Fire Caulking Eaves/Soffits	Joint sealants, caulking and sealants, polyurethane, bulk, in place, 1 or 2 component, 1/4" x 3/8"	LF	\$	3.78	12,090.0	\$	45,700.20
	073113100505	New Shingle Roofing	Asphalt shingles, premium, laminated multi-layered shingles, class A, 300-385 lb/sq, pneumatic nailed	SQ	\$	748.59	891	\$	667,339.54
	073113100825	New Shingle Roofing	Asphalt shingles, #30 felt underlayment	SQ	\$	29.41	891	\$	26,217.90
	073113100850	New Shingle Roofing	Asphalt shingles, self adhering polyethylene and rubberized asphalt underlayment	SQ	\$	134.34	223	\$	29,939.75
	073113100905	New Shingle Roofing	Asphalt shingles, ridge shingles, pneumatic nailed	LF	\$	5.56	1,690	\$	9,396.40
	077226100150	New Shingle Roofing	Ridge vents, aluminum strips, painted finish	LF	\$	10.57	208	\$	2,198.56
	077226100200	New Shingle Roofing	Ridge vents, aluminum strips, mill finish, connectors	EA	\$	27.15	104	\$	2,823.60
	077226100300	New Shingle Roofing	Ridge vents, aluminum strips, mill finish, end caps	EA	\$	23.63	104	\$	2,457.52
9	7	Sheet Metal							\$ 12,103.00
	076510100100	Roofing Sheet Metal Flashing	Sheet metal flashing, aluminum, flexible, mill finish, .032" thick, including up to 4 bends	SF	\$	9.31	1,300	\$	12,103.00
10	8	Doors							\$ 1,083,784.67
	080505100200	Selective Demolition	Door demolition, exterior door, single, 3' x 7' high, 1-3/4" thick, remove	EA	\$	53.53	104.0	\$	5,567.12
	080505101500	Selective Demolition	Door demolition, interior door, hollow core, remove	EA	\$	53.53	1,040.0	\$	55,671.20
	080505102200	Selective Demolition	Door demolition, door frames, wood, remove	EA	\$	66.50	1,144.0	\$	76,076.00
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	119.0	\$	9,637.06
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	84.7	\$	67,792.59
	081723101640	Unit Entry Door	Doors, prehung, exterior, entrance door, flush, birch, solid core, 4-5/8" solid jamb, 1-3/4" x 6'-8" x 3'-0" wide	EA	\$	559.76	104.0	\$	58,215.04
	081723105000	Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-6" wide	EA	\$	504.58	312.0	\$	157,428.96
	081723105020	Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-8" wide	EA	\$	349.22	520.0	\$	181,594.40
	081433204460	Unit Closet Door	Doors, wood, residential, interior, bi-passing closet, flush, luan, 6'-0" x 6'-8", incl. hardware and frame, excl. trim	EA	\$	389.92	208.0	\$	81,103.36
	087120401400	Entry Door Hardware	Door hardware, lockset, heavy duty, cylindrical, with sectional trim, residential, minimum	EA	\$	247.79	104.0	\$	25,770.37
	087120411000	Entry Door Hardware	Door hardware, deadlock, tubular, standard duty, outside key	EA	\$	110.69	104.0	\$	11,511.40
	087120452020	Entry Door Hardware	Peepholes, wide view	EA	\$	32.00	104.0	\$	3,328.00
	087120650800	Entry Door Hardware	Thresholds, rubber, 2-3/4" x 1/2"	EA	\$	79.26	104.0	\$	8,242.73
	087120401100	Interior Door Hardware	Door hardware, non-keyed, heavy duty, cylindrical, with sectional trim, residential, interior door, minimum	EA	\$	325.00	832.0	\$	270,400.00
	087120501300	Interior Door Hardware	Door stops, wall bumper, 4" dia., w/rubber pad	EA	\$	31.38	832.0	\$	26,111.45
	087120900012	All Door Hardware	Hinges, full mortise, steel base	SET	\$	39.63	1,144.0	\$	45,335.00
11	8	Windows							\$ 711,880.09
	080505200200	Window Demolition	Window demolition, aluminum, to 12 S.F.	EA	\$	53.53	208.0	\$	11,134.24
	080505200280	Window Demolition	Window demolition, aluminum, to 50 S.F.	EA	\$	171.93	416.0	\$	71,522.88
	024119192150	Window Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	32.4	\$	2,628.29
	024119195000	Window Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	11.6	\$	9,244.44
	085113204100	New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 3'-0" x 2'-0" opening, incl. frame and glazing	EA	\$	507.08	104.0	\$	52,736.32
	085113204400	New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 5'-0" x 3'-0" opening, incl. frame and glazing	EA	\$	746.37	104	\$	77,622.48
	085113204700	New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 8'-0" x 4'-0" opening, incl. frame and glazing	EA	\$	1,049.98	312.0	\$	327,593.76
	085113205100	New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 9'-0" x 5'-0" opening, incl. frame and glazing	EA	\$	1,532.67	104	\$	159,397.68
12	8	Glass							\$ -
			NONE INCLUDED		\$	-		\$	-
13	9	Lath and Plaster							\$ 13,821.60
	074646100030	Exterior Stucco Panel Repair	Repair and fill select areas of concrete stucco with textured finish	SF	\$	4.43	3,120	\$	13,821.60
14	9	Drywall							\$ 935,351.82
	090505100200	Drywall demolition	Ceiling demolition, gypsum wall board, furred and nailed, remove	SF	\$	1.48	108,160.0	\$	160,076.80
	090505301000	Drywall demolition	Walls and partitions demolition, gypsum wallboard, per s.f., nailed or screwed	SF	\$	0.60	106,496.0	\$	63,897.60
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	83.2	\$	6,739.20
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	123.3	\$	98,607.41
	092910302050	Unit Drywall	Gypsum wallboard, on walls, standard, taped & finished (level 4 finish), 5/8" thick	SF	\$	1.63	106,496.0	\$	173,661.96
	092910305350	Unit Drywall	Gypsum wallboard, for finishing corners, inside, add	LF	\$	2.54	16,640.0	\$	42,265.60
	092910305355	Unit Drywall	Gypsum wallboard, for finishing outer corners, add	LF	\$	2.11	4,160.0	\$	8,777.60
	092910303050	Unit Drywall	Gypsum wallboard, on ceilings, standard, taped & finished (level 4 finish), 5/8" thick	SF	\$	3.53	108,160	\$	381,325.65
15	9	Ceramic Tile							\$ 129,865.58
	090505303760	Ceramic tile demolition	Walls and partitions demolition, tile, ceramic, on walls, thin set	SF	\$	2.94	3,016	\$	8,867.04
	090505202000	Ceramic tile demolition	Flooring demolition, tile, ceramic, thin set	SF	\$	2.60	300	\$	780.00
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	113.1	\$	9,161.10
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	16.8	\$	13,404.44
	093113103300	Ceramic Tile Floors- ADA Bathrooms	Ceramic tile, floors, glazed, porcelain type, 1 color, color group 2, 1" x 1"	SF	\$	15.07	300.0	\$	4,521.00
	093113102100	Ceramic Tile Bath Surrounds	Ceramic tile, bathtub, adhesive set, 5' w x 7' h, with 4-1/4" x 4-1/4" tile wainscot	EA	\$	895.50	104	\$	93,132.00
16	9	Acoustical							\$ -
			NONE INCLUDED		\$	-		\$	-
17	9	Wood Flooring							\$ -
			NONE INCLUDED		\$	-		\$	-
18	9	Resilient Flooring							\$ 861,927.26
	090505200900	Selective demolition	Flooring demolition, vinyl composition tile, 12" x 12"	SF	\$	1.76	108,160.0	\$	190,361.60
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	270.4	\$	21,902.40
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	30.0	\$	24,035.56
	AEI estimate	Unit Floor Prep	Scrape, repair, level concrete floor to receive vct flooring	SF	\$	0.25	108,160.0	\$	27,040.00
	096519197400	Unit Resilient Flooring- 10% waste	Flooring, vinyl composition tile, solid, 12" x 12" x 1/8"	SF	\$	3.94	118,976.0	\$	468,765.44
	096513131100	Unit Resilient Flooring- 10% waste	Wall base, rubber, straight or cove, standard colors, 4" high, 1/8" thick	SF	\$	4.67	27,799.2	\$	129,822.26
19	9	Painting							\$ 532,945.13
	090190930810	Paint Preparation	Surface preparation, exterior, siding, masonry, brick & block, pressure wash, based on 2500 lb operating pressure	SF	\$	0.40	41,301.0	\$	16,520.40
	015423700090	Scaffolding for exterior access	Scaffolding, steel tubular, regular, labor only to erect & dismantle, building exterior, wall face, 6'-4" x 5' frames, 1 to 5 stories, excludes planks	C.S.F.	\$	389.55	78.8	\$	30,684.55
	015423702250	Scaffolding for exterior access	Scaffolding, steel tubular, regular, frame, rent/mo, 7'-6" high x 6' wide	Ea.	\$	11.73	472.6	\$	5,543.78
	015423702500	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, cross brace, rent/mo	Ea.	\$	3.97	945.2	\$	3,752.57
	015423702550	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, guardrail post, rent/mo	Ea.	\$	3.85	630.2	\$	2,426.09

	015423702600	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, guardrail section, rent/mo, 7' long	Ea.	\$	13.13	315.1	\$	4,136.96
	015423702650	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, screw jack & plate, rent/mo	Ea.	\$	5.15	1,260.3	\$	6,490.58
	015423702850	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, plank, rent/mo, 2" x 10" x 16' long	Ea.	\$	11.73	137.8	\$	1,616.94
	015423702900	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, stairway section, rent/mo	Ea.	\$	38.20	8.0	\$	305.60
	015423705700	Scaffolding for exterior access	Scaffolding, planks, labor only to install & remove, 2"x10"x16", up to 50' high	Ea.	\$	42.93	221.5	\$	9,510.65
	099113900410	Building Facade- First Floor	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, first coat, latex, roller	SF	\$	0.76	17,511.0	\$	13,308.36
	099113900420	Building Facade- First Floor	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, second coat, latex, roller	SF	\$	0.62	17,511.0	\$	10,856.82
	099113620530	Building Facade- Second Floor	Paints & coatings, siding, misc., smooth wood (butt, T&G, beveled, drop, or B&B siding), primer + 2 coats, exterior latex, roller	SF	\$	2.41	5,947.5	\$	14,333.48
	099113620570	Building Facade- Second Floor	Paints & coatings, siding, misc., smooth wood (butt, T&G, beveled, drop, or B&B siding), primer + 2 coats, exterior latex, spray	SF	\$	1.36	17,842.5	\$	24,265.80
	099113800150	Building Facade- Second Floor	Paints & coatings, trim, exterior, fascia, latex paint, 1 coat coverage, brushwork, 1" x 6" to 1" x 10"	LF	\$	1.61	8,216.0	\$	13,227.76
	099113800120	Building Facade- Second Floor	Paints & coatings, trim, exterior, fascia, latex paint, 1 coat coverage, brushwork, 1" x 4"	LF	\$	1.54	16,432.0	\$	25,305.28
	099113700170	Painting , exterior	Paints & coatings, exterior doors, flush, roll & brush, finish coat, exterior latex, incl. frame & trim	EA	\$	103.68	104.0	\$	10,782.72
	099113700120	Painting , exterior	Paints & coatings, exterior door frames & trim only, brushwork, finish coat, exterior latex	LF	\$	2.00	1,768.0	\$	3,536.00
	099123722110	Painting, Interior	Paints & coatings, walls & ceilings, interior, masonry or concrete block, latex paint, smooth finish, roller	SF	\$	0.99	70,720.0	\$	70,012.80
	099123720480	Painting, Interior	Paints & coatings, walls & ceilings, interior, concrete, drywall or plaster, latex paint, 1 coat, smooth finish, spray	SF	\$	0.50	106,496.0	\$	53,248.00
	099123350140	Painting, Interior	Paints & coatings, interior latex, doors, flush, both sides, roll & brush, primer + 2 coats, incl. frame & trim	EA	\$	213.08	1,000.0	\$	213,080.00
20	10	Specialties							\$ 144,597.41
	024116190370	Selective demolition - bathroom	Minor building deconstruction, salvage labor, toilet accessories (5% of line item cost)	EA	\$	20.40	728.0	\$	14,847.56
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	26.0	\$	2,106.00
	102813130200	Specialties	Toilet accessories, curtain rod, stainless steel, 1" diameter x 5' long	EA	\$	73.34	104.0	\$	7,626.89
	102813136500	Specialties	Toilet accessories, towel bar, stainless steel, 30" long	EA	\$	80.62	208.0	\$	16,769.99
	102813134300	Specialties	Toilet accessories, robe hook, regular, single	EA	\$	25.83	208.0	\$	5,371.98
	102813136100	Specialties	Toilet accessories, toilet tissue dispenser, stainless steel, surface mount, single roll	EA	\$	38.13	104.0	\$	3,965.04
	102816200020	Specialties	Bath accessories, medicine cabinet, with mirror, stainless steel frame, unlighted, 16" x 22"	EA	\$	142.12	104.0	\$	14,780.06
	Industry Average	Specialties	Range Queens, pair	EA	\$	91.10	104.0	\$	9,474.40
	Industry Average	Specialties	Stainless-steel splash guards @ ranges	EA	\$	68.33	104.0	\$	7,105.80
	105723190200	Specialties	Wood shelving, pine, clear grade, no edge band, 1x12 (Closet shelving, Avg. 40lf/unit)	LF	\$	10.98	4,160	\$	45,666.61
	105523100300	Specialties	Mail boxes, horizontal, key lock, 5"H x 6"W x 15"D, aluminum, front load	EA	\$	97.93	104.0	\$	10,184.98
	101423131050	Specialties	Signs, flexible door sign, adhesive back, w/Braille, 5/8" letters, 6" x 6"	EA	\$	64.41	104.0	\$	6,698.40
21	10	Special Equipment							\$ -
			NONE INCLUDED						\$ -
									\$ -
22	11	Cabinets							\$ 1,337,702.89
	060505201000	Selective demolition - cabinets	Selective demolition, millwork and trim, wood base cabinets	LF	\$	23.09	1,664.0	\$	38,421.76
	060505201020	Selective demolition - cabinets	Selective demolition, millwork and trim, wood wall cabinets	LF	\$	23.09	1,664.0	\$	38,421.76
	060505201510	Selective demolition - countertops	Selective demolition, millwork and trim, counter top, L, U or C shapes	LF	\$	15.43	1,664.0	\$	25,675.52
	024116190370	Selective demolition - bathroom	Minor building deconstruction, salvage labor, vanity (15% of line item cost)	EA	\$	61.19	104.0	\$	6,363.24
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	132.6	\$	10,740.60
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	30.5	\$	24,416.89
	123223109600	New cabinets- RS Means Rule of Thumb	Custom cabinets, rule of thumb: kitchen cabinets, excl. counters & appliances, maximum	LF	\$	562.57	1,664.0	\$	936,116.48
	123623301540	New Countertops	Countertops, plastic laminate, 24" wide, 1-1/2" thick edging, plastic laminate edging, maximum	LF	\$	50.68	1,664.0	\$	84,331.52
	123623302640	Add backsplashes to countertops	Countertops, plastic laminate, backsplash, add to above, maximum	LF	\$	29.41	1,664.0	\$	48,938.24
	123223308050	New Bathroom Vanity Cabinets	Wood casework vanities, base, 2 door, 30" h x 21" d x 30" w	EA	\$	615.05	104.0	\$	63,965.20
	224116131040	New Bathroom Vanity Tops	Lavatory, vanity top, cultured marble, white, single bowl, 25" x 19", includes trim	EA	\$	579.92	104.0	\$	60,311.68
23	11	Appliances							\$ -
			NONE INCLUDED						\$ -
24	12	Blinds and Shades, Artwork							\$ 132,747.24
	120505104920	Demolition blinds	Selective demolition, blinds, interior, horizontal or vertical	LF	\$	4.55	4,264	\$	19,401.20
	122113130020	Blinds and Shades	Blinds, interior, horizontal, 1" aluminum slats, solid color, stock	SF	\$	6.94	16,328	\$	113,346.04
25	12	Carpets							\$ -
			NONE INCLUDED						\$ -
26	13	Special Construction							\$ 1,221,345.26
	RS Means SF	Sprinklers- 1st floor	Wet pipe sprinkler systems, steel, light hazard, 4 floors, 10,000 sf	SF	\$	2.40	54,080.0	\$	129,792.00
	RS Means SF	Sprinklers- each additional floor	Wet pipe sprinkler systems, steel, light hazard, 4 floors, 10,000 sf	SF	\$	3.41	54,080.0	\$	184,412.80
	078413100250	Special Construction	Firestopping, metallic piping, insulated, through floors 4" diameter (2 per unit)	EA	\$	26.15	104.0	\$	2,719.15
	078413100210	Special Construction	Firestopping, metallic piping, insulated, through walls 4" diameter (2 per unit)	EA	\$	52.15	104.0	\$	5,424.09
	019313031039	Cleaning	Stair cleaning, mop or scrub (Dwelling unit stairways)	Flight	\$	94.93	104	\$	9,872.32
	038213100500	Special Construction	Concrete core drilling, 4" diameter, up to 6" thick slab (2 per unit)	EA	\$	80.40	208	\$	16,722.32
	024113381000	Special Construction	Selective demo, sewer piping & fittings, ductile iron pipe, 8" diameter (Sewer lines)	LF	\$	15.24	1,250	\$	19,051.29
	024113381000	Demolition	Selective demo, sewer piping & fittings, ductile iron pipe, 4" diameter (Sewer lines)	LF	\$	15.24	1,250	\$	19,051.29
	Industry Average	Final Cleaning	Apartment punch-out, cleaning, prelease procedures - Industry Average	EA	\$	450.00	104	\$	46,800.00
	Industry Average	Special Construction	ADA A/V Upgrades for Hearing Impaired	EA	\$	2,500.00	3	\$	7,500.00
	Industry Average	Demolition	Bulk Hazardous Materials Removal (Asbestos, Lead, and Mold)	Apt	\$	7,500.00	104	\$	780,000.00
27	14	Elevators							\$ -
			NONE INCLUDED						\$ -
28	15	Plumbing and Hot Water							\$ 2,401,841.34
	AEI estimate	MEP demoliton	Make safe, cap, remove all MEP piping, devices, fixtures, cable, haul off and dispose	SF	\$	2.75	108,160.0	\$	297,440.00
	D2010 Sq. Ft. Est	Plumbing	Three fixture bathroom - lavatory, bathtub, & water closet - system includes rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$	7.13	108,160.0	\$	771,180.80
	D2010 Sq. Ft. Est	Plumbing	Kitchen sink system - Kitchen sink w/trim, countertop, 32"x21" double bowl - systems are complete w/trim and rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$	2.35	108,160.0	\$	254,176.00
	D2010 Sq. Ft. Est	Domestic Water Distribution	Gas Water Heater, residential, 50-gallon tank	SF	\$	8.59	108,160.0	\$	929,094.40
	223430132900	Plumbing	Water heater, safety pan drain, 26" round	EA	\$	55.12	104	\$	5,732.01
	231123200130	Plumbing	Gas piping, flexible (CSST), tubing with lightning protection, 3/4" (Interior gas line replacement)	LF	\$	16.25	5,200.0	\$	84,511.65
	231123200260	Plumbing	Gas piping, flexible (CSST), tubing, for underground/under slab burial, 1-1/2" (Exterior gas line replacement)	LF	\$	36.39	650.0	\$	23,656.39
	231123104010	Plumbing	Gas meter, residential, 3/4" pipe size	EA	\$	346.64	104.0	\$	36,050.09
29	15	Heat and Ventilation							\$ 522,835.21
	235416133564	HVAC	Furnace, gas fired furnace, horizontal flow, 1,200 CFM, 45 MBH, includes standard controls, excludes gas, oil or flue piping	EA	\$	2,138.66	104	\$	222,420.64
	233113130500	HVAC	Air Distribution Ductwork	LF	\$	9.10	16,640	\$	151,424.00
	233713100200	HVAC	Diffuser, aluminum, ceiling, also for sidewall, 8" wide, includes opposed blade damper	EA	\$	65.14	728	\$	47,419.37
	113013194150	Kitchen Ventilation	Range hood, residential appliances, vented, min, 2 speed, 30" wide, minimum	EA	\$	484.37	104	\$	50,374.48
	233423106670	Bathroom Ventilation	Fans, residential, bath exhaust, grille, back draft damper, 110 CFM	EA	\$	247.29	104	\$	25,718.16
	233423106946	Ventilation	Exhaust vent wall cap, 3" & 4" round duct - (install bathroom exhaust)	EA	\$	87.46	104	\$	9,095.42
	233346101500	Ventilation	Exhaust vent duct - flexible, non-insulated, 3" diameter - (install bathroom exhaust)	LF	\$	4.29	1,248	\$	5,354.93
	233113165410	Heat and Ventilation	Duct, round, spiral, galv., 4" dia., 26 ga. - (Replace exhaust vents unit water heaters)	LF	\$	5.30	2,080	\$	11,028.20

Date:	03/02/2021	5-story High-Rise Buildings				Gross Square Feet:		134,120
Project:	Golden Gate Village	Total for (8) Buildings				Number of Units:		168
Address:	429 Drake Avenue					R.S. Means City Source:		San Francisco
City, State:	Marin City, California					Union, DBWR, Residential:		Union (US avg)
						DBWR, Building (High-rise) Labor Adjustment Factor:		1.323
						Unit	Unit Cost	Total Cost
Line	Div.	Trade Item	Trade Item Description	Unit	Unit cost - RS Means	Unit Cost- 2021 DBWR	Quantity	DBWR Adjusted Total Cost
1	3	Concrete						\$ 238,101.43
	030130622100	Unit Misc. Concrete Crack Repair	Patching concrete, walls, epoxy grout, 1/4" deep, including chipping, cleaning and epoxy grout	SF	\$ 22.62	\$ 26.27	840.0	\$ 22,069.43
	030130622150	Unit Misc. Concrete Crack Repair	Patching concrete, walls, epoxy grout, 1/2" deep, including chipping, cleaning and epoxy grout	SF	\$ 35.53	\$ 41.27	840.0	\$ 34,665.20
	030130712010	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, clean/grind surface free of contaminants	LF	\$ 2.27	\$ 2.64	1,680.0	\$ 4,429.50
	030130712020	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, rout crack with v-notch crack chaser if needed	LF	\$ 3.24	\$ 3.76	1,680.0	\$ 6,322.28
	030130712030	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, blow out crack with oil-free dry compressed air (1 pass)	LF	\$ 0.31	\$ 0.36	1,680.0	\$ 604.91
	030130712040	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, cap crack with epoxy gel at underside of elevated slabs if needed	LF	\$ 3.19	\$ 3.71	1,680.0	\$ 6,224.71
	030130712050	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, insert backer rod in crack if needed	LF	\$ 2.31	\$ 2.68	3,024.0	\$ 8,113.59
	030130712060	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, partially fill crack with dry sand if needed	LF	\$ 1.15	\$ 1.34	2,688.0	\$ 3,590.43
	030130712070	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, apply 2 beads of sealant alongside crack to form a reservoir if needed	LF	\$ 2.62	\$ 3.04	2,016.0	\$ 6,134.95
	030130620150	Misc. Concrete Floor/Wall/Ceiling Patch	Patching concrete, floors, small area, epoxy grout, 1/4" thick	SF	\$ 23.78	\$ 27.62	3,913.0	\$ 108,078.90
	030130723010	Misc. Concrete Floor/Wall/Ceiling Patch	Surface repairs using form-and-pour techniques (ACI RAP-5), sound the concrete surface to locate delaminated areas	SF	\$ 0.05	\$ 0.05	1,680.0	\$ 88.59
	030130723020	Misc. Concrete Floor/Wall/Ceiling Patch	Surface repairs using form-and-pour techniques (ACI RAP-5), remove concrete in repair areas to fully expose reinforcing bars	SF	\$ 10.85	\$ 12.60	840.0	\$ 10,585.91
	030130723030	Misc. Concrete Floor/Wall/Ceiling Patch	Surface repairs using form-and-pour techniques (ACI RAP-5), mark the perimeter of each repair area	SF	\$ 0.45	\$ 0.52	1,680.0	\$ 878.09
	030130723040	Misc. Concrete Floor/Wall/Ceiling Patch	Surface repairs using form-and-pour techniques (ACI RAP-5), saw cut the perimeter of each repair area down to reinforcing bars, approx. 1" deep, includes blade cost, layout and set up time	SF	\$ 6.16	\$ 7.15	840.0	\$ 6,010.07
	038113500300	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete slabs, plain, up to 3" deep, includes blade cost, layout and set up time	LF	\$ 3.12	\$ 3.62	1,440.0	\$ 5,218.39
	038113500320	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete, existing slab, plain, for each additional inch of depth over 3", includes blade cost, layout and set up time	LF	\$ 1.04	\$ 1.21	1,440.0	\$ 1,739.46
	033053405001	Concrete Floor Demo for MEP Repair	Structural concrete, in place, slab on grade (3000 psi), 4" thick, includes concrete (Portland cement Type I), placing and broom finish, excludes forms and reinforcing	SF	\$ 3.99	\$ 4.63	2,880.0	\$ 13,347.03
2	4	Masonry						\$ 123,953.28
	040120100520	CMU Repairs	Patching masonry, CMU patching, 1/4" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 20.75	\$ 24.10	732.0	\$ 17,642.02
	040120100540	CMU Repairs	Patching masonry, CMU patching, 3/8" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 28.28	\$ 32.85	1,464.0	\$ 48,088.33
	040120100580	CMU Repairs	Patching masonry, CMU patching, 1/2" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 36.11	\$ 41.94	732.0	\$ 30,701.37
	040120200600	CMU Repairs	Pointing masonry, tuck, cut and re-point, soft old mortar, running bond	SF	\$ 10.79	\$ 12.53	2,196.0	\$ 27,521.56
3	5	Metals						\$ 228,329.06
	055213500500	Metals- stairwell handrailing	Railing, pipe, steel, primed, 3'-6" high, posts @ 5' OC, 1-1/2" diameter, shop fabricated	LF	\$ 65.66	\$ 76.26	1,680.0	\$ 128,123.67
	055213500500	Metals- balcony support/railings	Railing, pipe, steel, primed, 3'-6" high, posts @ 5' OC, 1-1/2" diameter, shop fabricated	LF	\$ 65.66	\$ 76.26	1,140.0	\$ 86,941.06
	024210201020	Demolition	Deconstruction of roofing and accessories, fascia and rakes, up to 5 stories, excludes handling, packaging or disposal costs	LF	\$ 5.71	\$ 6.63	2,000.0	\$ 13,264.33
4	6	Rough Carpentry						\$ 441,827.15
	060505103500	Selective demolition- 35%	Selective demolition, wood framing, fascia boards, 2" x 8"	LF	\$ 2.32	\$ 2.69	711.2	\$ 1,916.46
	060505105684	Selective demolition- 15%	Selective demolition, wood framing, rafters, 6/12 - 8/12 pitch, 2" x 8", 16" OC	SF	\$ 2.25	\$ 2.61	8,985.6	\$ 23,482.74
	060505105894	Selective demolition- 100%	Selective demolition, wood framing, ridge board, 2" x 8"	LF	\$ 2.18	\$ 2.53	2,302.3	\$ 5,829.58
	060505106092	Selective demolition- 25%	Selective demolition, wood framing, sheathing, 5/8", from roof	SF	\$ 1.53	\$ 1.78	14,976.0	\$ 26,613.77
	060505106720	Selective demolition- 15%	Selective demolition, wood framing, wall framing, 2" x 4", includes studs, plates and blocking	SF	\$ 23.09	\$ 26.82	920.9	\$ 24,698.19
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	27.1	\$ 2,545.70
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	10.3	\$ 9,570.76
	061636100205	Roofing Lumber	Sheathing, plywood on roof, CDX, 5/8" thick, pneumatic nailed	SF	\$ 2.75	\$ 3.19	17,222.4	\$ 55,010.50
	061110022625	Roofing Lumber	2" x 4" miscellaneous wood blocking, to wood construction, pneumatic nailed, per M.B.F.	MBF	\$ 6,625.73	\$ 7,695.79	10.6	\$ 81,502.83
	061110022665	Roofing Lumber	2" x 8" miscellaneous wood blocking, to wood construction, pneumatic nailed	MBF	\$ 4,848.50	\$ 5,631.53	7.9	\$ 44,730.90
	061110060017	Roofing Lumber	1" x 3" wood bridging, for joists 16" OC, pneumatic nailed	PR	\$ 7.90	\$ 9.18	1,291.7	\$ 11,852.26
	061110305060	Roofing Lumber	Wood framing, roofs, rafters, ordinary, to 4 in 12 pitch, 2" x 8"	LF	\$ 4.26	\$ 4.95	7,948.8	\$ 39,330.58
	061110305880	Roofing Lumber	Wood framing, roofs, ridge boards, #2 or better, 2" x 8"	LF	\$ 6.91	\$ 8.03	2,647.6	\$ 21,249.91
	061110306070	Roofing Lumber	Wood framing, roofs, fascia boards, 2" x 8"	MBF	\$ 8,959.68	\$ 10,406.67	2.0	\$ 21,278.51
	061110420800	Cabinetry blocking	Furring, wood, on walls, on concrete, 1" x 3"	LF	\$ 5.14	\$ 5.97	12,096.0	\$ 72,214.45
5	6	Finish Carpentry						\$ 157,148.82
	062213505950	Finish Carpentry	Units - door trim sets, 2-1/2" wide, includes casings, header, pine, interior and entry	EA	\$ 97.93	\$ 113.75	840.0	\$ 95,548.82
	AEI estimate	Finish Carpentry	Storage Unit 3/4" plywood partitions and door repairs	EA	\$ 350.00	\$ 350.00	176.0	\$ 61,600.00
6	7	Thermal and Moisture Protection						\$ 585,909.32
	071353100400	Exterior wall below-grade waterproofing	Elastomeric sheet waterproofing, EPDM, plain, nylon reinforced sheets, 60 mils thick	SF	\$ 5.00	\$ 5.81	4,800.0	\$ 27,876.00
	090190930810	Paint Preparation	Surface preparation, exterior, siding, masonry, brick & block, pressure wash, based on 2500 lb operating pressure	SF	\$ 0.40	\$ 0.46	44,552.0	\$ 20,698.86
	099653100110	Exterior open walkways/balconies	Paints & coatings, elastomeric coatings, high build, water proof, two coat system, concrete, brush	SF	\$ 3.48	\$ 4.04	44,552.0	\$ 180,080.08
	079213200055	Exterior Window Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	\$ 4.07	19,194.0	\$ 78,028.41
	079213200060	Exterior Door Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 3/8", in place	LF	\$ 3.54	\$ 4.11	34,689.6	\$ 142,633.58
	079213200055	Interior Dissimilar Material Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	\$ 4.07	33,600.0	\$ 136,592.40
7	7	Insulation						\$ 93,800.00
	AEI allowance	Door and Window Gaps	Window and Door chinking/grouting	EA	\$ 25.00	\$ 25.00	3,752.0	\$ 93,800.00
8	7	Roofing						\$ 1,165,104.58
	070505104120	Selective demolition	Selective demolition, thermal and moisture protection, roofing, clay tile shingles, remove	SF	\$ 2.20	\$ 2.56	59,904.0	\$ 153,072.69

	070505104170	Selective demolition	Selective demolition, thermal and moisture protection, roofing, ridge shingles, clay or slate	LF	\$ 2.09	\$ 2.43	1,674.4	\$ 4,064.66
	070505103125	Selective demolition	Selective demolition, thermal and moisture protection, roofing, roofing felt, #30	SF	\$ 0.25	\$ 0.29	59,904.0	\$ 17,394.62
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	240.0	\$ 22,579.56
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	36.7	\$ 34,070.67
	073213101100	New Clay Tile roofing	Clay tile, barrel mission tile, fireflashed blend, 166 pieces per square, 18", incl. accessories	SQ	\$ 1,090.04	\$ 1,266.08	658.9	\$ 834,276.78
	073213103020	New Clay Tile roofing	Clay tile, #30 felt underlayment	SQ	\$ 29.41	\$ 34.16	658.9	\$ 22,509.34
	073213108950	New Clay Tile roofing	Clay tile, install cap	LF	\$ 11.49	\$ 13.35	2,302.3	\$ 30,725.66
	061110305880	New Clay Tile roofing	Wood framing, roofs, ridge boards, #2 or better, 2" x 8"	LF	\$ 6.91	\$ 8.03	2,302.3	\$ 18,478.18
	073213108960	New Clay Tile roofing	Clay tile, install ridge, hip, or verge	LF	\$ 11.49	\$ 13.35	2,093.0	\$ 27,932.41
9	7	Roof Accessories						\$ 58,400.00
	AEI Estimate	Dog House Repairs	Replace vent hood, repair plaster and wood framing	EA	\$ 2,800.00	\$ 2,800.00	8.0	\$ 22,400.00
	AEI Estimate	Concrete Stack repairs	Repair chimney and plaster	EA	\$ 4,500.00	\$ 4,500.00	8.0	\$ 36,000.00
								\$ -
10	7	Sheet Metal						\$ 17,405.76
	077143100020	Roof Flashing	Edge flashing, galvanized, mill finish, 5" wide	LF	\$ 2.09	\$ 2.42	2,400.0	\$ 5,815.46
	221316802060	Wall flashing - vents	Vent flashing, galvanized, 4" pipe, includes neoprene ring	EA	\$ 59.40	\$ 68.99	168.0	\$ 11,590.29
								\$ -
11	8	Doors						\$ 2,326,906.45
	080505100200	Selective Demolition	Door demolition, exterior door, single, 3' x 7' high, 1-3/4" thick, remove	EA	\$ 53.53	\$ 62.18	168.0	\$ 10,445.42
	080505101500	Selective Demolition	Door demolition, interior door, hollow core, remove	EA	\$ 53.53	\$ 62.18	1,008.0	\$ 62,672.50
	080505102200	Selective Demolition	Door demolition, door frames, wood, remove	EA	\$ 66.50	\$ 77.24	1,176.0	\$ 90,833.95
	080505103300	Selective Demolition	Door demolition, special doors, sliding glass, remove	EA	\$ 176.80	\$ 205.35	294.0	\$ 60,373.84
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	132.3	\$ 12,446.98
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	98.0	\$ 91,061.60
	083213100400	Unit Patio Doors	Doors, glass, sliding, aluminum, premium, 5/8" tempered insulated glass, 6'-0" x 6'-8"	EA	\$ 2,141.00	\$ 2,486.77	294.0	\$ 731,110.82
	AEI estimate	Unit Patio Doors	Add for sliding screens at select unit patio doors per column lines/level	EA	\$ 650.00	\$ 650.00	56.0	\$ 36,400.00
	AE estimate	Unit Patio Doors	Add for Hopper style transom windows above sliding patio doors	SF	\$ 35.00	\$ 35.00	2,646.0	\$ 92,610.00
	081723101640	Unit Entry Door	Doors, prehung, exterior, entrance door, flush, birch, solid core, 4-5/8" solid jamb, 1-3/4" x 6'-8" x 3'-0" wide	EA	\$ 559.76	\$ 650.16	168.0	\$ 109,227.09
	085113201000	New Windows- Concrete/CMU Installation	Windows, aluminum, commercial grade, stock units, incl. frame and glazing, for installation in concrete openings, add	ADD	8%	\$ 0.09	969,347.9	\$ 90,071.81
	081723105000	Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-6" wide	EA	\$ 504.58	\$ 586.07	504.0	\$ 295,379.11
	081723105020	Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-8" wide	EA	\$ 349.22	\$ 405.62	168.0	\$ 68,144.00
	081433204460	Unit Closet Door	Doors, wood, residential, interior, bi-passing closet, flush, luan, 6'-0" x 6'-8", incl. hardware and frame, excl. trim	EA	\$ 389.92	\$ 452.89	336.0	\$ 152,171.74
	087120401400	Door Hardware	Door hardware, lockset, heavy duty, cylindrical, with sectional trim, residential, minimum	EA	\$ 247.79	\$ 287.81	168.0	\$ 48,352.15
	087120411000	Door Hardware	Door hardware, deadlock, tubular, standard duty, outside key	EA	\$ 110.69	\$ 128.56	168.0	\$ 21,598.48
	087120452020	Door Hardware	Peepholes, wide view	EA	\$ 32.00	\$ 37.17	168.0	\$ 6,244.22
	087120650800	Door Hardware	Thresholds, rubber, 2-3/4" x 1/2"	EA	\$ 79.26	\$ 92.06	168.0	\$ 15,465.58
	087120401100	Doors	Door hardware, non-keyed, heavy duty, cylindrical, with sectional trim, residential, interior door, minimum	EA	\$ 325.00	\$ 377.49	672.0	\$ 253,671.60
	087120501300	Doors	Door stops, wall bumper, 4" dia., w/rubber pad	EA	\$ 31.38	\$ 36.45	672.0	\$ 24,496.05
	087120900012	Doors	Hinges, full mortise, steel base	SET	\$ 39.63	\$ 46.03	1,176.0	\$ 54,129.52
12	8	Windows						\$ 660,554.59
	080505200200	Window Demolition	Window demolition, aluminum, to 12 S.F.	EA	\$ 53.53	\$ 62.18	294.0	\$ 18,279.48
	080505200280	Window Demolition	Window demolition, aluminum, to 50 S.F.	EA	\$ 171.93	\$ 199.70	294.0	\$ 58,710.83
	024119192150	Window Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	14.7	\$ 1,383.00
	024119195000	Window Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	32.7	\$ 30,353.87
	028213463500	Window Asbestos Panel	Decontamination of asbestos containment area, structural demolition, window manifolds, excl. window replacement	SF	\$ 2.26	\$ 2.62	2,352.0	\$ 6,173.98
	028213475020	Window Asbestos Panel	Asbestos waste packaging, handling & disposal, disposal charges, excl. haul, max	CY	\$ 512.71	\$ 595.51	43.6	\$ 25,937.88
	085113201000	New Windows	Windows, aluminum, commercial grade, stock units, casement, 3'-1" x 3'-2" opening, incl. frame and glazing	EA	\$ 684.01	\$ 794.48	147.0	\$ 116,788.21
	085113203000	New Windows	Windows, aluminum, commercial grade, stock units, single-hung, standard glazed, 2'-0" x 3'-0" opening, incl. frame and glazing	EA	\$ 488.19	\$ 567.03	147.0	\$ 83,353.80
	085113204600	New Windows	Windows, aluminum, commercial grade, stock units, sliding, standard glass, 8'-0" x 4'-0" opening, incl. frame and glazing	EA	\$ 806.45	\$ 936.69	294.0	\$ 275,387.35
	085113201000	New Windows- Concrete/CMU Installation	Windows, aluminum, commercial grade, stock units, incl. frame and glazing, for installation in concrete openings, add	ADD	8.0%	9.3%	475,529.4	\$ 44,186.19
13	8	Glass						\$ -
			<i>Included in Windows</i>		\$ -		-	\$ -
14	9	Lath and Plaster						\$ 405,032.40
	090190940735	Clean/prep concrete walls to remain	Surface preparation, interior, walls, wash, concrete, heavy	SF	\$ 0.36	\$ 0.42	391,104.0	\$ 163,536.23
	090190940775	Clean/prep concrete ceilings to remain	Surface preparation, interior, ceiling, wash, heavy	SF	\$ 0.91	\$ 1.06	167,650.0	\$ 177,200.18
	090505303500	Remove damaged plaster wall/ceiling areas	Walls and ceilings demolition, plaster, on masonry (10%)	SF	\$ 6.07	\$ 7.05	933.3	\$ 6,580.28
	092320100300	New Plaster wall patch - interior partitions	Gypsum plaster, 2 coats, on walls, lath excluded (50 sq ft per unit)	SY	\$ 53.24	\$ 61.84	933.3	\$ 57,715.71
15	9	Drywall						\$ 138,500.51
	090505301000	Drywall demolition	Walls and partitions demolition, gypsum wallboard, per s.f., nailed or screwed	SF	\$ 0.60	\$ 0.70	39,200.0	\$ 27,318.48
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	45.9	\$ 4,321.87
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	14.5	\$ 13,490.61
	092910302050	Unit Drywall	Gypsum wallboard, on walls, standard, taped & finished (level 4 finish), 5/8" thick	SF	\$ 1.63	\$ 1.89	39,200.0	\$ 74,246.62
	092910501010	Drywall	Gypsum board, distribution cost, for 3 stories and above, add per story	SF	\$ 0.42	\$ 0.49	39,200.0	\$ 19,122.94

16	9	Ceramic Tile									\$ 309,403.35
	090505303760	Selective demolition	Walls and partitions demolition, tile, ceramic, on walls, thin set	SF	\$ 2.94	\$ 3.41	10,920.0	\$	37,289.73		
	090505202000	Selective demolition	Flooring demolition, tile, ceramic, thin set	SF	\$ 2.60	\$ 3.02	7,560.0	\$	22,830.44		
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	462.0	\$	43,465.65		
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	51.3	\$	47,698.93		
	093113101900	Ceramic Tile	Ceramic tile, bathtub, adhesive set, 5' w x 6' h, with 4-1/4" x 4-1/4" tile wainscot	EA	\$ 769.95	\$ 894.30	168.0	\$	150,241.88		
	093113103300	Ceramic Tile	Ceramic tile, floors, glazed, porcelain type, 1 color, color group 2, 1" x 1"	SF	\$ 15.07	\$ 17.50	450.0	\$	7,876.71		
17	9	Acoustical	NONE INCLUDED						\$ -		
					\$ -				\$ -		
18	9	Wood Flooring	NONE INCLUDED						\$ -		
					\$ -				\$ -		
19	9	Resilient Flooring	NONE INCLUDED						\$ -		
					\$ -				\$ -		
19	9	Resilient Flooring							\$ 992,547.85		
	090505200900	Selective demolition	Flooring demolition, vinyl composition tile, 12" x 12"	SF	\$ 1.76	\$ 2.04	104,832.0	\$	214,301.77		
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	524.2	\$	49,313.76		
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	29.1	\$	27,058.30		
	Industry Average	Unit Floor Prep	Scrape, repair, level concrete floor to receive vct flooring	SF	\$ 0.25	\$ 0.25	104,832.0	\$	26,208.00		
	096519197400	Unit Resilient Flooring	Flooring, vinyl composition tile, solid, 12" x 12" x 1/8"	SF	\$ 3.94	\$ 4.58	104,832.0	\$	479,743.73		
	096513131100	Unit Resilient Flooring	Wall base, rubber, straight or cove, standard colors, 4" high, 1/8" thick	SF	\$ 4.67	\$ 5.42	36,120.0	\$	195,922.28		
20	9	Painting							\$ 1,453,601.17		
	090190930810	Paint Preparation	Surface preparation, exterior, siding, masonry, brick & block, pressure wash, based on 2500 lb operating pressure	SF	\$ 0.40	\$ 0.46	346,896.0	\$	161,167.88		
	015423700090	Scaffolding for exterior access	Scaffolding, steel tubular, regular, labor only to erect & dismantle, building exterior, wall face, 6'-4" x 5' frames, 1 to 5 stories, excludes planks	C.S.F.	\$ 389.55	\$ 452.46	45.0	\$	20,360.80		
	015423702250	Scaffolding for exterior access	Scaffolding, steel tubular, regular, frame, rent/mo, 7'-6" high x 6' wide	Ea.	\$ 11.73	\$ 13.62	600.0	\$	8,174.64		
	015423702500	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, cross brace, rent/mo	Ea.	\$ 3.97	\$ 4.61	1,200.0	\$	5,533.39		
	015423702550	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, guardrail post, rent/mo	Ea.	\$ 3.85	\$ 4.47	1,200.0	\$	5,366.13		
	015423702600	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, guardrail section, rent/mo, 7' long	Ea.	\$ 13.13	\$ 15.25	270.0	\$	4,117.63		
	015423702650	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, screw jack & plate, rent/mo	Ea.	\$ 5.15	\$ 5.98	900.0	\$	5,383.55		
	015423702850	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, plank, rent/mo, 2" x 10" x 16' long	Ea.	\$ 11.73	\$ 13.62	1,350.0	\$	18,392.93		
	015423702900	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, stairway section, rent/mo	Ea.	\$ 38.20	\$ 44.37	36.0	\$	1,597.29		
	015423705700	Scaffolding for exterior access	Scaffolding, planks, labor only to install & remove, 2"x10"x16', up to 50' high	Ea.	\$ 42.93	\$ 49.86	225.0	\$	11,219.22		
	099113900410	Building Facade	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, first coat, latex, roller	SF	\$ 0.76	\$ 0.88	133,608.0	\$	117,941.13		
	099113900420	Building Facade	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, second coat, latex, roller	SF	\$ 0.62	\$ 0.72	133,608.0	\$	96,215.13		
	099113900500	Stairwells	Paints & coatings, walls, concrete masonry units (CMU), porous, first coat, latex	SF	\$ 0.76	\$ 0.88	14,400.0	\$	12,711.46		
	099113900510	Stairwells	Paints & coatings, walls, concrete masonry units (CMU), porous, second coat, latex	SF	\$ 0.62	\$ 0.72	14,400.0	\$	10,369.87		
	099113900500	Walkway Screen Panels	Paints & coatings, walls, concrete masonry units (CMU), porous, first coat, latex, brushwork	SF	\$ 1.66	\$ 1.93	36,480.0	\$	70,336.72		
	099113900510	Walkway Screen Panels	Paints & coatings, walls, concrete masonry units (CMU), porous, second coat, latex, brushwork	SF	\$ 1.09	\$ 1.27	36,480.0	\$	46,184.96		
	099113420140	Painting , exterior	Paints & coatings, misc. exterior, railings, metal, brushwork, epoxy paint, second coat	LF	\$ 9.17	\$ 10.65	5,124.0	\$	54,575.49		
	099113700170	Painting , exterior	Paints & coatings, exterior doors, flush, roll & brush, finish coat, exterior latex, incl. frame & trim	EA	\$ 103.68	\$ 120.42	168.0	\$	20,231.29		
	099113700120	Painting , exterior	Paints & coatings, exterior door frames & trim only, brushwork, finish coat, exterior latex	LF	\$ 2.00	\$ 2.32	2,856.0	\$	6,634.49		
	099123722110	Painting, Interior	Paints & coatings, walls & ceilings, interior, masonry or concrete block, latex paint, smooth finish, roller	SF	\$ 0.99	\$ 1.15	391,104.0	\$	449,724.62		
	099123720480	Painting, Interior	Paints & coatings, walls & ceilings, interior, concrete, drywall or plaster, latex paint, 1 coat, smooth finish, spray	SF	\$ 0.50	\$ 0.58	134,120.0	\$	77,890.19		
	099123350140	Painting, Interior	Paints & coatings, interior latex, doors, flush, both sides, roll & brush, primer + 2 coats, incl. frame & trim	EA	\$ 213.08	\$ 247.49	1,008.0	\$	249,472.36		
									\$ -		
									\$ -		
21	10	Specialties							\$ 269,900.96		
	102813130200	Specialties	Toilet accessories, curtain rod, stainless steel, 1" diameter x 5' long	EA	\$ 73.00	\$ 84.79	168.0	\$	14,244.64		
	102813136500	Specialties	Toilet accessories, towel bar, stainless steel, 30" long	EA	\$ 80.00	\$ 92.92	336.0	\$	31,221.12		
	102813134300	Specialties	Toilet accessories, robe hook, regular, single	EA	\$ 25.83	\$ 30.00	336.0	\$	10,079.29		
	102813136100	Specialties	Toilet accessories, toilet tissue dispenser, stainless steel, surface mount, single roll	EA	\$ 38.13	\$ 44.28	168.0	\$	7,439.48		
	102816200020	Specialties	Bath accessories, medicine cabinet, with mirror, stainless steel frame, unlighted, 16" x 22"	EA	\$ 142.12	\$ 165.07	168.0	\$	27,731.38		
	Industry Average	Specialties	Range Queens, pair	EA	\$ 91.10	\$ 91.10	336.0	\$	30,609.60		
	102623131775	Specialties	Wall protection, stainless steel sheet, screwed to studs, 16 ga., 48" x 36" tall	SF	\$ 12.64	\$ 14.68	2,016.0	\$	29,597.62		
	105723190200	Specialties	Wood shelving, pine, clear grade, no edge band, 1x12 (Closet shelving, Avg. 40lf/unit)	LF	\$ 10.75	\$ 12.49	6,720.0	\$	83,906.76		
	105523100300	Specialties	Mail boxes, horizontal, key lock, aluminum, front loading, double, 5" h x 12" w x 15" deep	EA	\$ 117.73	\$ 136.74	168.0	\$	22,972.89		
	101423131050	Specialties	Signs, flexible door sign, adhesive back, w/Braille, 5/8" letters, 6" x 6"	EA	\$ 62.00	\$ 72.01	168.0	\$	12,098.18		
22	10	Special Equipment							\$ -		
									\$ -		
23	11	Cabinets							\$ 1,904,233.61		
	060505201000	Selective demolition - cabinets	Selective demolition, millwork and trim, wood base cabinets	LF	\$ 23.09	\$ 26.82	2,016.0	\$	54,067.17		
	060505201020	Selective demolition - cabinets	Selective demolition, millwork and trim, wood wall cabinets	LF	\$ 23.09	\$ 26.82	2,016.0	\$	54,067.17		
	060505201510	Selective demolition - countertops	Selective demolition, millwork and trim, counter top, L, U or C shapes	LF	\$ 15.43	\$ 17.92	2,016.0	\$	36,130.64		
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	302.4	\$	28,450.25		
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	56.0	\$	52,035.20		
	123223109600	New cabinets- RS Means Rule of Thumb	Custom cabinets, rule of thumb: kitchen cabinets, excl. counters & appliances, maximum	LF	\$ 562.57	\$ 653.43	2,016.0	\$	1,317,304.91		
	123623301540	New Countertops	Countertops, plastic laminate, 24" wide, 1-1/2" thick edging, plastic laminate edging, maximum	LF	\$ 50.68	\$ 58.86	2,016.0	\$	118,671.48		
	123623302640	Add backsplashes to countertops	Countertops, plastic laminate, back splash, add to above, maximum	LF	\$ 29.41	\$ 34.16	302.4	\$	10,329.90		
	123223308050	New Bathroom Vanity Cabinets	Wood casework vanities, base, 2 door, 30" h x 21" d x 30" w	EA	\$ 615.05	\$ 714.38	168.0	\$	120,015.94		
	224116131040	New Bathroom Vanity Tops	Lavatory, vanity top, cultured marble, white, single bowl, 25" x 19", includes trim	EA	\$ 579.92	\$ 673.58	168.0	\$	113,160.95		
24	11	Appliances							\$ -		
			NONE INCLUDED- Owned by PHA		\$ -	\$ -			\$ -		
25	12	Blinds and Shades, Artwork							\$ 126,001.37		
	120505104920	Selective demolition- blinds	Selective demolition, blinds, interior, horizontal or vertical	LF	\$ 4.55	\$ 5.28	4,368.0	\$	23,084.12		
	122113130020	New blinds	Blinds, interior, horizontal, solid color, stock, 1" aluminum slats	SF	\$ 7.63	\$ 8.86	11,613.0	\$	102,917.25		
26	12	Carpets							\$ -		
			NONE INCLUDED		\$ -				\$ -		
27	13	Special Construction							\$ 1,963,234.76		
	RS Means SF	Sprinklers- 1st floor	Wet pipe sprinkler systems, steel, light hazard, 4 floors, 10,000 sf	SF	\$ 0.90	\$ 1.05	11,880.0	\$	12,418.76		
	RS Means SF	Sprinklers- each additional floor	Wet pipe sprinkler systems, steel, light hazard, 4 floors, 10,000 sf	SF	\$ 3.92	\$ 4.55	122,240.0	\$	556,568.50		
	038213100500	Special Construction	Concrete core drilling, 4" diameter, up to 6" thick slab (2 per unit)	EA	\$ 80.40	\$ 93.38	168.0	\$	15,687.78		
	078413100250	Special Construction	Firestopping, metallic piping, insulated, through floors 4" diameter (2 per unit)	EA	\$ 26.15	\$ 30.37	168.0	\$	5,101.86		
	078413100210	Special Construction	Firestopping, metallic piping, insulated, through walls 4" diameter (2 per unit)	EA	\$ 52.15	\$ 60.58	168.0	\$	10,177.06		
	024113381000	Special Construction	Selective demo, sewer piping & fittings, ductile iron pipe, 8" diameter (Sewer lines)	LF	\$ 15.24	\$ 17.70	400.0	\$	7,080.98		
	024113381000	Demolition	Selective demo, sewer piping & fittings, ductile iron pipe, 4" diameter (Sewer lines)	LF	\$ 15.24	\$ 17.70	740.0	\$	13,099.82		
	Industry Average	Final Cleaning	Apartment punch-out, cleaning, prelease procedures - Industry Average	EA	\$ 450.00	\$ 450.00	168.0	\$	75,600.00		

	Industry Average	Special Construction	ADA A/V Upgrades for Hearing Impaired	EA	\$ 2,500.00	\$ 2,500.00	3.0	\$ 7,500.00
	AEI estimate	Demolition	Bulk Hazardous Materials Removal/Biohazard Abatement (Asbestos, Lead, & Mold)	Apt	\$ 7,500.00	\$ 7,500.00	168.0	\$ 1,260,000.00
28	14	Elevators						\$ -
			NONE INCLUDED		\$ -			\$ -
29	15	Plumbing and Hot Water						\$ 5,974,910.42
	AEI estimate	MEP demolition	Make safe, cap, remove all MEP piping, devices, fixtures, cable, haul off and dispose	SF	\$ 3.13	\$ 3.13	134,120.0	\$ 419,795.60
	D2010 Sq. Ft. Est	Plumbing	Three fixture bathroom - lavatory, bathtub, & water closet - system includes rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$ 7.17	\$ 8.33	134,120.0	\$ 1,116,945.32
	D2010 Sq. Ft. Est	Plumbing	Kitchen sink system - Kitchen sink w/trim, countertop, 32"x21" double bowl - systems are complete w/trim and rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$ 2.07	\$ 2.40	134,120.0	\$ 322,465.39
	D2010 Sq. Ft. Est	Domestic Water Distribution	Domestic water supply piping and water heater	SF	\$ 8.65	\$ 10.05	134,120.0	\$ 1,347,500.29
	231123200130	Plumbing	Gas piping, flexible (CSST), tubing with lightning protection, 3/4" (Interior gas line replacement)	LF	\$ 16.25	\$ 18.88	33,600.0	\$ 634,266.42
	231123200260	Plumbing	Gas piping, flexible (CSST), tubing, for underground/under slab burial, 1-1/2" (Exterior gas line replacement)	LF	\$ 36.39	\$ 42.27	1,600.0	\$ 67,635.45
	231123104010	Plumbing	Gas meter, residential, 3/4" pipe size	EA	\$ 346.64	\$ 402.62	168.0	\$ 67,639.68
	D310 Sq. Ft. Est	Energy Supply	Apartment Building Heating System- boiler, pumps, convectors	SF	\$ 12.83	\$ 14.90	134,120.0	\$ 1,998,662.28
30	15	Heat and Ventilation						\$ 180,918.70
	233713100200	Kitchen Ventilation	Diffuser, aluminum, ceiling, also for sidewall, 8" wide, includes opposed blade damper	EA	\$ 65.14	\$ 75.66	168.0	\$ 12,710.22
	113013194150	Kitchen Ventilation	Range hood, residential appliances, vented, min, 2 speed, 30" wide, minimum	EA	\$ 484.37	\$ 562.60	168.0	\$ 94,516.09
	233423106670	Bathroom Ventilation	Fans, residential, bath exhaust, grille, back draft damper, 110 CFM	EA	\$ 247.29	\$ 287.23	168.0	\$ 48,254.19
	233423106946	Bathroom Ventilation	Exhaust vent wall cap, 3" & 4" round duct	EA	\$ 87.46	\$ 101.58	168.0	\$ 17,065.46
	233346101500	Bathroom Ventilation	Exhaust vent duct - flexible, non-insulated, 3" diameter	LF	\$ 4.29	\$ 4.98	1,680.0	\$ 8,372.74
31	15	Air Conditioning						\$ -
			NONE INCLUDED		\$ -	\$ -	-	\$ -
32	16	Electrical						\$ 5,175,578.40
	D5010 Sq. Ft. Est	Electrical Service/Distribution	Electrical Service/Distribution - Underground service installation, includes excavation, backfill, and compaction, 100' length, 4' depth, 3 phase, 4 wire, 277/480 volts, 2000 A; Feeder installation 600 V, including RGS conduit and XHHW wire, 2000 A; Switchgear installation, incl switchboard, panels & circuit breaker, 120/208 V, 3 phase, 2000 A	SF	\$ 14.88	\$ 17.28	134,120.0	\$ 2,318,012.05
	D5020 Sq. Ft. Est	Lighting and Branch Wiring	Lighting and Branch Wiring - Receptacles incl plate, box, conduit, wire, 10 per 1000 SF, 1.2 watts per SF; Wall switches, 2.5 per 1000 SF; Miscellaneous power, 2 watts; HVAC power; Motor installation, three phase, 200 V, 15 HP motor size; Incandescent fixtures recess mounted, type A, 1 watt per SF, 8 FC, 6 fixtures per 1000 SF	SF	\$ 14.06	\$ 16.33	134,120.0	\$ 2,190,272.14
	D5030 Sq. Ft. Est	Communications and Security	Communications and Security - Communication and alarm systems, fire detection, includes outlets, boxes, conduit and wire	SF	\$ 2.39	\$ 2.78	134,120.0	\$ 372,315.11

	262416100300	Electrical Service/Distribution	Load centers, 1 phase, 3 wire, main lugs, indoor, 120/240 V, 100 amp, 12 circuits, incl 20 A 1 pole plug-in breakers	EA	\$ 1,411.69	\$ 1,639.68	168.0	\$ 275,465.89
	265623101160	Electrical	Exterior lighting - HPS fixture, exterior, wall pack, 70 watt, incl. lamps	EA	\$ 350.00	\$ 406.53	48.0	\$ 19,513.20
33	0	Subtotal (Structures)						\$ 24,991,303.93
34	0	Accessory Structures						\$ -
35	0	Total (Lines 33 and 34)	Not included per PIH 2018-04		\$ -	\$ -	-	\$ -
36	31	Earthwork						\$ 108,394.87
	329119131000	Earthwork- Grading for positive flow	Topsoil placement and grading, fine grading and seeding, with equipment	SY	\$ 4.75	\$ 5.52	2,488.9	\$ 13,731.51
	310513100800	Earthwork- Grading for positive flow	Soils for earthwork, topsoil, includes load and haul 2 miles	CY	\$ 32.20	\$ 37.40	276.5	\$ 10,344.04
	312316130060	Foundation Repair- bituminous coating	Excavating, trench or continuous footing, common earth, 1/2 C.Y. excavator, 1' to 4' deep, excludes sheeting or dewatering	BCY	\$ 8.47	\$ 9.84	960.0	\$ 9,444.39
	312323160050	Foundation Repair- bituminous coating	Fill by borrow and utility bedding, for pipe and conduit, crushed or screened bank run gravel, excludes compaction	LCY	\$ 58.15	\$ 67.54	960.0	\$ 64,839.58
	312323131100	Foundation Repair- bituminous coating	Backfill and compact, by hand, 12" layers, compaction in layers, vibrating plate, add to above	ECY	\$ 9.00	\$ 10.45	960.0	\$ 10,035.36
37		Site Utilities- PCNA Required replacement						\$ 898,634.77
	333111252040	Sanitary Sewer VCP Replacment	Public sanitary utility sewerage piping, piping polyvinyl chloride pipe, B & S, 20' lengths, 6" diameter, SDR 35, excludes excavation or backfill	LF	\$ 13.04	\$ 15.15	3,360.0	\$ 50,890.43
	333111253080	Sanitary Sewer VCP Replacment	Public sanitary utility sewerage piping, piping polyvinyl chloride pipe, fittings, bends or elbows, 6" diameter, SDR 35, excludes excavation or backfill	EA	\$ 108.39	\$ 125.89	96.0	\$ 12,085.92
	333111253670	Sanitary Sewer VCP Replacment	Public sanitary utility sewerage piping, cap, polyvinyl chloride, 6", SDR 35	EA	\$ 211.00	\$ 245.08	64.0	\$ 15,684.90
	331413254120	Domestic Water	Water supply distribution piping, polyvinyl chloride pressure pipe, 2", ASTM D2241, class 200, SDR 21, includes trenching to 3' deep	LF	\$ 26.75	\$ 31.07	800.0	\$ 24,856.10
	221119421160	Domestic Water	Backflow preventer, double check principle, corrosion resistant, automatic operation, gate valves, threaded, 2" pipe size, includes valves and four test cocks	EA	\$ 2,481.59	\$ 2,882.37	8.0	\$ 23,058.93
	221119387300	Domestic Water	Water supply meter, turbine type, flanged, to 160 GPM, 2" diameter	EA	\$ 923.11	\$ 1,072.19	168.0	\$ 180,128.30
	221119381140	Fire Main- new	Water supply meter, detector, serves dual systems such as fire and domestic or process water, wide range capacity, 700 GPM, 4" mainline x 2" by-pass, UL and FM approved	EA	\$ 10,418.12	\$ 12,100.65	8.0	\$ 96,805.17
	221119421220	Fire Main- new	Backflow preventer, double check principle, corrosion resistant, automatic operation, gate valves, flanged, 4" pipe size, includes valves and four test cocks	EA	\$ 4,101.22	\$ 4,763.57	8.0	\$ 38,108.54
	331413152020	Fire Main- new	Water supply distribution piping, ductile iron pipe, cement lined, mechanical joint, no fittings, 18' lengths, 4" diameter, class 50, excludes excavation or backfill	LF	\$ 74.93	\$ 87.03	800.0	\$ 69,624.96
	221426196820	Foundation Repair- water diversion	Drain, trench, fiberglass for cement concrete encasement, 8" internal width, with medium duty galvanized grate, not including trenching or concrete	LF	\$ 147.99	\$ 171.89	960.0	\$ 165,014.77
	333111252080	Foundation Repair- water diversion	Public sanitary utility sewerage piping, piping polyvinyl chloride pipe, B & S, 13' lengths, 8" diameter, SDR 35, excludes excavation or backfill	LF	\$ 18.99	\$ 22.06	800.0	\$ 17,645.51
	312316130060	All Utilities	Excavating, trench or continuous footing, common earth, 1/2 C.Y. excavator, 1' to 4' deep, excludes sheeting or dewatering	BCY	\$ 8.47	\$ 9.84	711.1	\$ 6,995.84
	312316131352	All Utilities	Excavating, trench or continuous footing, common earth, 1/2 C.Y. excavator, 4' to 6' deep, includes trench box, excludes dewatering	BCY	\$ 13.94	\$ 16.19	2,240.0	\$ 36,268.53
	312316133020	All Utilities	Excavating, trench backfill, 1 C.Y. bucket, minimal haul, front end loader, wheel mounted, excludes dewatering	LCY	\$ 3.70	\$ 4.30	2,951.1	\$ 12,682.55
	024113233200	All Utilities	Utility removal, pipe, sewer/water, steel, welded connections, 4" diameter, remove, excludes excavation, hauling	LF	\$ 14.01	\$ 16.27	4,960.0	\$ 80,712.17
	312323160050	All Utilities	Fill by borrow and utility bedding, for pipe and conduit, crushed or screened bank run gravel, excludes compaction	LCY	\$ 58.15	\$ 67.54	551.1	\$ 37,222.72
	312323131100	All Utilities	Backfill and compact, by hand, 12" layers, compaction in layers, vibrating plate, add to above	ECY	\$ 9.00	\$ 10.45	2,951.1	\$ 30,849.44
38		Roads & Walks						\$ 242,933.84
	024113175010	Demolition Req'd for Utility Replacement	Demolish, remove pavement & curb, remove bituminous pavement, up to, 3" thick, excludes hauling and disposal fees	SY	\$ 7.12	\$ 8.27	2,480.0	\$ 20,509.30
	024113304100	Demolition Req'd for Utility Replacement	Minor site demolition, sidewalk, concrete, plain, 4" thick, remove, excludes hauling	SY	\$ 14.01	\$ 16.27	826.7	\$ 13,452.03
	024119193000	Demolition Req'd for Utility Replacement	Selective demolition, rubbish handling, loading & trucking, chute loaded, including 2 mile haul, cost to be added to demolition cost (Avg. 7 CY per unit)	C.Y.	\$ 55.80	\$ 64.81	367.0	\$ 23,787.95
	320610100100	Asphalt Patch for Utility Replacement	Sidewalks, driveways, and patios, side walks, asphaltic concrete, 2-1/2" thick, excludes base	SY	\$ 18.53	\$ 21.52	2,480.0	\$ 53,376.04
	320610100310	Concrete Patch for Utility Replacement	Sidewalks, driveways, and patios, sidewalk, concrete, cast-in-place with 6 x 6 - W1.4 x W1.4 mesh, broomed finish, 3,000 psi, 4" thick, excludes base	SF	\$ 6.39	\$ 7.42	7,440.0	\$ 55,219.57
	320610100450	Base for Asphalt and Concrete Patch	Sidewalks, driveways, and patios, sidewalks, concrete, excludes base, for 4" thick bank run gravel base, add	SF	\$ 1.74	\$ 2.02	7,440.0	\$ 15,036.31
	320610102160	Spread Base for Asphalt and Concrete Patch	Sidewalks, driveways, and patios, sidewalk, load, dump and spread stone, 100' haul, with skid steer, excludes base	CY	\$ 91.32	\$ 106.07	367.0	\$ 38,931.26
	321613130410	Concrete Curb Repair for Utility Replacement	Cast-in place concrete curbs & gutters, concrete, steel forms, straight, 6" x 18", includes concrete	LF	\$ 16.23	\$ 18.85	1,200.0	\$ 22,621.37
39		Exterior Improvements						\$ -
			Not included per PIH 2018-04		\$ -	\$ -		\$ -
40		Lawns and Plantings						\$ 93,437.48
	329119131000	Perimeter Landscaping Restoration	Topsoil placement and grading, fine grading and seeding, with equipment	SY	\$ 3.74	\$ 4.35	2,464.0	\$ 10,715.69
	310513100800	Perimeter Landscaping Restoration	Soils for earthwork, topsoil, includes load and haul 2 miles	CY	\$ 32.20	\$ 37.40	821.3	\$ 30,721.79
	AEI allowance	Perimeter Landscaping Restoration	Restoration of foundation plantings for renovation work	EA	\$ 6,500.00	\$ 6,500.00	8.0	\$ 52,000.00
41		Unusual Site Conditions						\$ -
			Not included per PIH 2018-04		\$ -	\$ -		\$ -
42		Total Land Improvements						\$ 1,343,400.96
		Combined Structure and Land Improvement Cost						\$ 26,334,704.89
		Soft Costs and Fees (per PIH 2018-04 Notice)						
		PIH 2018-04 % allowed	Hard Cost Contingency	7.50%				\$ 1,975,102.87
		PIH 2018-04 % allowed	General Conditions	5.00%				\$ 1,316,735.24
		PIH 2018-04 % allowed	Builders Overhead	2.00%				\$ 526,694.10
		PIH 2018-04 % allowed	Builder's/Subcontractor's Profit	10.00%				\$ 2,633,470.49
		PIH 2018-04 % allowed	Architectural Design Fees	5.50%				\$ 1,448,408.77
		PIH 2018-04 % allowed	PHA Fee	2.00%				\$ 526,694.10
		Subtotal Soft Costs and Fees		32.00%				\$ 8,427,105.56
			TOTAL CONSTRUCTION RENOVATION COST BUDGET:					\$ 34,761,810.45
			TOTAL HUD NEW DEVELOPMENT COST					\$ 51,189,259.00
			Rehabilitation Cost % (estimated cost of Rehabilitation/Total TDC) x 100 =					67.91%

8.0 ASSESSOR QUALIFICATIONS

I understand that my HUD Demolition/Disposition PNA will be used by Marin Housing Authority to document to the U.S. Department of Housing and Urban Development that the MAP Lender's application for FHA multifamily mortgage insurance was prepared and reviewed in accordance with HUD requirements. I certify that my review was in accordance with the HUD requirements applicable on the date of my review and that I have no financial interest or family relationship with the officers, directors, stockholders, or partners of the Borrower, the general contractor, any subcontractors, the buyer or seller of the proposed property or engage in any business that might present a conflict of interest.

I am employed full time by the MAP Lender (underwriter) or under contract for this specific assignment (as Needs Assessor) and I have no other side deals, agreements, or financial considerations with the MAP Lender or others in connection with this transaction.

I hereby certify under penalty of perjury that all of the information I have provided on this form and in any accompanying documentation is true and accurate. I acknowledge that if I knowingly have made any false, fictitious, or fraudulent statement, representation, or certification on this form or on any accompanying documents, I may be subject to criminal, civil, and/or administrative sanctions, including fines, penalties, and/or imprisonment under applicable federal law, including but not limited to 12 U.S.C. § 1833a; 18 U.S.C. §§1001, 1006, 1010, 1012, and 1014; 12 U.S.C. §1708 and 1735f-14; and 31 U.S.C. §§3729 and 3802.

The site inspection was completed on November 7, 2019

A resume of the property evaluator and the senior reviewers are included in the appendix of this report.



Kevin Pressey, Engineering Project Manager



Jeb Bonnett, Vice President - HUD Building Assessments

DRAFT

Douglas Olson, Executive Vice President

Warning: Title 18 U.S.C. 1001, provides in part that whoever knowingly and willfully makes or uses a document containing any false, fictitious, or fraudulent statement or entry, in any manner in the jurisdiction of any department or agency of the United States, shall be fined not more than \$10,000 or imprisoned for not more than five years or both.

9.0 LIMITING CONDITIONS

HUD Demolition/Disposition PNA performed by AEI Consultants are based upon, but not limited to, the scope of work outlined by ASTM Standard E2018-15. Our review of the subject property consisted of a visual inspection of the site, the structure(s) and the interior spaces. Technical Assessments were made based on the appearance of the improvements at the time of this Assessment. No destructive or invasive testing was included in the scope of this review.

The recommendations and conclusions presented as a result of this Assessment apply strictly to the time the Assessment was performed. Available documentation has been analyzed using currently accepted Assessment techniques and AEI believes that the inferences made are reasonably representative of the property.

No warranty is expressed or implied, except that the services rendered have been performed in accordance with generally accepted Assessment practices applicable at the time and location of the study.

This report should not be construed as technically exhaustive. This report does not warranty or guarantee compliance with any Federal, state or local statute, ordinance or regulation including but not limited to, building codes, safety codes, environmental regulations, health codes or zoning ordinances or compliance with trade/design standards or the standards developed by the insurance industry. Local, state and federal regulations, and codes change significantly over time from when the subject property was developed and the subject building was constructed. The subject property and subject building may not meet all current regulations, and code requirements put forth on a local, state, or federal level.

AEI Consultants has made reasonable efforts to properly assess the property conditions within the contracted scope of services; however, limitations during the assessment may be encountered.

AEI Consultants' findings and conclusions were based primarily on the visual assessment of the property at the time the site visit. In addition, the assessment value is based upon comparative judgments with similar properties in the property observer's experience. The Client is herewith advised that the conditions observed by AEI are subject to change. AEI's property observations included areas that were readily accessible without opening or dismantling secure areas or components. AEI's conclusions did not include any destructive or invasive testing, laboratory analysis, exploratory probing or engineering evaluations of structural, mechanical, electrical, or other systems with related calculations.

No assessment can wholly eliminate the uncertainty regarding the presence of physical deficiencies and performances of the building system. According to the ASTM guidelines, a property condition assessment is intended to reduce the risk regarding potential building system and component failure. The ASTM standard recognizes the inherent subjective nature of the assessment regarding such issues as workmanship, quality of care during installation, maintenance of building systems and remaining useful of the building system or components.

Assessments, analysis and opinions expressed within this report are not representations regarding either the design integrity or the structural soundness of the project.

No destructive or invasive testing was included in the scope of this Assessment.

APPENDIX A

Dwelling Unit Photo Documentation



1. Interiors - 5 kitchen



2. Interiors - 5 bathroom



3. Interiors - 25 bedroom



4. Interiors - 25 bathroom



5. Interiors - 25 kitchen



6. Interiors - 25 entrance view



7. Interiors - 25 washer and dryer hookup



8. Interiors - 37 bathroom



9. Interiors - 37 bedroom



10. Interiors - 37 kitchen



11. Interiors - 48-18 bathroom



12. Interiors - 49-8 bathroom



13. Interiors - 49-8 kitchen



14. Interiors - 49-8 living area



15. Interiors - 49-13 kitchen



16. Interiors - 49-13 living area



17. Interiors - 49-14 bathroom ceiling damage



18. Interiors - 49-15 bathroom ceiling damage



19. Interiors - 49-15 water seepage into the unit
(Critical Repair)



20. Interiors - 50 bathroom



21. Interiors - 50 kitchen



22. Interiors - 59-5 kitchen



23. Interiors - 59-12 bathroom



24. Interiors - 59-12 bedroom



25. Interiors - 59-12 kitchen



26. Interiors - 59-13 kitchen



27. Interiors - 59-21 bathroom



28. Interiors - 59-21 bedroom



29. Interiors - 59-21 living and kitchen area



30. Interiors - 69-15 bathroom



31. Interiors - 69-16 bedroom



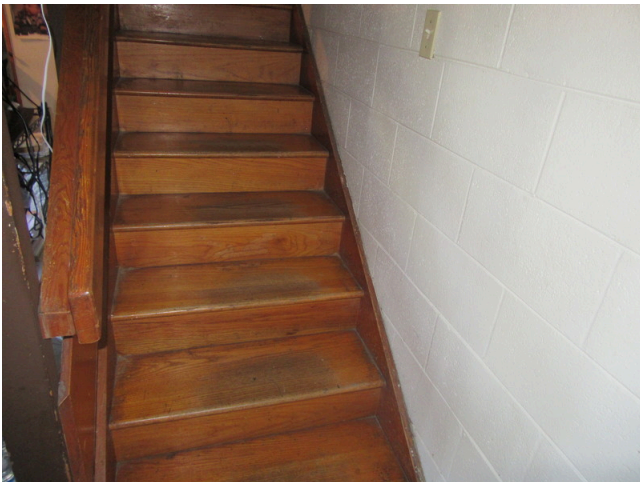
32. Interiors - 69-16 kitchen



33. Interiors - 72 bathroom high window with water damage (Critical Repair)



34. Interiors - 72 bathroom



35. Interiors - 72 interior stair



36. Interiors - 72 kitchen



37. Interiors - 79-5 UFAS bathroom, need s/a wrap
(Critical Repair)



38. Interiors - 79-5 UFAS kitchen sink, need S/A
wrap (Critical Repair)



39. Interiors - 79-5 ADA shower



40. Interiors - 79-5 kitchen



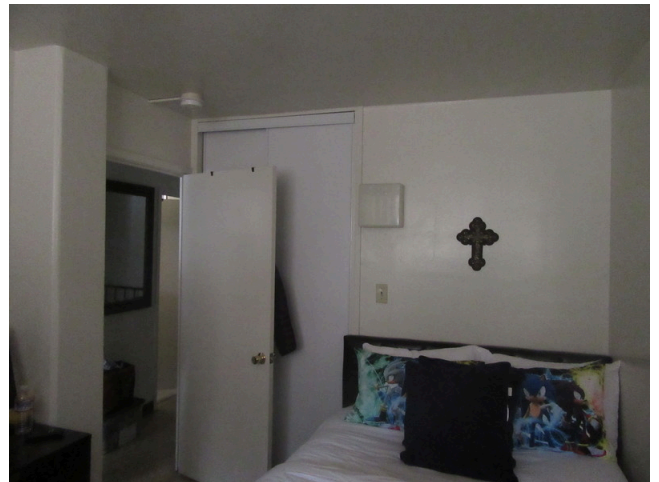
41. Interiors - 79-7 kitchen



42. Interiors - 79-11 bathroom



43. Interiors - 79-11 kitchen



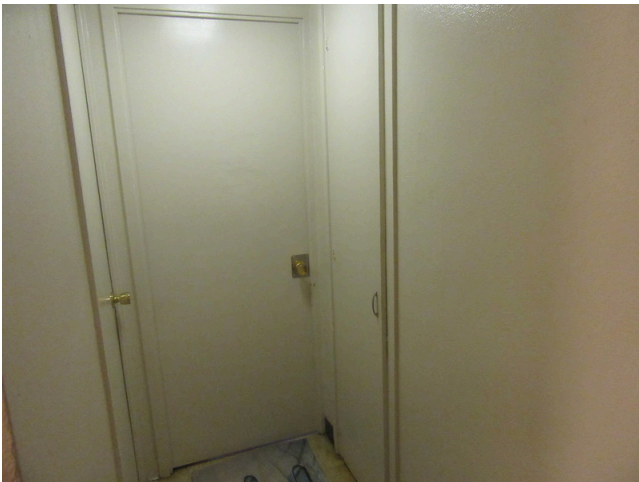
44. Interiors - 79-12 bedroom



45. Interiors - 79-12 kitchen



46. Interiors - 79-12 living room



47. Interiors - 89-2 hallway



48. Interiors - 89-14 kitchen



49. Interiors - 89-15 bathroom



50. Interiors - 89-15 bedroom



51. Interiors - 89-16 kitchen



52. Interiors - 99-9 bathroom



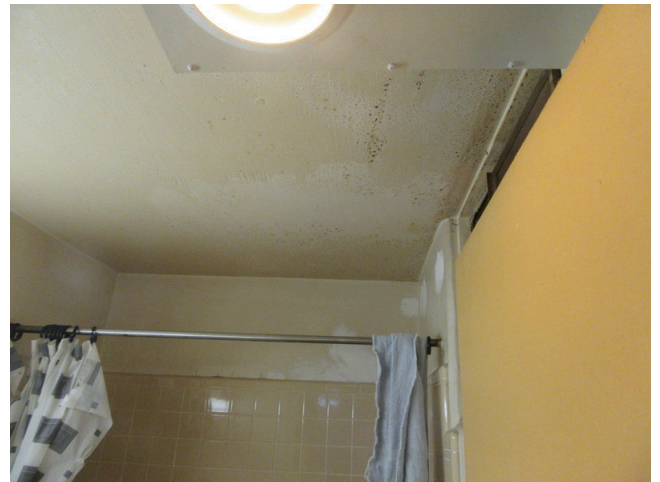
53. Interiors - 99-9 kitchen



54. Interiors - 99-10 kitchen



55. Interiors - 99-16 kitchen



56. Interiors - 99-16 bathroom ceiling moisture damage



57. Interiors - 99-21 living room



58. Interiors - 109 kitchen



59. Interiors - 123 bathroom



60. Interiors - 129 bedroom



61. Interiors - 129 kitchen and laundry hookup



62. Interiors - 129 living room



63. Interiors - 131 bedroom



64. Interiors - 131 carpet at upper hallway



65. Interiors - 131 kitchen



66. Interiors - 185 kitchen



67. Interiors - 187 kitchen



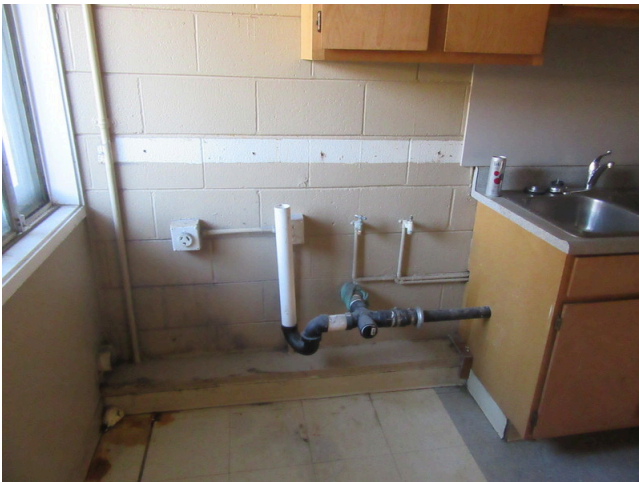
68. Interiors - 211 bedroom



69. Interiors - 211 interior wall at stair infilled by tenant



70. Interiors - 211 kitchen



71. Interiors - 211 laundry equipment hook-up



72. Interiors - 211 upper hallway and stair flooring



73. Interiors - 213 bathroom



74. Interiors - 255 bathroom



75. Interiors - 255 kitchen



76. Interiors - 305 bathroom



77. Interiors - 305 kitchen



78. Interiors - 307 bathroom



79. Interiors - 307 kitchen



80. Interiors - 307 upper floor hallway



81. Interiors - 387 bathroom



82. Interiors - 387 floor damage



83. Interiors - 387 kitchen



84. Interiors - 387 upper floor hallway



85. Interiors - 387 washer and dryer hook up



86. Interiors - 409-2 moisture damage at bathroom ceiling



87. Interiors - 409-9 living room



88. Interiors - 409-13 kitchen



89. Interiors - 409-16 kitchen



90. Interiors - 419-2 kitchen



91. Interiors - 419-5 ADA bathroom shower



92. Interiors - 419-5 ADA bathroom



93. Interiors - 419-5 ADA kitchen



94. Interiors - 419-5 bedroom



95. Interiors - 419-9 bathroom soffit damage



96. Interiors - 419-9 bedroom



97. Interiors - 419-9 kitchen



98. Interiors - 419-9 living room



99. Interiors - 419-19 kitchen



100. Interiors - 419-19 living room



101. Interiors - 7911 bedroom



102. Interiors - Building 49 laundry room



103. Interiors - Building 59 laundry room



104. Interiors - Building 69 laundry room



105. Interiors - Building 89 laundry room



106. Interiors - Building 99 laundry room



107. Interiors - Building 409 ceiling damage at boiler room



108. Interiors - Building 409 laundry room



109. Interiors - Maintenance shop

APPENDIX B

General Photo Documentation



1. Elevations - Highrise building elevation



2. Elevations - Highrise elevations



3. Elevations - Leasing and maintenance building elevation



4. Elevations - Low rise building elevation



5. Elevations - Lowrise building elevation



6. Elevations - Partial lowrise building elevation



7. Elevations - Typical high rise end elevation



8. Elevations - Typical high rise side elevation



9. Elevations - Typical low rise apartment building



10. Exterior - Address signage



11. Exterior - Building 69 trash chute



12. Exterior - Building 409 exterior stair



13. Exterior - Building 409 stair hallway and trash chute



14. Exterior - Fiberglass replacement panel



15. Exterior - Highrise detail



16. Exterior - Highrise elevated walkway



17. Exterior - Highrise exterior stair tower



18. Exterior - Highrise painting at door entry



19. Exterior - Highrise stairway railing



20. Exterior - Highrise window and screen



21. Exterior - Lowrise building and fencing



22. Exterior - Lowrise siding



23. Exterior - Lowrise storage area between apartment units



24. Exterior - Lowrise storage shed and fence between units



25. Exterior - Lowrise typical window



26. Exterior - Lowrise unit patio



27. Exterior - Lowrise window



28. Exterior - Security lighting



29. Exterior - Soffit and emergency lighting



30. Exterior - Tenant mail boxes



31. Exterior - Typical building address signage



32. Exterior - Typical high rise apartment door



33. Exterior - Typical high rise soffite



34. Exterior - Typical highrise deck



35. Exterior - Window detail



36. FLS - 409-2 missing smoke detector



37. FLS - Fire department connection at highrise



38. FLS - Fire extinguisher out of date



39. FLS - Fire hydrant



40. FLS - Highrise standpipe



41. FLS - Smoke detector disabled



42. FLS - Smoke detector



43. MEP - 25 furnace



44. MEP - 25 FPE electrical sub-panel



45. MEP - 25 water heater tag



46. MEP - 25 water heater



47. MEP - 37 FPE electrical sub-panel



48. MEP - 49-8 electrical sub-panel



49. MEP - 49-15 electrical sub-panel



50. MEP - 50 FPE electrical sub-panel



51. MEP - 69-15 electrical sub-panel



52. MEP - 72 FPE electrical sub-panel



53. MEP - 72 furnace



54. MEP - 72 GFCI outlet



55. MEP - 72 water heater



56. MEP - 129 electrical sub-panel



57. MEP - 131 water heater



58. MEP - 211 water heater



59. MEP - 255 water heater and furnace



60. MEP - 307 FPE electrical sub-panel



61. MEP - 387 FPE electrical sub-panel



62. MEP - 387 furnace



63. MEP - 387 water heater



64. MEP - 419-5 electrical sub-panel



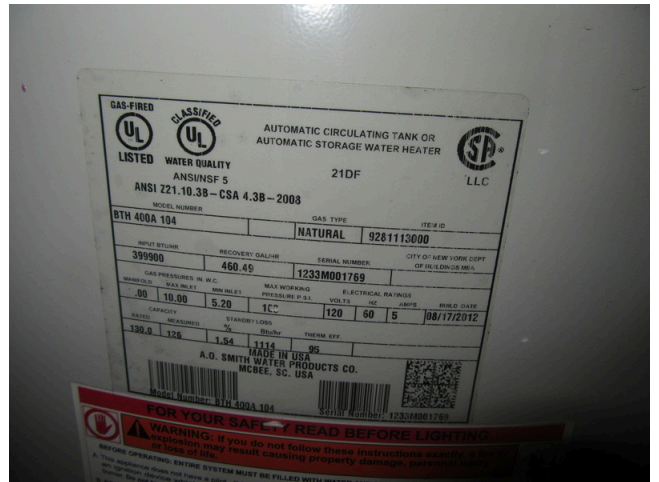
65. MEP - Building 48 boiler



66. MEP - Building 48 water heater



67. MEP - Building 49 boiler



68. MEP - Building 49 water heater tag



69. MEP - Building 49 water heater



70. MEP - Building 59 boiler



71. MEP - Building 59 water heaters



72. MEP - Building 79 boiler



73. MEP - Building 79 domestic water boiler and storage tank



74. MEP - Building 89 boiler



75. MEP - Building 89 electrical meters



76. MEP - Building 89 water heaters



77. MEP - Building 99 boiler



78. MEP - Building 99 water heater tag



79. MEP - Building 99 water heater



80. MEP - Building 409 boiler



81. MEP - Building 409 electrical meters



82. MEP - Building 409 water heater



83. MEP - Building 419 boiler



84. MEP - Lowrise building typical electrical meters



85. MEP - Lowrise building typical electrical meters



86. MEP - Lowrise electrical main meters and breakers



87. MEP - Plumbing piping under the apartment unit kitchen sink



88. MEP - Pole mounted electrical transformer



89. MEP - Typical high rise apartment unit electrical main breaker



90. MEP - Typical high rise electrical meters



91. MEP - Typical high rise gas meter



92. MEP - Typical low rise building gas meters



93. MEP - Water backflow preventer near low rise buildings



94. MEP - Water piping



95. Roof - Highrise roofing



96. Roof - Lowrise building roofing



97. Roof - Soffit ventilation



98. Site - ADA parking space with path to the nearest building



99. Site - Barren landscape



100. Site - Basketball court



101. Site - Community garden



102. Site - Concrete paving drainage inlet



103. Site - Concrete picnic tables



104. Site - Concrete retaining wall and walkway



105. Site - Concrete retaining wall



106. Site - Concrete sidewalk tripper



107. Site - Concrete walkway with tripper



108. Site - Courtyard near lowrise buildings



109. Site - Courtyard near lowrise with tables



110. Site - Courtyard table and seats heavily weathered



111. Site - Damaged asphalt and trench drain



112. Site - Driveway at the leasing office



113. Site - Fencing



114. Site - Hillside drainage



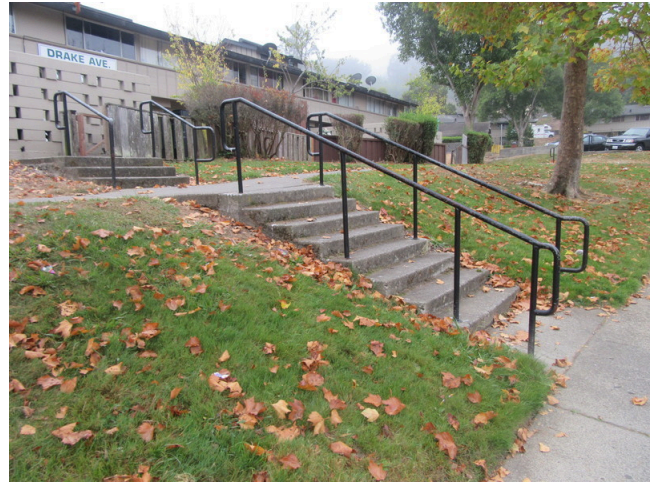
115. Site - Kids playground equipment



116. Site - Landscape drain near a walkway



117. Site - Landscape drain



118. Site - Landscape stair



119. Site - Lowrise tenant patio and fencing



120. Site - Monument sign



121. Site - Old BBQ



122. Site - Outdoor clothes lines no longer in use



123. Site - Parking area



124. Site - Parking lot and light poles



125. Site - Parking lot drainage swale



126. Site - Parking lot driveway



127. Site - Parking lot near lowrise buildings



128. Site - Parking lot pole lighting



129. Site - Playground equipment



130. Site - Skate park and fencing



131. Site - Skate park equipment



132. Site - Trash enclosure near the lowrise buildings



133. Site - Stairs at change in grades



134. Site - Van accessible parking space at the leasing office



135. Site - Van accessible parking space



136. Site - Walkway and stair



137. Site - Walkway with steps



138. Site - Wood landscape retaining wall



139. Site - Yard fencing at grade level highrise units



140. Structure - Lowrise building post and beam



141. Structure - Lowrise roof ridge framing



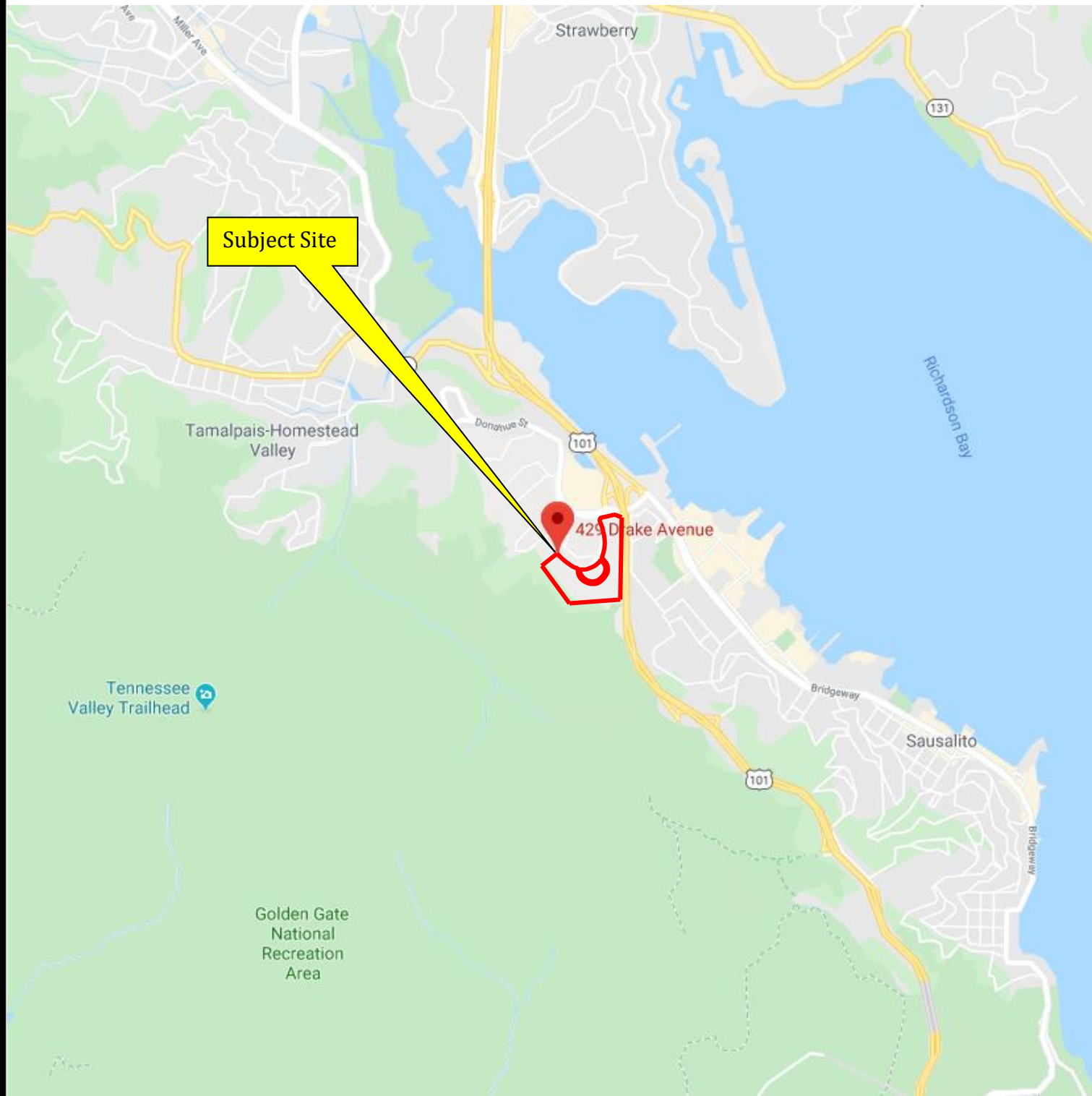
142. Structure - Roof framing at leasing and maintenance building



143. Structure - Steel beam and column support for upper walkway

APPENDIX C

Street Map and Aerial Photo



SITE LOCATION MAP

429 Drake Avenue, Marin City, CA 94965



Source:

FIGURE 1

Project Number: 413524

AEI
Consultants



SITE MAP

429 Drake Avenue, Marin City, CA 94965



Legend

Approximate Property Boundary ———

FIGURE 2

Project Number: 413524



APPENDIX D

Pre-Site Visit Questionnaire



PCA PRE-SURVEY QUESTIONNAIRE (ROI)

GENERAL PROPERTY INFORMATION					
PROPERTY NAME:					
SITE ADDRESS:				CITY	STATE
Number of Buildings:		Date of Construction:		Current Occupancy:	%
Number of Stories:		Renovation Date(s):		Area of Current Vacant Space:	
Site Area in Acres:	acres	Gross Building Area:		Rentable Building Area:	sq. ft.
Total Number of Parking Spaces:		Number of HC Parking Spaces:		Number of Van HC Spaces:	

GENERAL PROPERTY INFORMATION
Please describe all pertinent building maintenance, renovation, seismic, and upgrade work within the last 15 years. If available, please attached supporting documentation, i.e. work orders, receipts, etc.:
Please describe any ongoing/current major building maintenance, renovation, seismic, and upgrade work:
Please describe any future building maintenance, renovation, seismic, and upgrade work:

Please indicate which of the following items is a Tenant or Landlord responsibility for REPLACEMENT:					
	Tenant	Landlord		Tenant	Landlord
Paving			HVAC Condensing units		
Pavement Seal-coating			Window AC Units or Other		
Pavement Striping			Domestic Water Heaters		
Sidewalks			Fire Sprinkler in Tenant Space		
Exterior Paint			Fire Alarm in Tenant Space		
Brick Pointing			Elevators/ Escalators		
Roofing			Tenant Space Finishes		
HVAC Rooftop Units			Toilet Room Fixtures & Finishes		
HVAC Air handling/Fan coil units			ADA compliance		

Please list all major vendors servicing the Property (If addition provided, please attach separate sheet):					
	Vendor Name	Phone No.		Vendor Name	Phone No.
Roofing			Painting		
Elevator			HVAC		
Fire Protection			Plumbing		
Electrician			Trash Disposal		
Landscaping			Security System		

Please list all utility providers for the Property:			
Domestic Water		Gas/ Oil/ Other	
Sanitary Sewer		Electricity	
Storm Drainage		Steam	



QUESTIONNAIRE

Note to Field Observer: Answers should be verified during site interview and field observations. A yes answer should be followed up thoroughly and documented if issues are present.

YES NO UNKNOWN

	YES	NO	UNKNOWN
Are you aware of any violations the property has been cited for? (If Yes, attach citation)			
Is a tenant monthly fee charged for common area maintenance (CAM)?			
Does the Property experience any site drainage, ground water or flooding problems?			
Is the amount of on-site parking provided inadequate?			
Is there damaged or nonoperational site lighting?			
Are the utilities (water, sewer, gas, electric) inadequate to meet needs of the tenants?			
Does the Property have any structural issues such as settlement, cracking or deflection?			
Has the Property experienced any fire related or seismic damage?			
Does the Property exhibit any water/ moisture infiltration?			
Does the Property have any leakage or failures at the roof, walls or cellar?			
Is fire retardant plywood (FRT) installed anywhere in the structure(s)?			
Are any portions of the facades covered with EIFS (synthetic stucco or Dryvit)?			
Any problems regarding synthetic stucco or EIFS?			
Roof is inaccessible with no on-site OSHA approved ladder or roof hatch?			
Are the HVAC systems inadequate and/or non-functioning?			
Are there any plumbing leaks or prevalent past leaks?			
Are there any water pressure issues at any time?			
Is galvanized or polybutylene "gray" piping present anywhere in the Property?			
Has any active or historical leaks related to galvanized or polybutylene piping occurred?			
Has retrofitting or replacement of galvanized or polybutylene piping taken place?			
Are there any electrical problems or inadequate electrical service?			
Electrical amperage to each unit is less than 60-amps??			
Is aluminum branch wiring present anywhere in the Property?			
If aluminum branch wiring is present, has retrofitting been performed?			
Are there any screw-in fuses present in the Property?			
Are there kitchens and bathrooms that are not equipped with GFI's/GFCI's?			
Are there any elevator or escalator shutdowns or deemed out of service?			
Are there elevators present not regularly serviced under a full-service maintenance contract?			
Are there fire sprinkler systems present and not regularly serviced and tested?			
Are there fire alarm and detection devices not regularly serviced and tested?			
Is common area interior painting performed as part of routine maintenance?			
Was an "ADA Survey" ever conducted on the property? (If Yes, please attach a copy)			
Has any ADA improvements been made to the Property or does a Barrier Removal Plan exist for the Property?			
Is there any unresolved ADA related complaints or pending litigation?			
Is there any mold or microbial growth at the Property?			
Have any tenants or occupants complained about mold or microbial growth at the Property?			
Is there a current formal indoor air quality management plan at the Property?			



Please indicate when the following systems have been last inspected:

Fire Sprinkler _____ Elevators/ Escalators _____
 Fire Alarm _____ Facades _____

REPLACEMENT/ REPAIR HISTORY

Please list the approximate age (in years) of the following, as applicable:
 (Indicate "NA" if tenant-owned or not applicable; indicate "ORIG", if from original building construction. If applicable, give an estimated range, i.e. approx. 50% are 3 yrs. in age, 25% are 10 yrs. in age, etc. – please attach additional pages for comments/ clarifications.

Paving: _____ Yrs.	Sealant/Striping: _____ Yrs.	Exterior Lighting: _____ Yrs.
Landscaping: _____ Yrs.	Irrigation System: _____ Yrs.	Building Signage: _____ Yrs.
Masonry Pointing: _____ Yrs.	Exterior Paint: _____ Yrs.	EIFS: _____ Yrs.
Windows: _____ Yrs.	Doors: _____ Yrs.	Building Sealants: _____ Yrs.
Roofing: _____ Yrs.	Other Roofing: _____ Yrs.	Skylights: _____ Yrs.
HVAC(_____): _____ Yrs.	HVAC(_____): _____ Yrs.	HVAC(_____): _____ Yrs.
Electric Service: _____ Yrs.	Emergency Generator: _____ Yrs.	Water Line: _____ Yrs.
Water Pumps: _____ Yrs.	Water Heaters: _____ Yrs.	Sewer Lines _____ Yrs.
Elevator Finishes: _____ Yrs.	Elevator Controller: _____ Yrs.	Elevator Machinery: _____ Yrs.
Escalators: _____ Yrs.	Fire Pump: _____ Yrs.	Central Fire Alarm Panel: _____ Yrs.
Lobby: _____ Yrs.	Common Flooring: _____ Yrs.	Common Restrooms: _____ Yrs.

DOCUMENT REVIEW

Please provide us with the following documents prior to our site visit, indicating the availability of each. This documentation may be included as an exhibit within the Property Condition Assessment.

	Available On-site	Available Attached	Not Available
Site Plan and ALTA Survey			
Certificate of Occupancy			
Copy of Open Building Permits or Code Violations			
Copy of Zoning Variances or Easements			
Rent Roll (with unit number, tenant name, unit area and occupancy %)			
Reduced Floor Plans			
Original construction documents (core and shell)			
List of Mechanical Equipment			
List of Capital expenditures for last 5 years			
List of Planned Capital expenditures			
Local Law #11 Façade Inspection Reports (NYC)			
Roof survey and warranty			
Service reports and inspection certificates for (elevator, escalator, HVAC, electrical generator, fire alarm and sprinkler)			
ADA Survey or Barrier Removal Plan			
Previously prepared Property Condition Report or engineering studies			

Interviewee / Title: _____	Date: _____
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Please fax completed questionnaire to: (###) ###-####

APPENDIX E

Record of all Documents Reviewed, Interviews, and Supporting Information



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-5000

OFFICE OF PUBLIC AND INDIAN HOUSING

Special Attention of:

Public Housing Agencies (PHAs)
Public Housing Directors
Resident Management Corporations

Notice PIH 2018-04 (HA)

Issued: March 22, 2018
Revised: July 3, 2018 to update
Section 6(F)1 and 6(F)3
Revised: **December 14, 2018** to add
2018-09 and minor corrections

This notice supersedes and replaces
Notice PIH 2012-7. This notice
remains in effect until amended,
superseded or rescinded.

Cross-References: Notices: PIH 2011-7; 2016-13; 2016-20; 2016-22, 2016-23, 2017-10, 2017-22, 2017-24, 2018-09

Subject: Demolition and/or disposition of public housing property, eligibility for tenant-protection vouchers and associated requirements.

1) Purpose. This notice explains application requirements to request HUD approval to demolish and/or dispose of public housing property under Section 18 of the United States Housing Act of 1937 (42 U.S.C. 1437p) (1937 Act) and related Tenant Protection Voucher (TPV) eligibility for such actions. This notice is used in conjunction with HUD's implementing regulations at 24 CFR part 970, and related rules and applies to all SAC applications, including those under review or already approved by HUD if the PHA is requesting an amendment of HUD's approval.

For purposes of this notice, public housing or public housing property means low-income housing, and all necessary appurtenances thereto, assisted under the 1937 Act, other than assistance under 42 U.S.C. 1437f of the 1937 Act (section 8), and includes public housing units developed pursuant to the mixed-finance development method. The term "project" is defined by section 3(b)(1) of the 1937 Act and means housing developed, acquired, or assisted by a PHA under the 1937 Act, and the improvements of any such housing. Public housing includes non-dwelling property (e.g., vacant land, administrative buildings and community buildings) acquired, developed, modernized, operated or maintained with 1937 Act funds.

2) SAC Application Requirements.¹

A. Processing. HUD's Special Applications Center (SAC) reviews applications for demolition and disposition (SAC applications) in accordance with the requirements of 24 CFR part 970. SAC only reviews complete SAC applications. If a PHA submits a SAC application that is substantially incomplete or deficient (e.g., missing required supporting documentation), SAC returns the SAC application to the PHA and informs the PHA of the deficiencies.² Prior to re-submitting the SAC application, the PHA must consult residents and resident groups and secure a new board resolution on any material changes from the original submission. Pursuant to 24 CFR 970.29, HUD disapproves a SAC application if HUD determines: (1) a certification made by the PHA under 24 CFR part 970 is clearly inconsistent with the PHA Plan or any information and data available to or requested by HUD; or (2) the application was not developed in consultation with residents, resident groups, and local government officials.

B. PHA Plan. Proposed demolition or disposition must be included in a PHA Annual Plan, Significant Amendment or MTW Annual Plan. Qualified PHAs must discuss the demolition or disposition at a public hearing, as required by 24 CFR 903.7.³

C. Environmental Requirements. Proposed demolitions and disposition must comply with 24 CFR 970.13 and have environmental clearance, which means final approval from a HUD Approving Official or the Responsible Entity of an environmental review conducted under 24 CFR part 50 or 58. See Notice PIH 2016-22. PHAs are responsible for providing the Responsible Entity or local Office of Public Housing (Field Office) with a full description of the activities in connection with the demolition and/or disposition (including relocation, known future use of the site, use of disposition proceeds) to comply with aggregation requirements.⁴ The site re-use is not limited to future actions by the PHA, but includes any future known reuse. See 24 CFR 970.13(b) for factors in determining what constitutes a known future use.

D. Resident Consultation. In addition to resident consultation for PHA Plans, PHAs must comply with resident consultation requirements under 24 CFR 970.9, including consultation with: (i) residents who may be affected by the demolition or disposition action; (ii) resident organizations for the affected project, if any; (iii) PHA-wide resident organizations, if any; and (iv) the Resident Advisory Board or equivalent body. PHAs must ensure communications and materials are accessible. See section 6)F.5.

E. Offer of Sale to Resident Organizations (Disposition Only). PHAs must, in appropriate circumstances as determined by the Assistant Secretary, provide resident entities the opportunity to purchase the project, subject to certain exceptions. See 24 CFR 970.9(b)(3). A PHA requesting consideration of exceptions to 24 CFR 970.9(b)(1) follow the process stated at 24 CFR 970.9(b)(4).

F. Board Resolution. A PHA must obtain a signed and dated resolution from its Board of Commissioners authorizing the PHA to submit the SAC application. The Board must be

¹ Note that these items are not a substitute for the SAC application requirements described in 24 CFR part 970 or HUD-52860. Rather, the below provide additional guidance and clarification on certain requirements.

² SAC currently returns applications to PHAs by changing the status of the application to DRAFT status in the Inventory Management System/PIH Information Center (PIC) (IMS/PIC).

³ Qualified PHAs are defined by the Housing and Economic Recovery Act (HERA) as a PHA that (1) has a combined unit total of 550 or less public housing units and section 8 vouchers; (2) is not designated troubled under section 6(j)(2) of the 1937 Act, the Public Housing Assessment System (PHAS), as a troubled public housing agency during the prior 12 months; and (3) does not have a failing score under the Section 8 Management Assessment Program (SEMAP) during the prior 12 months.

⁴ See 24 CFR 58.32 and 24 CFR 50.21

consulted and approve all material parts of the SAC application including the justification; method of disposition (if applicable); use of proceeds; and relocation plan. The authorizing resolution must be dated after all local government and resident consultations are conducted.

G. Phased Applications. PHAs may submit SAC applications through a “phased” method with staggered timelines, so that units in later phases remain eligible for operating subsidy. A PHA submits a SAC application in IMS/PIC for each phase, with different relocation start timelines. The same supporting documentation (e.g., board resolution, resident consultation, government consultation) may be used for its all phases. See 24 CFR 970.7(a).

H. Amendments. PHAs must comply with all material terms of the SAC application. If after receiving HUD approval, a PHA’s plan changes on material terms, SAC approval of the change is required. Material terms include (i) method of disposition; (ii) public bid sale where offer is less than 80% of fair market value (FMV) appraisal submitted in the SAC application (the PHA must describe its due diligence in offering the public housing property for sale on the open and competitive market and its rationale for accepting an offer that is less than 80% of appraised FMV. Alternatively, the PHA may submit an updated appraisal); (iii) terms of commensurate public benefit disposition (the PHA must describe the revised future use of the property so HUD can confirm the commensurate public benefit); and (iv) use of proceeds. PHAs request amendments by sending an email to SACTA@hud.gov with the information noted above and a board resolution approving the change. On a case-by-case basis, SAC may require additional supporting documentation to support an amendment (e.g., evidence of local government and/or resident consultation; confirmation of environmental clearance).

3) Disposition.

A. Justification Criteria for Units. HUD reviews PHA certifications and narratives, along with other information available to or requested by HUD, on a case-by-case basis. HUD approves SAC applications for dispositions based on at least one of the following three reasons:

- 1. Surrounding Area: 24 CFR 970.17(a).** Retention of units is not in the best interests of the residents or the PHA because the conditions in the area surrounding the project (e.g., density, industrial or commercial development) adversely affect the health or safety of the residents or the feasible operation of the project by the PHA. The PHA supports its application with at least one of the following:
 - a. To support a SAC application based on health or safety, PHAs demonstrate conditions that present serious obstacles in maintaining the units as healthy or safe housing and why the PHA cannot cure or mitigate those conditions in a cost-effective manner. HUD encourages PHAs to submit supporting third-party documentation, which include environmental reviews conducted under 24 CFR part 58. HUD may consider other available information, including analyses of land development, socioeconomic, community facilities and services, and natural features. In accordance with Notice PIH 2016-22, HUD may elect to perform an environmental review under 24 CFR part 50; or
 - b. To support a SAC application based on infeasible operation, PHAs demonstrate a lack of demand for the units. Supporting documentation includes evidence the units have long-term vacancy issues, notwithstanding due diligence in marketing (e.g., census tract data on declining population in the jurisdiction; units located in an isolated area with limited access to transportation and infrastructure; high turnover

rates). On a case-by-case basis, HUD may require a PHA to submit a market analysis or HUD may perform one.

- 2. Improved Efficiency/Effectiveness Through Off-Site Development of Low-income Housing: 24 CFR 970.17(b).** Retention of the units is not in the best interests of residents or the PHA because disposition allows for the development of other properties that will be more efficiently or effectively operated as low-income housing projects. For purposes of this notice, “low-income housing” is limited to public housing units, project-based voucher (PBV) units, or Section 8 PBRA units and does not include housing where tenants are using tenant-based Section 8 Housing Choice Vouchers (HCV). Development may include acquisition (with or without rehabilitation) or new construction. PHAs must demonstrate why the replacement low-income housing units are preferable (e.g., more energy efficient; better unit configuration; better location in terms of transportation, jobs, or schools; furthers minority or economic de-concentration where units are relocated from an area of minority concentration to one that is not concentrated). The units being acquired, developed, or rehabilitated must be off-site. In providing the statement justifying the proposed disposition pursuant to 24 CFR 970.7(a)(5), PHAs explain their intention to acquire, develop, or rehabilitate low-income housing projects. For public housing units, the PHA submits the development proposal to HUD under 24 CFR part 905. For PBV units, the PHA submits an “intent to project-base” notification to the Field Office.
- 3. Best Interests and Consistency: 24 CFR 970.17(c).** A PHA certifies it has determined the disposition to be appropriate for reasons that are in the best interests of the residents and the PHA, consistent with the goals of the PHA and the PHA Plan and are otherwise consistent with the 1937 Act. In making such a certification, a PHA considers the tremendous need for public housing units nationwide, the purpose and mandate of the 1937 Act, the mission and obligations of the PHA to maintain and operate projects as decent and safe housing in accordance with its ACC, and other tools available to the PHA to preserve and reposition its public housing stock. SAC applications are reviewed on a case-by-case basis. Below are examples of what HUD generally approves under this section:

 - a. **Unit obsolescence.** The units are obsolete as to physical condition in accordance with applicable demolition criteria described at section 4)A.1 of this notice.
 - b. **Very Small PHAs.** The PHA owns and operates 50 or fewer public housing units under its ACC and has determined that it is in the best interests of the residents and PHA to close out its Section 9 public housing program in accordance with Notice PIH 2016-23.
 - c. **Comprehensive Rehabilitation or Replacement through Rental Assistance Demonstration (RAD).** The PHA is converting at least 75 percent of the public housing units within a project (as project is defined by RAD) under RAD and meets the requirements of the RAD Final Implementation Notice REV-3, H-2017-3, and is replacing the units proposed for disposition (up to 25 percent of the public housing units within a project) with Section 8 project-based voucher (PBV) assistance in accordance with 24 CFR part 983. The

aggregate number of replacement units (RAD and PBVs) must meet the RAD “substantial conversion of assistance” requirements. To qualify, the project-based Section 8 units (RAD and PBV) must be newly constructed or substantially rehabilitated (defined for purposes of this clause as hard construction costs, including general requirements, overhead and profit, and payment and performance bonds, in excess of 60% of the Housing Construction Costs as published by HUD for a given market area) without using 9% Low Income Housing Tax Credits.

- d. **Improved Efficiency/Effectiveness Through On-Site Development of Low-income Housing: 24 CFR 970.17(c).** The requirements of Section 3)A.2 of this notice apply except the replacement low-income housing units are located on-site. The replacement low-income housing units may be newly constructed or the same public housing units after modernization (rehabilitation).⁵
- e. **Scattered Site Units.** Due to distance between units and lack of uniformity of systems (e.g. HVAC, utilities) the PHA demonstrates an unsustainability to operate and/or maintain the units as public housing. For purposes of this notice, scattered site units generally mean units in non-contiguous buildings with four or fewer total units.

B. Disposition Criteria of Non-Dwelling Buildings and Vacant Land. The PHA certifies, by narrative statement and supporting documentation, that non-dwelling buildings or vacant land meets the criteria of 24 CFR 970.17(d) because the property exceeds the needs of the project after the date of full availability (DOFA); or the disposition of the property is incidental to, or does not interfere with, continued operation of the remaining portion of the project.

C. Commensurate Public Benefit. In accordance with 24 CFR 970.19, dispositions proposed below FMV require a finding of commensurate public benefit, which HUD determines on a case-by-case basis. Generally, the disposed property is developed for affordable housing purposes serving low-income families (incomes at or below 80% of area median). Such affordable housing may include, but is not limited to, public housing, project-based Section 8 housing, and housing developed with low-income housing tax credits (LIHTCs). HUD encourages PHAs to maximize economic opportunities available to residents (as described in section 6)F.5 of this notice) when requesting HUD approval of a below FMV disposition based on commensurate public benefit. PHAs should specifically describe these economic opportunity benefits in their SAC applications as part of the commensurate public benefit description. To ensure compliance with a HUD-approved commensurate public benefit, a use restriction may be required (that survives foreclosure of mortgages and other liens) publicly recorded in the land records. As the part of the SAC application, a PHA may propose a preferred form of use restriction (e.g., LIHTC extended use agreement, HOME agreement, reversion clause in transfer documents, provision in ground lease, separate use agreement). The use restriction must be in a form acceptable to HUD. Field Offices will not release the Declaration of Trust/Declaration of Restricted Covenants

⁵ If the PHA is proposing to dispose of public housing units to allow the same units to be modernized (rehabilitated) under mixed-finance public housing development rules of 24 CFR 905, the PHA submits the SAC application under the “MF-MOD” disposition application type in IMS/PIC. This ensures Capital Fund and Operating Fund subsidy are accurate.

(DOT/DORC) (HUD-52190) (4/2018) (or previous versions) until the PHA evidences compliance.

4) Demolition.

A. Justification Criteria. HUD reviews demolition requests in accordance with the following criteria:⁶

1. Physical Condition: 24 CFR 970.15(b)(1)(i) and (b)(2). PHAs must demonstrate substantial physical issues of the buildings/units (i.e., critical structural issues, deficiencies in major systems, deterioration due to prolonged deferred maintenance) that cannot be corrected in a cost-effective manner. PHAs may submit Physical Needs Assessments (PNAs), government inspections (including condemnation orders), and/or independent architect or engineer's reports as supporting documentation.⁷ HUD may consider other available information, including REAC scores; Capital Fund Program Five Year Action Plans, Energy Performance Contracting (EPC) information; and/or on-site inspections by HUD staff. To support a certification of physical obsolescence and cost-ineffectiveness, the PHA submits form HUD-52860-A (4/2018) and HUD-52860-B (4/2018), along with a list of specific and detailed work-items that require rehabilitation or repair, preferably prepared by an outside engineer or architect, in two components: scope of work and cost-estimates. The following generally applies to the scope of work:

- a. Estimates based on the standards outlined in the most recent International Building Code (IBC) and National Fire Protection Association (NFPA) 5000 standards. PHAs may include local code requirements (i.e., fire codes; requirements for natural disasters such as flooding or wildfires);
- b. Building systems (e.g., HVAC, plumbing, electric), external amenities (e.g., roofs, doors, windows), and internal amenities (e.g., kitchens, bathrooms, flooring) limited to those that address immediate capital needs for a maximum of three years. Replacement costs are restricted to the remaining useful life of an item for three years or less. Actual service life may depend on initial quality of the item, local environmental factors, use/abuse, and levels of routine maintenance. Age of an item alone is not evidence of need to repair or replace. Each item is individually estimated and may reference life cycle values per the R.S. Means Facilities Maintenance and Repair Cost Data book;
- c. Underground utilities (e.g., sewer, water, gas, electric), regardless of distances, provided the PHA owns the utility and evidences the need for replacement;
- d. Mitigation costs of asbestos, lead-based paint, or other environmental issues supported by reports submitted with the SAC application;

⁶ PHAs do not need demolition approval from HUD if PHAs are proposing to dispose of public housing units or other property before such property will be demolished (e.g., by a LIHTC acquiring entity). Instead, PHAs must comply with the disposition criteria in Section 3 of this notice.

⁷ In accordance with 24 CFR 905.314(g), PHAs are permitted to rehabilitate and address the capital needs of projects provided the rehabilitation costs do not exceed 90% of total development cost TDC. Accordingly, per 24 CFR 970.15(b)(2), if a project's rehabilitation costs are between 57.14% (or 62.5% if elevator) and 90% of TDC, the PHA may either voluntarily pursue a demolition or disposition action for the project or may rehabilitate the project with Capital Funds. However, if rehabilitation costs for a project exceed 90% of TDC, the PHA's only choice is to pursue a demolition or disposition or use funds other than Capital Funds to address the project's capital needs.

- e. Structural defects when supported by reports from a licensed professional engineer;
- f. Accessibility improvements for persons with mobility, vision, hearing or other impairments, provided improvements are consistent with standards, regulations, and other requirements under Section 504 of the Rehabilitation Act of 1973 (including the Uniform Federal Accessibility Standards (UFAS)), Fair Housing Act, Americans with Disabilities Act, other applicable federal authorities, state or local requirements that exceed federal baseline requirements, and accessibility requirements in remedial agreements or orders;
- g. Imminent health and/or safety issues even if such costs are otherwise not eligible provided the PHA provides supporting documentation from an independent party evidencing the occurrence and resulting health and/or safety risks.

HUD reserves the right to disallow items in a scope of work if HUD determines there are more cost-effective alternatives to address the rehabilitation or replacement needs. If PHAs complete major capital work after the scope of work is prepared, the PHA must include a description of that work in the SAC application. HUD generally does not allow the following costs to be included in a rehabilitation scope of work:

- a. Work associated with enhancements or improvements of working systems or fixtures at the project (including energy efficiency “green” improvements);
- b. Amenities not currently existing at the project (e.g., solar panels; tank-less water heaters; trash enclosures, washer/dryer hook-ups; garbage disposals; central air-conditioning; addition of new porches);
- c. Work items that address a project’s needs beyond three years;
- d. Local code compliance if the building code requirements are otherwise not triggered by the rehabilitation/repair;
- e. Landscaping or other site work beyond five feet of the exterior walls of a building;
- f. Upgrading utility lines that are otherwise in working condition;
- g. Work items associated with site improvements and appurtenances (e.g., parking lots, security cameras, playgrounds, community centers), even if those site improvements or appurtenances exist and need of repairs; and
- h. Replacing PHA personal property (e.g., replacing appliances or other removable fixtures such as refrigerators, ovens, and window treatments).

The following generally applies to cost-estimates of the eligible scope of work items:

- a. Total development costs (TDC) comparisons per HUD-posted costs for the year the rehabilitation estimate is made. See 24 CFR 905.314.
- b. R.S. Means cost index, Marshall and Swift cost index, or other accurate and reliable cost-estimates (e.g., actual and competitive bids).
- c. Hard construction costs (HCC) as defined in 24 CFR part 905 (including existing items inside a building or within five feet of the exterior walls; and costs to repair landscaping damaged due to rehabilitation).

PHAs may not include additional costs attributable to inflation or “cost escalation.” For example, if a PNA completed in 2017 indicates a roof replacement is necessary in 2019,

the PHA must use current estimated costs without any escalation, cost adjustments or other means of adjusting for inflation for work projected to be undertaken/completed in 2019. Instead, the PHA uses 2017 cost-index information.

The following fees are maximum amounts for soft costs associated with public housing rehabilitation.⁸ PHAs may flexibly determine costs for each item provided the total cost does not exceed the maximum. Percentages are based on hard construction and will vary based on the project size:

- a. Construction contingency: 7.5 percent
- b. Architectural/Engineer's design and construction monitoring fees: 5.5 percent
- c. Profit and overhead fees for specialty sub-contractor (e.g. HVAC, Electric, Plumbing, Elevator): 10 percent
- d. General Condition fees (e.g. Permit, Insurance, Bonds): 5 percent
- e. PHA administrative costs: 2 percent

2. Location: 24 CFR 970.15(b)(1)(ii) and (b)(2). PHA demonstrates the location of the units causes obsolescence, including physical deterioration of the neighborhood; change in neighborhood from residential to industrial or commercial; or environmental conditions of the site, a portion of the site, or the housing jeopardize the residential use. The cost-test for obsolescence based on location includes the PHA's cost to cure the obsolescence (e.g., buffering nearby industrial or commercial development; mitigating environmental conditions) and whether these costs exceed applicable TDC percentages. In some cases, there may be no way to cure the obsolescence, regardless of cost (e.g., project is in a Federal Emergency Management Agency (FEMA) designated floodway). In other cases, the obsolescence may be curable with a mitigation cost (e.g., flood-proofing and FEMA-insurance for designated floodplains).

3. Other Factors: 24 CFR 970.15(b)(1)(iii) and (b)(2). PHA demonstrates factors impacting the marketability, usefulness, or management of the units that seriously impede operations for residential use supported by third party documentation. The cost-test for obsolescence based on other factors includes the PHA's cost to cure the cause and whether these costs exceed applicable TDC percentages. In some cases, curing the obsolescence is not possible regardless of costs. In cases where the obsolescence may be curable, include the PHA's cost of due diligence in marketing and to cure obsolete factors (e.g., cost to add a second bathroom to units with a high number of bedrooms).

B. De Minimis Demolition. In any 5-year period, a PHA may demolish the lesser of 5 dwelling units or 5 percent of the total public housing dwelling units without the need to obtain HUD approval under 24 CFR part 970, provided the resulting space is used to meet the service or other needs of the residents or the PHA determines the unit(s) are beyond repair. Demolition criteria of 970.15 does not apply to de minimis demolitions. Prior to demolishing units under this authority, the PHA must submit information to HUD via IMS/PIC, including a description of the proposed units and other items required by 24 CFR 970.7(a)(1), (2), (12), (13), and (14).

⁸ HUD may consider higher percentages for soft costs for compelling reasons on a case-by-case basis.

5) Eligibility and Application Process for Tenant-Protection Vouchers (TPVs).

A. TPV Eligibility. As part of HUD's approval of a SAC application, a PHA may be eligible to receive Section 8 HCV assistance from HUD in the form of TPVs. The issuance of TPVs to a PHA does not occur with SAC approval of an application. Instead, the PHA must apply separately for TPVs in accordance with the current PIH funding notice for the HCV program.

HUD determines a PHA's TPV award based on the relevant appropriations and other HUD-issued guidance (including the applicable year's HCV funding notice). HUD's approval of the SAC application indicates the maximum number of both relocation and replacement TPVs that a PHA is eligible to receive.

Notice PIH 2018-09 states a PHA's final replacement TPV award for Public Housing actions is based on the occupancy of the units at the time HUD approves the SAC application. A PHA's replacement TPV will not change unless the PHA's redevelopment plan has been revised to reduce the number of eligible replacement TPVs. See Section 6.C.1.b.ii.

Notice PIH 2018-09 states a PHA's final relocation TPV award for Public Housing actions is based on the occupancy of the units at the time the TPV application is submitted to HUD. This number may be less (but not more) than the maximum number of relocation TPVs identified in HUD's approval of the SAC application. See Section 6.C.1.b.i.

Based on limited availability of TPV funding, HUD is limiting the maximum TPV awards for dispositions based on improved efficiency or effectiveness under Section 3) A.2 or 3) A.3.d of this notice to 25 percent of the occupied units at the project. However, even if a PHA is not eligible to receive TPVs in a SAC-approved disposition, the PHA must still comply with relocation requirements of 24 CFR 970.21.

B. TPV Application Process. A PHA must submit the following to the Field Office:

1. Name and IMS/PIC number for the units approved in the SAC application. Number of TPVs (both relocation and replacement) requested which must equal or be less than the maximum number of TPVs identified in the SAC approval and address relevant appropriation limits including HUD TPV guidance. See Notice PIH 2017-10 (or the current replacement PIH funding notice for the HCV program) concerning the differences between replacement and relocation TPVs.
2. Form HUD-52515 (Voucher Funding Application). If lease-up covers more than one calendar year, the PHA must submit a separate Form HUD-52515 for each calendar year.
3. Leasing schedule identifying the number of TPVs leased on a month-to-month basis. If lease-up covers more than one calendar year, the PHA must submit separate leasing schedules for each calendar year. If the PHA is approved for both replacement and relocation TPVs as part of the same SAC approval, the PHA must submit separate leasing schedule(s) for each type of TPV.
4. SAC application approval as a PDF copy, signed and dated.

5. If the PHA is a Public Housing only PHA (and therefore cannot receive or administer TPVs), the name and PHA code of the PHA that has agreed to administer the TPVs, along with an agreement letter from that PHA. HUD does not allow Public Housing only PHAs to create Section 8 HCV programs based solely on TPV eligibility.

The Field Office conducts a threshold review of the TPV request prior to sending the request to HUD's Financial Management Center (FMC). HUD's FMC notifies PHAs of final TPV awards.

6) Other Requirements.

A. Existing Financial Transactions. PHAs with an approved transaction through the Capital Fund Financing Program (CFFP), Section 30 (including PHA Mortgaged Transaction (PMT)), Energy Performance Contracting (EPC), or Operating Fund Financing Program (OFFP) must comply with additional instructions provided by HUD regarding such financing and may not take any steps to implement a SAC-approved application without receiving confirmation from HUD that all applicable requirements of the financing are satisfied. PHAs must certify an existing financial agreement is not at-risk because of the proposed demolition or disposition action.

B. Operating Fund Accuracy. Updating Days to Relocation. As part of the SAC application, PHAs include an estimated number of days from a SAC-approved application that it plans to start relocation. HUD recognizes relocation plans sometimes change. However, because HUD relies on relocation information to determine Operating Funds, PHAs are responsible to ensure the relocation information remain reasonably accurate. If days to relocation in a SAC application is not reasonably accurate, Asset Repositioning Fee (ARF) payments under 24 CFR 990.190 will be affected. See Notice PIH 2017-22 on how to update relocation dates.

C. Re-occupying Units Proposed for Demolition or Disposition. 24 CFR 970.25(a) states a PHA should not re-rent units at turnover while HUD is considering a SAC application. However, due to community needs or for other reasons consistent with its PHA Plan, a PHA may decide it is in the best interests of the PHA, its residents, and the community to re-occupy vacated units that are under SAC review. If the PHA proposes demolition or disposition because units are structurally unsound, located in a floodway, or otherwise uninhabitable, the PHA cannot reoccupy the units. PHAs cannot re-occupy units after issuance of the 90-day relocation notice.

D. Reporting Requirements. Within seven days of completion of the demolition or disposition (e.g., execution of the sale or lease contract for disposition), PHAs must report the action in IMS/PIC. On a case-by-case basis, HUD may require other reporting information.

E. False Certifications and HUD Enforcement. Any person knowingly presenting a false, fictitious or fraudulent statement or claim in a HUD matter, including certifications and supporting documentation submitted with SAC applications, are subject to criminal penalties, civil liability, or administrative actions which HUD may prosecute. HUD may pursue debarment/suspensions of principals and PHAs, and any enforcement actions available including, but not limited to, injunctive relief and other equitable remedies.

F. Civil Rights Requirements. This notice does not modify a PHA's fair housing, civil rights, or accessible housing obligations. It does clarify those obligations with respect to public housing demolition/disposition under Section 18.

1. **PHA Certification.** As part of the SAC application, PHAs certify compliance with all applicable civil rights requirements, including Title VI of the Civil Rights Act of 1964, the Fair Housing Act, Section 504 of the Rehabilitation Act of 1973, Title II of the

Americans with Disabilities Act of 1990 and the duty to affirmatively further fair housing. A PHA's certification that it will affirmatively further fair housing means: (1) for a PHA that has completed an Assessment of Fair Housing (AFH) which has been accepted by HUD, that it will take meaningful actions to further the goals identified in the AFH conducted in accordance with 24 CFR 5.150 through 5.180, and that it will take no action that is materially inconsistent with its obligation to affirmatively further fair housing; or (2) for a PHA that is not yet required to and has not submitted an AFH, that it must continue complying with the requirements that existed prior to August 17, 2015, with respect to affirmatively furthering fair housing. PHAs also certify that if HUD approves the SAC application, subsequent implementation complies with all applicable civil rights requirements, including environmental determinations for environmental justice.

- 2. HUD Civil Rights Review.** HUD's Office of Fair Housing and Equal Opportunity (FHEO) conducts a civil rights review of SAC applications, which may include applications for non-dwelling property. Pursuant to 24 CFR 970.7(a)(17), HUD may request additional information, including information about the PHA's compliance with nondiscrimination requirements in relocations under 24 CFR 970.21(a) and the PHA's affirmatively furthering fair housing certification under 24 CFR 903.7(o).
- 3. Disclosure of Remedial Orders and Compliance Agreements.** In its SAC application, the PHA provides a certification that the demolition or disposition does not violate any remedial civil rights order or agreement, voluntary compliance agreement, final judgment, consent decree, settlement agreement, or other court order or agreement (per 24 CFR § 970.9(a)(16)). In addition, the PHA states whether it is operating under any federal, state, or local remedial order, compliance agreement, final judgment, consent decree, settlement agreement or other court order or agreement, including but not limited to those related to a fair housing or other civil rights finding of noncompliance. If the PHA is operating under such a document, it must provide a citation to the document and attach a narrative description explaining how the proposed demolition or disposition is consistent with such document.
- 4. Federal Labor Standards and Economic Opportunity.** PHAs using HUD funds for demolition or disposition must comply with all applicable federal labor standards of section 12 of the 1937 Act (42 U.S.C. 1437j) (Davis-Bacon) and requirements of Section 3 of the Housing and Urban Development Act of 1968 (12 U.S.C 1701u), as amended. Activities include but are not limited to demolition and resident relocation. Under Section 3 and 24 CFR 135, recipients of certain HUD financial assistance must provide employment, training, and economic opportunities to the greatest extent feasible to Section 3 residents or business concerns. Recipients of HUD funds have Section 3 obligations regardless of the amount of funds (24 CFR 135.3(a)(3)).
- 5. Accessible Resident Consultation.** To ensure individuals with disabilities have reasonable opportunities to consult on the SAC application, PHAs must ensure communications and materials are accessible and in compliance with Section 504 of the Rehabilitation Act of 1973, 24 CFR 8.6, 49 CFR 24.5, the Americans with Disabilities Act of 1990, and 28 CFR 35 and 36. This includes ensuring written and oral communications, including resident meetings, are provided in appropriate alternative formats as needed, e.g., Braille, audio, large type, accessible electronic communications, assistive listening devices, sign language interpreters, computer-

assisted real time transcription of meetings, brailled materials, large print documents, accessible web-based and email communications, and when providing materials via the Web. In selecting locations for consultation with residents, the PHA must provide equal access for persons with disabilities, conducting sessions at locations that are physically accessible to persons with disabilities, including individuals who use wheelchairs. Individuals with disabilities must receive services in the most integrated setting appropriate to their needs, meaning the needs of qualified individuals with disabilities that enables interactions to the fullest extent possible. The PHA is guided by the goal of maximizing participation in an integrated setting so that residents with disabilities and residents without disabilities may hear and consider each other's views. Priority shall be given to on-site accessible locations (e.g., TV rooms or informal gathering places) even if to do so requires multiple sessions with smaller groups of residents. Title VI of the Civil Rights Act of 1964 and regulations at 24 CFR 1, require PHAs to take reasonable steps to ensure meaningful access to their programs and activities for persons who have limited ability to read, speak, or understand English (i.e., individuals who have limited English proficiency or LEP persons). Written materials provided in English are to be provided in regularly encountered languages among the residents. PHAs may need to provide interpreters to communicate between different languages to ensure LEP persons have meaningful access. PHAs hold meetings in languages other than English to provide direct communication and participation.

6) Relocation of Residents. If residents are relocated due to a demolition and/or disposition, the PHA must follow relocation requirements at 24 CFR 970.21, and not the relocation requirements at 49 CFR part 24, which implements the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (URA), as amended. However, if subsequent acquisition, rehabilitation or demolition carried out with HUD funds or carried out with other HUD-funded activities causes residents to relocate, the URA may apply to those relocations. Additionally, if CDBG or HOME funds are used in the demolition or with conversion of lower-income dwelling units to a use other than lower-income dwelling units, the project may be subject to section 104(d) of the Housing and Community Development Act of 1974, including relocation assistance and one-for-one replacement provisions under 24 CFR part 42 subpart C.

7) Technical Assistance. Contact SACTA@hud.gov.

8) Paperwork Reduction Act. Information collection requirements contained in this notice are approved by the Office of Management and Budget (OMB) under the Paperwork Reduction Act of 1995 (44 U.S.C. 3501-3520). The OMB control numbers are 2577-0029 and 2577-0075.

Dominique Blom
General Deputy Assistant Secretary for
Public and Indian Housing

SITE IMPROVEMENTS

MARIN CITY

HOUSING CAL 52-1

HOUSING AUTHORITY OF THE COUNTY OF MARIN

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- U-6 CONSTRUCTION PLAN
- U-7 CONSTRUCTION PLAN
- U-8 CONSTRUCTION PLAN
- U-9 CONSTRUCTION PLAN
- U-10 PARKING LAYOUT

DETAILS

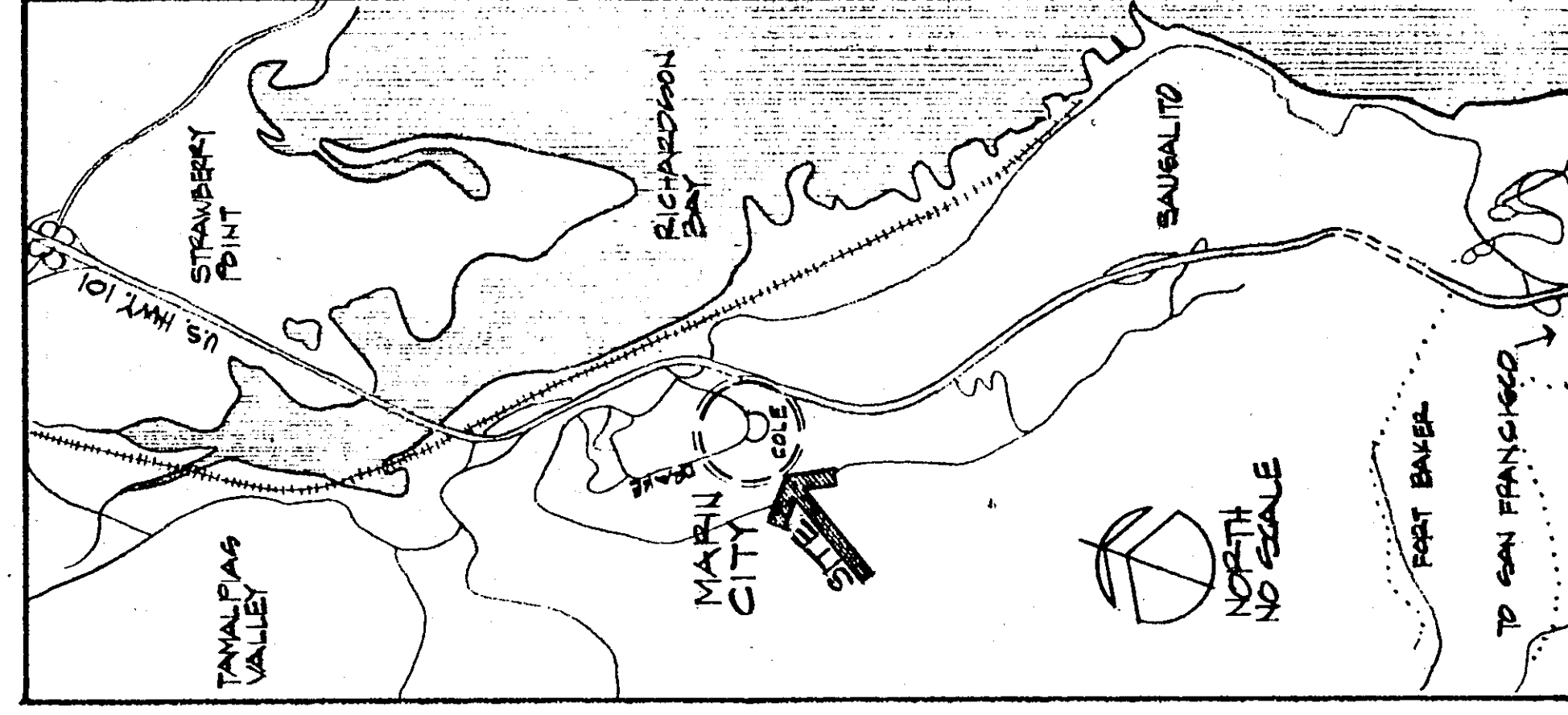
- UD-1 CONSTRUCTION DETAILS
- UD-2 CONSTRUCTION DETAILS
- UD-3 CONSTRUCTION DETAILS
- UD-4 CONSTRUCTION DETAILS

IRRIGATION

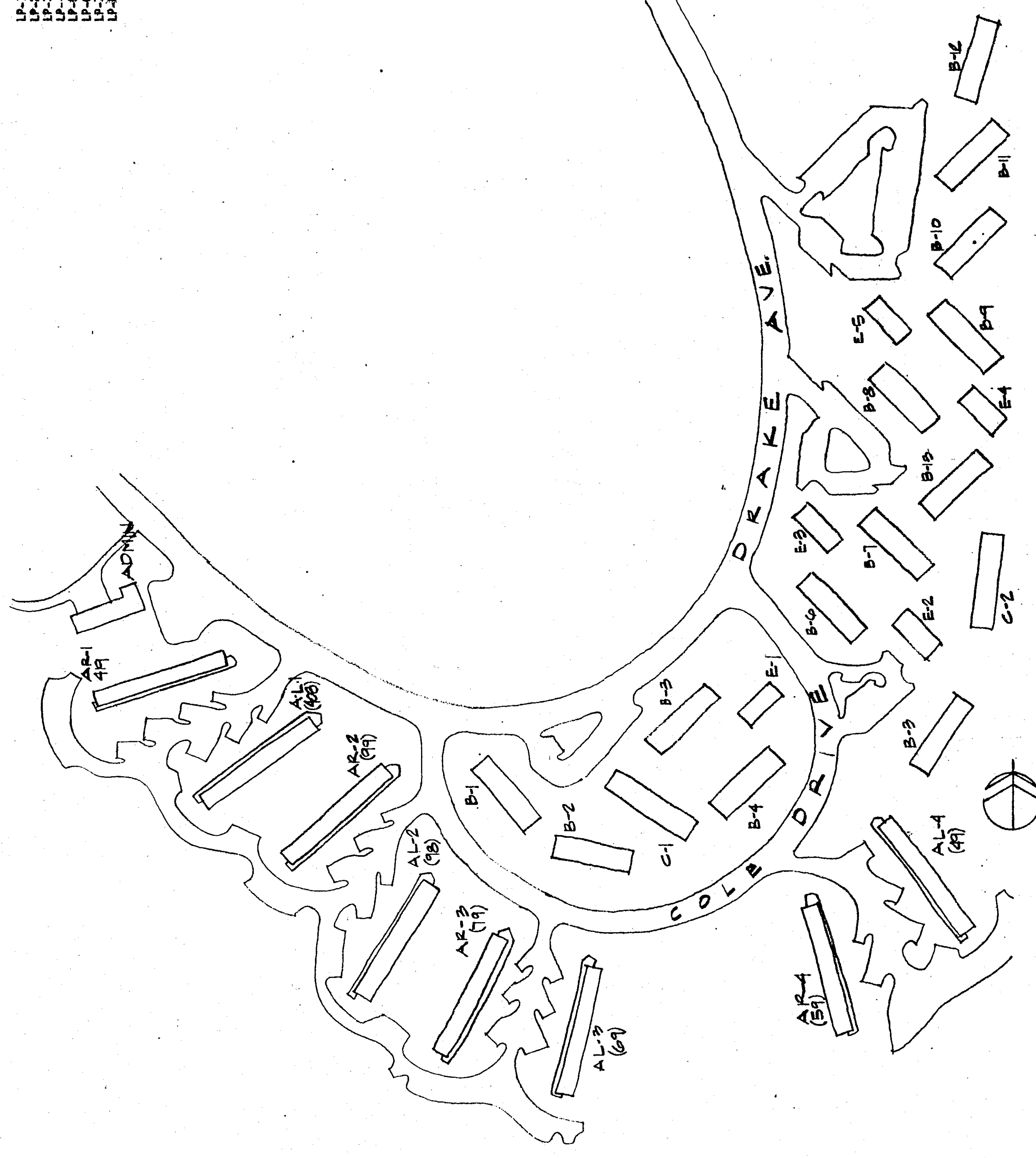
- LI-1 IRRIGATION PLAN
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VICINITY MAP



SITE PLAN
SCALE: 1" = 100'

HOUSING AUTHORITY OF THE COUNTY OF MARIN
MARIN CITY HOUSING CAL 52-1
SITE IMPROVEMENTS
SAN RAFAEL, CALIFORNIA

CLARK AND YATES ASSOC. ARCHITECTS

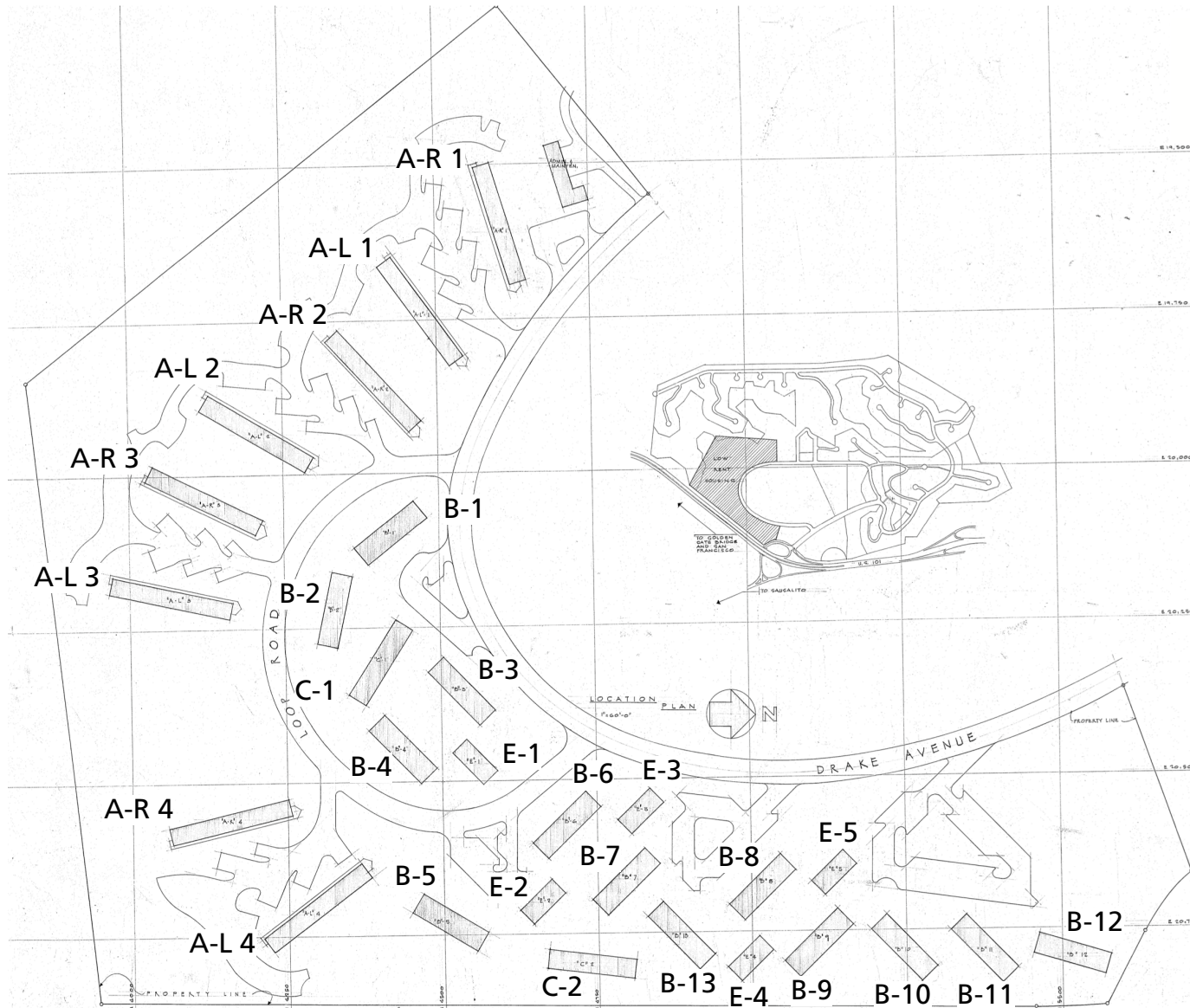
Clark And Yates, Inc.
3820 Broadway
Oakland, California 94611 (415) 655-9964

For Callahan co-arch
OMI LANG ASSOCIATES
Landscape Architects
948 Parker Street
Berkeley, California 94710
415-549-0853



All drawings and written material contained herein are the original work of the architect and may not be used without architect's consent.

No. Date	Issue/Revisions	By/Checked
2	MARCH 1984	
Drawn	Checked	
Project	Job No.	
Description	Title Sheet	
Sheet No.	LC-0	

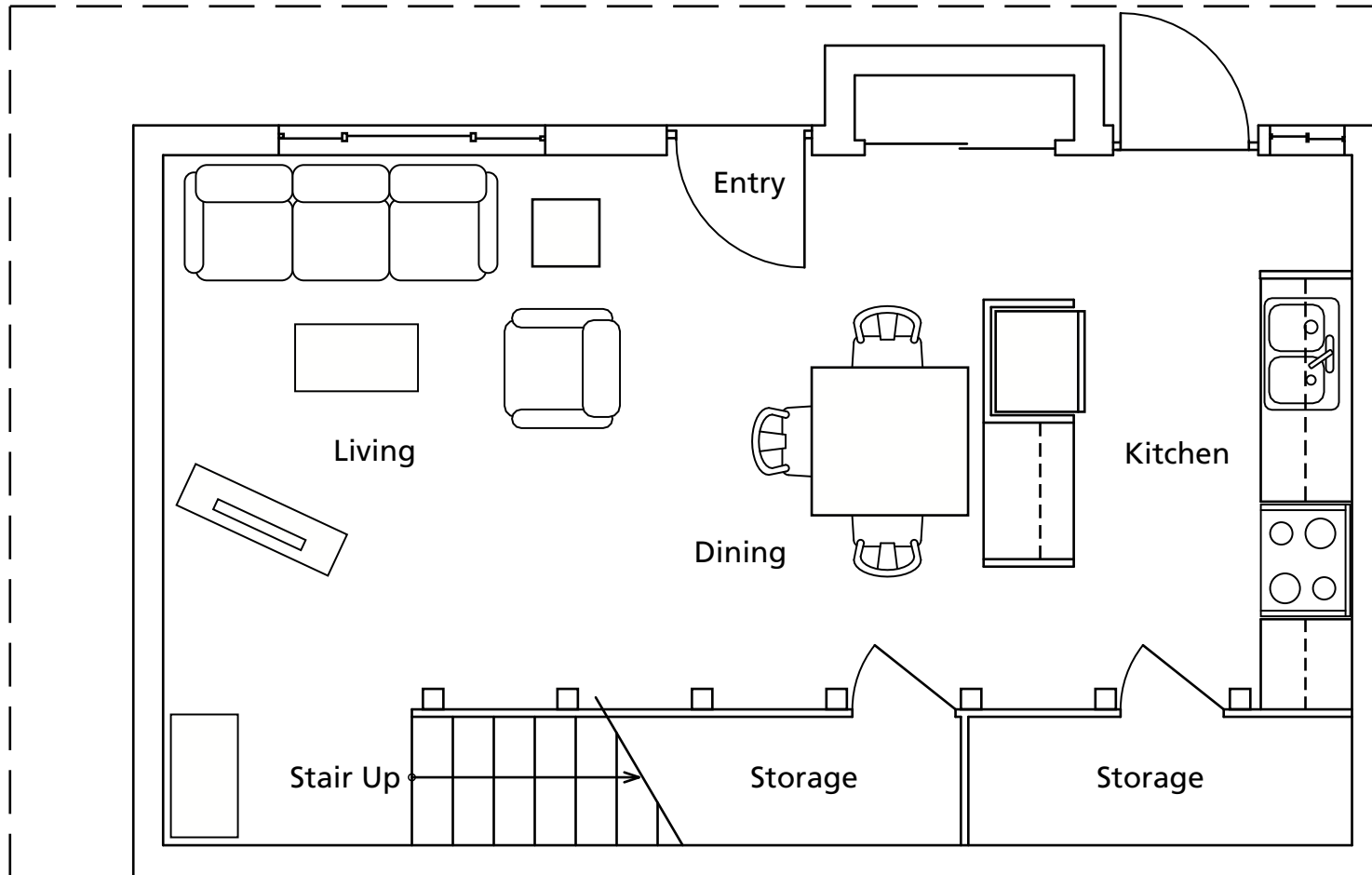


Golden Gate Village—Site Plan Building Types

NOT TO SCALE



4020 Civic Center Drive
 San Rafael, CA 94903-4173

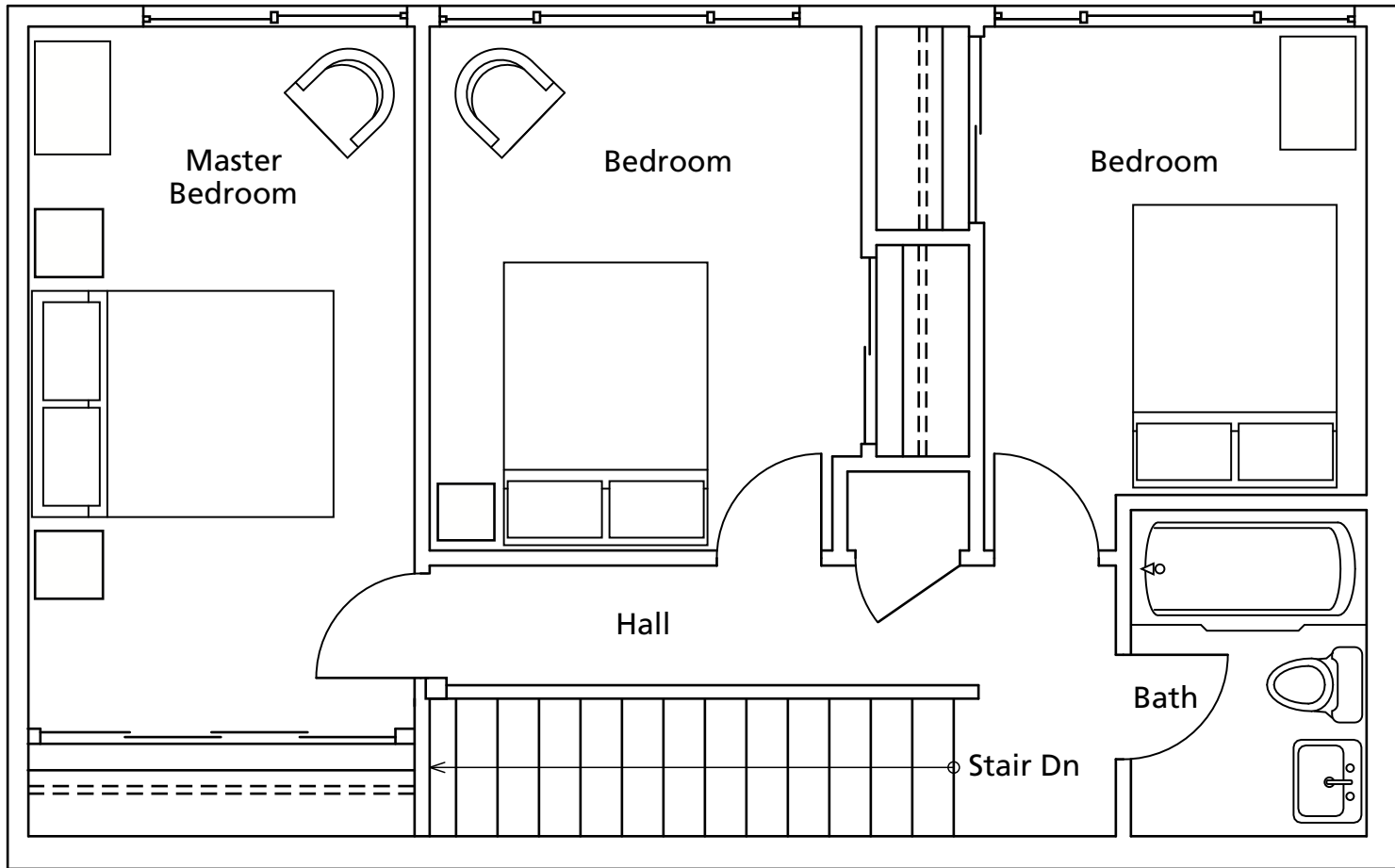


Golden Gate Village— Low Rise Type B, Ground Floor, Units 1,3 (3BR)

1/4" = 1'-0"



4020 Civic Center Drive
 San Rafael, CA 94903-4173

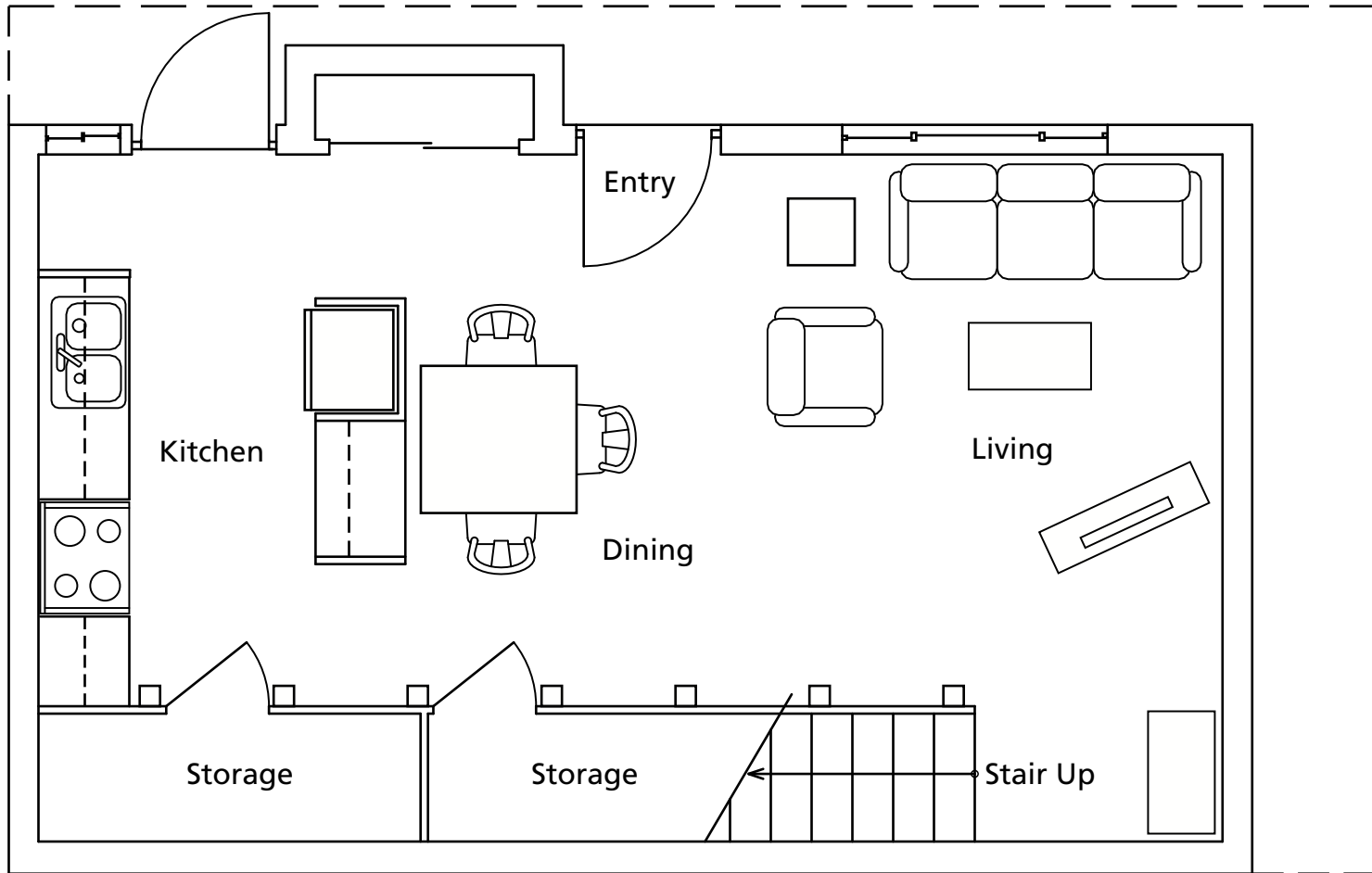


Golden Gate Village— Low Rise Type B, Upper Floor, Units 1,3 (3BR)

1/4" = 1'-0"



4020 Civic Center Drive
San Rafael, CA 94903-4173

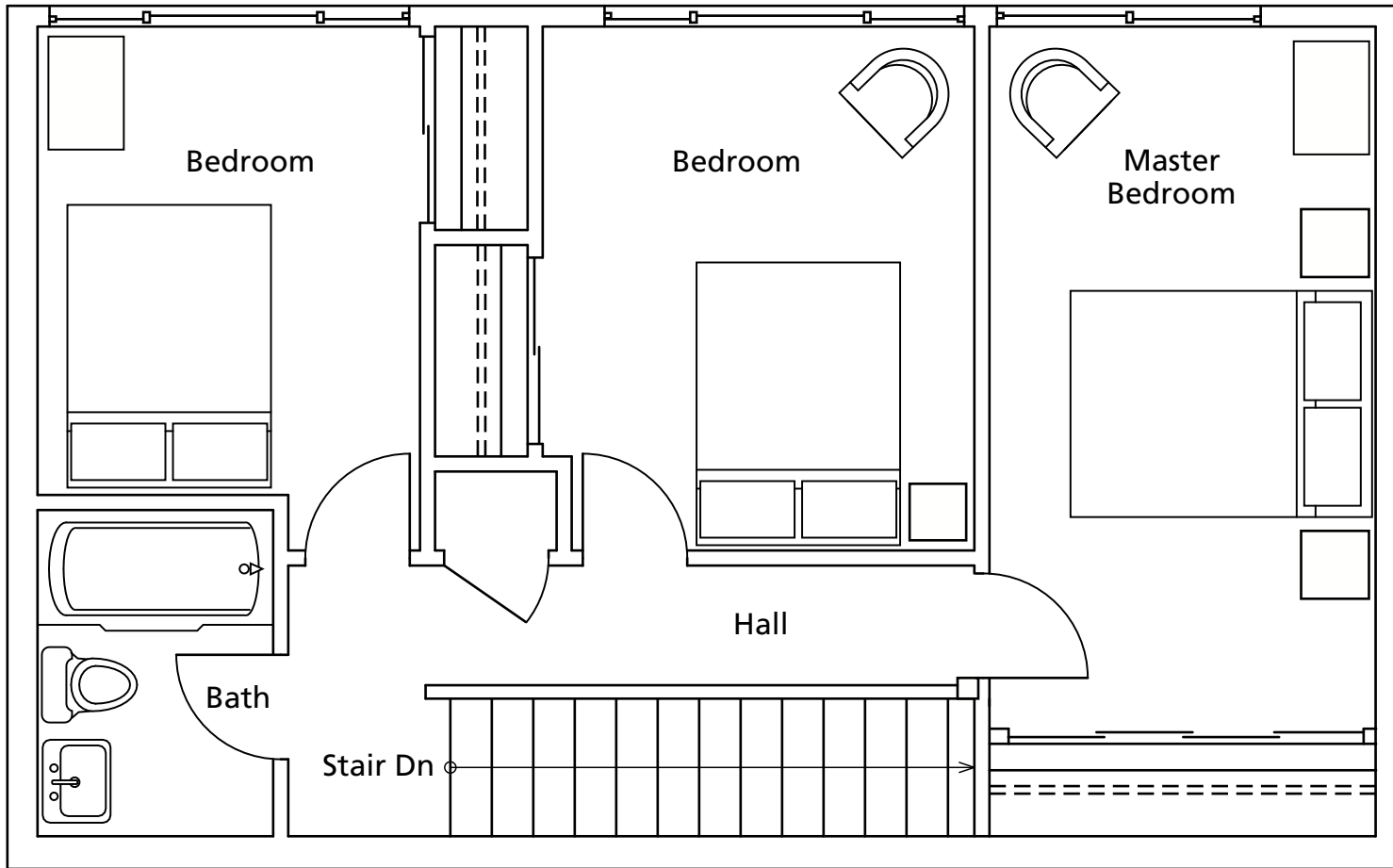


Golden Gate Village— Low Rise Type B, Ground Floor, Units 2,4 (3BR)

1/4" = 1'-0"



4020 Civic Center Drive
San Rafael, CA 94903-4173

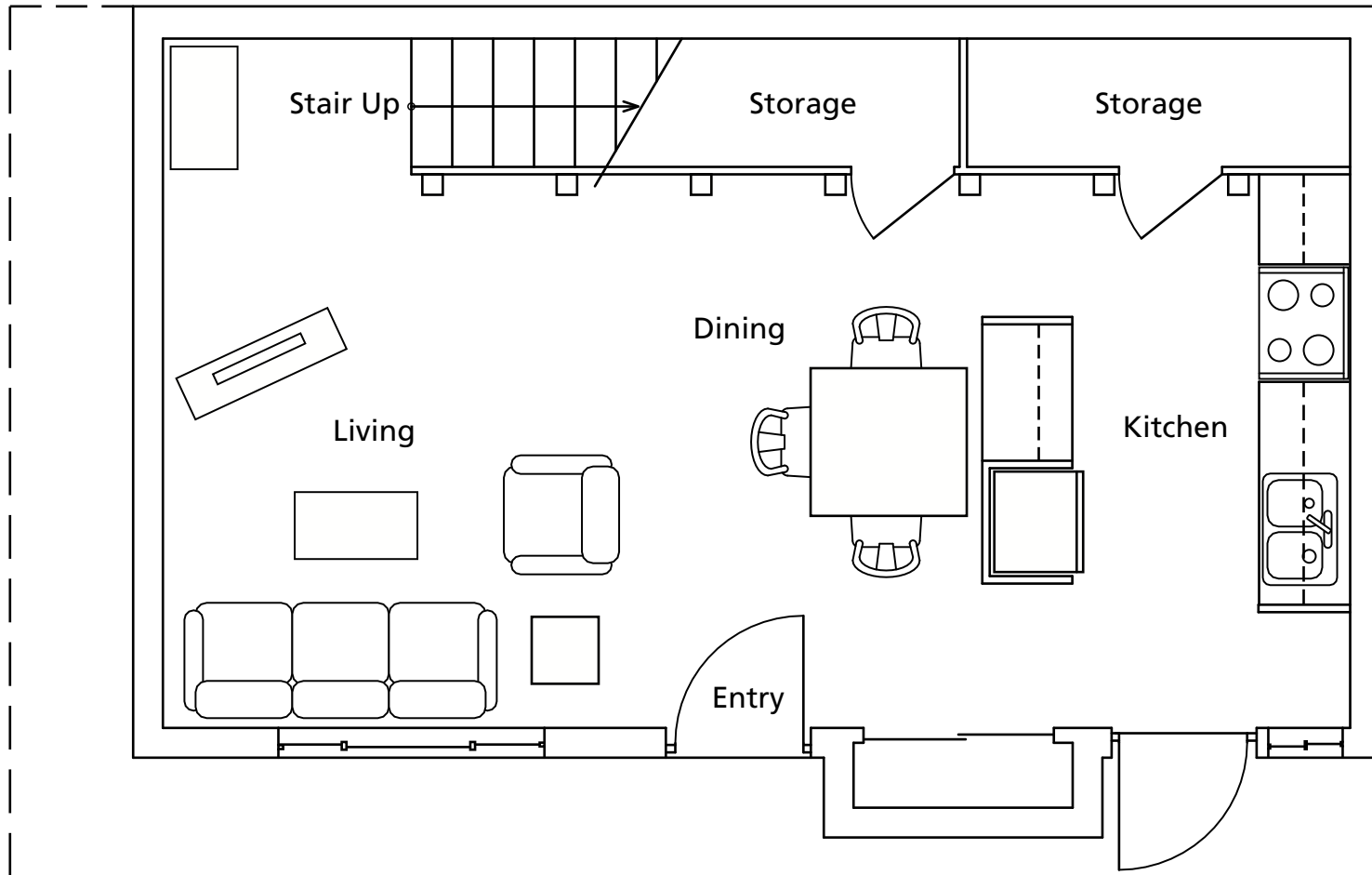


Golden Gate Village— Low Rise Type B, Upper Floor, Units 2,4 (3BR)

1/4" = 1'-0"

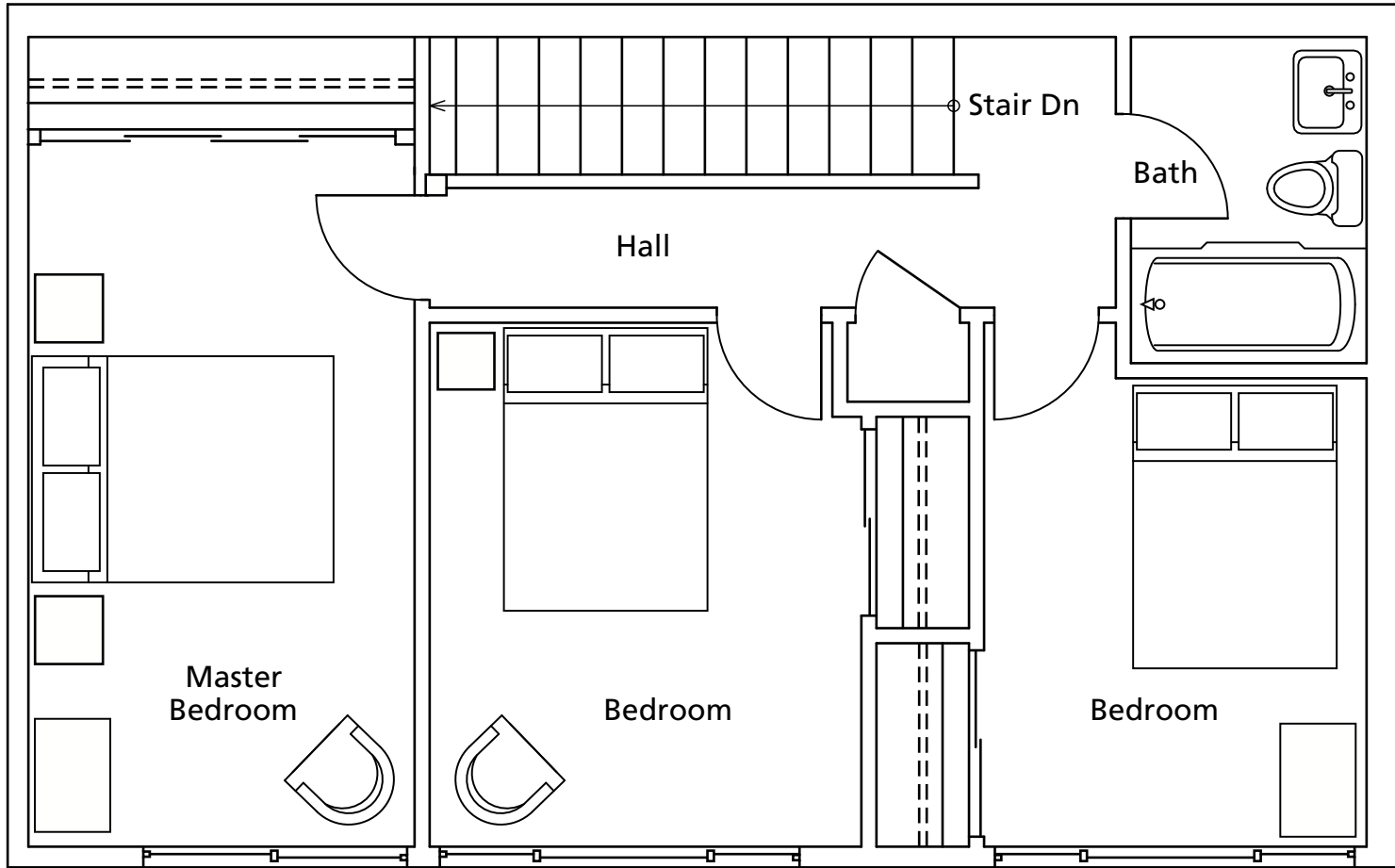


4020 Civic Center Drive
 San Rafael, CA 94903-4173



Golden Gate Village— Low Rise Type B, Ground Floor, Units 5,7 (3BR)

1/4" = 1'-0"

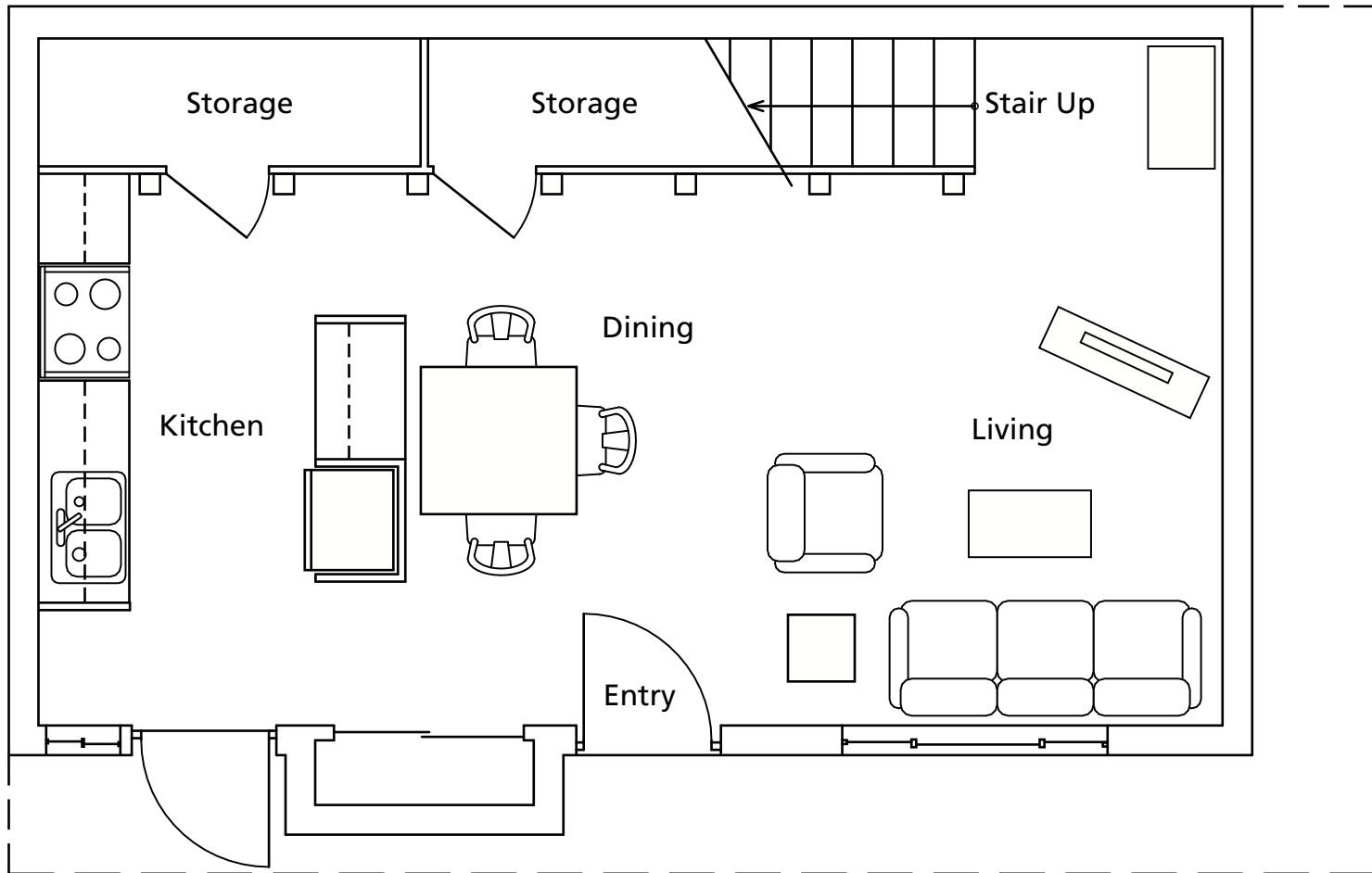


Golden Gate Village— Low Rise Type B, Upper Floor, Units 5,7 (3BR)

1/4" = 1'-0"



4020 Civic Center Drive
 San Rafael, CA 94903-4173

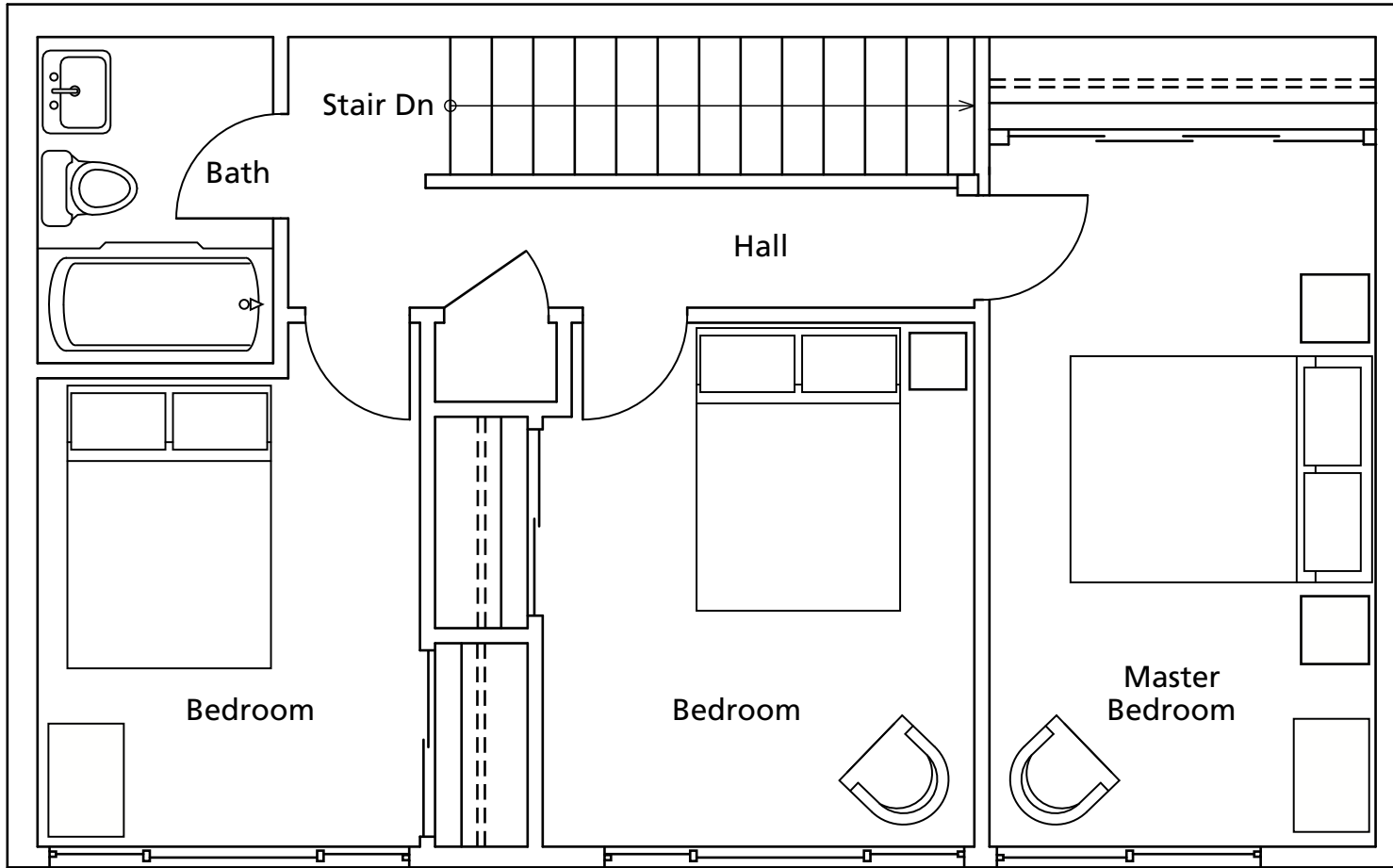


Golden Gate Village— Low Rise Type B, Ground Floor, Units 6,8 (3BR)

1/4" = 1'-0"



4020 Civic Center Drive
 San Rafael, CA 94903-4173



Golden Gate Village— Low Rise Type B, Upper Floor, Unit 6,8 (3BR)

1/4" = 1'-0"



4020 Civic Center Drive
 San Rafael, CA 94903-4173

GENERAL NOTES

GENERAL

CONTRACTOR SHALL CHECK THESE PLANS WITH THE CONDITIONS THAT WILL PREVAIL AT THE JOB SITE AND WITH THE ARCHITECTS & MECHANICAL & ELECTRICAL PLANS & REPORT ANY DISCREPANCIES TO THE LOCAL AUTHORITY. THESE NOTES APPLY EXCEPT OTHERWISE SHOWN OR NOTED.

ALL DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS.

CONCRETE

LOCATION OF ALL POOR JOINTS NOT SPECIFICALLY NOTED SHALL BE SUBMITTED TO THE LOCAL AUTHORITY FOR APPROVAL. ALL CONCRETE EXPOSED CORNERS TO HAVE 3" CHAMFER. ALL CONCRETE SHALL DEVELOP THE FOLLOWING MIN. ULTIMATE COMPRESSIVE STRENGTHS AT 28 DAYS: TYPE A - PRECAST CONC. SCREENS FOR "A" BLDGS & MAIL BOX UNITS = 3000 psi. TYPE B - ALL FOOTINGS, GRADE BMS & SLABS ON GRADE = 2500 psi. TYPE C - ALL DRILLED PILES & BELLS = 2000 psi. TYPE D - ALL WALLS, COLS, SLABS ABOVE GRADE, AND ALL OTHER PLACES NOT SPECIFICALLY LISTED ABOVE = 2500 psi.

REINFORCING STEEL

REINFORCING STEEL TO BE INTERMEDIATE GRADE DEFORMED BARS. $f_y = 20,000$ psi.

PROVIDE BAR COVERAGE AS FOLLOWING:

- 3" WHERE CONCRETE TO BE DEPOSITED AGAINST GROUND.
- 2" WHERE CONCRETE TO BE EXPOSED TO GROUND BUT PLACED IN FORMS.
- 1 1/2" FOR WALLS EXPOSED TO WEATHER.
- 1" FOR OTHER WALLS (EXCEPT BAR IN CENTER OF WALL)
- 1/2" FOR BEAMS & COLUMNS
- 3/4" FOR SLABS

PROVIDE MINIMUM BAR LAPS AS FOLLOWING:

- TOP BARS 30-DIAM.
 - COL BARS 27 DIAM.
 - ALL OTHERS 24 DIAM.
- IN NO CASE SHALL THE LAP BE LESS THAN 12"

PROVIDE TIE BARS & SUPPORTS OF AN APPROVED TYPE TO HOLD BARS ACCURATELY AND RIGIDLY IN PLACE AT ALL TIME.

SPLICES IN HORIZONTAL WALL BARS TO BE WELL STAGGERED.

WALL REINFORCING TO BE AS FOLLOWS

- 6" WALL #4 @ 12" 1/2 EA. WAY AT WALL CENTER.
- 8" WALL #4 @ 18" 1/2 EA. WAY, EA. FACE.

CARPENTRY

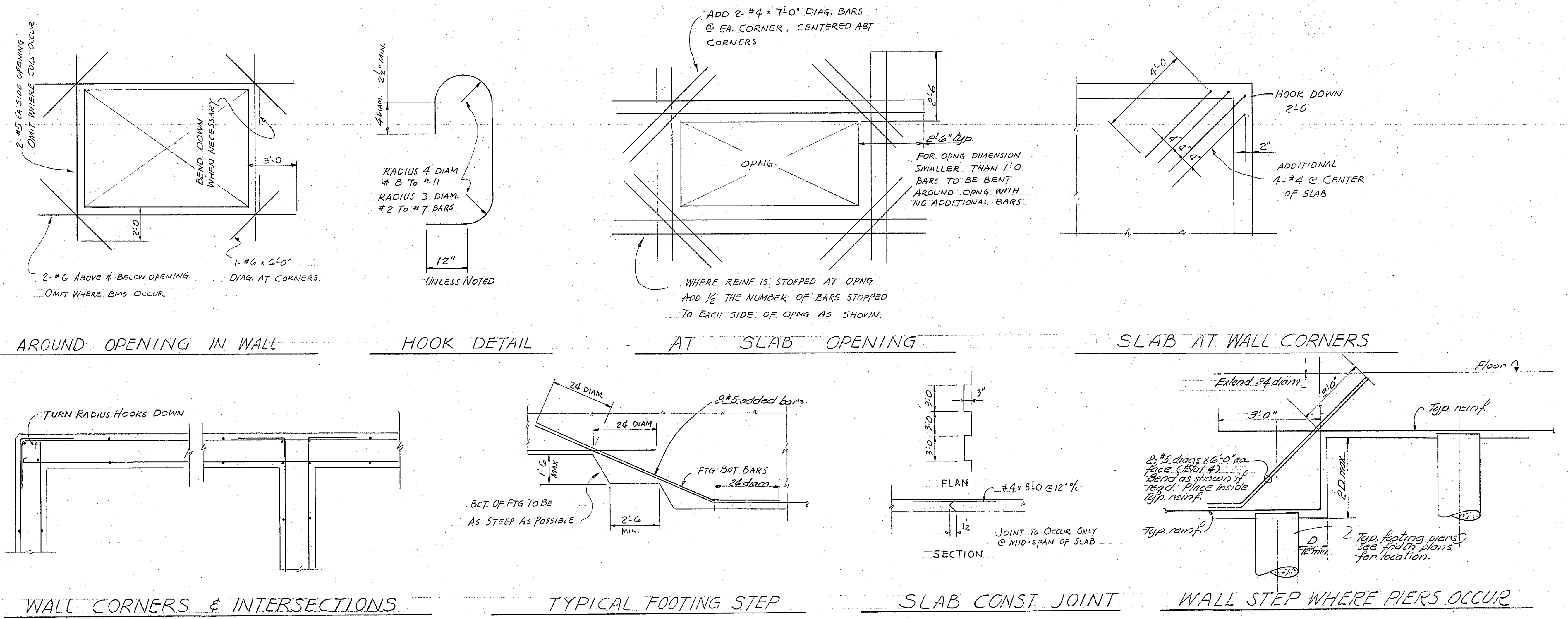
ALL FRAMING LUMBER SHALL BE STRESS GRADE DOUGLAS FIR (REDWOOD SILLS) IN ACCORDANCE WITH THE PROVISIONS OF THE SPECIFICATIONS COVERING GRADES & SPECIES. 3/4" PLYWOOD ROOF SHEATHING AS INDICATED ON DRAWINGS SHALL BE DOUGLAS FIR (SEE SPECS) 4x8 SHEETS SHALL BE LAID WITH END JOINTS STAGGERED AND PLACED WITH FACE GRAIN PERPENDICULAR TO FRAMING MEMBERS. EDGES NOT JOINTED OVER FRAMING MEMBERS SHALL BE SOLID BLOCKED WITH 3x4 BLOCKING LAID FLAT. NAIL ENTIRE PERIMETER OF EACH SHEET WITH 10d @ 6" o.c. MIN. AND AT ALL INTERMEDIATE BEARINGS WITH 10d @ 12" o.c. MIN. NAIL 10d @ 6" o.c. MIN. TO ALL HIP RAFTERS, RIDGE BLKS, AND BLOCKING AT EXTERIOR WALL LINES. ALL BOLT HOLES SHALL BE OF A DIAMETER PERMITTING BOLTS TO BE DRIVEN EASILY. ALL BOLT HEADS & NUTS ON WOOD SHALL HAVE M.I. WASHERS.

NAILING SCHEDULE

ALL NAILS SHALL BE COMMON WIRE NAILS. SUB-BORE WHERE NAILS TEND TO SPLIT THE WOOD. UNLESS OTHERWISE NOTED IN DETAILS NAILING IS TO BE NOT LESS THAN THE FOLLOWING:

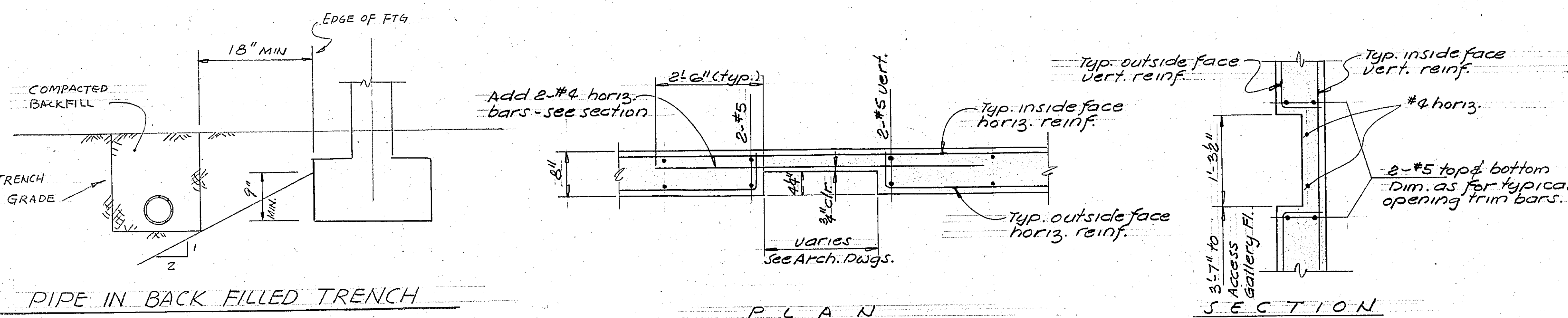
- | | |
|------------------------------------|------------------------------|
| RAFTER TO BEARING | 2-10d TOES EA. SIDE |
| LAP RAFTER 12" MIN. | 5-10d |
| RAFTER TO STUD | 3-10d |
| SOLID BLOCKING TO RAFTER | 2-10d TOES EA. SIDE EA. END |
| STUD TO BEARING | 2-10d TOES EA. END |
| LOWER TOP PLATE TO TOP OF STUD | 2-20d |
| UPPER TOP PLATE TO LOWER TOP PLATE | 1-2d @ 18" o.c. STAGGERED |
| STAGGER SPLICES IN DOUBLE PLATES | 4-10d MIN. 7-10d EA. SPLICE. |

TRIP L GRIPS & ANG L GRIPS NOTED ON DWGS SHALL BE CONNECTORS AS MANUFACTURED BY TIMBER ENGINEERING CO. (TECO) AND SHALL HAVE ALL HOLES FILLED WITH SIZE OF NAILS AS SPECIFIED BY MANUFACTURER.



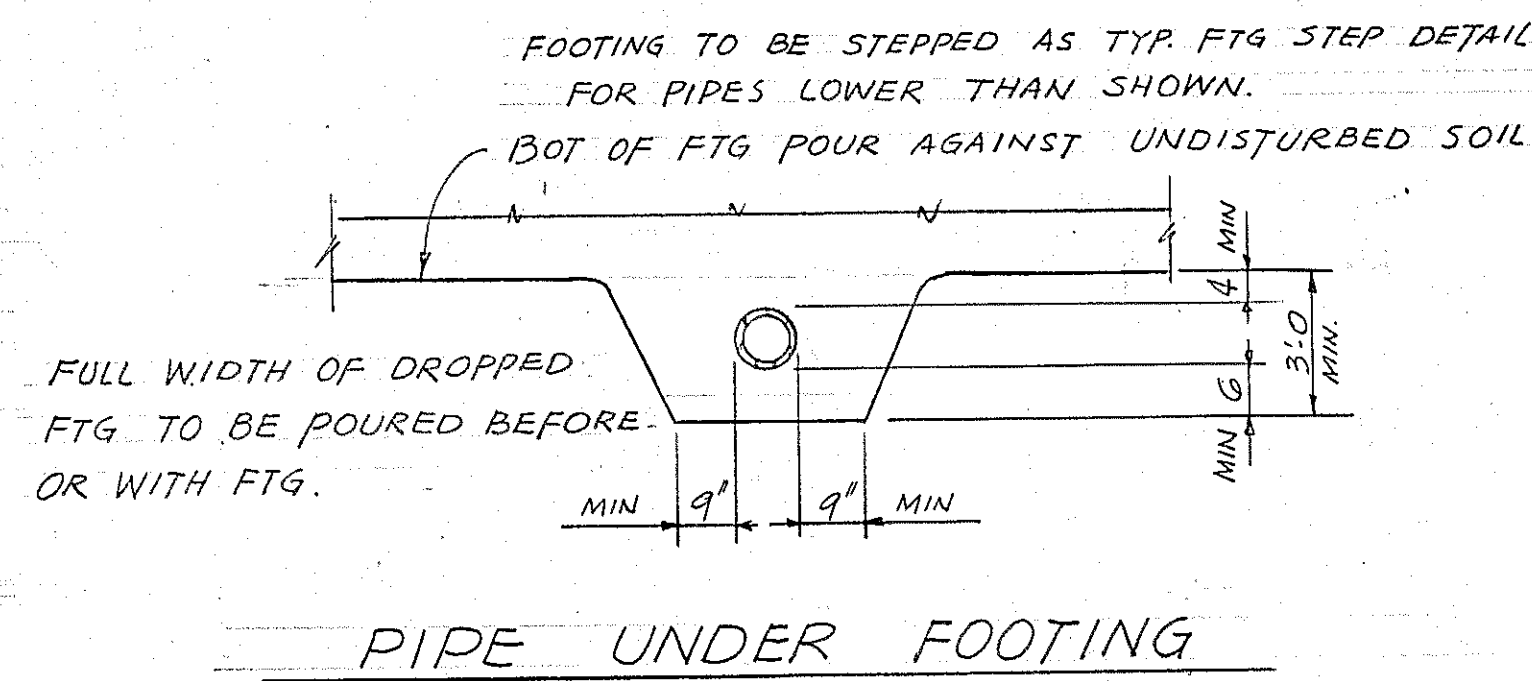
TYPICAL REINFORCING DETAILS

NO SCALE

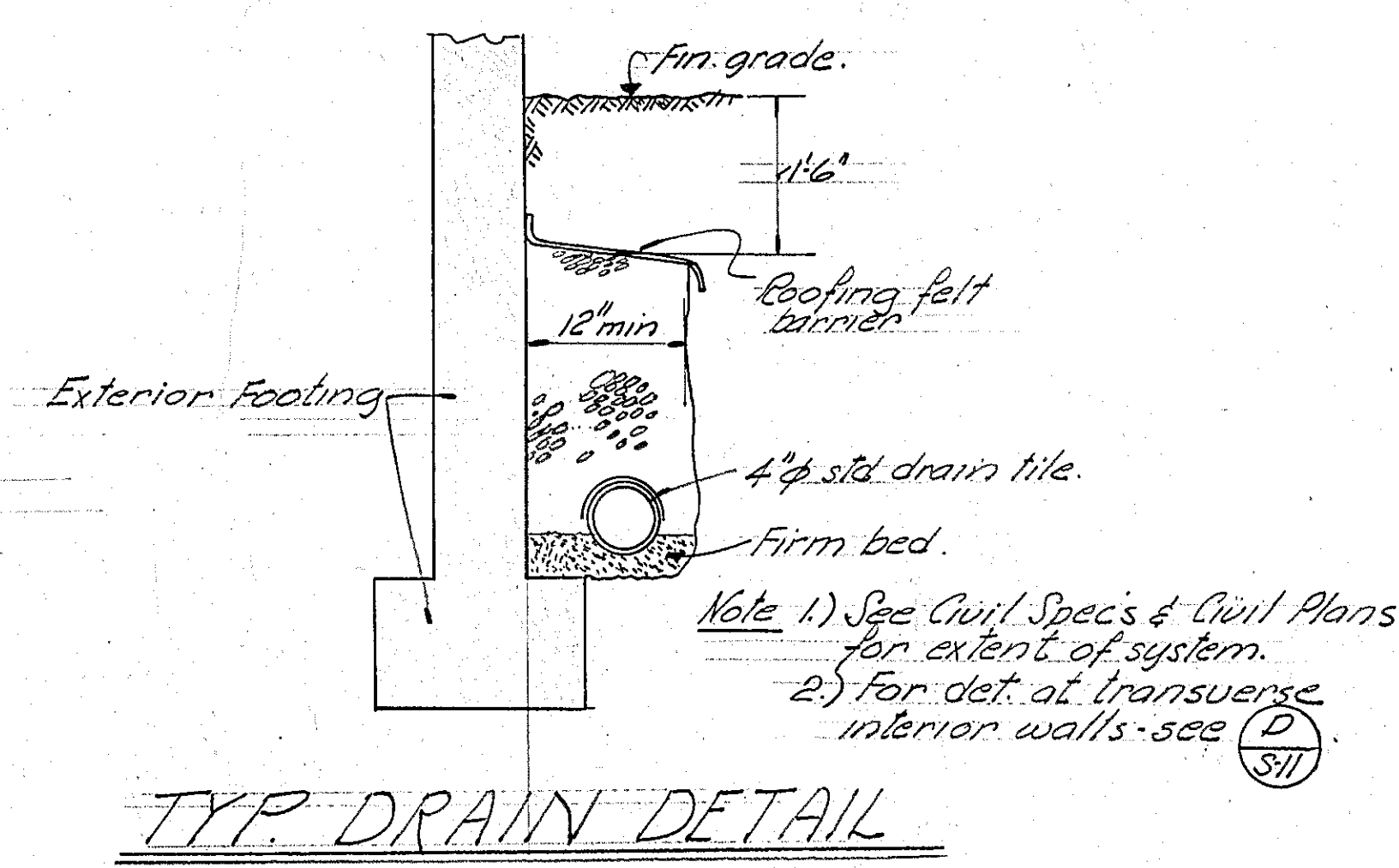


TYP. WALL REINF. AT MAILBOX RECESS

NO SCALE

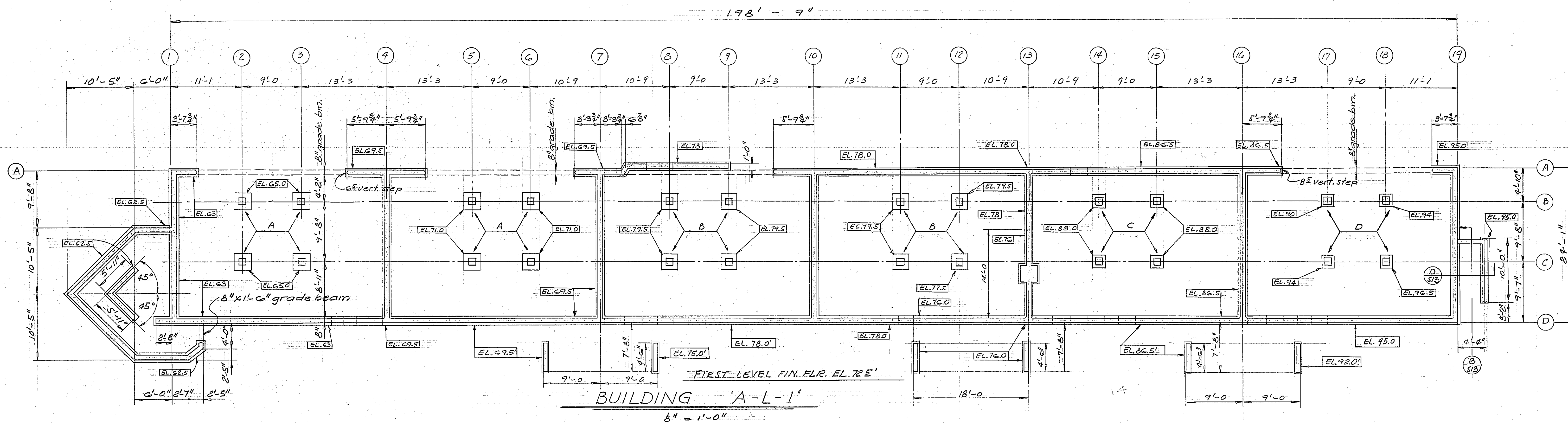


TYPICAL DETAILS OF PIPES & TRENCHES NEAR FOOTINGS

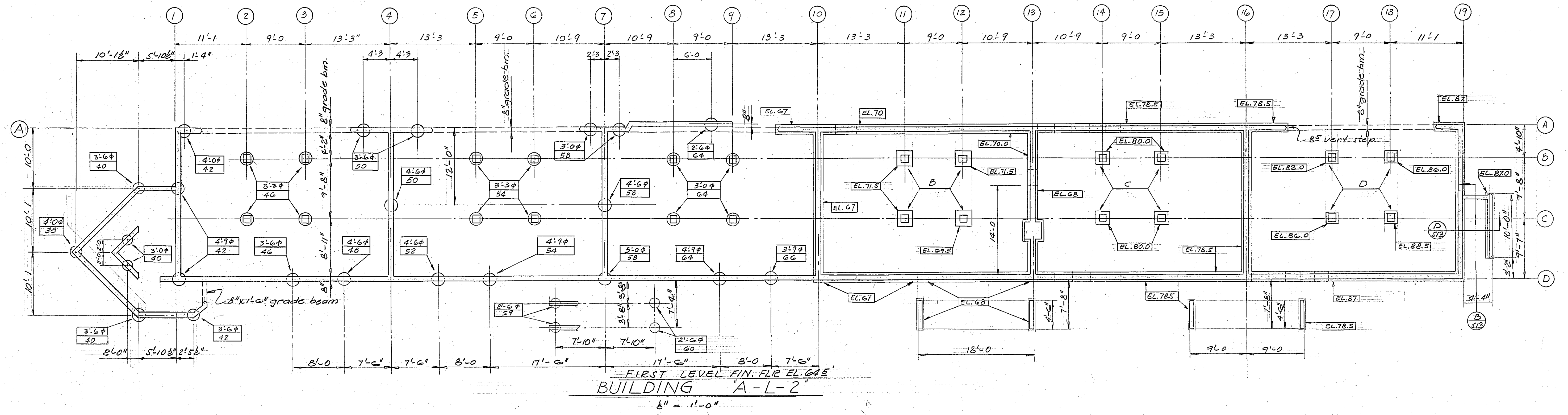


REVISION	DATE	DESCRIPTION

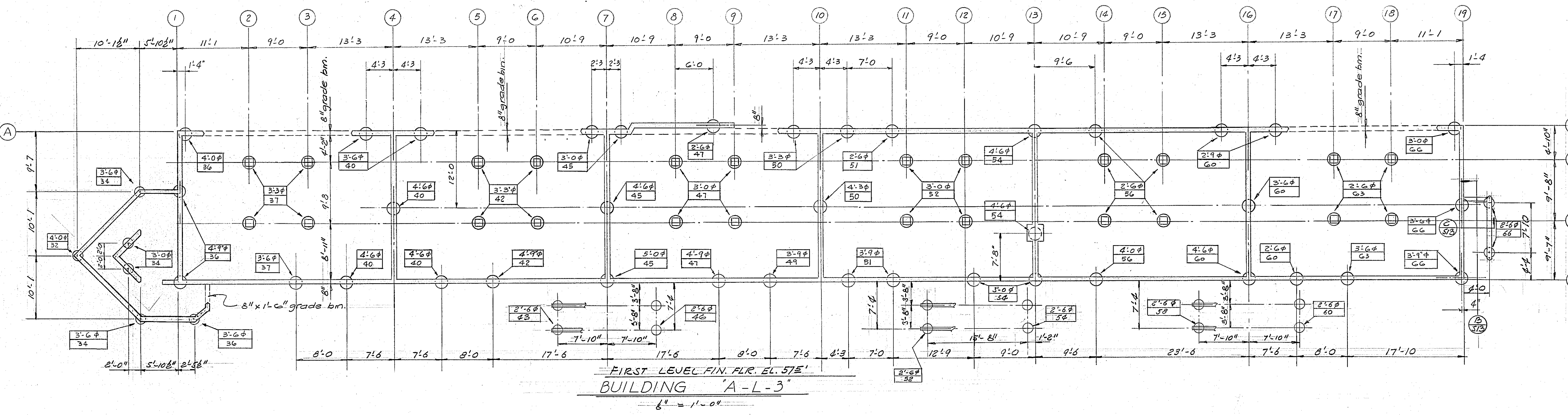
JOHN CARL WARNECKE AIA ARCHITECT	HOUSING AUTHORITY OF THE COUNTY OF MARIN	
AARON G. GREEN AIA ARCHITECT	MARIN CITY, CALIFORNIA	
HOUSING AUTHORITY OF THE COUNTY OF MARIN	LOW RENT HOUSING PROJECT NO. CAL. 52-1	
BUILDING TYPE A GENERAL NOTES & TYPICAL DETAILS		
NO SCALE	DATE	JOHN CARL WARNECKE AIA
CONSULTANT	11-3-58	AARON G. GREEN AIA
WILDMAN & MORRIS CONSULTING ENGINEERS	DRAWN	ASSOCIATED ARCHITECTS
111 NEW MONTGOMERY ST. SAN FRANCISCO 4, CALIF.	11.7	111 NEW MONTGOMERY ST. SAN FRANCISCO 8, CALIF.
		JOB NO. 574
		DWG. NO. S-1
		OF 18



BUILDING 'A-L-1'
8" = 1'-0"



BUILDING 'A-L-2'
8" = 1'-0"

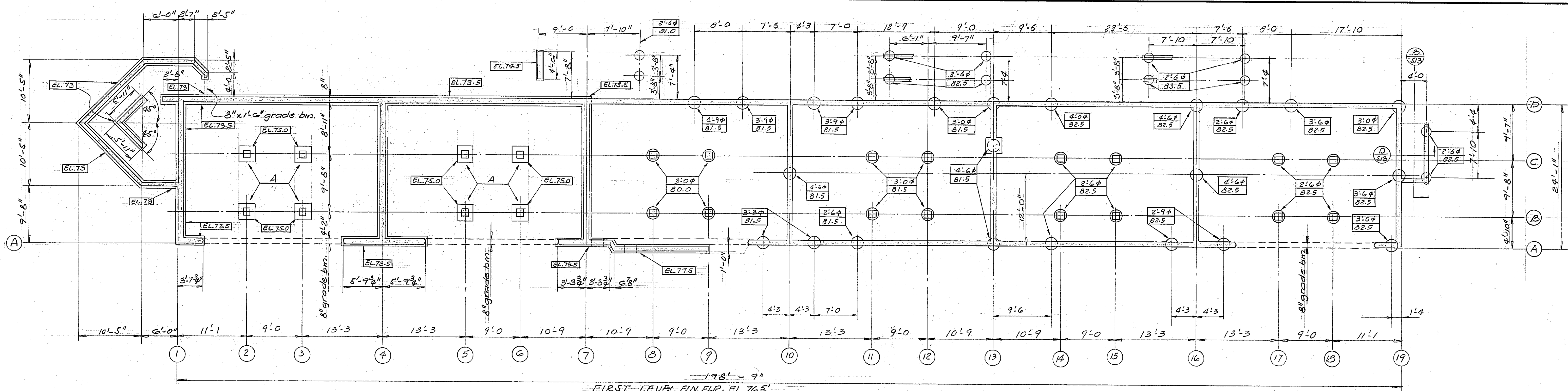


BUILDING 'A-L-3'
8" = 1'-0"

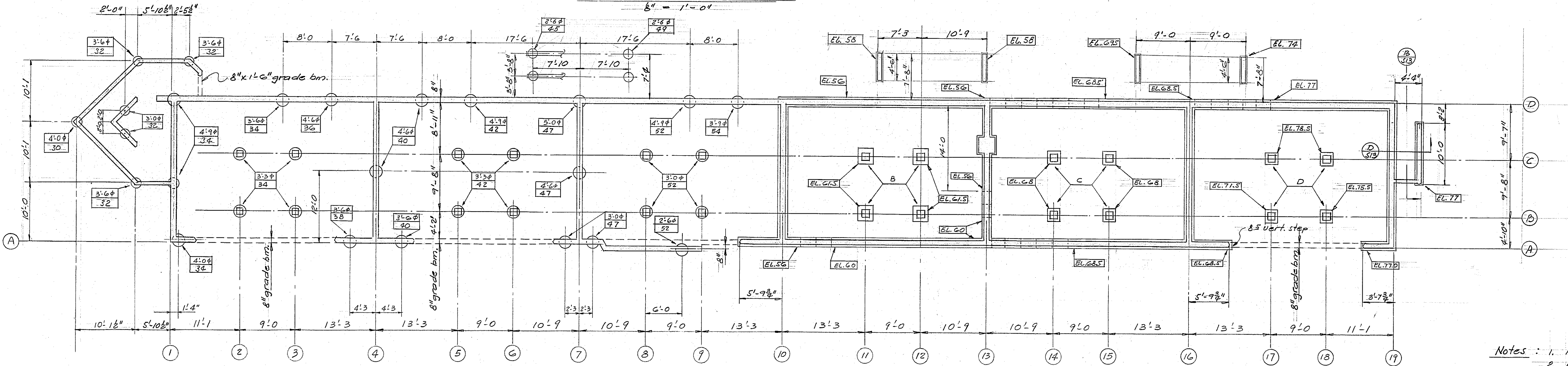
- Notes:
1. For typ. footing notes & details see sheet S-4.
 2. For stair details see sheets S-5 & S-8.
 3. For typ. footing step detail see sheet S-1.

REVISION	DATE	DESCRIPTION

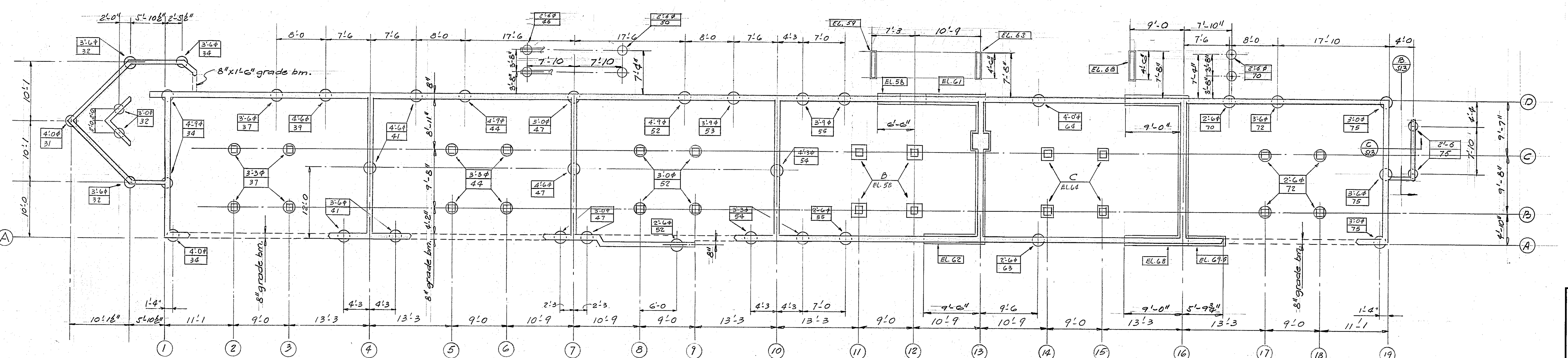
JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA LOW RENT HOUSING PROJECT NO. CAL. 52-1
GRAPHIC SCALE 0 5' 10' 20'	BUILDING TYPE A A-L-1, A-L-2 & A-L-3 FOUNDATION PLAN
CONSULTANT WILDMAN & MORRIS CONSULTING ENGINEERS 1111 NEW MONTGOMERY ST. - SAN FRANCISCO	DATE 11-3-58 DRAWN W.P.
JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS	JOB NO. 574 DWO. NO. S-2 1111 NEW MONTGOMERY ST. - SAN FRANCISCO 519 GRANT AVE. - SAN FRANCISCO



198'-9"
FIRST LEVEL FIN. FLR. EL. 76.5'
BUILDING "A-R-1"
8" = 1'-0"



FIRST LEVEL FIN. FLR. EL. 54.5'
BUILDING "A-R-2"
8" = 1'-0"

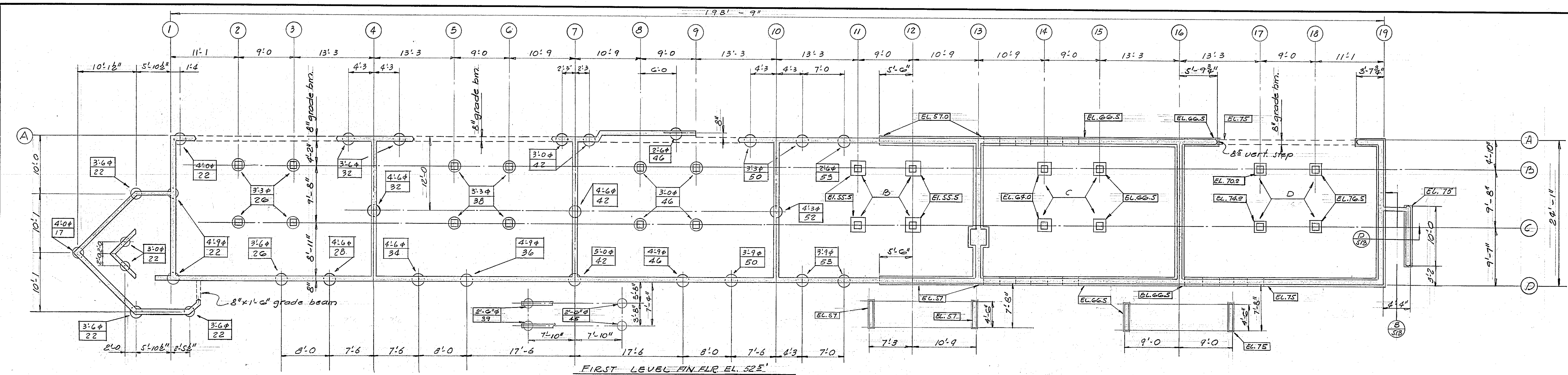


FIRST LEVEL FIN. FLR. EL. 56.5'
BUILDING "A-R-3"
8" = 1'-0"

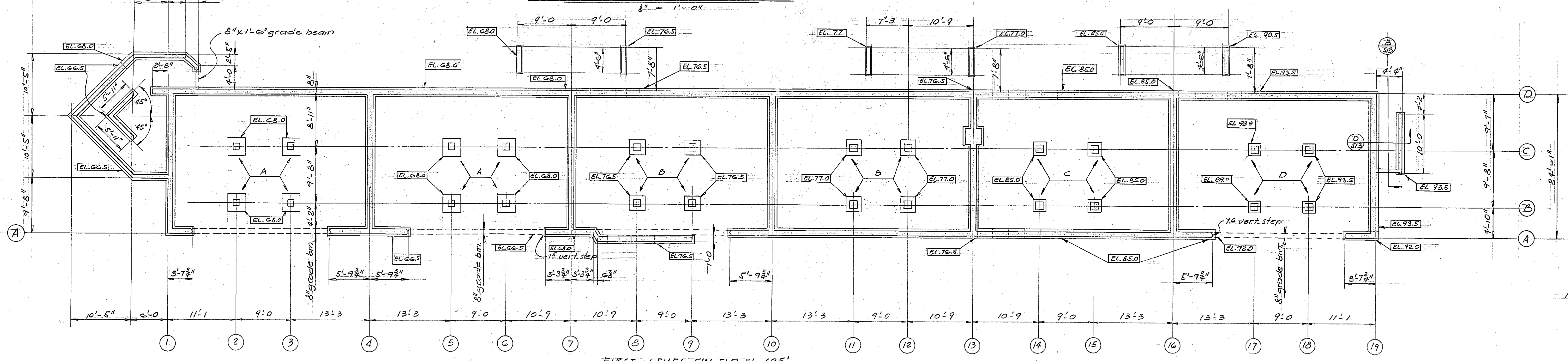
Notes: 1. For typ. footing notes & details see sheet S-4.
2. For stair details see sheets S-5 & S-8.
3. For typ. footing step detail see sheet S-1.

REVISION	DATE	DESCRIPTION

JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA LOW RENT HOUSING PROJECT NO. CAL. 52-1	
GRAPHIC SCALE 0 5 10 20	BUILDING TYPE A A-R-1, A-R-2 & A-R-3 FOUNDATION PLAN	
CONSULTANT WILDMAN & MORRIS CONSULTING ENGINEERS 111 NEW MONTGOMERY - SAN FRANCISCO	DATE 11-3-58 DRAWN W.P.	JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS 111 NEW MONTGOMERY ST. SAN FRANCISCO 9 319 GRANT AVE. SAN FRANCISCO 9 JOB NO. 574 DWG. NO. S-3 OF 18

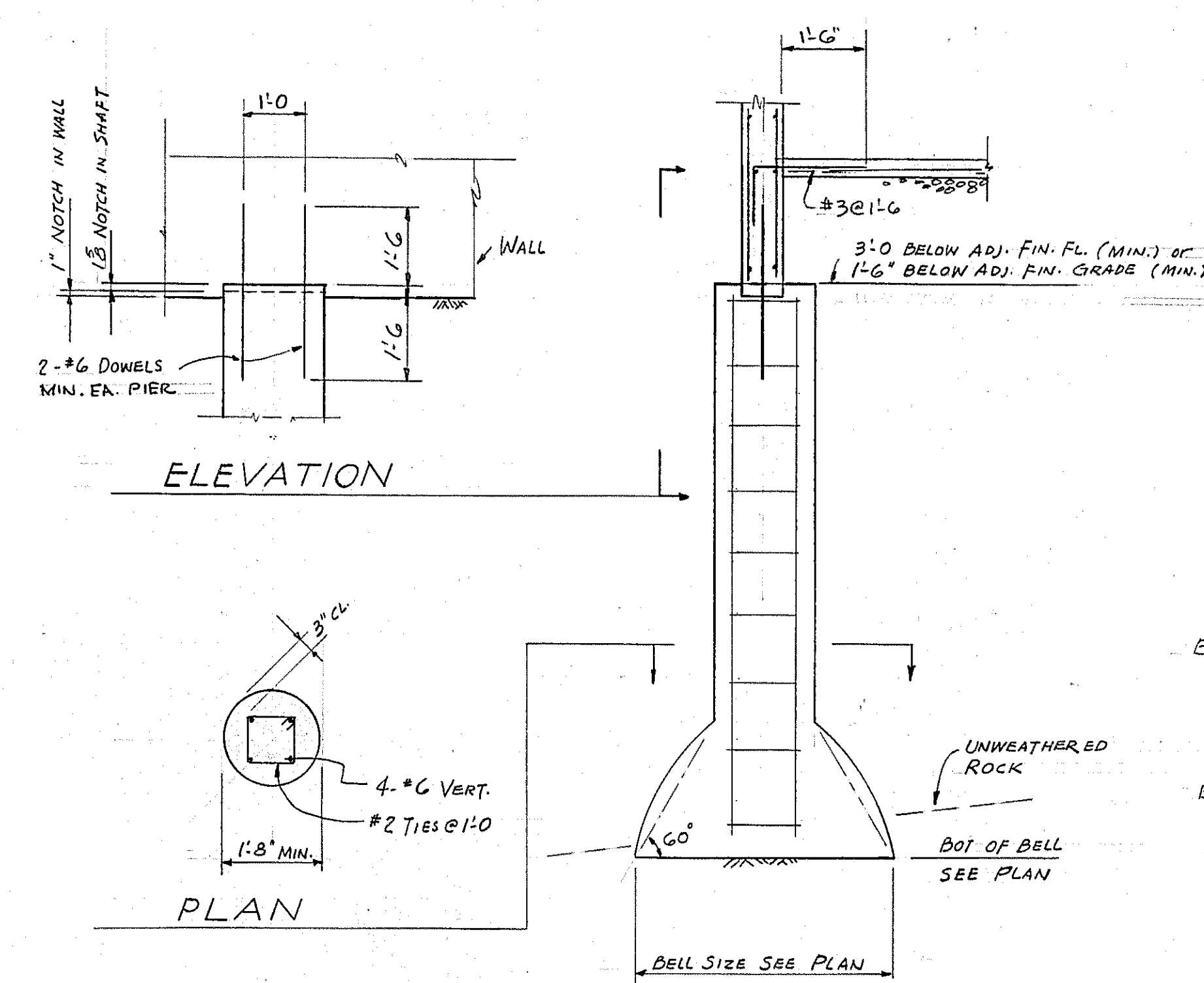


FIRST LEVEL FIN FLR. EL. 52.5'
BUILDING A-L-4
1/8" = 1'-0"

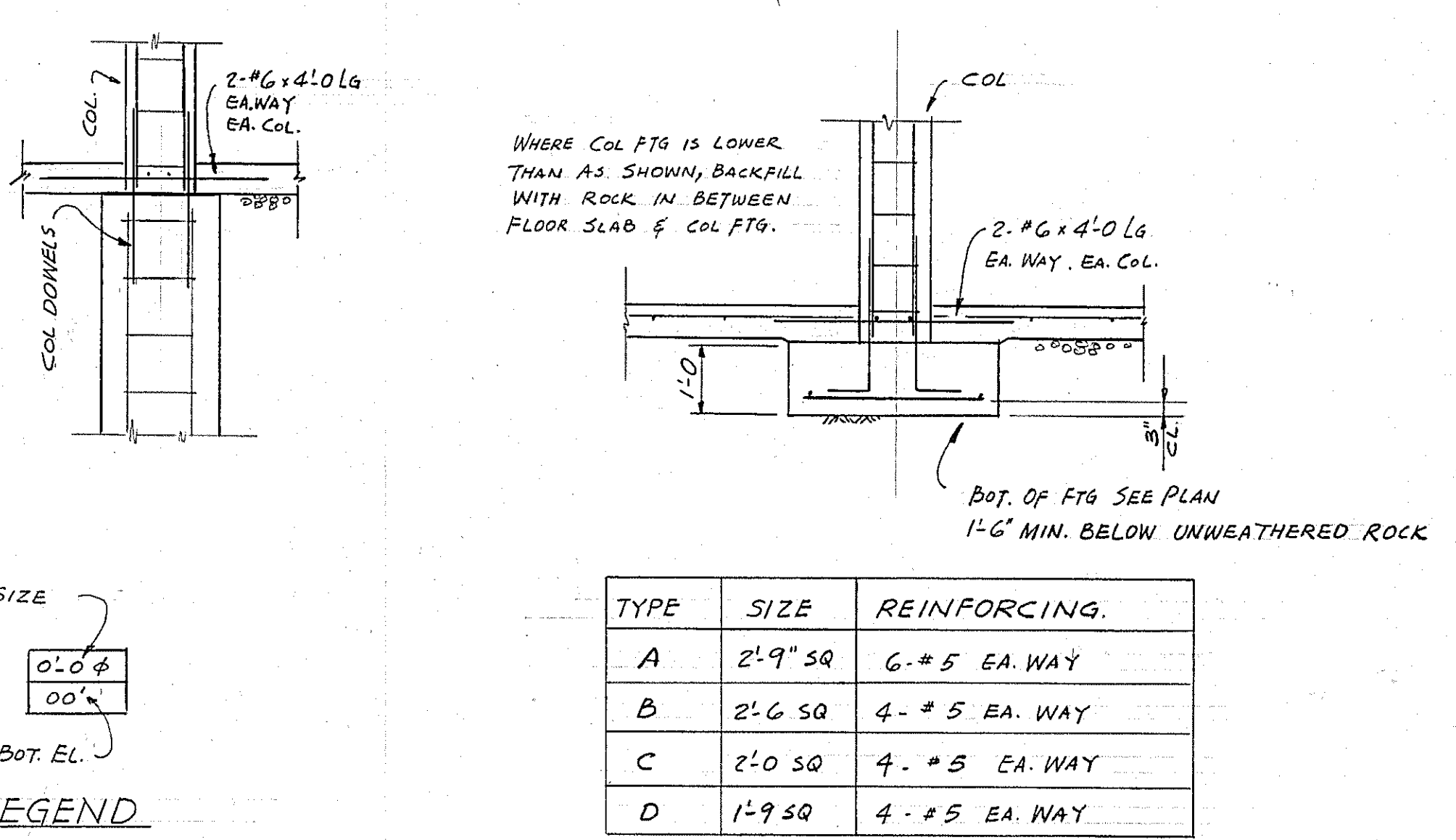


FIRST LEVEL FIN FLR. EL. 69.5'
BUILDING A-R-4
1/8" = 1'-0"

Notes: 1. For typical footing notes & details see below.
2. For stair details see sheets S-5 & S-8.
3. For typical footing step details see sheet S-1.

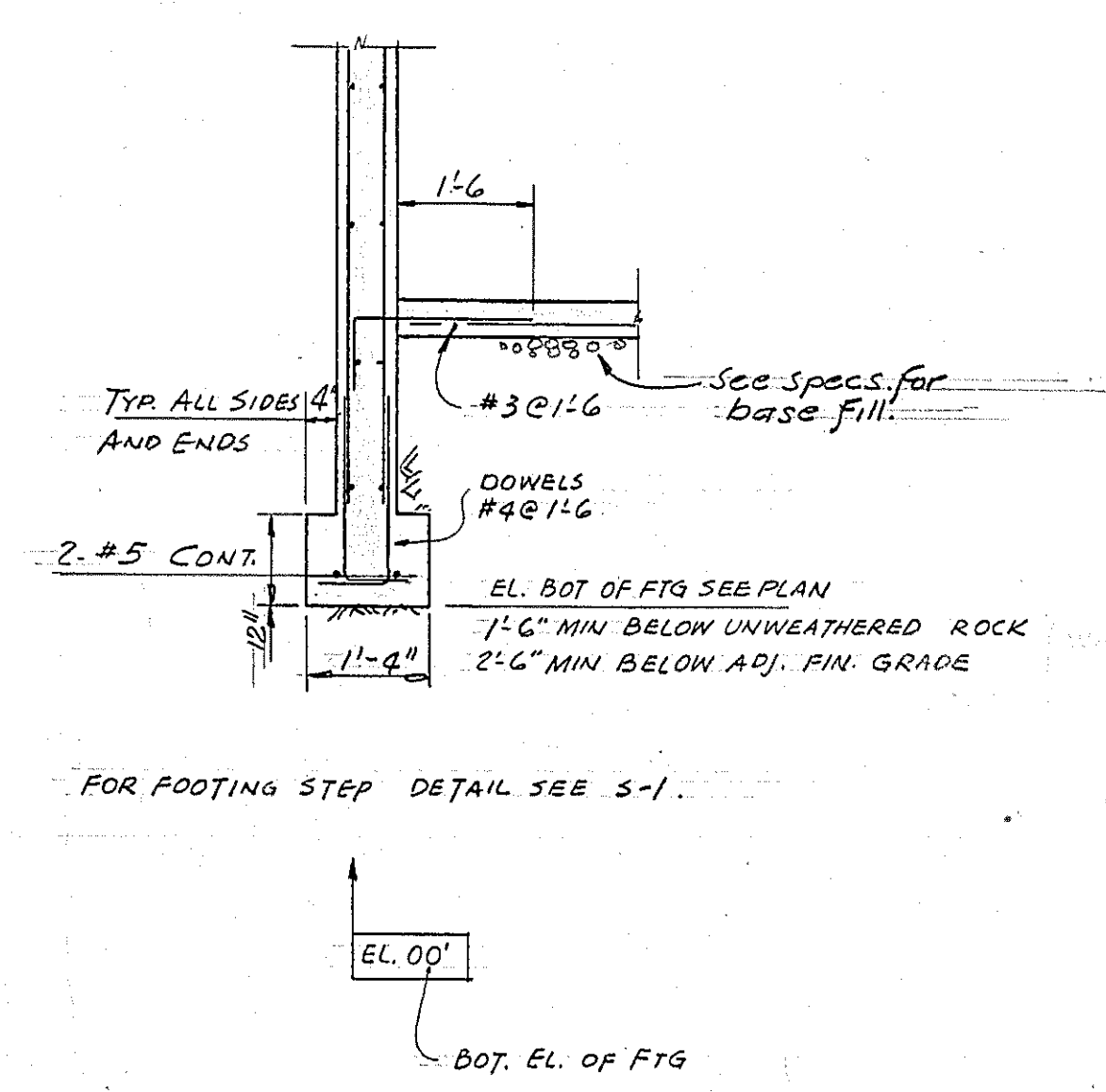


TYPICAL BELLED BOTTOM DRILLED FOOTING DETAIL



TYPE	SIZE	REINFORCING
A	2'-9" SQ	6-#5 EA. WAY
B	2'-6" SQ	4-#5 EA. WAY
C	2'-0" SQ	4-#5 EA. WAY
D	1'-9" SQ	4-#5 EA. WAY

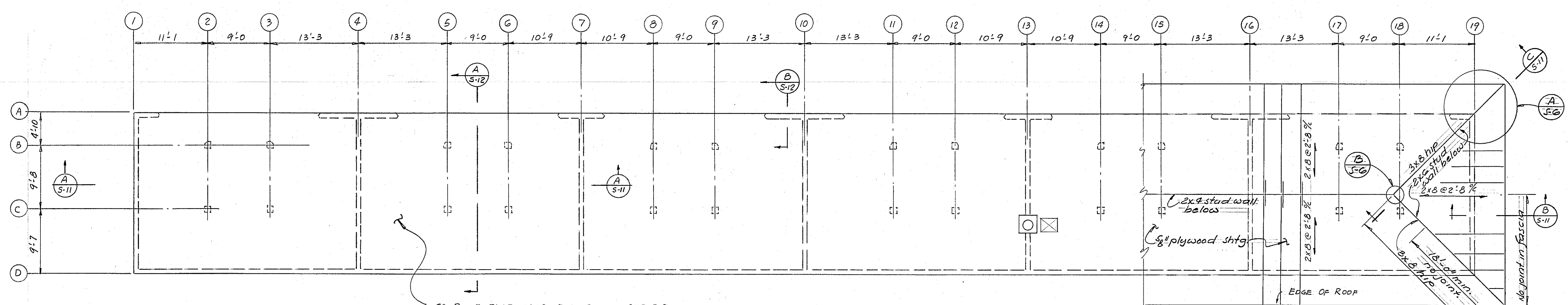
TYPE OF FTG → A
BOT. EL. OF FTG → EL. 00'
LEGEND



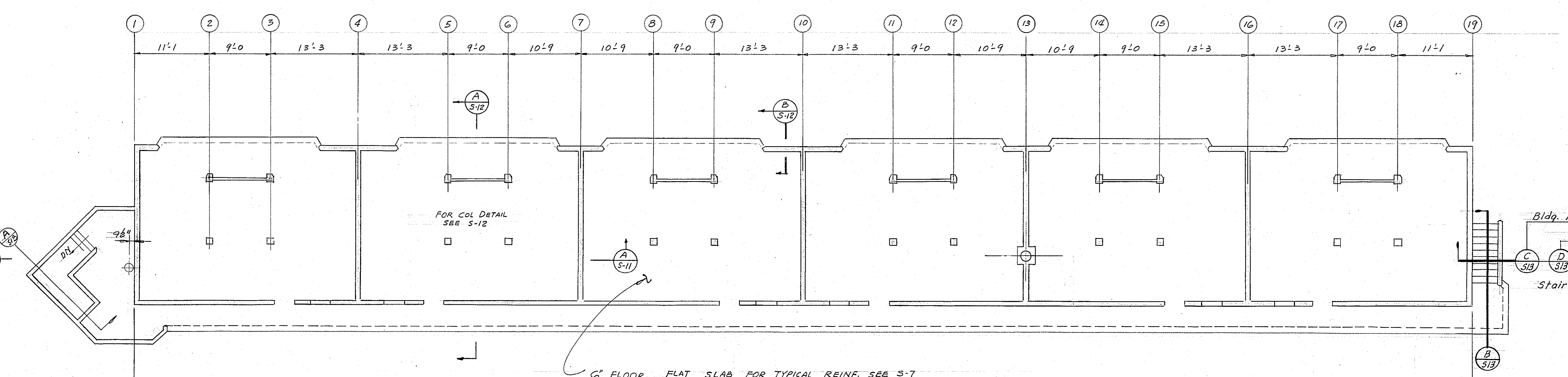
WALL SPREAD FOOTING

GENERAL FOOTING NOTE: Footing depths shown or noted on all drawings are for estimating purposes only. All footings shall bear on firm undisturbed material having a bearing capacity of 10,000 lbs. per sq. ft. Footing depths shall be adjusted in field as directed by the local Authority.

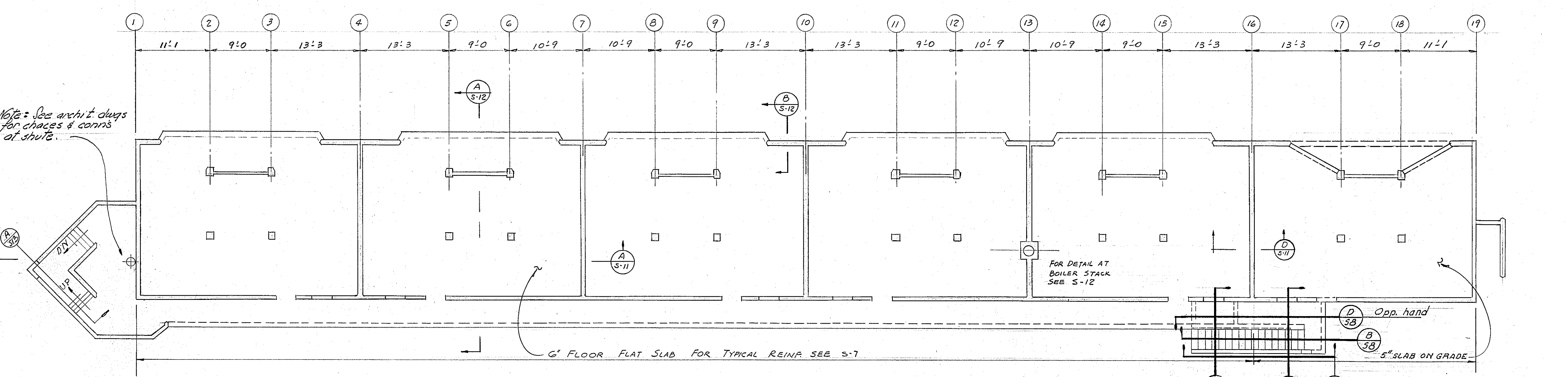
REVISION	DATE	DESCRIPTION
JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN		
HOUSING AUTHORITY OF THE COUNTY OF MARIN LOW RENT HOUSING PROJECT NO. CAL. 52-1		
GRAPHIC SCALE 0 5 10 20		
BUILDING TYPE A A-L-4 & A-R-4 FOUNDATION PLAN & DETAILS		
CONSULTANT	DATE	JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS
WILDMAN & MORRIS CONSULTING ENGINEERS 11 NEW MONTGOMERY - SAN FRANCISCO	DATE 11-3-58	JOB NO. 574 DWG. NO. S-4
111 NEW MONTGOMERY ST. SAN FRANCISCO 4 319 GRANT AVE. SAN FRANCISCO 8		



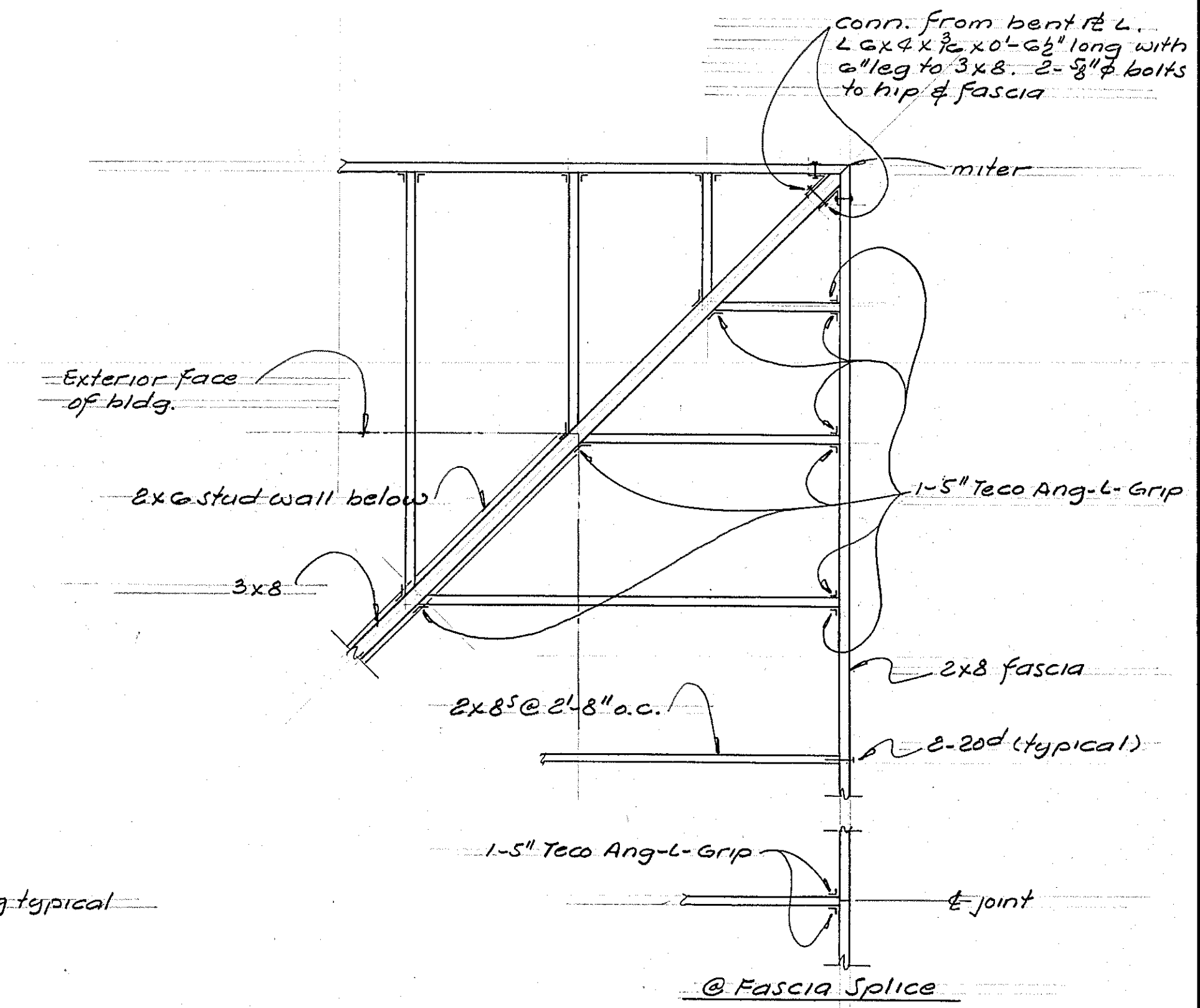
ROOF PLAN
8" = 1'-0"



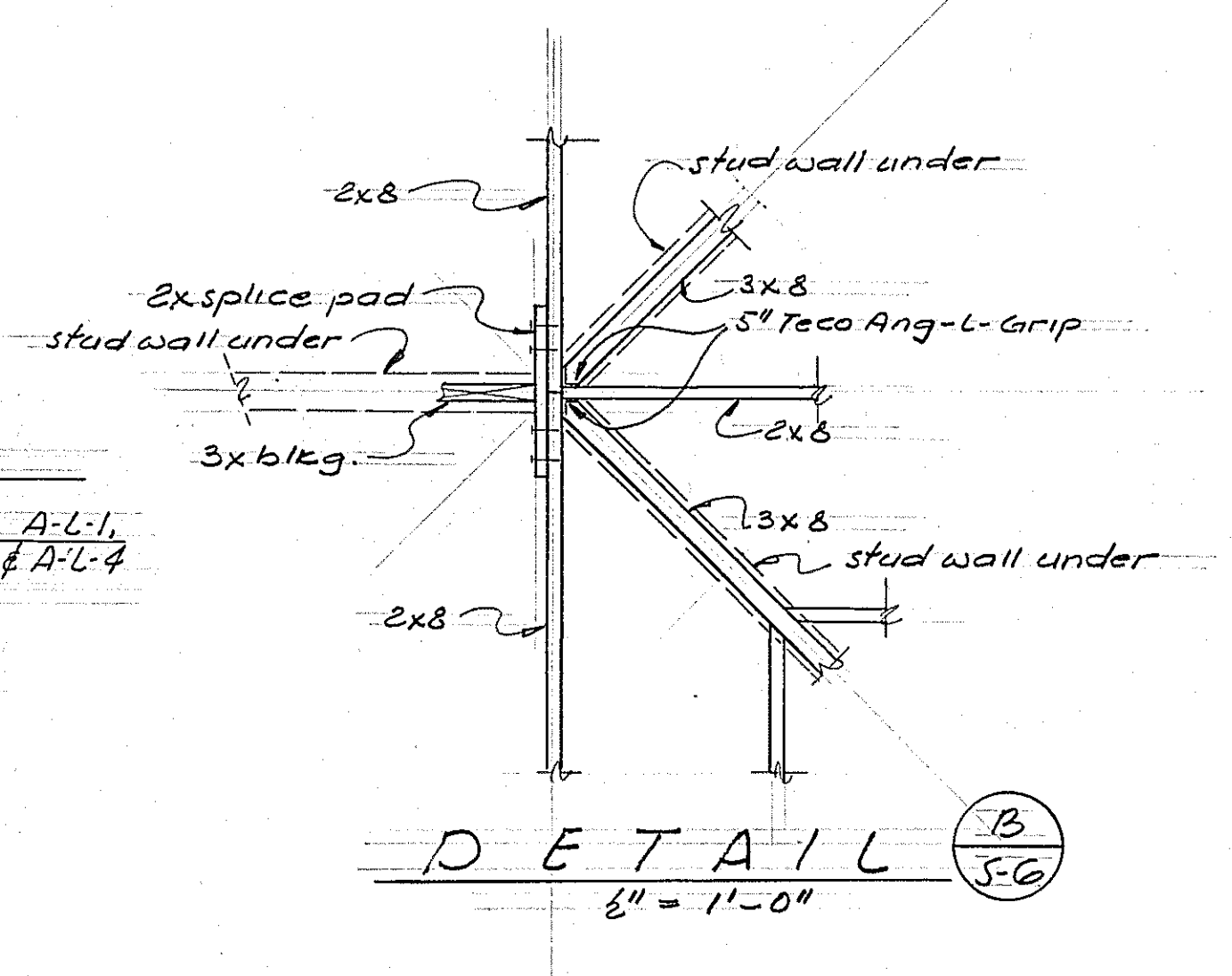
5TH LEVEL PLAN
8" = 1'-0"



4TH LEVEL PLAN
8" = 1'-0"

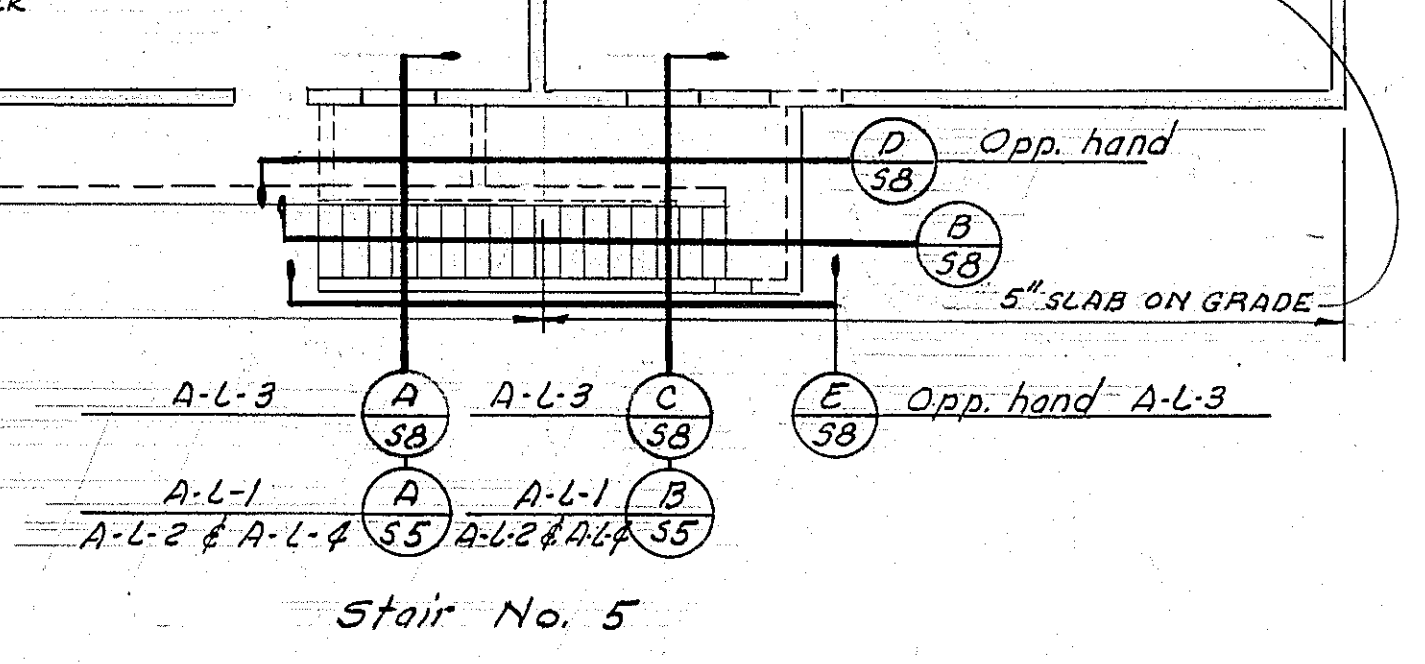


TYP. ROOF CORNER FRAMING
8" = 1'-0"



DETAIL
8" = 1'-0"

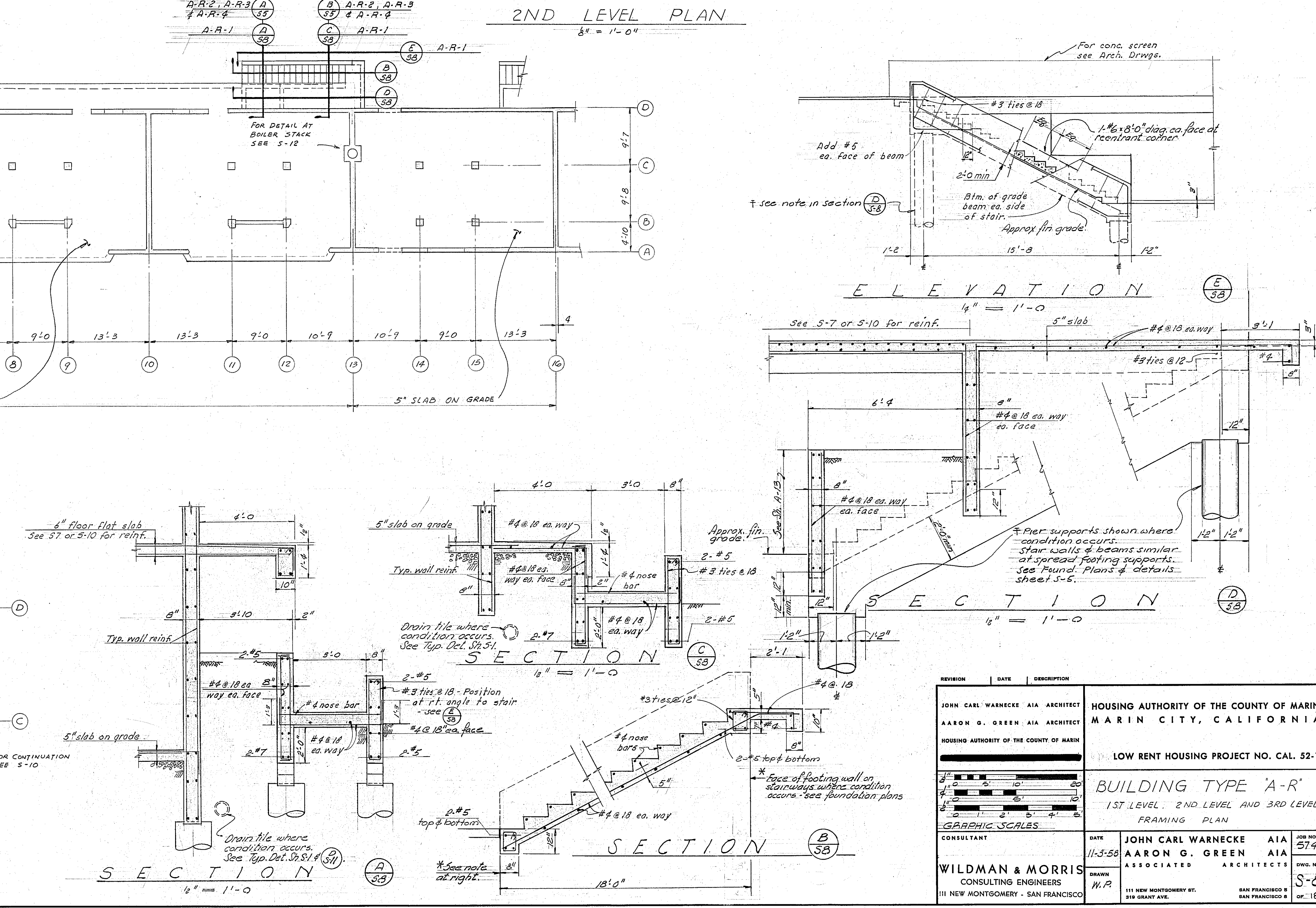
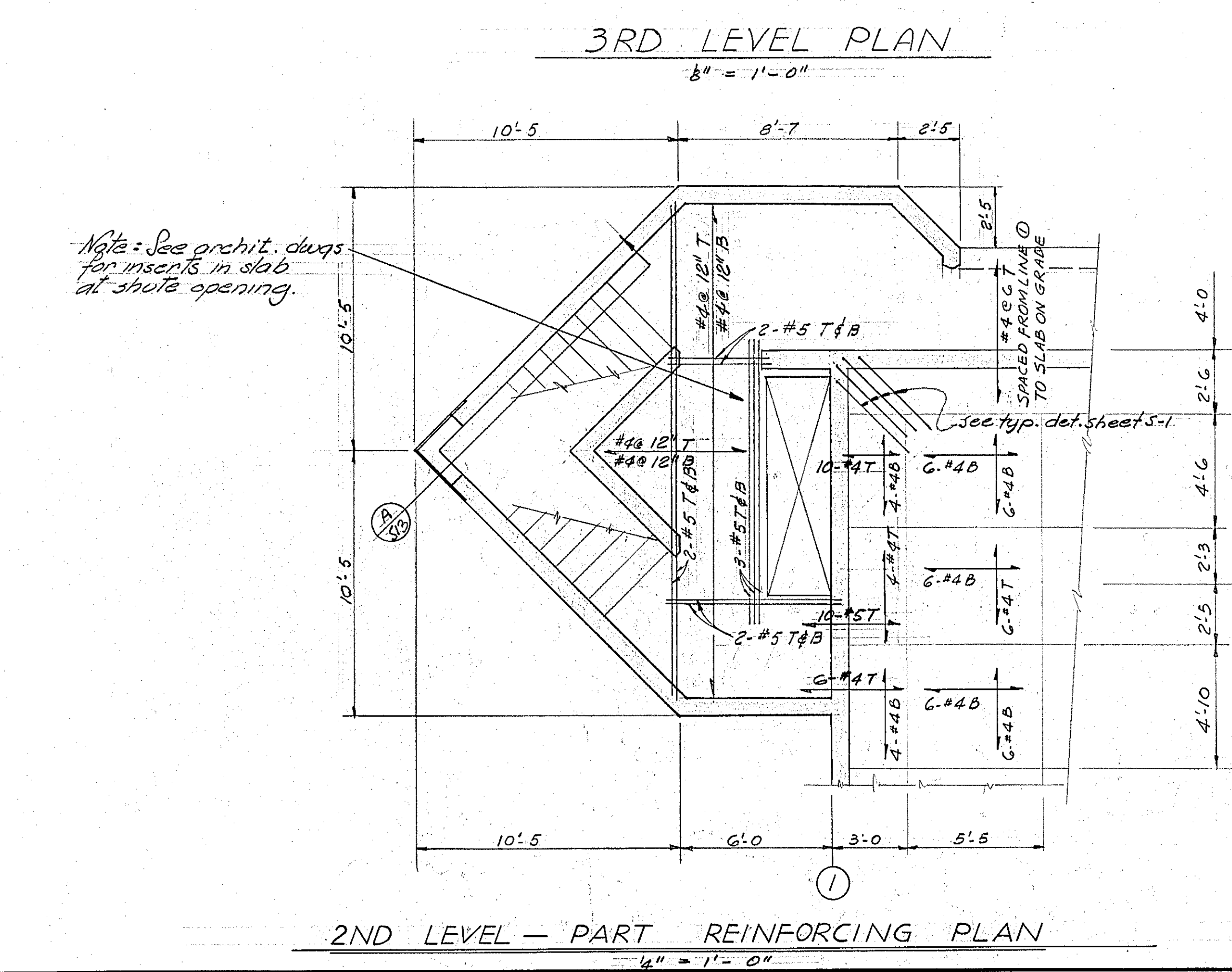
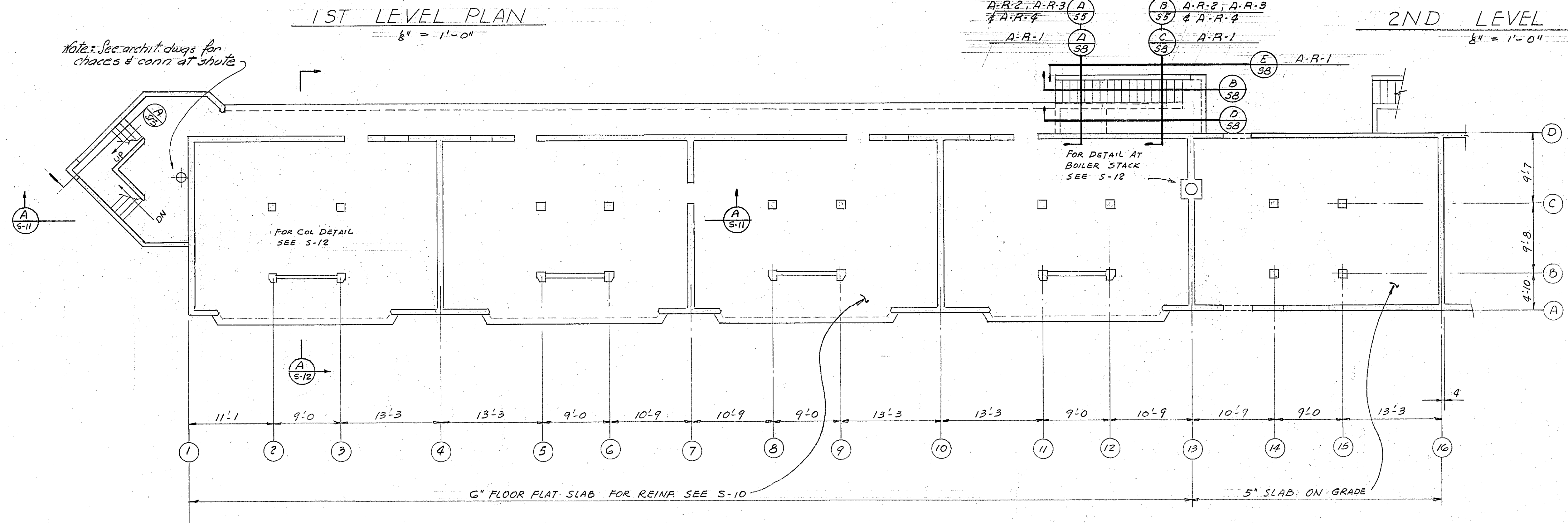
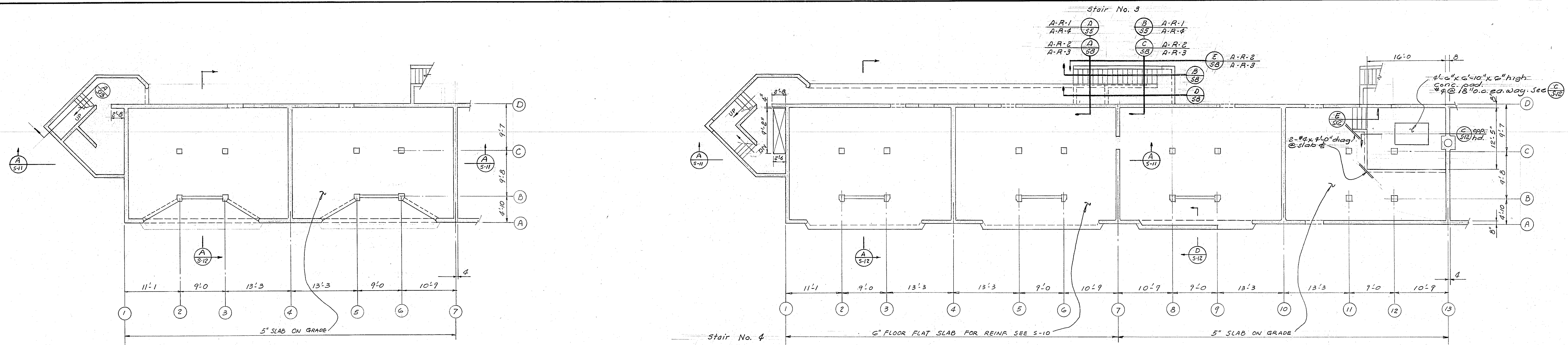
Note: See architect's drawings for changes & details of stairs.



Stair No. 5

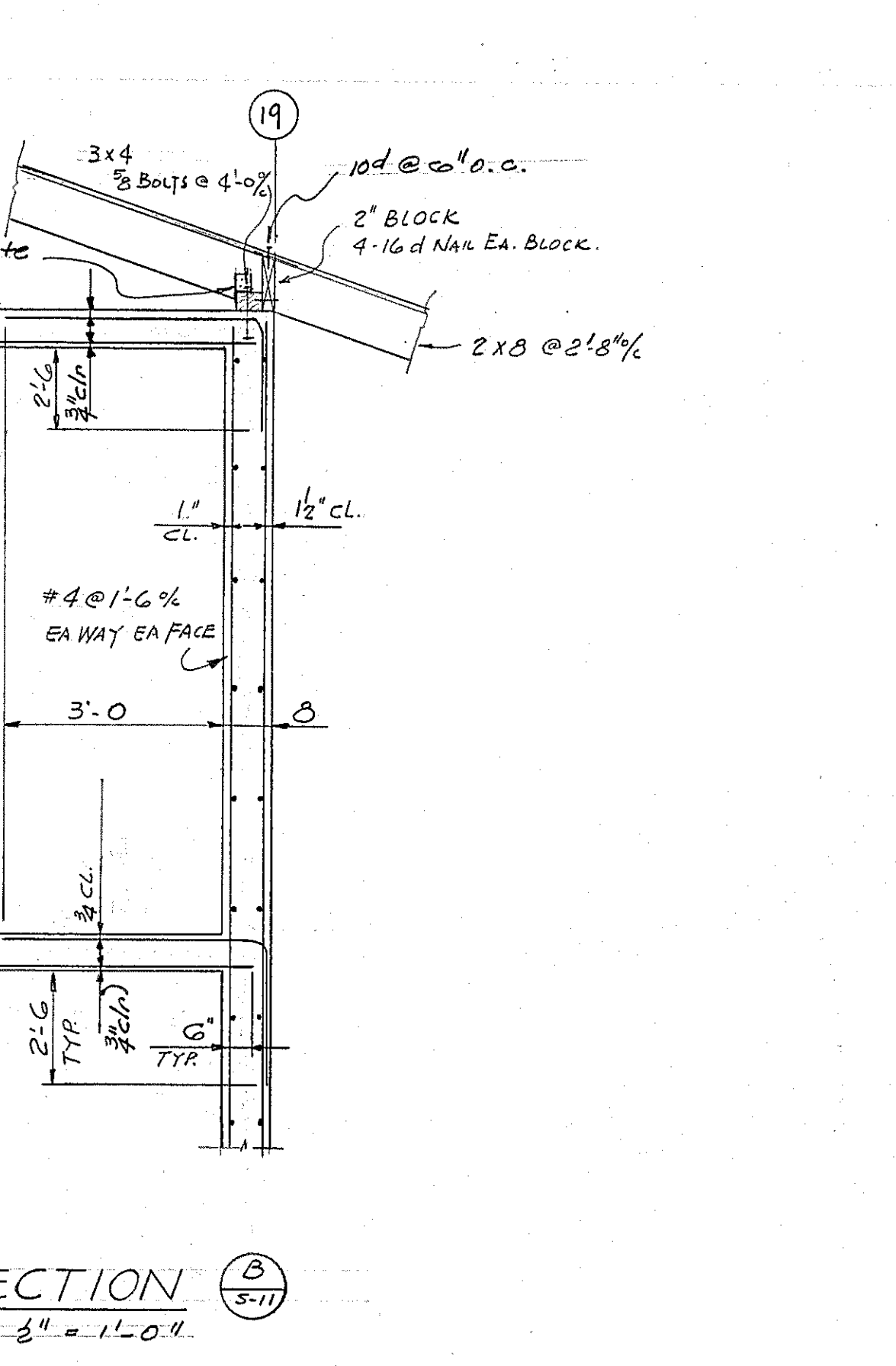
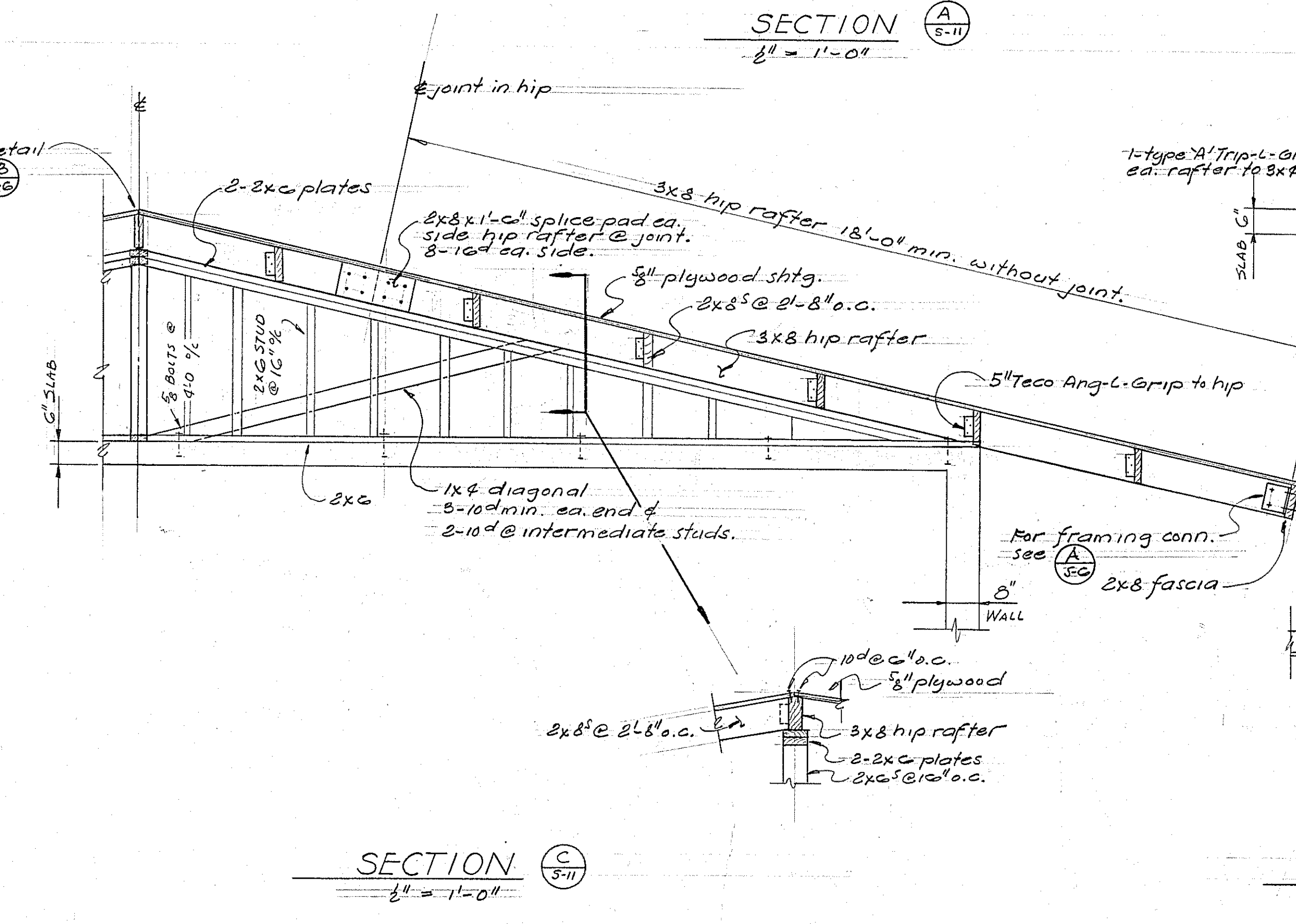
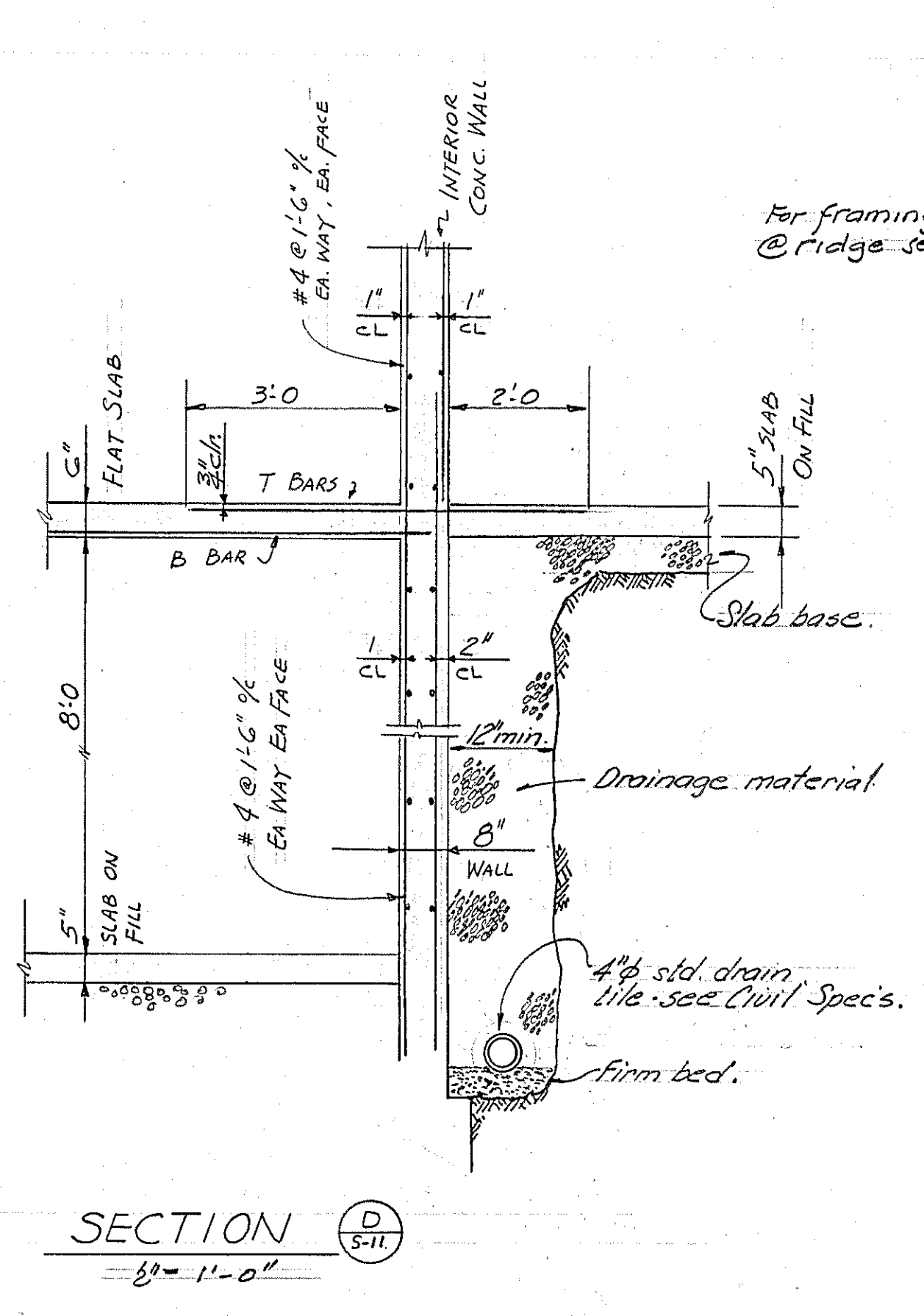
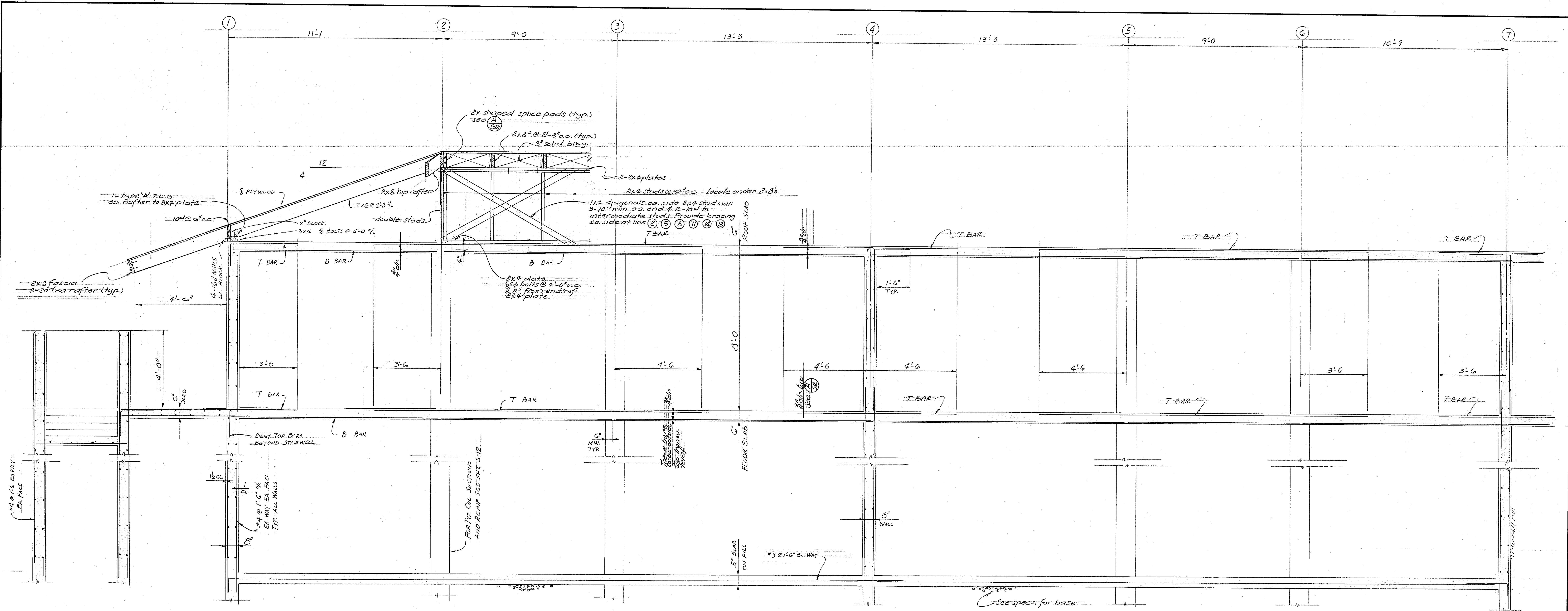
REVISION	DATE	DESCRIPTION

JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA LOW RENT HOUSING PROJECT NO. CAL 52-1
GRAPHIC SCALES 8" = 1'-0" 0 1 2 3 4 5	BUILDING TYPE "A-L" 4TH LEVEL, 5TH LEVEL AND ROOF FRAMING PLAN
CONSULTANT WILDMAN & MORRIS CONSULTING ENGINEERS 111 NEW MONTGOMERY - SAN FRANCISCO	DATE 11-3-58 JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS 111 NEW MONTGOMERY ST. SAN FRANCISCO 9
JOB NO. 1574 DWG. NO. S-6 OF 18	OP. 18



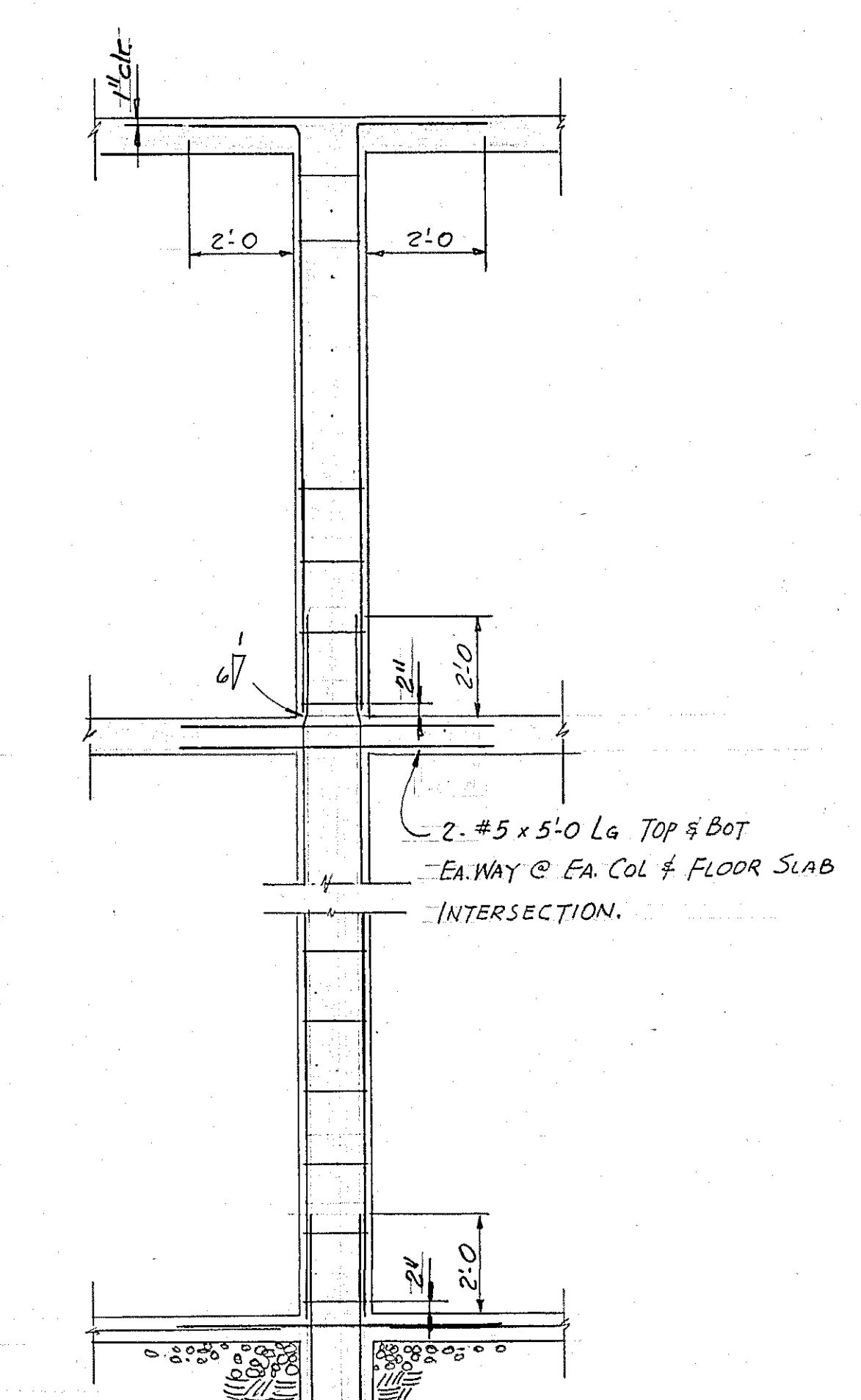
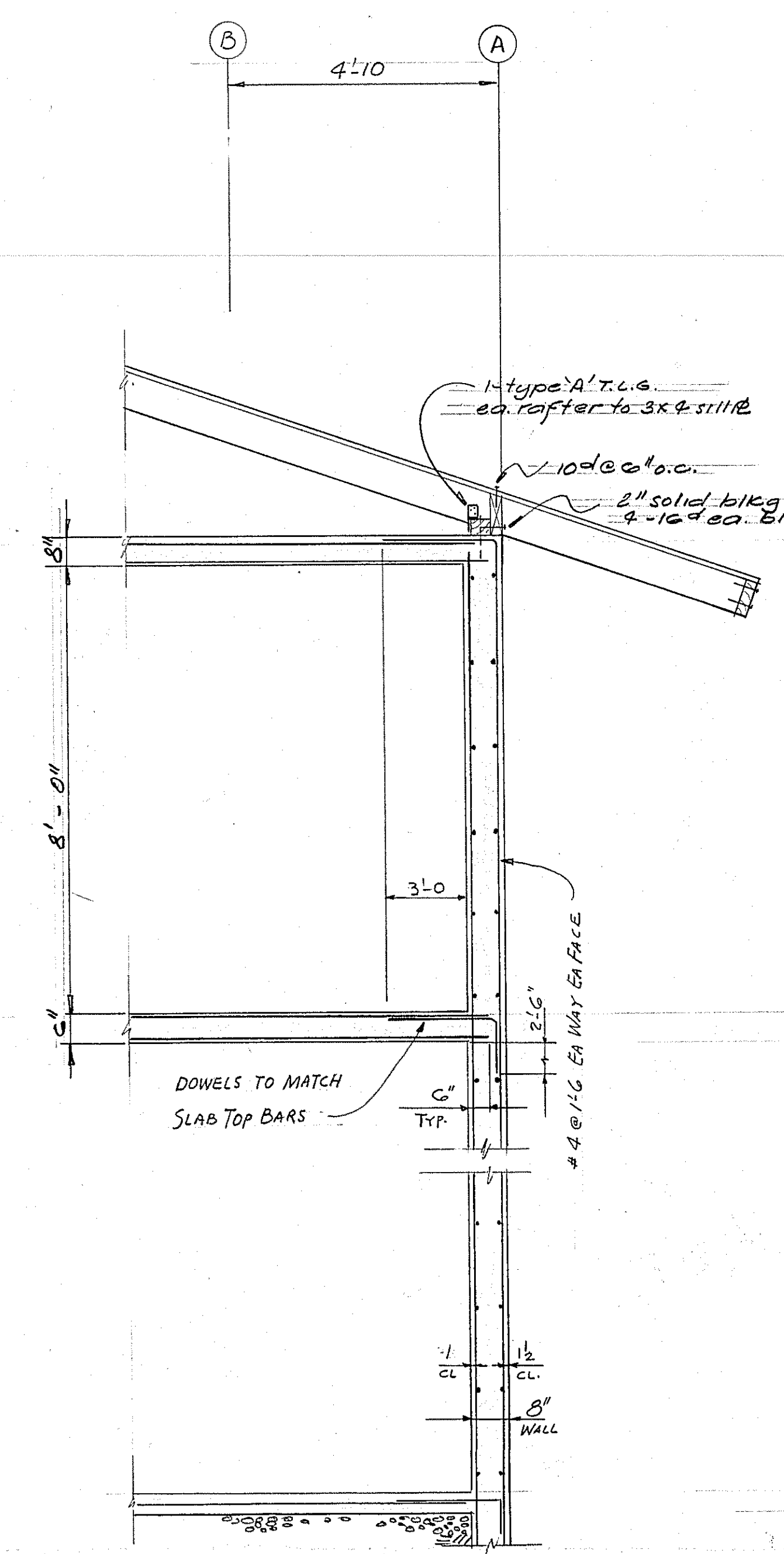
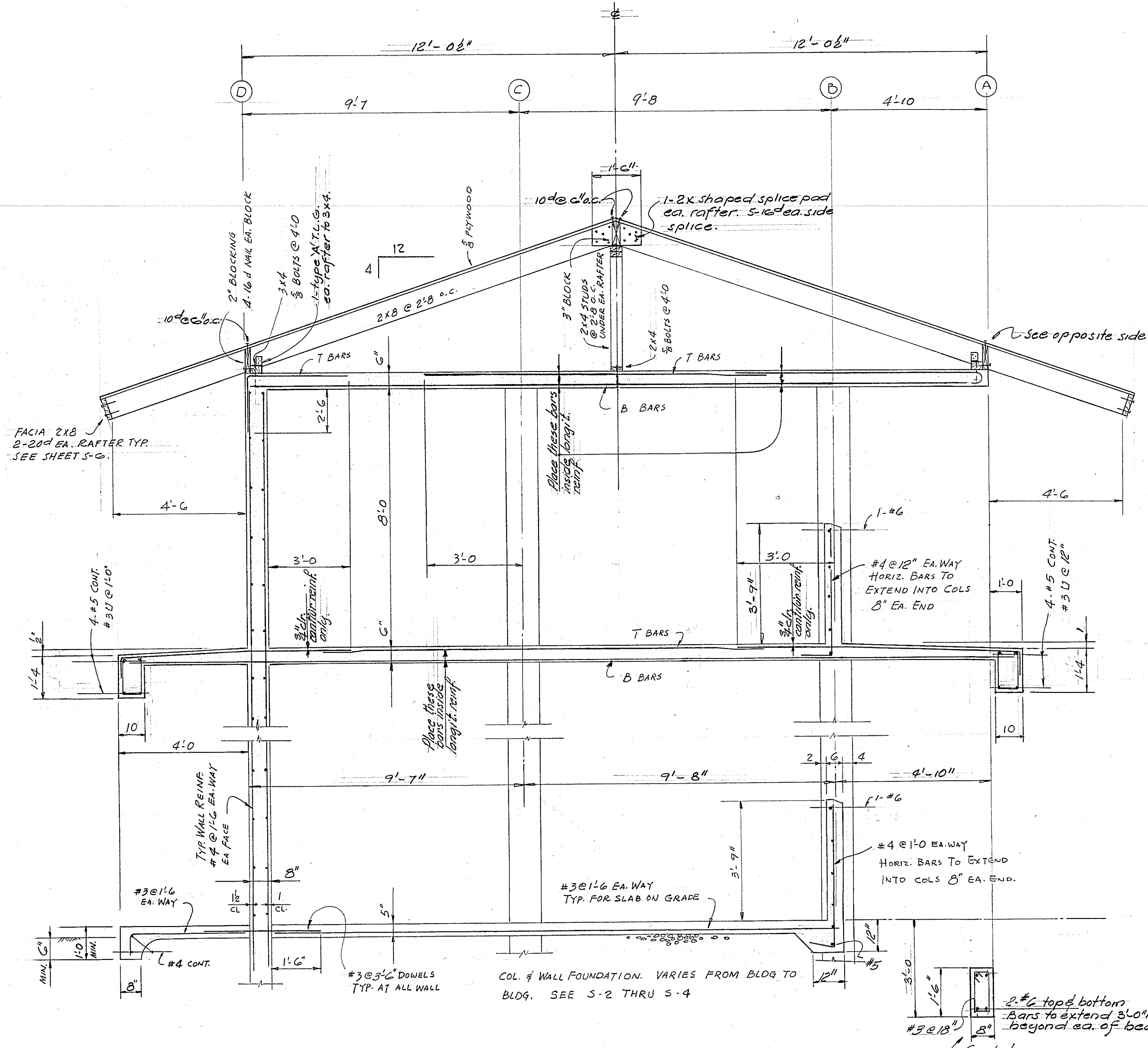
REVISION	DATE	DESCRIPTION

JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA
LOW RENT HOUSING PROJECT NO. CAL. 52-1	
BUILDING TYPE 'A-R'	
1ST LEVEL, 2ND LEVEL AND 3RD LEVEL FRAMING PLAN	
DATE 11-3-58	JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS
DRAWN W.P.	JOB NO. 574
111 NEW MONTGOMERY ST. SAN FRANCISCO 4, CALIF.	DWG. NO. S-8 OF 18



REVISION	DATE	DESCRIPTION

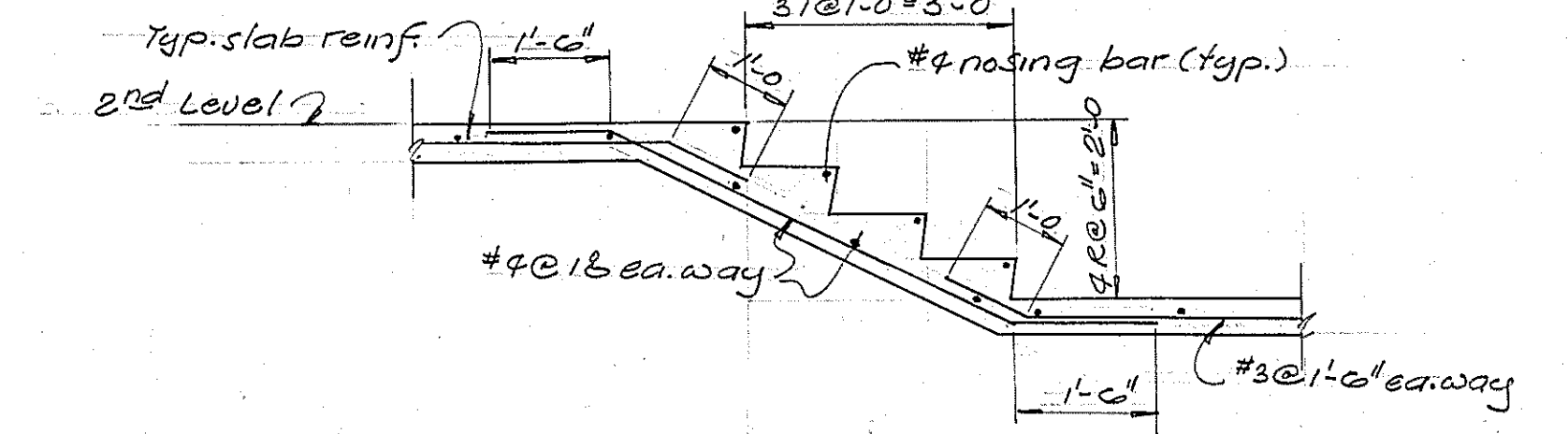
JOHN CARL WARNECKE AIA ARCHITECT AARON O. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA LOW RENT HOUSING PROJECT NO. CAL. 52-1
BUILDING TYPE A TYPICAL SECTIONS	
GRAPHIC SCALE 0 1 2 3 4 5	DATE: 11-3-58 CONSULTANT: JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS DRAWN: W.R. 111 NEW MONTGOMERY ST. SAN FRANCISCO 9 319 GRANT AVE. SAN FRANCISCO 8
JOB NO.: 574 DWG. NO.: S-11 OF 18	JOB NO.: 574 DWG. NO.: S-11 OF 18



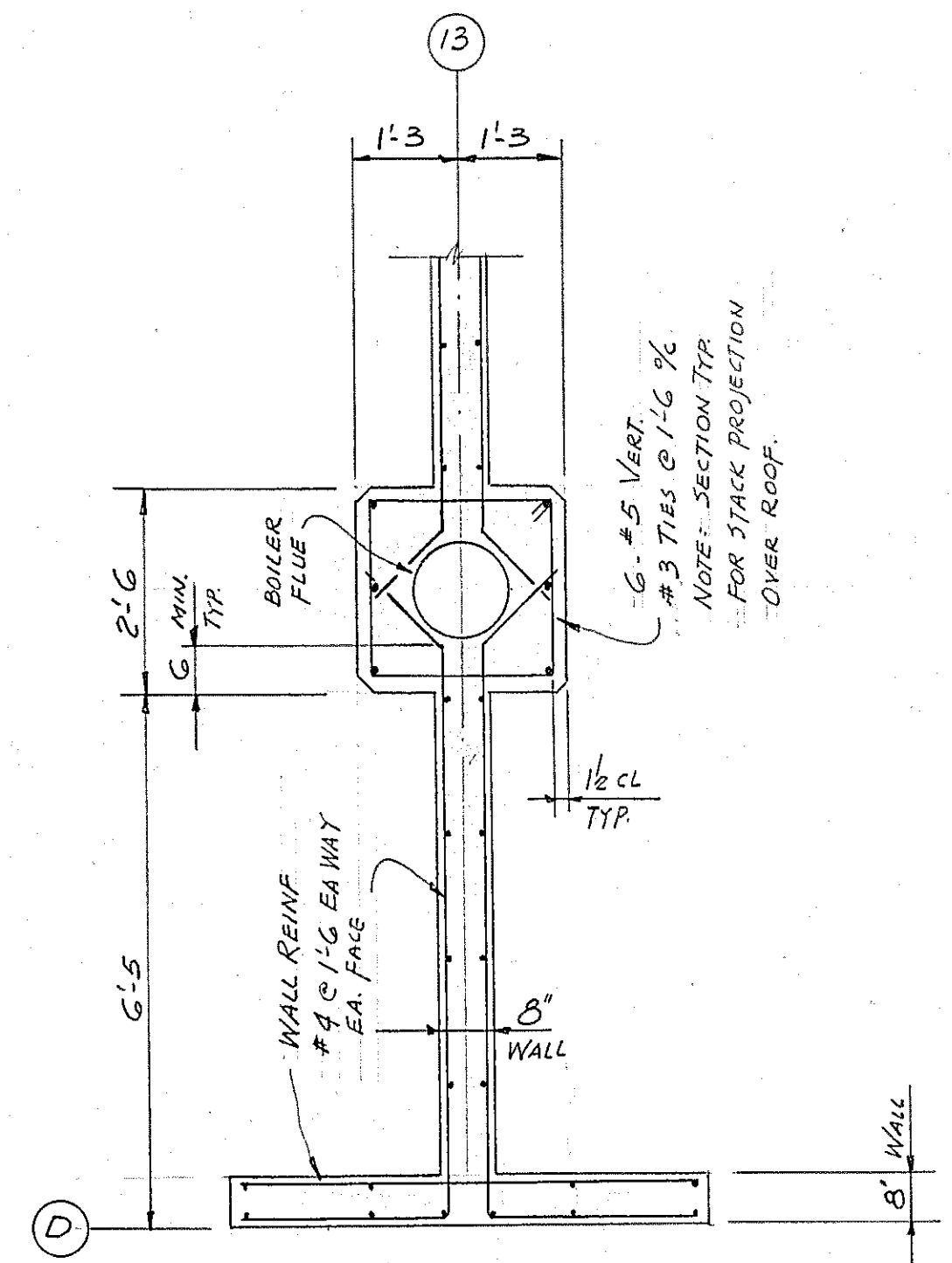
SECTION A
8" = 1'-0"

SECTION B
8" = 1'-0"

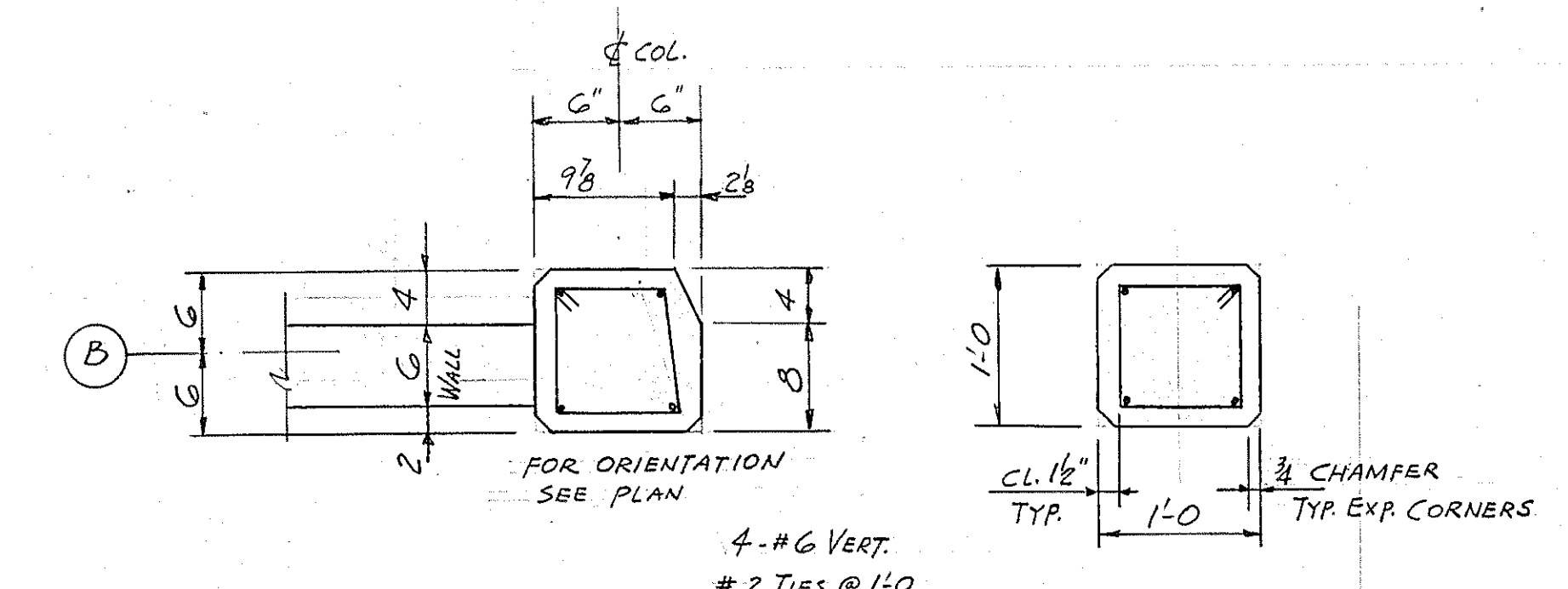
TYP. COLUMN DETAIL
8" = 1'-0"



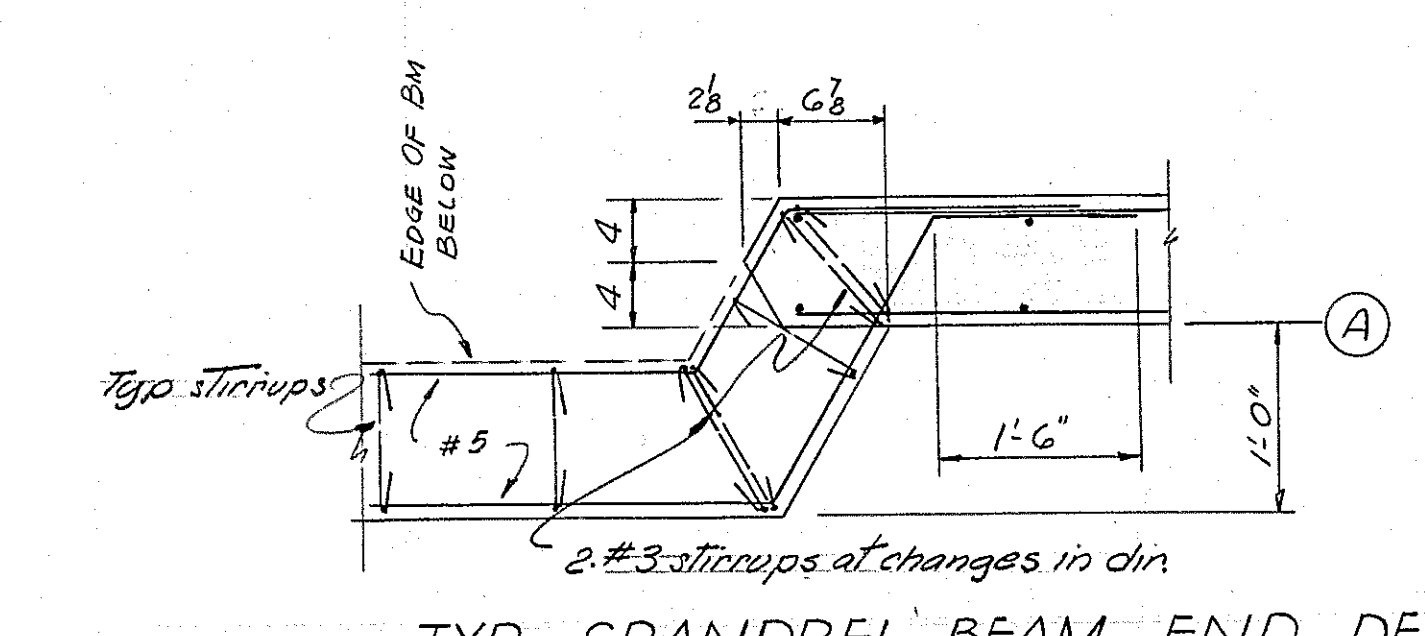
SECTION C
8" = 1'-0"



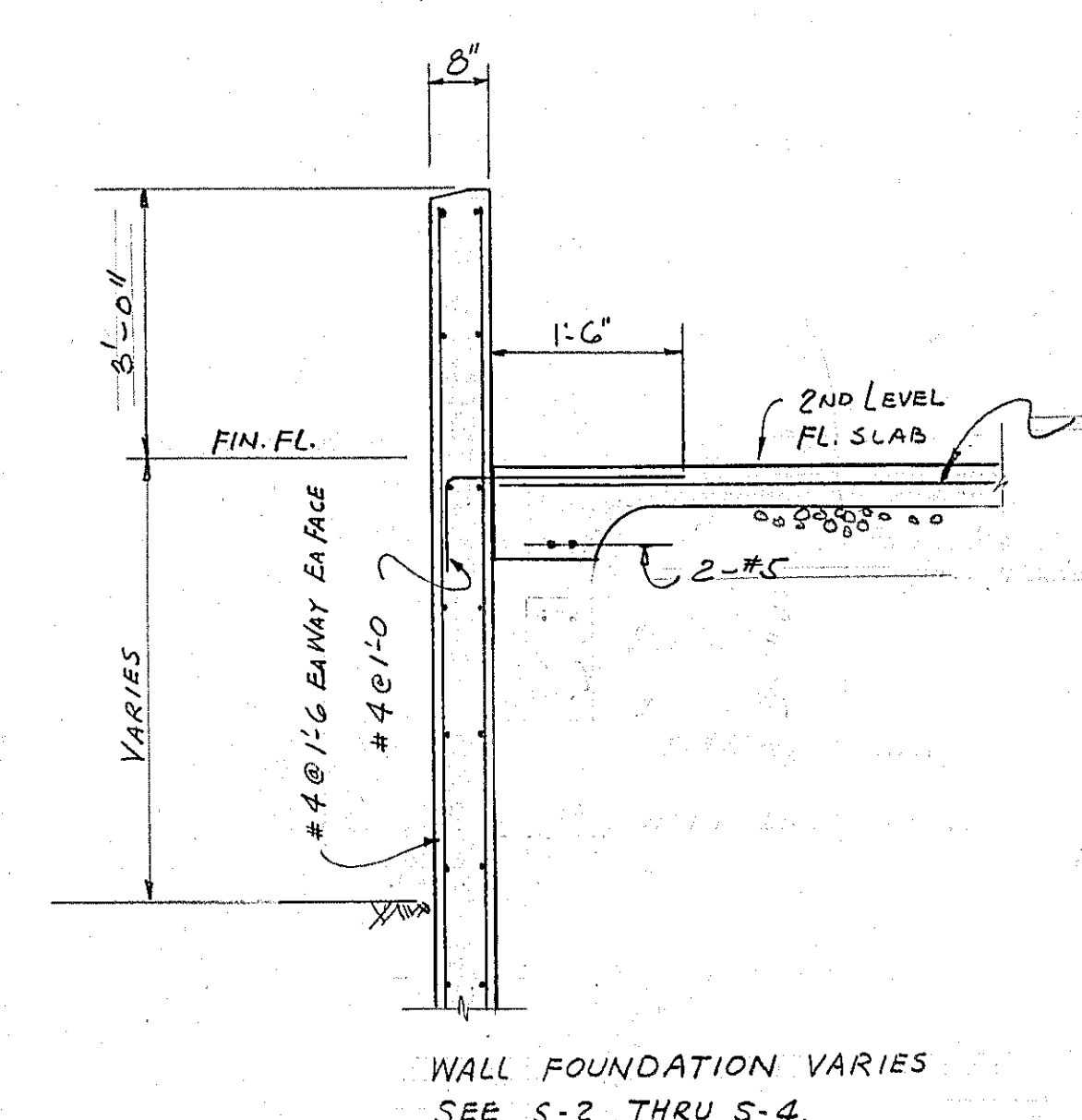
DETAIL AT BOILER STACK
8" = 1'-0"



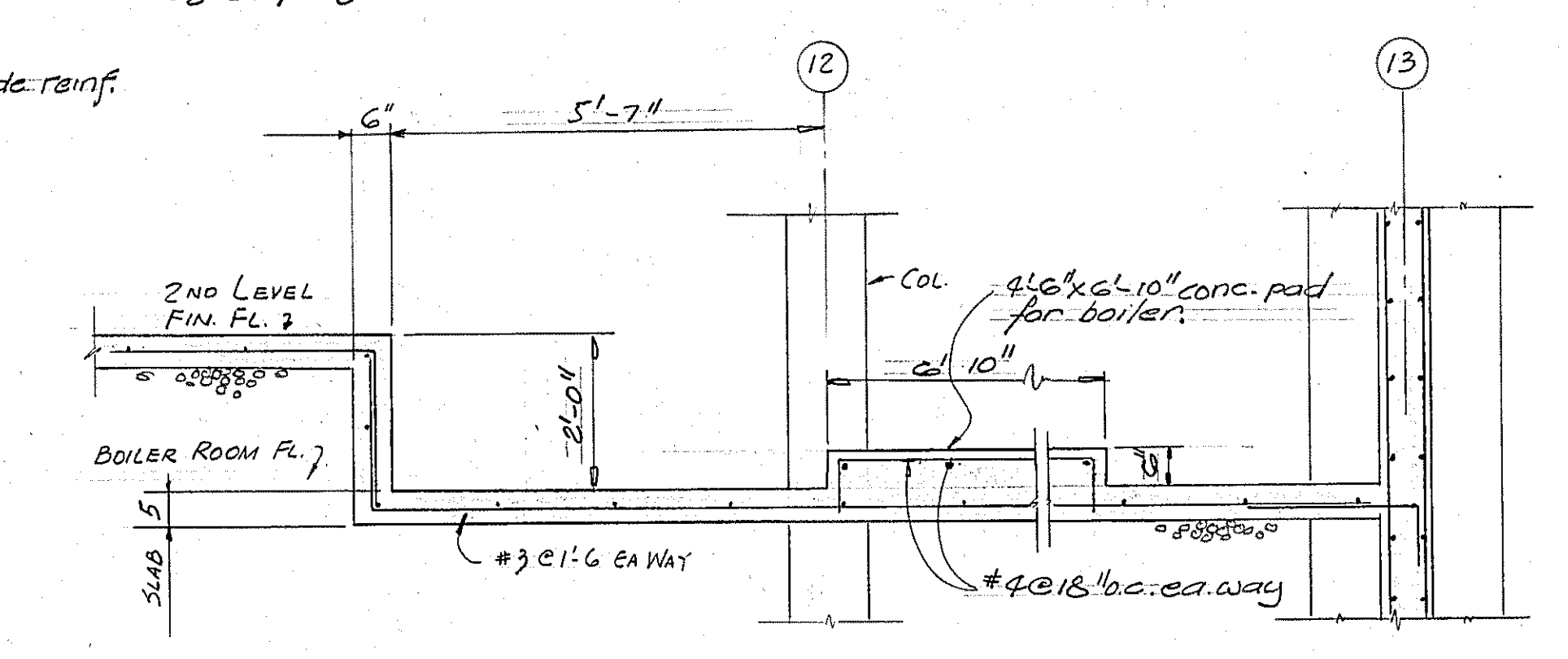
TYP. COL. SECTIONS
1" = 1'-0"



TYP. SPANDREL BEAM END DET.
1" = 1'-0"



SECTION D
8" = 1'-0"



SECTION E
8" = 1'-0"

WALL FOUNDATION VARIES SEE S-2 THRU S-4.

REVISION	DATE	DESCRIPTION

JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA LOW RENT HOUSING PROJECT NO. CAL. 52-1
BUILDING TYPE A TYPICAL SECTIONS II	
GRAPHIC SCALES	
CONSULTANT	DATE
WILDMAN & MORRIS CONSULTING ENGINEERS 111 NEW MONTGOMERY - SAN FRANCISCO	1/13-58 JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS DRAWN W.P.
	JOB NO. 274 DWG. NO. 5-72 111 NEW MONTGOMERY ST. - SAN FRANCISCO 9 319 GRANT AVE. - SAN FRANCISCO 8 OF 18

GENERAL NOTES

GENERAL

- THESE NOTES APPLY EXCEPT WHERE OTHERWISE SHOWN OR NOTED.
- ALL DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS.
- CONTRACTOR SHALL CHECK THESE PLANS WITH THE CONDITIONS THAT WILL PREVAIL AT THE JOB SITE AND WITH THE ARCHITECTS, MECH. & ELECT. ENGINEERS' PLANS & REPORT DISCREPANCIES TO THE LOCAL AUTHORITY BEFORE PROCEEDING WITH THE WORK. S.A.D. MEANS SEE ARCHITECTURAL DRAWINGS.

CONCRETE

- ALL CONC. SHALL DEVELOP THE FOLLOWING MIN. COMPRESSIVE STRENGTHS AT 28 DAYS:
 - TYPE A - SEE CONC. NOTE ON SH. 5-1
 - TYPE B - ALL FOOTINGS, GRADE BMS & SLAB ON GRADE = 2500 PSI
 - TYPE C - ALL DRILLED PILES & BELLS. = 2000 PSI
 - TYPE D - ALL WALLS, COLS, SLABS ABOVE GRADE & ALL OTHER PLACES NOT SPECIFICALLY NOTED = 2500 PSI
- LOCATION OF ALL POUR JOINTS NOT SPECIFICALLY NOTED SHALL BE SUBMITTED TO THE LOCAL AUTHORITY FOR APPROVAL.

REINFORCING STEEL

- MINIMUM LAP AT SPLICE POINTS. TOP BARS 30 DIAMETERS, ALL OTHERS 24 DIAMETER WITH A MIN. LAP OF 12".
- PROVIDE TIE BARS AND SUPPORTS OF AN APPROVED TYPE TO HOLD BARS ACCURATELY AND RIGIDLY IN PLACE.
- PROVIDE THE FOLLOWING BAR COVERAGE:
 - 3" WHERE CONCRETE IS EXPOSED AGAINST GROUND (EXCEPT SLABS).
 - 2" WHERE CONCRETE IS DEPOSITED AGAINST GROUND BUT PLACED IN FORMS.
- REINFORCING STEEL TO BE INTERMEDIATE GRADE DEFORMED BARS $f_y = 20,000 \text{ PSI}$

CARPENTRY

- ALL FRAMING LUMBER SHALL BE STRESS GRADE DOUGLAS FIR (REDWOOD SILLS) IN ACCORD WITH SPEC'S COVERING GRADES & SPECIES.
- ALL ROOFS, EXCEPT WHERE OTHERWISE SHOWN OR NOTED, SHALL BE SHEATHED WITH 2X6 T&G LAID DIAGONALLY. THERE SHALL BE AT LEAST ONE BOARD BETWEEN JOINTS ON THE SAME SUPPORT. NO BOARDS MAY BE SPLICED AT THE EXTERIOR WALLS.
- 3/8" PLYWOOD WALL SHEATHING WHERE CALLED FOR ON PLANS & SECT'S SHALL BE O.F. (SEE SPEC'S). 4:8 SHEETS PLACED WITH THE LONG DIMENSION HORIZONTAL AND WITH THE VERTICAL JOINTS STAGGERED. SOLID BLOCK ALL JOINTS. NAIL WITH 8d @ 4" 7/8" AROUND ENTIRE PERIMETER OF EACH SHEET. NAIL WITH 8d @ 12" O.C. AT ALL OTHER BEARINGS.
- 3/8" PLYWOOD FLOOR SHEATHING OVER 1" STRAIGHT SHEATHING SHALL BE 2" F&G (SEE SPEC'S). 4:8 SHEETS WITH THE LONG DIMENSION PERPENDICULAR TO THE 1" STRAIGHT SHEATHING AND THE 4'-0" JOINTS STAGGERED. JOINTS IN PLYWOOD SHALL NOT COINCIDE WITH JOINTS IN SHEATHING BELOW. NAIL WITH 6d @ 9" O.C. AROUND ENTIRE PERIMETER OF EACH SHEET. INTERMEDIATE NAILING SHALL BE 6d @ 9" O.C. IN ROWS 2" APART. ALL NAILS SHALL BE "STRONGHOLD UNDERLAY FLOOR NAILS."
- ALL BOLT HOLES SHALL BE OF A DIAMETER PERMITTING BOLTS TO BE DRIVEN EASILY.
- ALL BOLT HEADS AND NUTS ON WOOD SHALL HAVE M.I. WASHERS.
- LAG SCREWS: LEAD HOLES FOR SHANK TO BE SAME DIAMETER AS SHANK, FOR THREADED PORTION TO BE NOT LARGER THAN BASE OF THREAD.
- PROVIDE BLOCKING AS FOLLOWS:
 - 2" SOLID BLOCKING FULL HEIGHT, AT EACH JOIST OR RAFTER BEARING
 - RAFTERS AND CEILING JOIST - 2" SOLID BLOCKING FULL HT. AT NOT OVER 10'0" O.C. BETWEEN LINES OF BLOCKING.
 - FLOOR JOISTS - 2" SOLID BLOCKING FULL HEIGHT AT NOT OVER 8'0" O.C. BETWEEN LINES OF BLOCKING.
 - STUDS - 2" HERRINGBONE BLOCKING AT NOT OVER 7'-0" O.C. BETWEEN LINES OF BLOCKING AND BETWEEN BLOCKING AND PLATES.
- PROVIDE DOUBLE TRIMMER AND HEADER JOISTS AT ALL OPENINGS THAT CUT JOISTS. PROVIDE JOIST HANGERS WHERE JOISTS FRAME INTO HEADER AND HEADERS FRAME INTO TRIMMERS.
- UNLESS OTHERWISE INDICATED ON DRAWINGS JOIST HANGERS SHALL BE TECO-CAL TYPE IA OR EQUAL APPROVED BY LOCAL AUTHORITY. USE FULL LENGTH OR HALF LENGTH 16" NAILS.

LEGEND: DENOTES CONTINUOUS MEMBER. DENOTES BLOCKING.

NAILING SCHEDULE

- ALL NAILS SHALL BE COMMON WIRE NAILS.
- SUB-BORE WHERE NAILS TEND TO SPLIT THE WOOD.
- UNLESS OTHERWISE NOTED IN DETAILS NAILING IS NOT TO BE LESS THAN THE FOLLOWING:
 - STRAIGHT SHEATHING 1/4" 2-8d EA. BEARING
 - DIAGONAL SHEATHING 2/4" 2-8d
 - 3-16" AT ENDS OF BOARDS
 - 2-16" AT INTERMEDIATE BEARINGS
 - JOIST AND RAFTERS TO BEARING 2-10d TOES EA. SIDE
 - DOUBLE JOIST 16d @ 12" O.C. STAGGERED
 - LAP JOIST 12" MIN.
 - JOIST TO STUD, 8" DEPTH OR LESS 3-16d. FOR EA. 4" ADD 4" 1-16d.

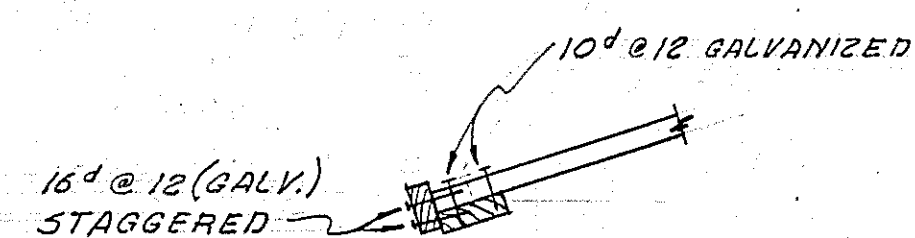
- BLOCKING AND BRIDGING
- SOLID BLOCKING TO JOIST BEARING 2-10d TOES, EA. SIDE
 - SOLID BLOCKING TO RAFTERS OR JOIST 2-10d TOES EA. SIDE EA. END
 - BLOCKING TO BLOCKING 3-16d EA. BLOCK.
 - HERRINGBONE BLOCKING 2-10d EA. END

- STUDS AND PLATES
- BOT. PLATE TO JOIST OR BLOCKING 20d @ 10" O.C.
 - STUDS TO BEARING 2-10d TOES EA. SIDE
 - MULTIPLE STUDS 16d @ 12" O.C. STAGGER
 - LOWER TOP PLATE TO TOP OF STUDS 2-20d
 - UPPER TOP PLATE TO LOWER TOP PLATE 16d @ 18" O.C. (SEE SPLICE DETAIL)
 - STAGGER SPLICES IN DOUBLE PLATE 4'-0" MIN. 7-16d EA. SPLICE.

- LAP PLATE AT INTERSECTIONS 3-16d
- 1" RIBBONS 2-8d
 - 2" RIBBONS 2-16d

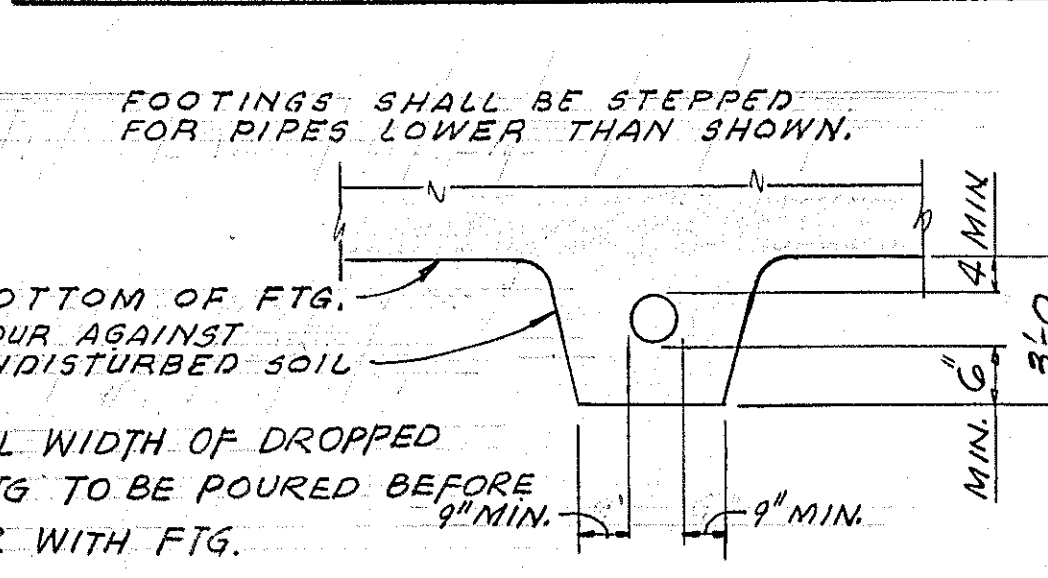
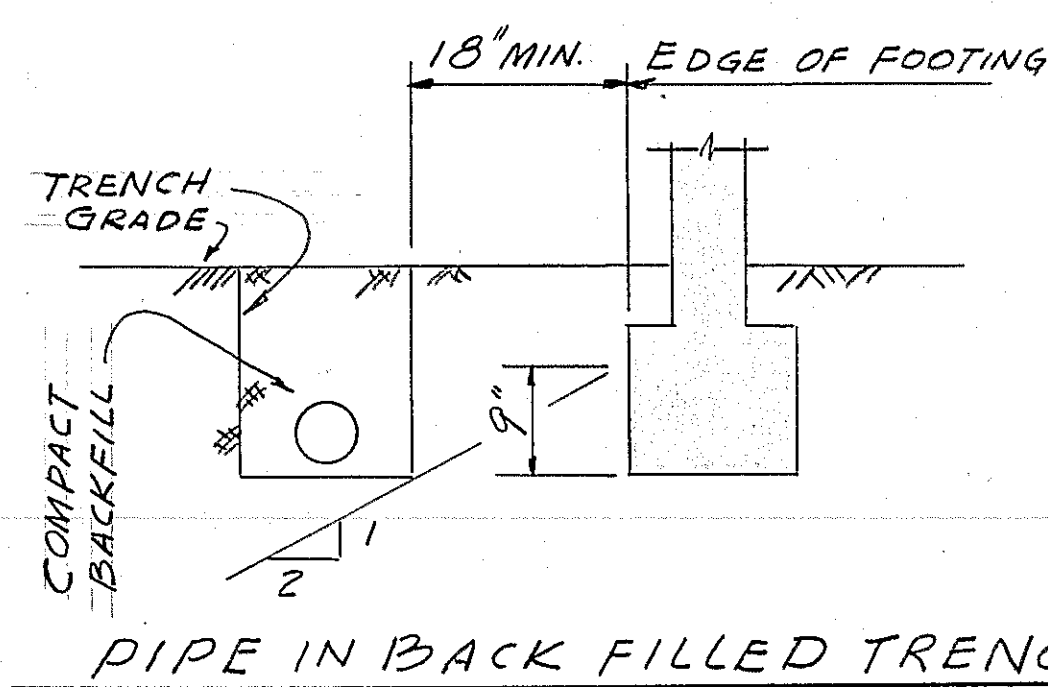
- CEILING STRIPS
- 1" FURRING STRIPS TO UNDERSIDE OF JOISTS. PER BEARING (1 STRAIGHT, 1 SLANT) 2-8d GALV.

- 2" FURRING STRIPS TO UNDERSIDE OF JOISTS PER BEARING (1 STRAIGHT, 1 SLANT) 2-12d GALV.
- REDWOOD FASCIA NAILING

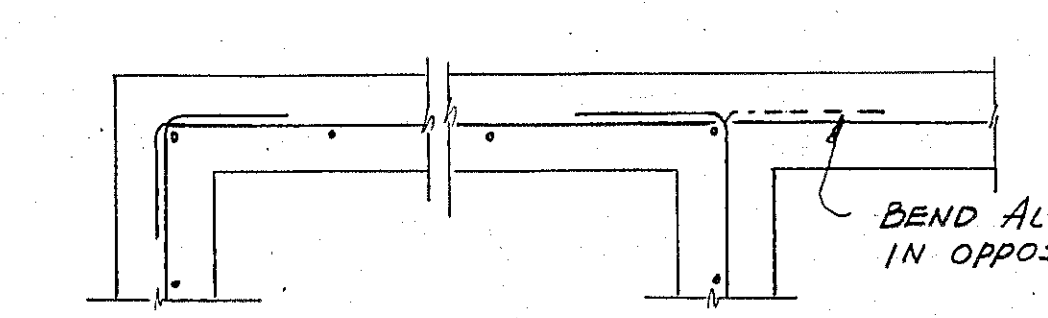
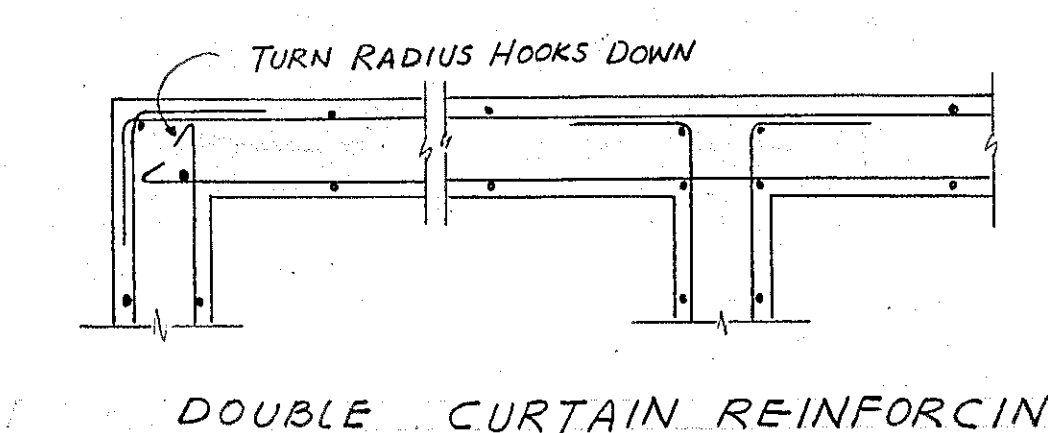


REINFORCED CONCRETE MASONRY

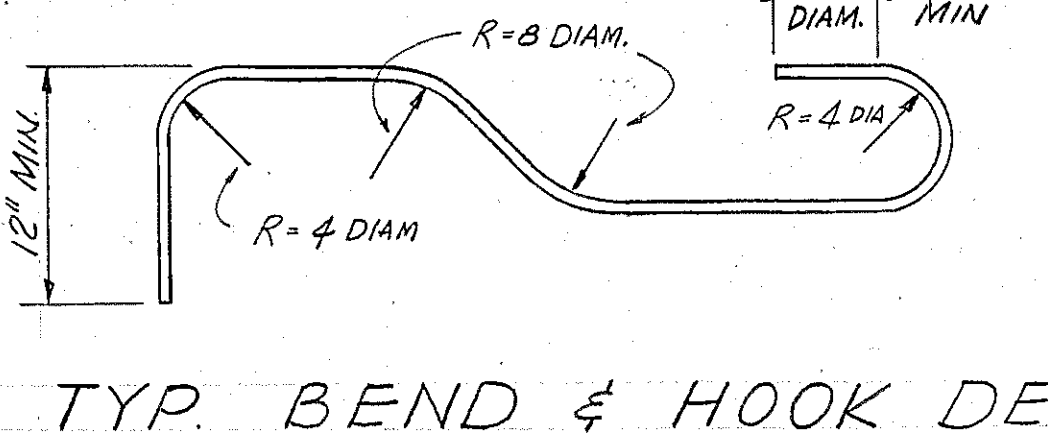
- 8" or 12" BLOCK WALLS
- ALL CELLS CONTAINING REINFORCEMENT TO BE FILLED WITH GROUT.
- VERTICAL REINFORCING SHALL CONSIST OF #5 BAR IN THE FIRST CELL ADJACENT TO ALL DOORS AND WINDOW JAMBS, AT CORNERS AND INTERSECTIONS, AND BETWEEN THESE POINTS @ MAX. SPACING OF 32" O.C.
- HORIZONTAL REINFORCING SHALL CONSIST OF 2-#4 BARS PLACED IN BOND BEAM UNITS AT TOP OF WALLS, ABOVE AND BELOW ALL OPENINGS AND SPACED AT NOT MORE THAN 4'-0" O.C. BETWEEN TOP OF WALL, OPENINGS AND FOOTING.
- ALL VERTICAL BARS SHALL BE LOCATED IN CENTER OF CELL
- FILL ALL CELLS CONTAINING BOLTS, DOOR FRAME ANCHORS AND OTHER EMBEDDED ITEMS.
- MIN BAR LAP 30 DIAM.
- ADMINISTRATION & MAINTENANCE BLDG TO HAVE VERT. REIN. IN WALLS AS IN 2. ABOVE. SEE NOTE 9. FOR EXCEPT'N.
- ADMINISTRATION & MAINTENANCE BLDG TO HAVE HORIZ. REIN. AS DESCRIBED IN 3. WITH 2-#4 BARS IN STANDARD LINTEL UNITS AT TOP COURSE OVER WINDOWS & OPENINGS. 2ND COURSE FROM TOP TO BE REIN. WITH 2-#4 BARS IN BOND BM UNITS. SEE DETAILS & NOTE 9. BELOW.
- REFER TO DETAIL FOR EXCEPTIONS TO TYP. BLOCK WALL REIN. DESCRIBED ABOVE.
- ALL DOWELS TO FOOTINGS SHALL BE IN PLACE BEFORE FOOTINGS ARE POURED.



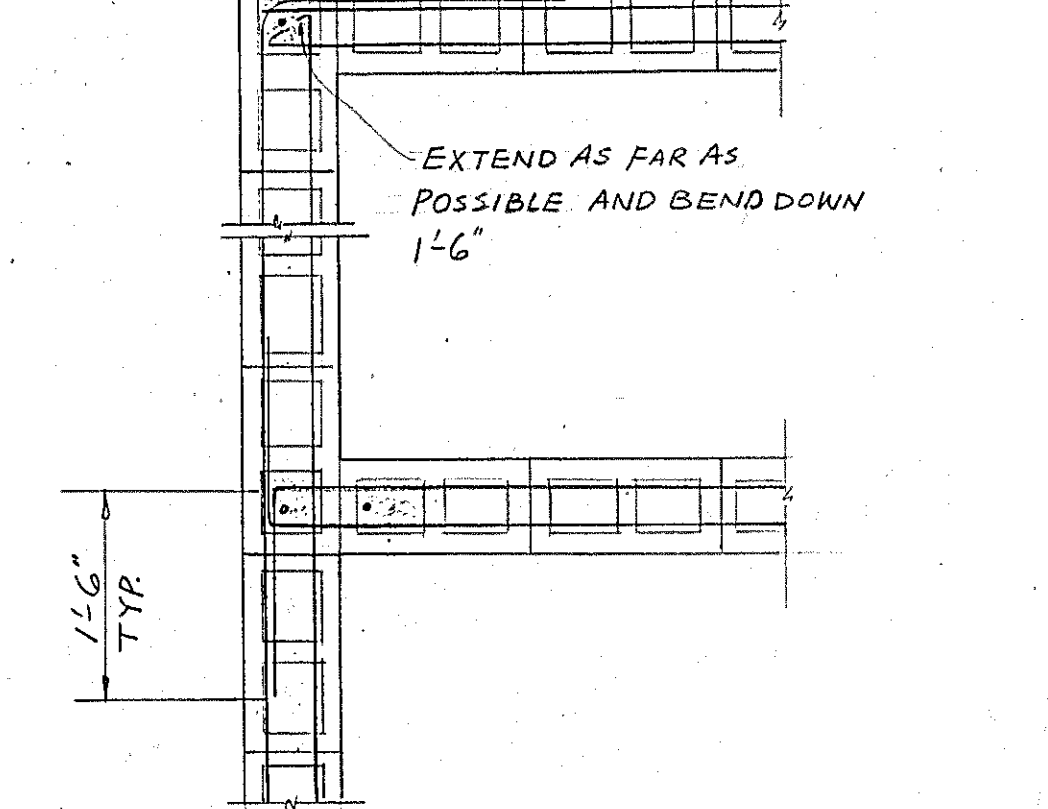
PIPE UNDER FOOTING TYPICAL DETAILS OF PIPES & TRENCHES NEAR FOOTINGS



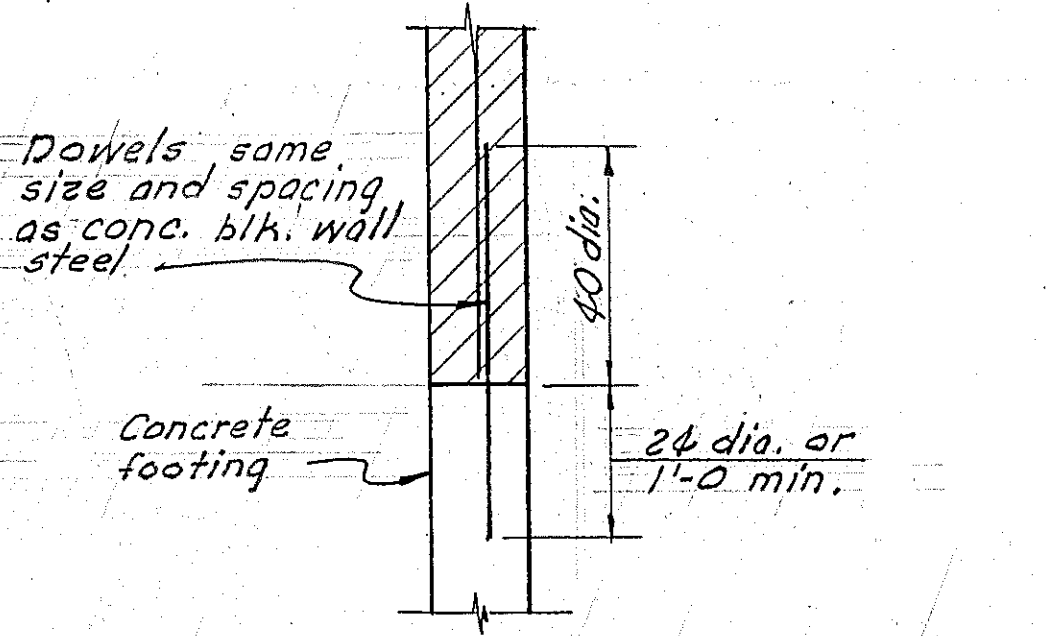
SINGLE CURTAIN REINFORCING TYP. REINFORCING DETAILS FOR CORNERS & INTERSECTIONS



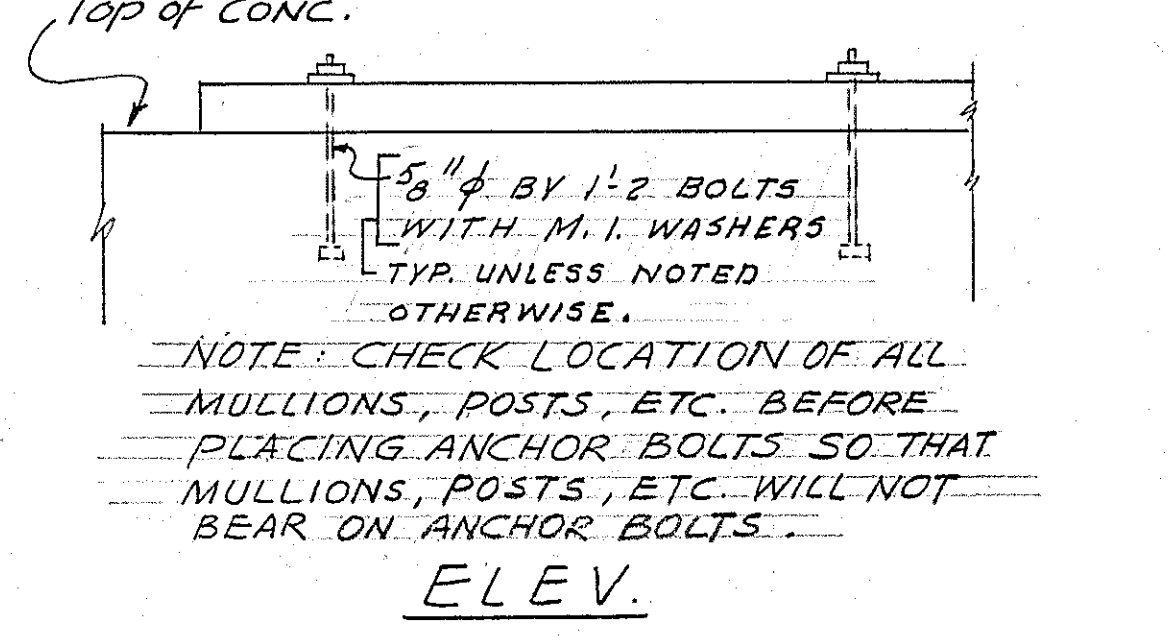
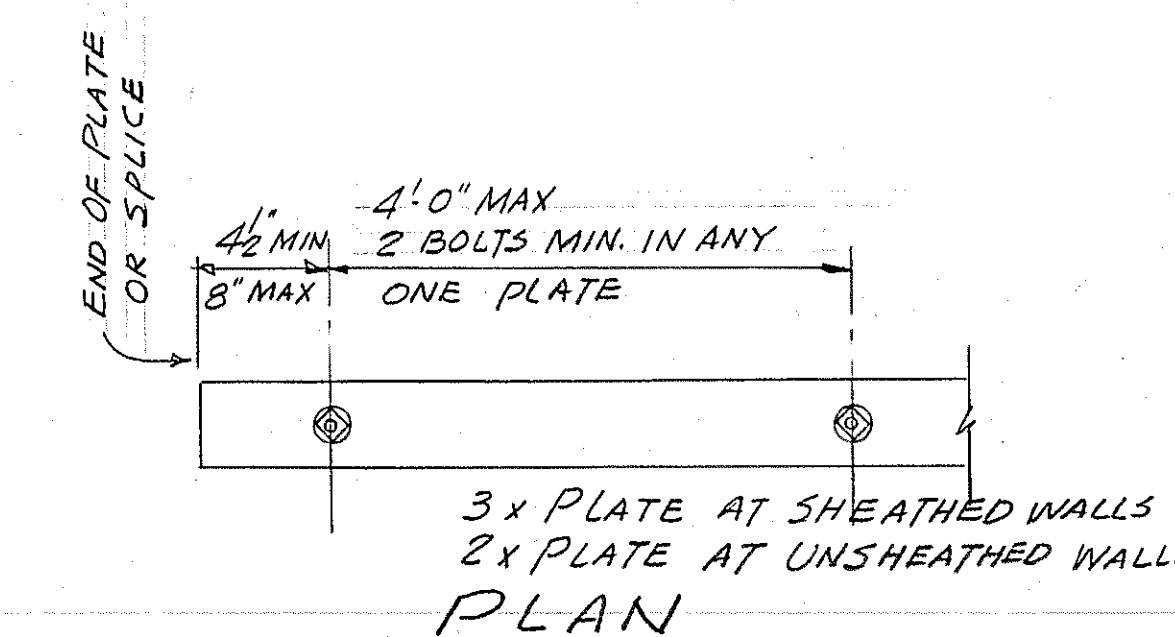
TYP. BEND & HOOK DETAIL



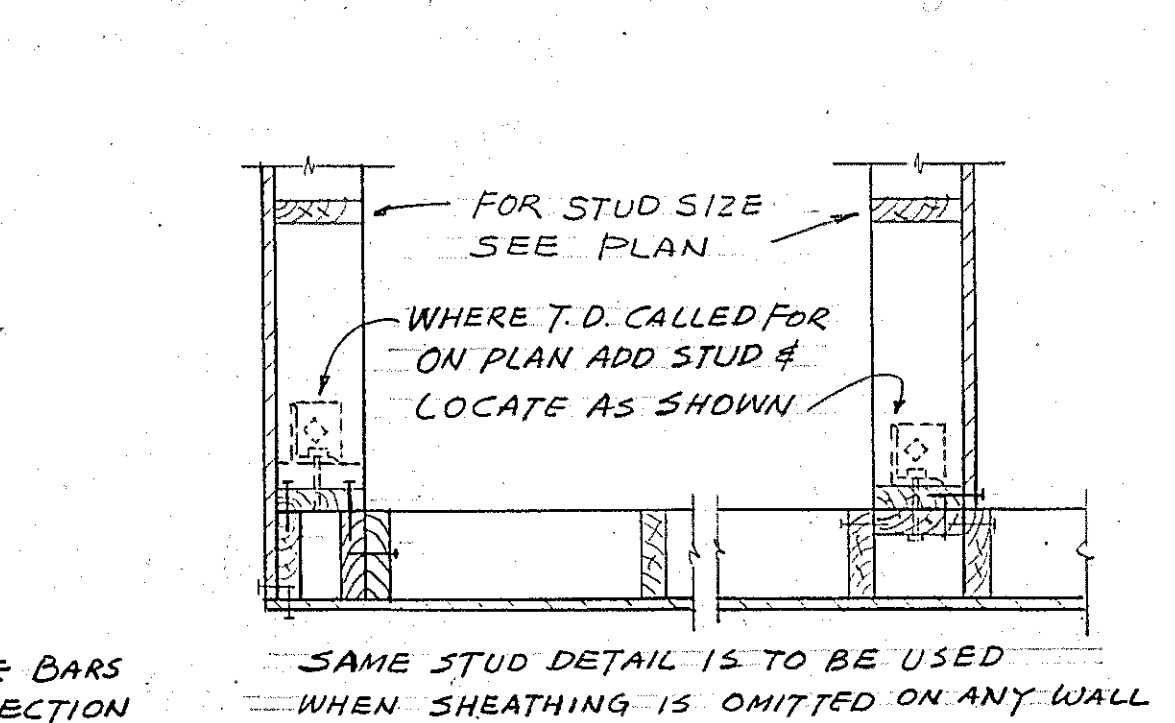
TYP. REINFORCING DETAIL FOR CONCRETE BLOCK WALL



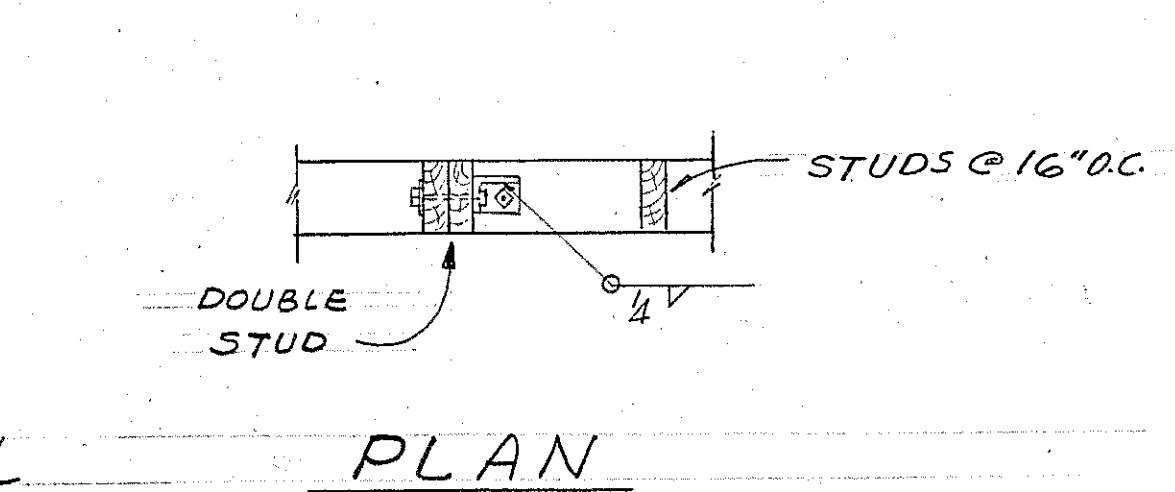
TYP. CONC. BLK. WALL DOWELS



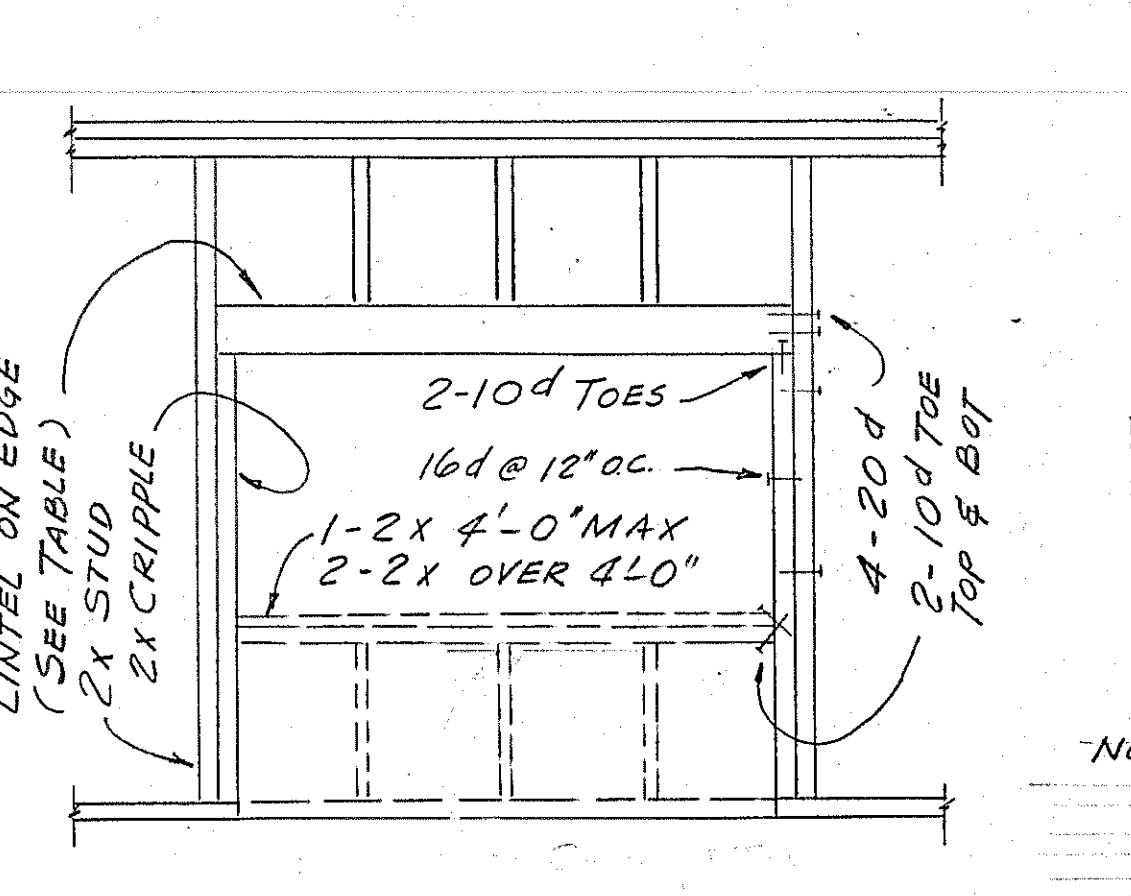
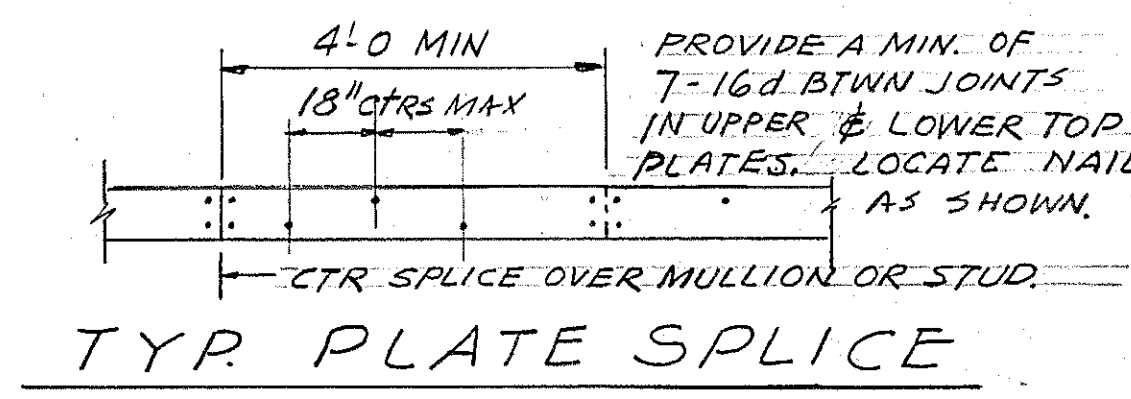
TYP. DETAIL OF BOLTING OF WOOD PLATE TO CONCRETE OR CONCRETE BLOCK



TYP. STUD DETAIL AT CORNERS & INTERSECTIONS



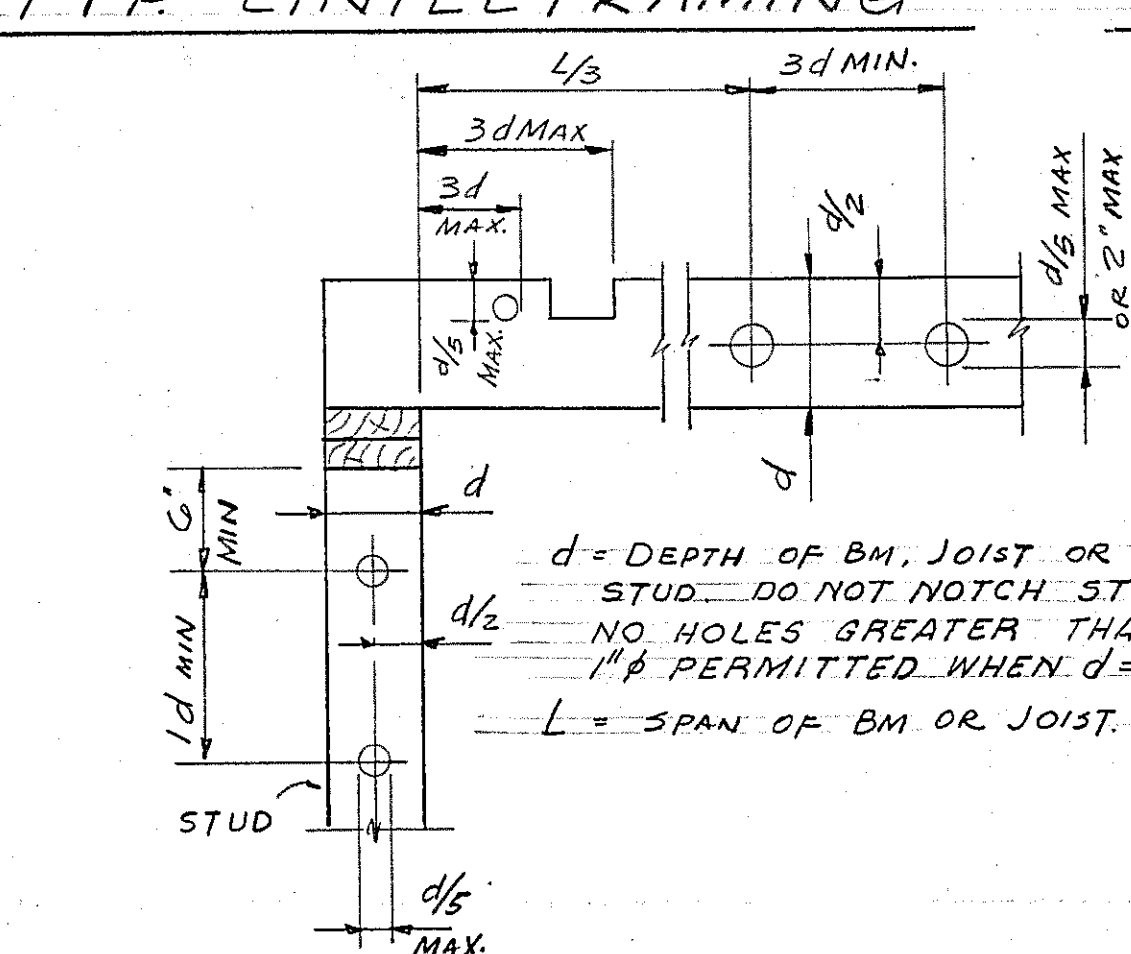
TYP. TIE DOWN DETAIL



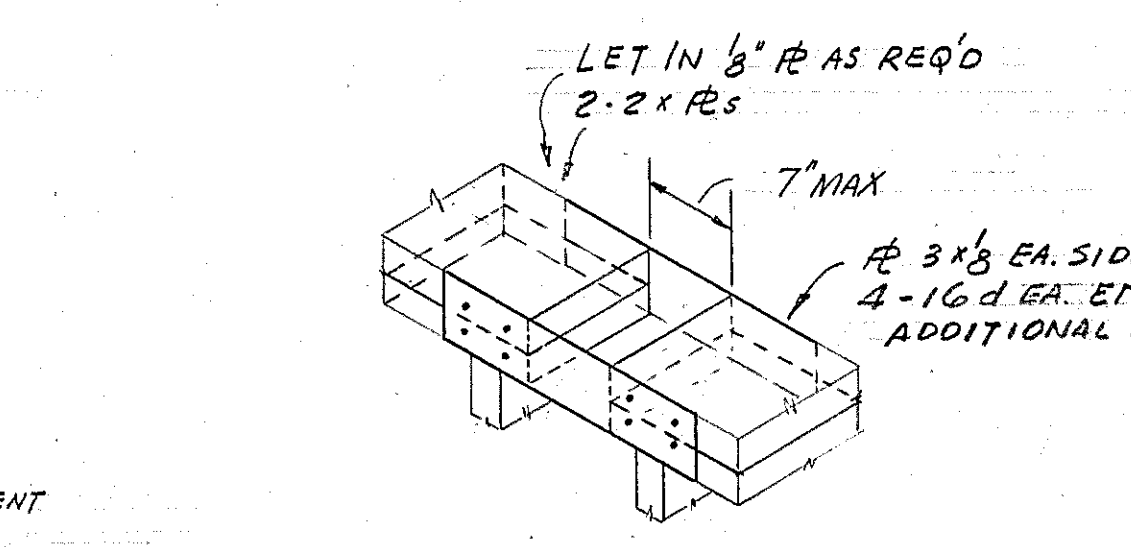
TYP. LINTEL FRAMING TYP. LINTEL TABLE

WIDTH OF OPENING	STUD WALL SIZE		
	2x4	2x6	2x8
3'0" MAX	2-2x4	3-2x4	4x8 FLAT
4'0" MAX	2-2x6	3-2x4	4x8 FLAT
6'0" MAX	2-2x8	3-2x6	6x8 FLAT
OVER 6'0"	SEE SPECIAL DETAILS		

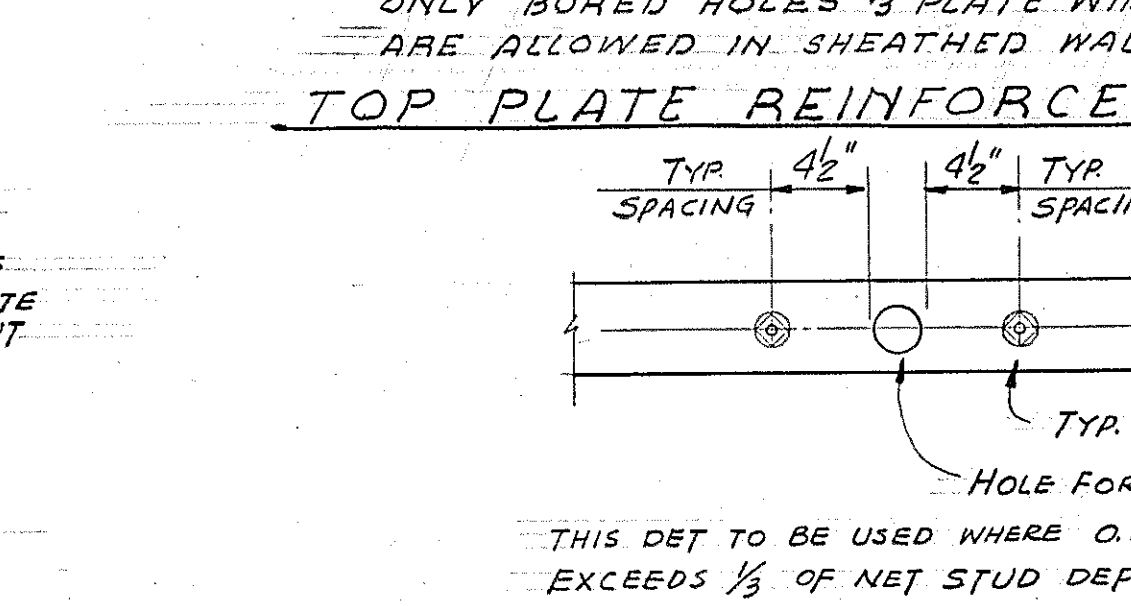
NOTE: THE ABOVE TYP. LINTELS SHALL BE PROVIDED OVER ALL WINDOWS, DOORS AND OTHER OPENINGS UNLESS OTHERWISE SHOWN. ALL MEMBERS ON EDGE UNLESS NOTED.



DETAIL OF HOLES & NOTCHES IN BEAMS, JOISTS AND STUDS

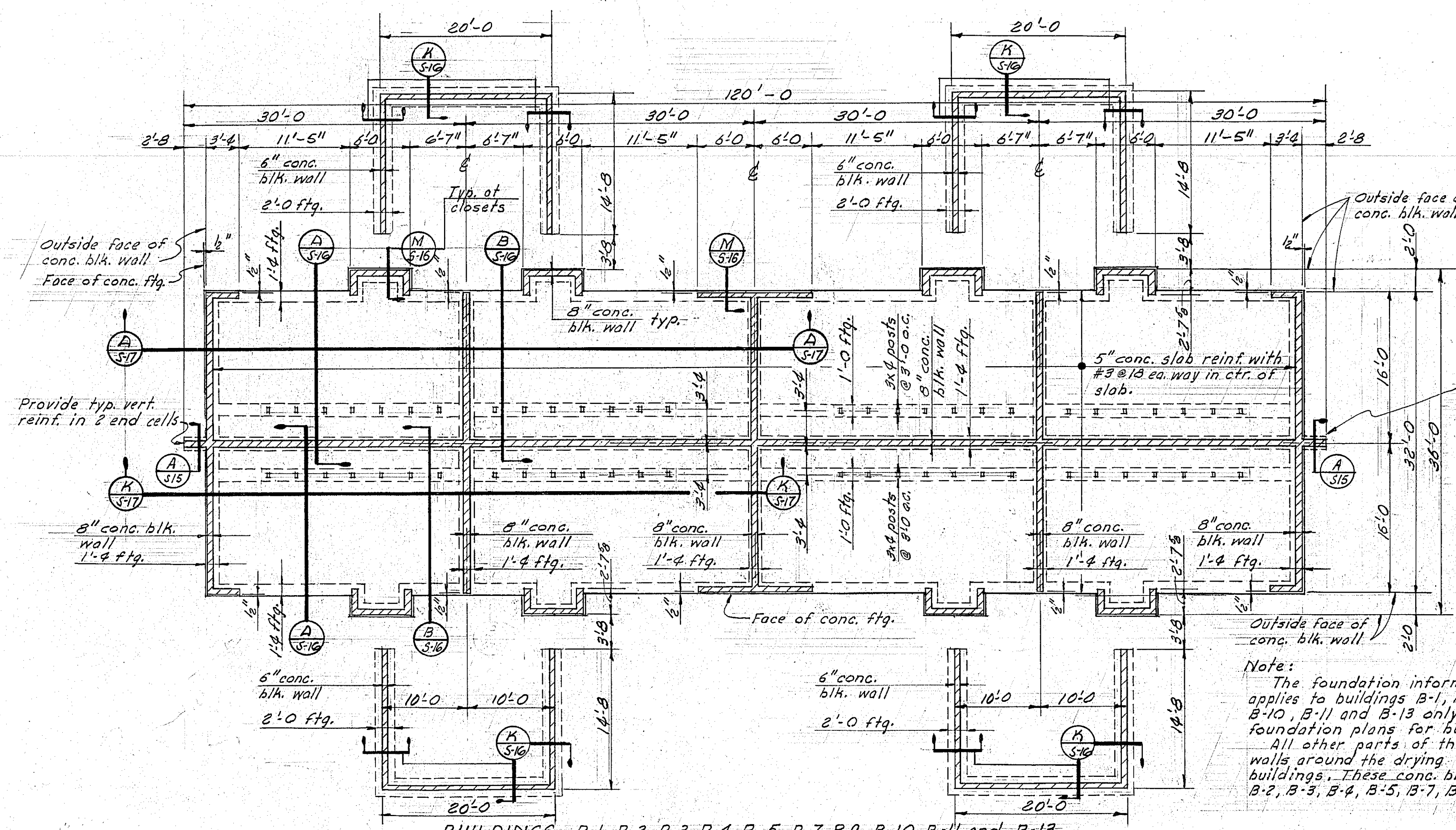


TYP. TOP PLATE REINFORCED AT PIPE

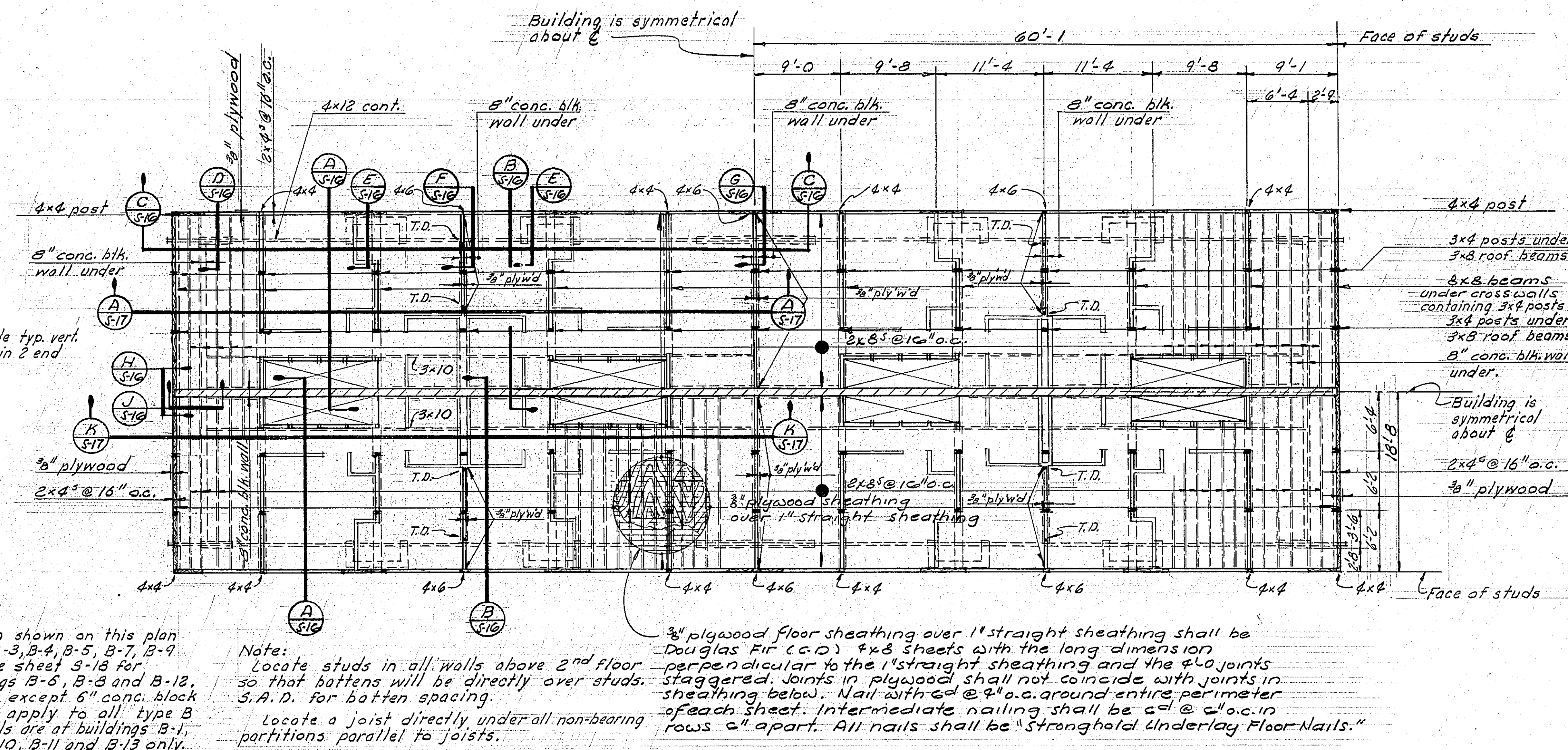


TYP. SILL BOLTING AT PIPE

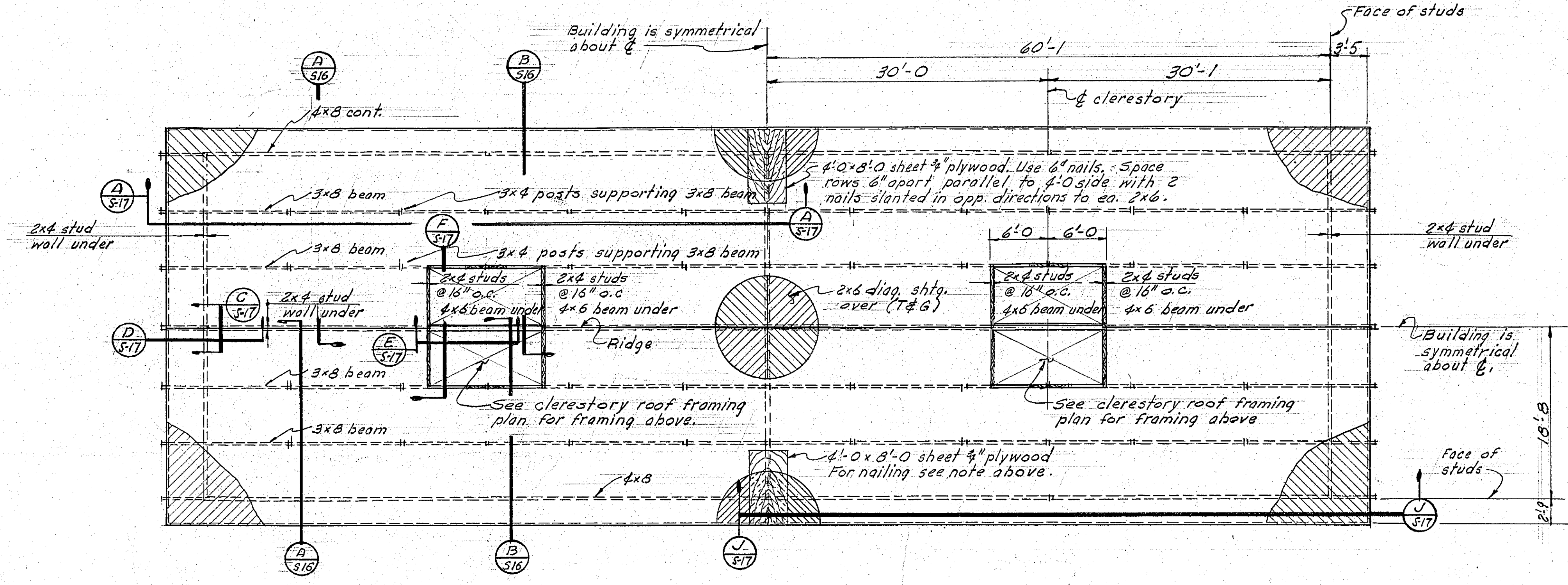
REVISION	DATE	DESCRIPTION
JOHN CARL WARNECKE AIA ARCHITECT		HOUSING AUTHORITY OF THE COUNTY OF MARIN
AARON G. GREEN AIA ARCHITECT		MARIN CITY, CALIFORNIA
HOUSING AUTHORITY OF THE COUNTY OF MARIN		LOW RENT HOUSING PROJECT NO. CAL. 52-1
		BUILDING TYPE B,C,E & ADM. & MAINTEN. BUILDING
		GENERAL NOTES & TYPICAL DETAILS
NO SCALE		
CONSULTANT	DATE	JOHN CARL WARNECKE AIA JOB NO. 574
	7/23/58	AARON G. GREEN AIA
		ASSOCIATED ARCHITECTS
WILDMAN & MORRIS CONSULTING ENGINEERS	DRAWN	M.P. DWG. NO. 514
111 NEW MONTGOMERY ST. SAN FRANCISCO 9		111 NEW MONTGOMERY ST. SAN FRANCISCO 9



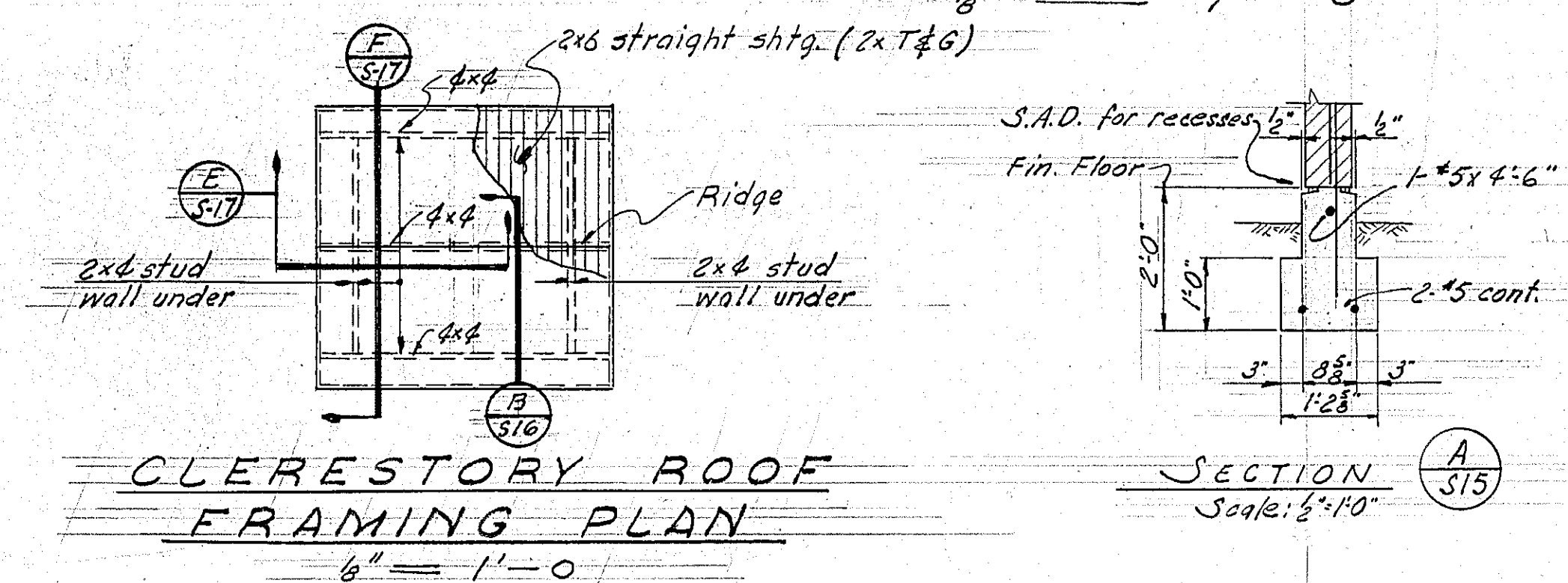
FOUNDATIONS AND FIRST FLOOR PLAN



SECOND FLOOR FRAMING PLAN



ROOF FRAMING PLAN



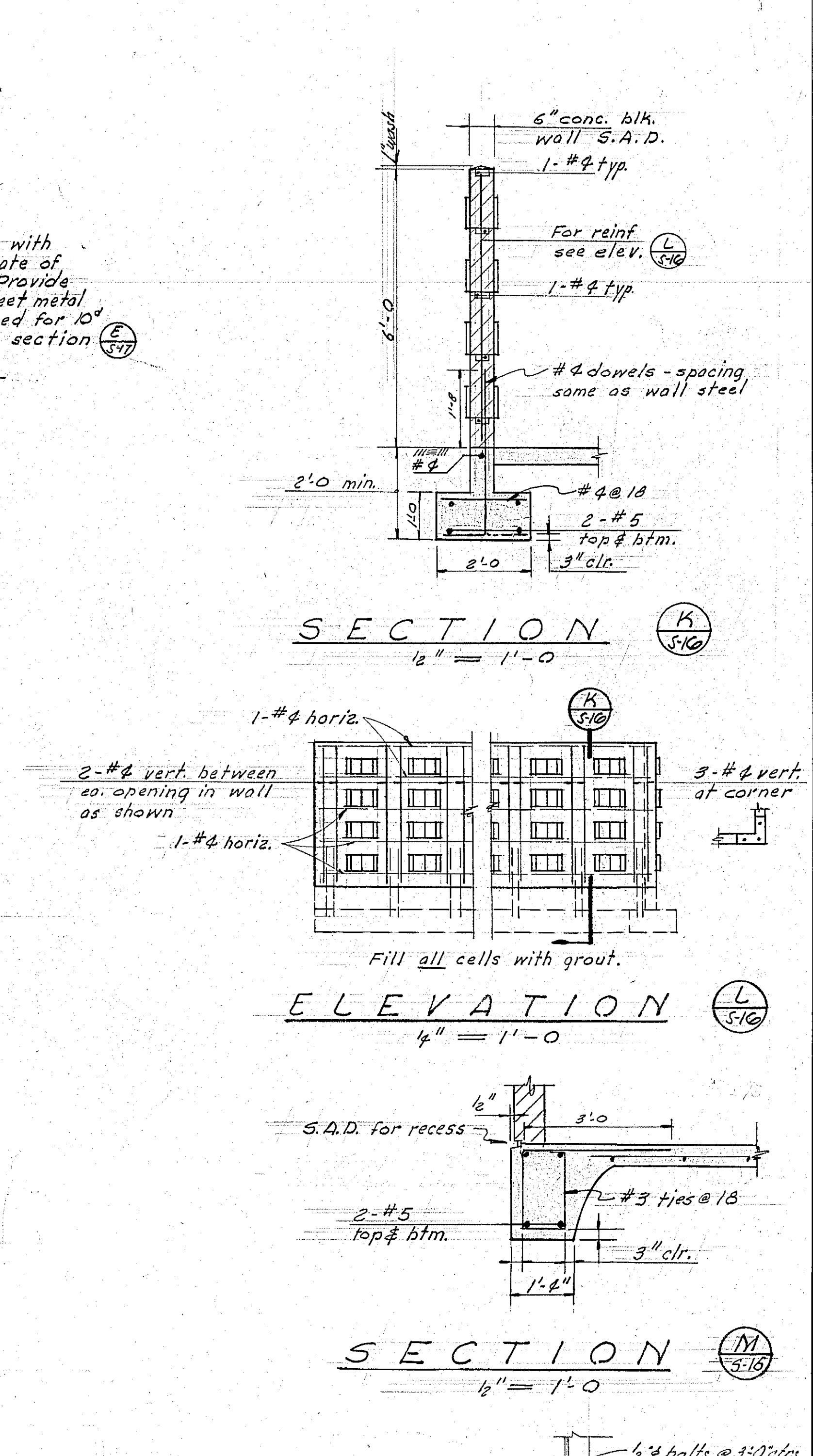
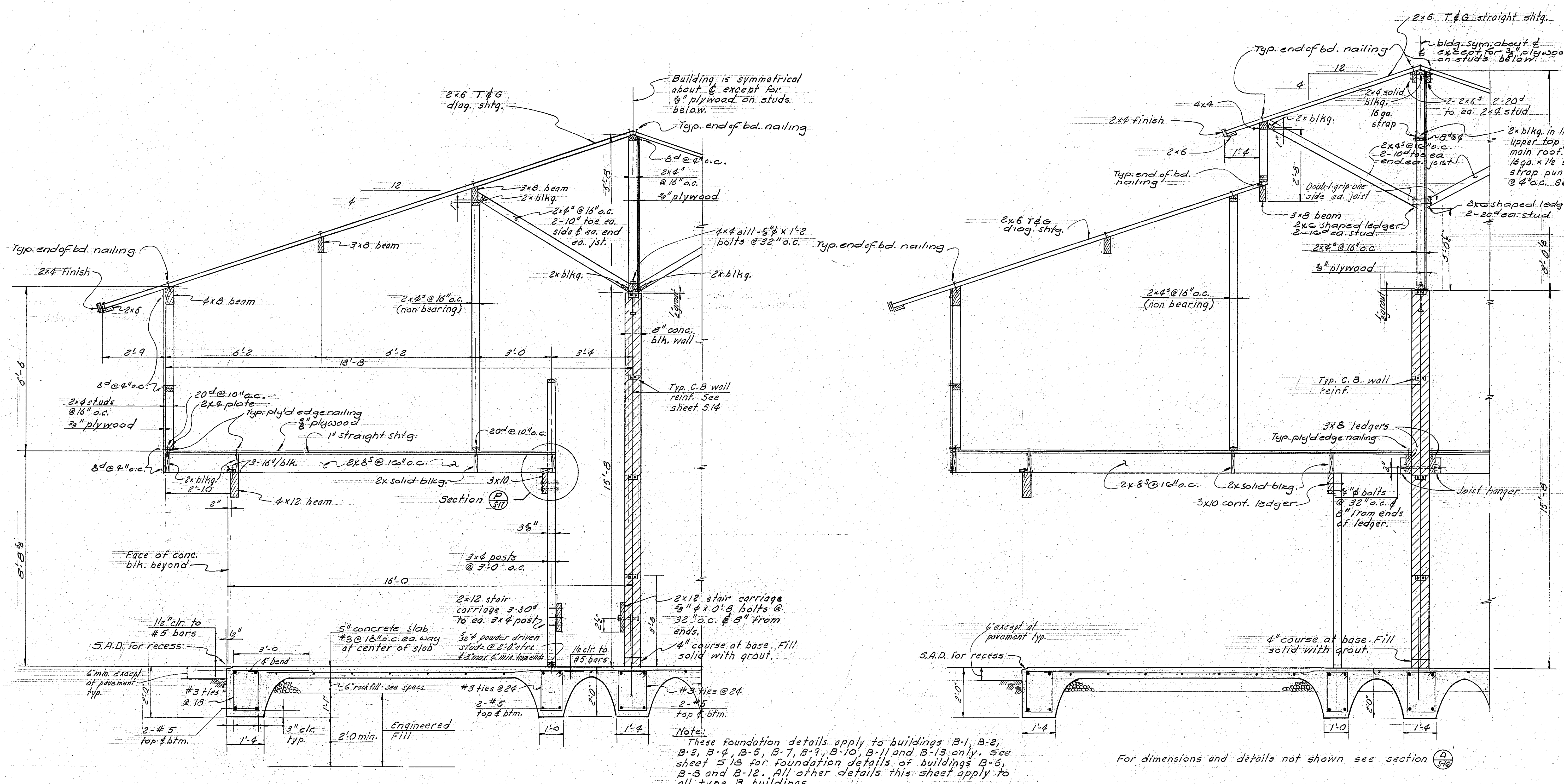
CLERESTORY ROOF FRAMING PLAN

SECTION A-S15

- Foundation Notes: (Buildings B-1, B-2, B-3, B-4, B-5, B-7, B-9, B-10, B-11 & B-13 only)
- All footings shall bear on firm natural ground or an engineered fill. Bottoms of footings shall be a minimum of 11" below finish grade, or existing grade in cut areas, and in areas of fill there shall be a minimum of 2'-0" of engineered fill below the bottoms of footings.
 - Allowable bearing value for footings supporting wall loads less than 2000 lb. per linear ft. 3000 psf Dead Load + Live Load
 - See report entitled "Soil Investigation for Low Rent Housing Project No. Cal 52-1, Marin City, California File no 1736.3 prepared by Abbot A. Hanks Inc. dated May 13, 1953, and modifying letters dated August 20, 1953.
 - See sheet S-13 for Pier, Grade Beam and Floor Plans - Sections and Details for buildings B-6, B-8 and B-12.

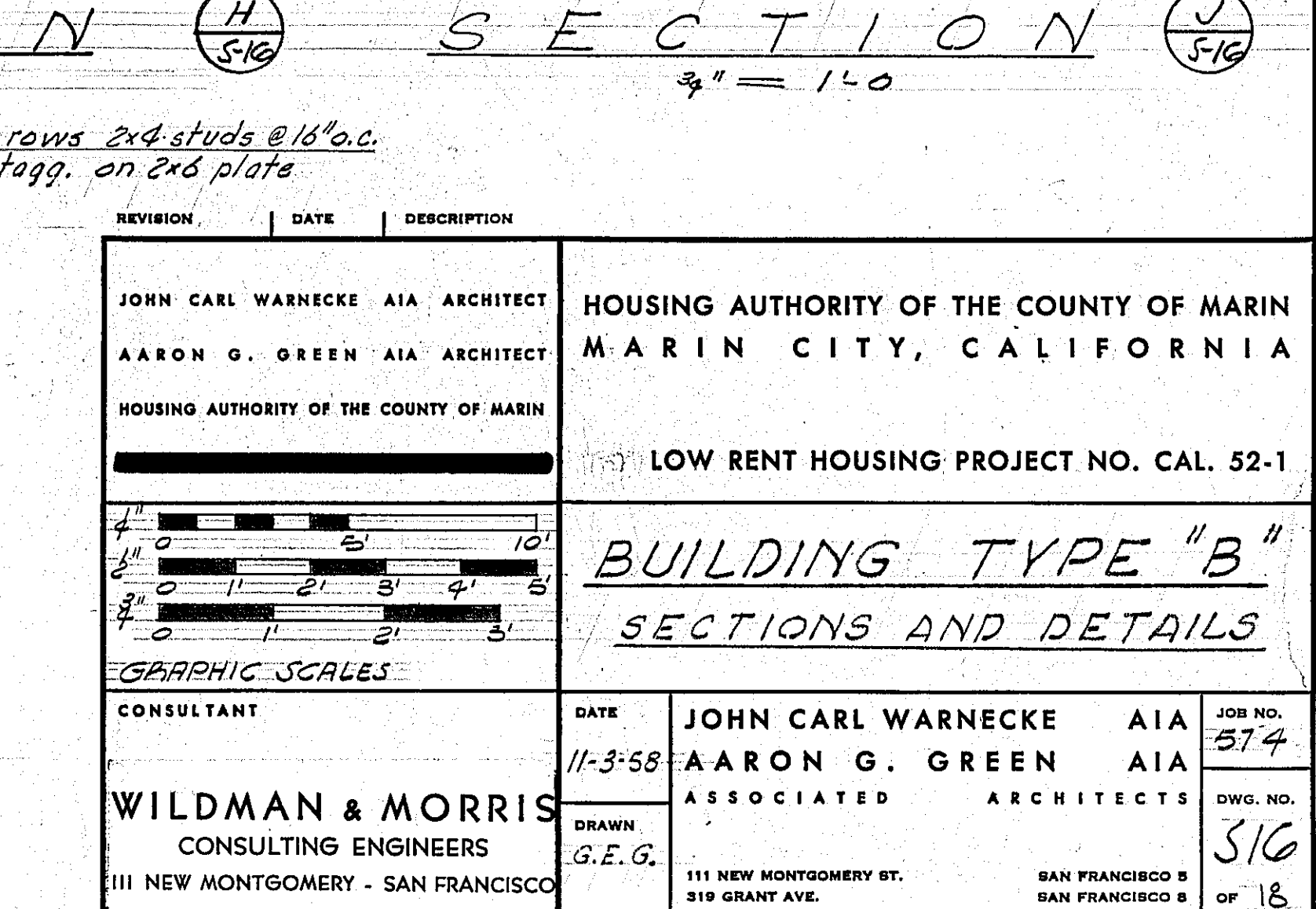
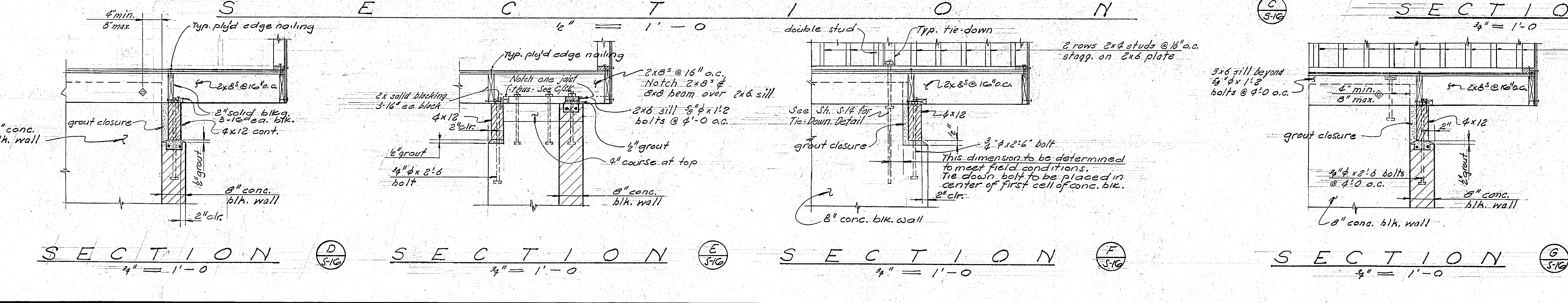
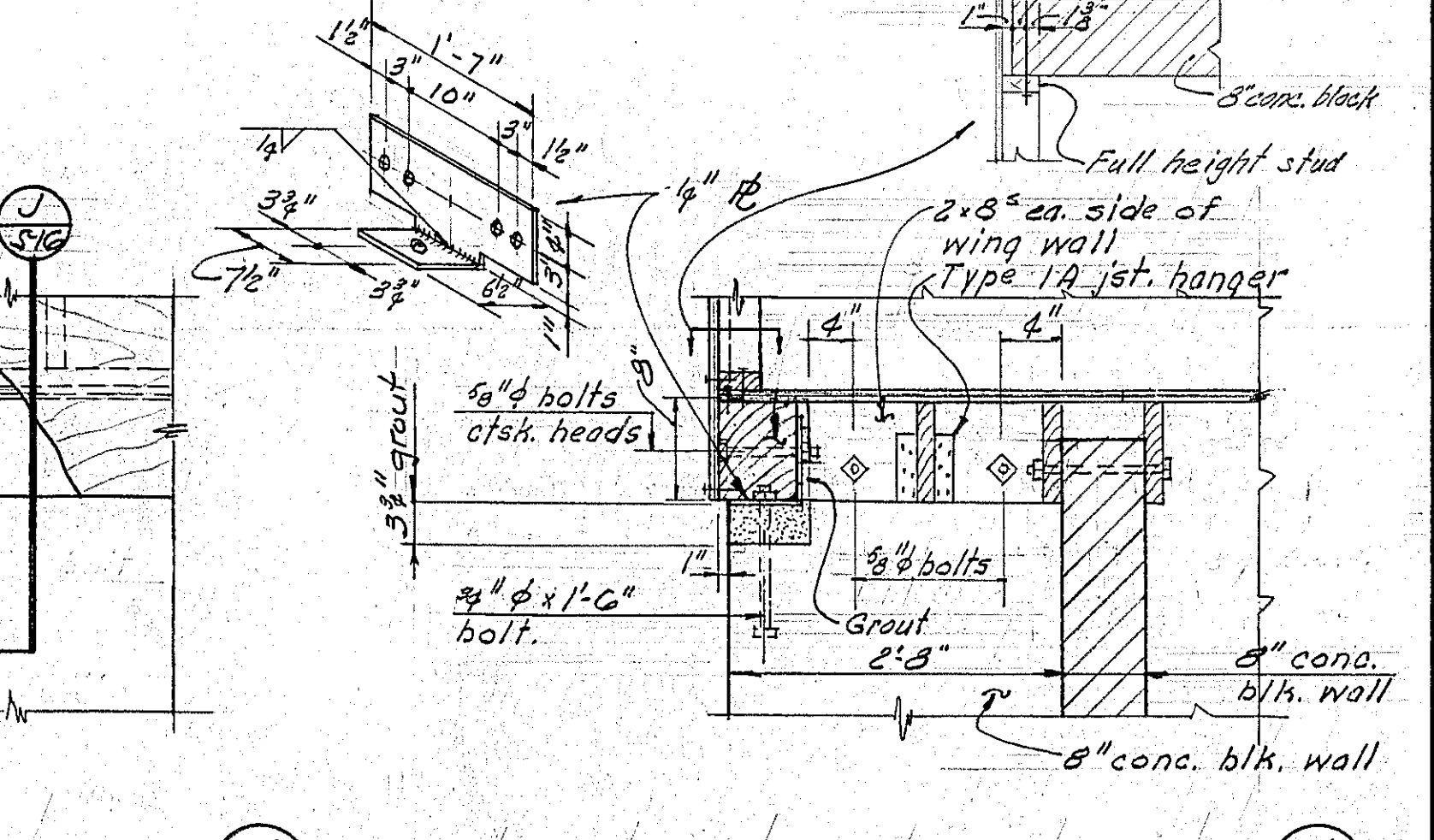
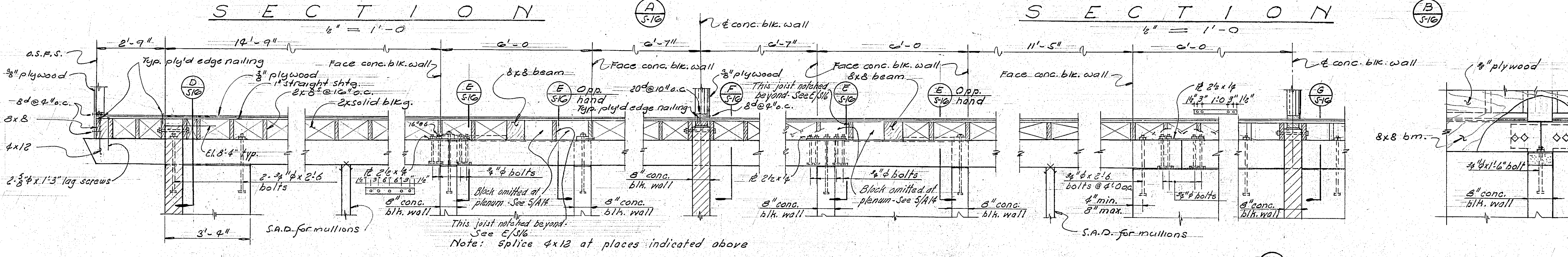
REVISION	DATE	DESCRIPTION

JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA LOW RENT HOUSING PROJECT NO. CAL. 52-1
BUILDING TYPE "B" FOUNDATION AND FIRST FLOOR PLAN - SECOND FLOOR AND ROOF FRAMING PLANS	
CONSULTANT WILDMAN & MORRIS CONSULTING ENGINEERS 111 NEW MONTGOMERY - SAN FRANCISCO	DATE 11-3-58 DRAWN G.E.G.
JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS	JOB NO. 574 DWG. NO. S15 SAN FRANCISCO 8 OF 18

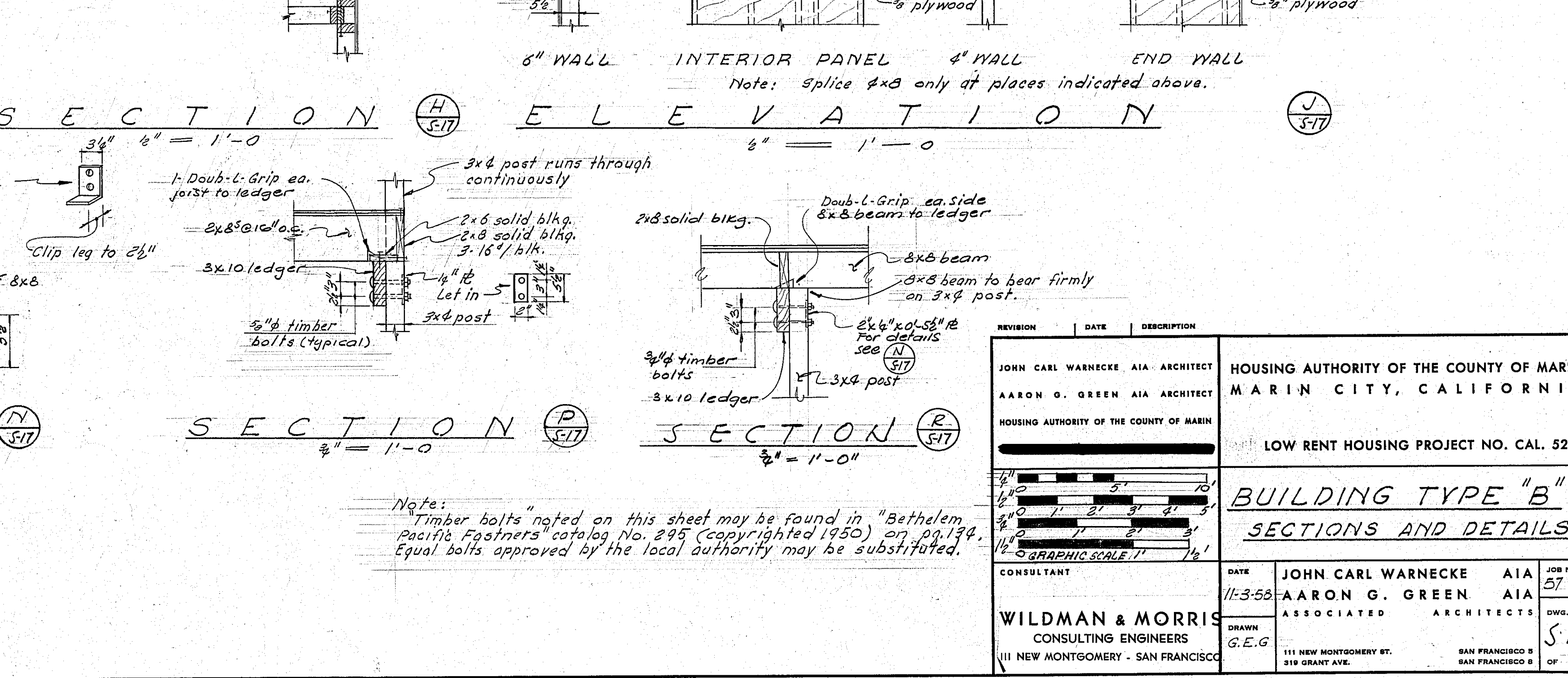
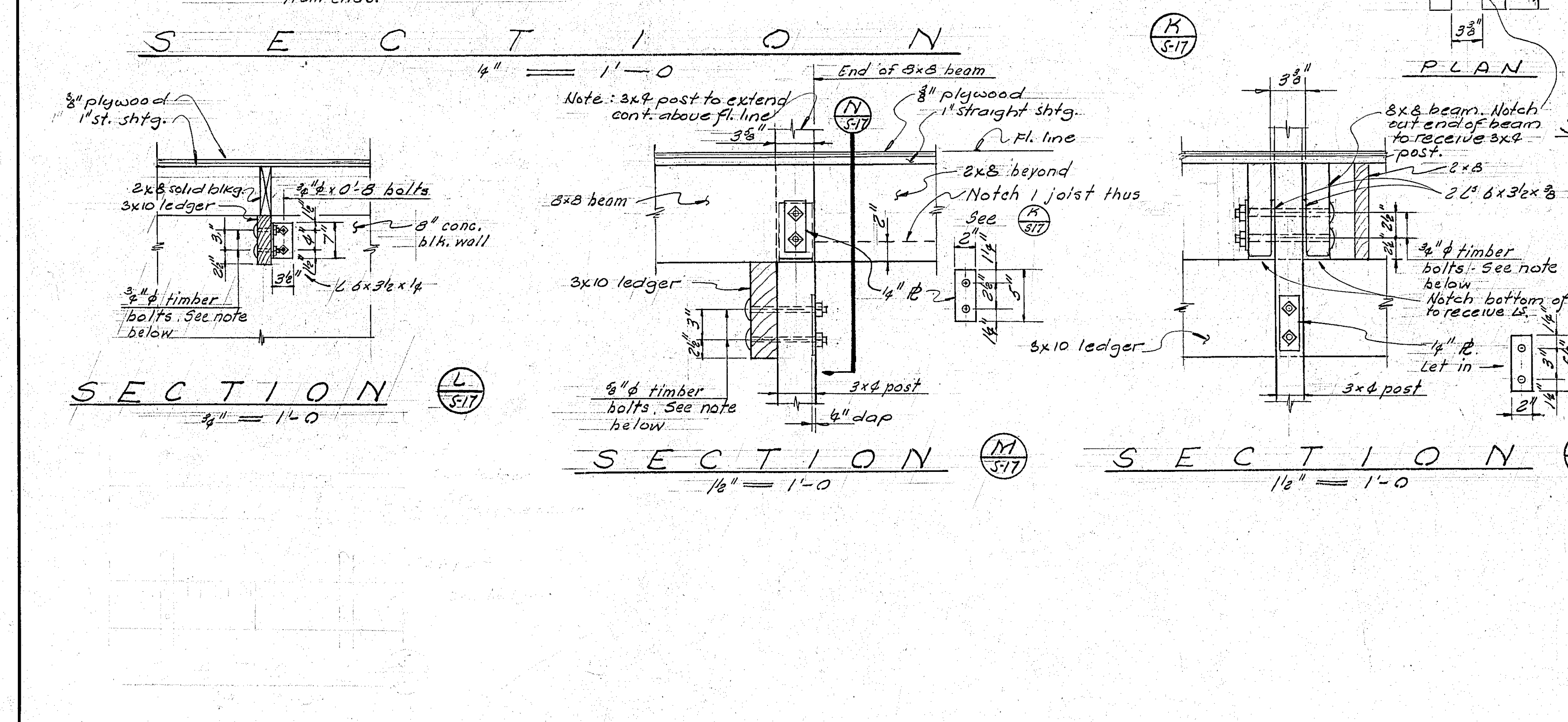
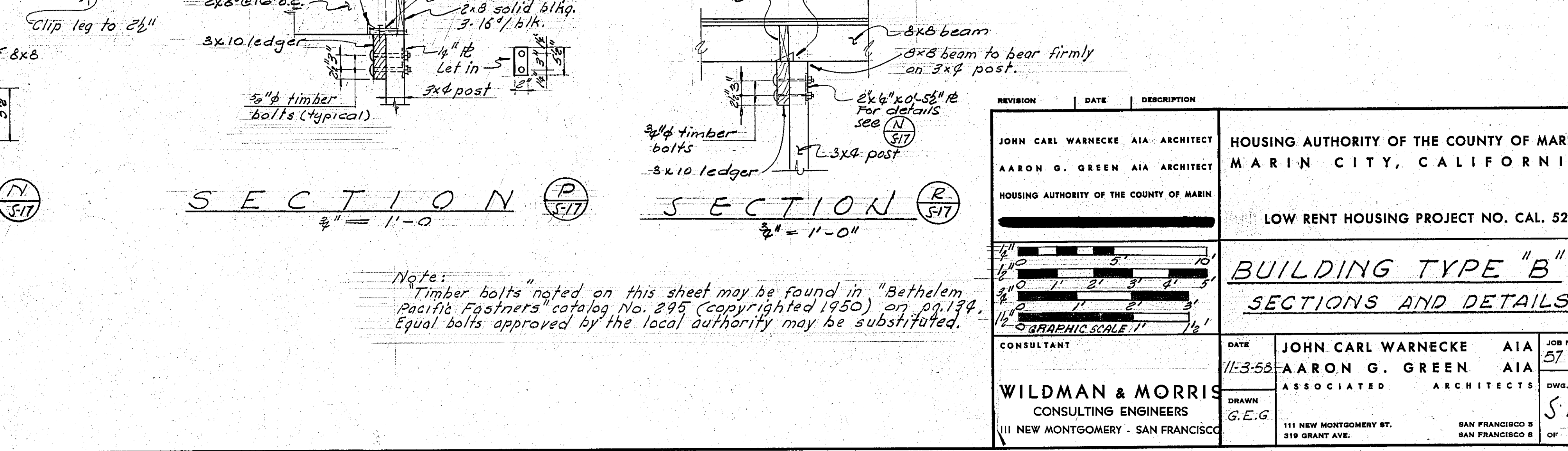
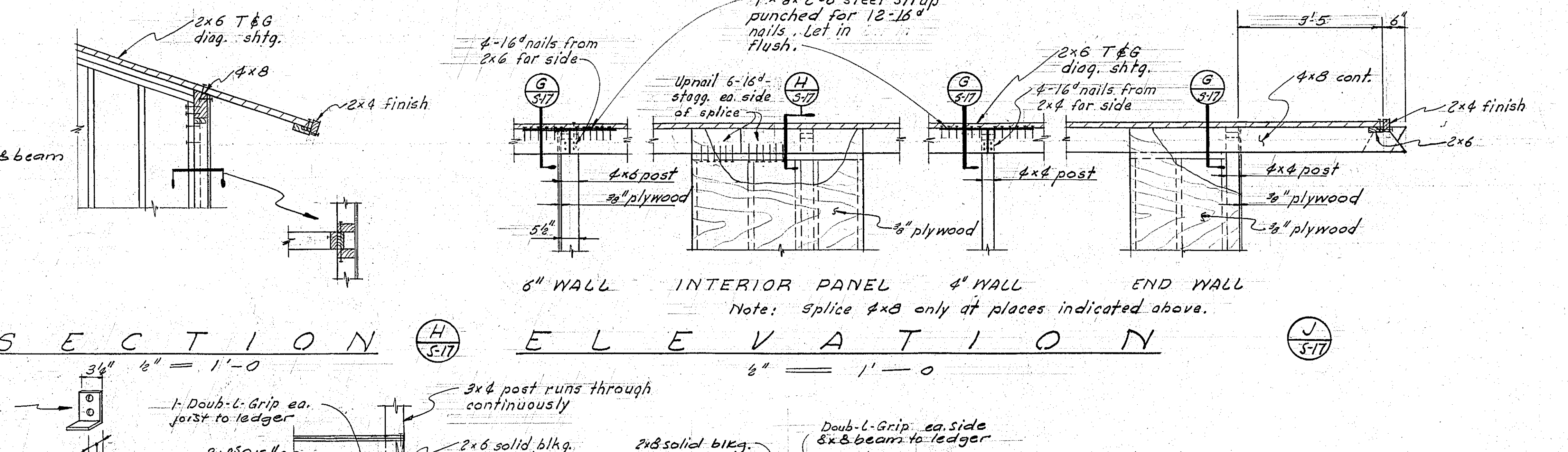
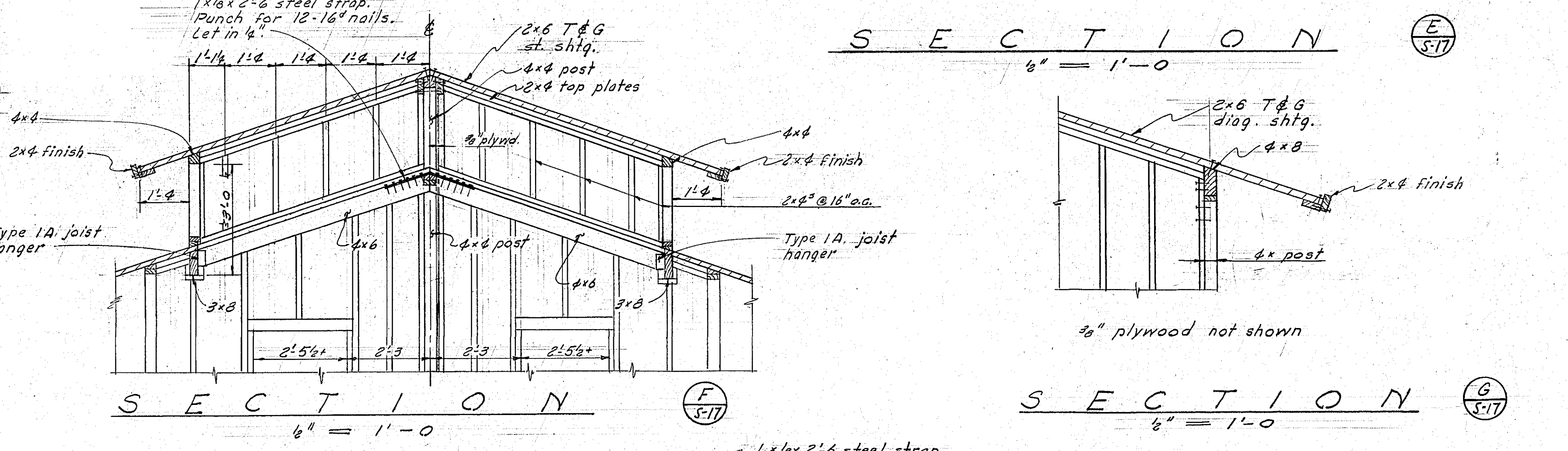
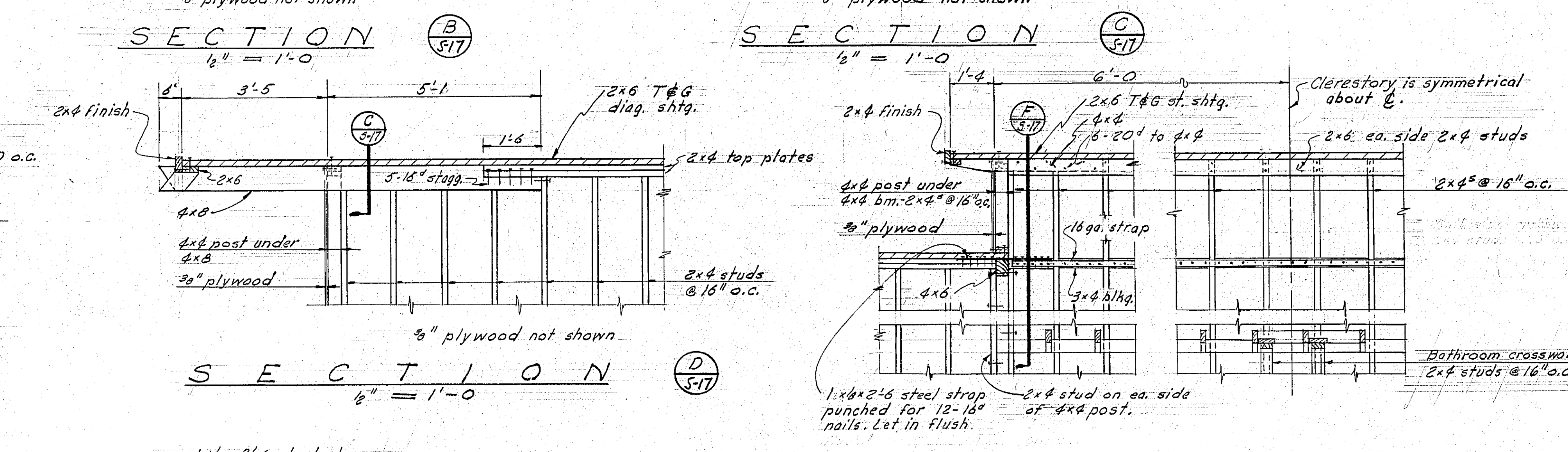
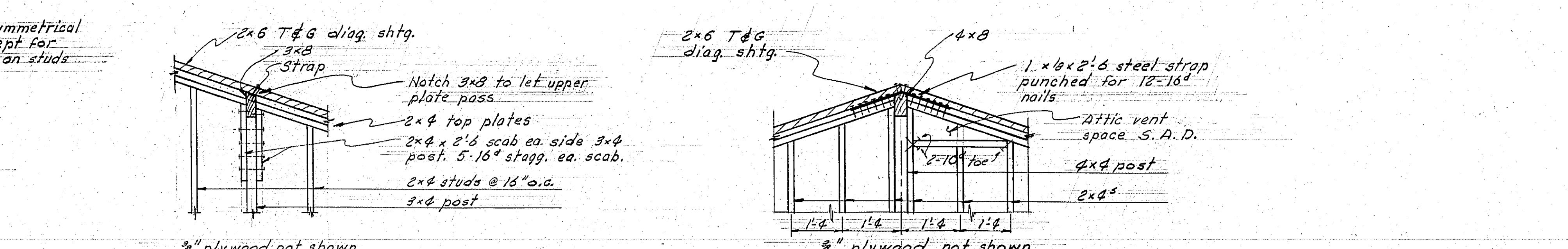
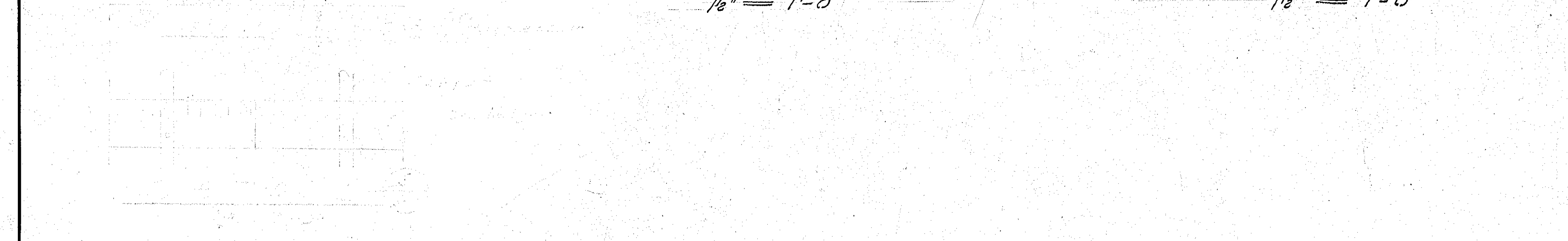
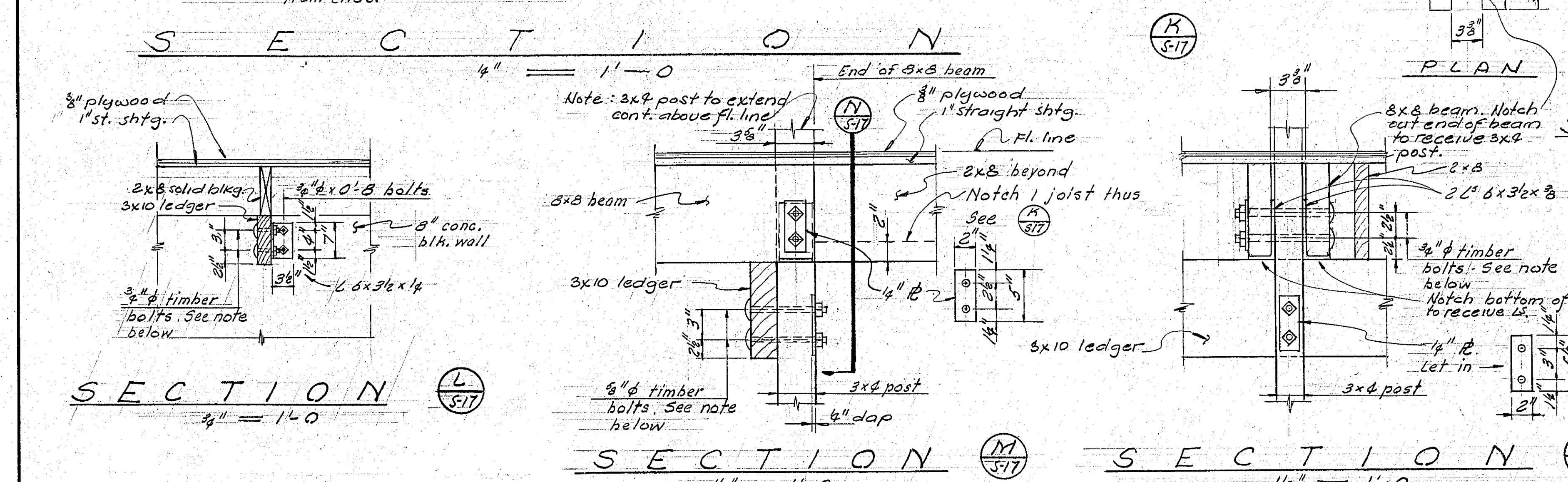
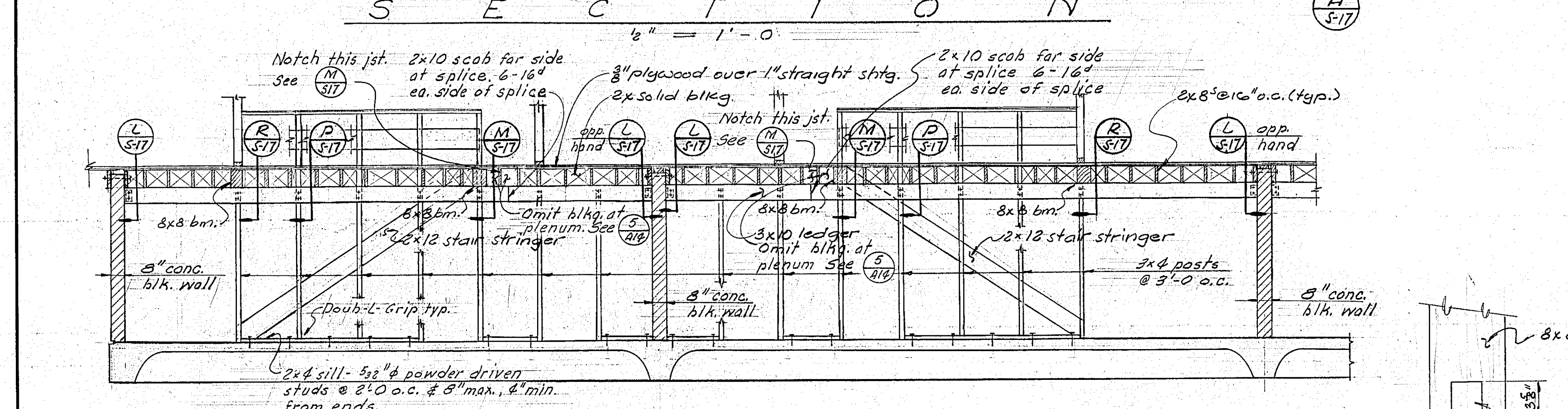
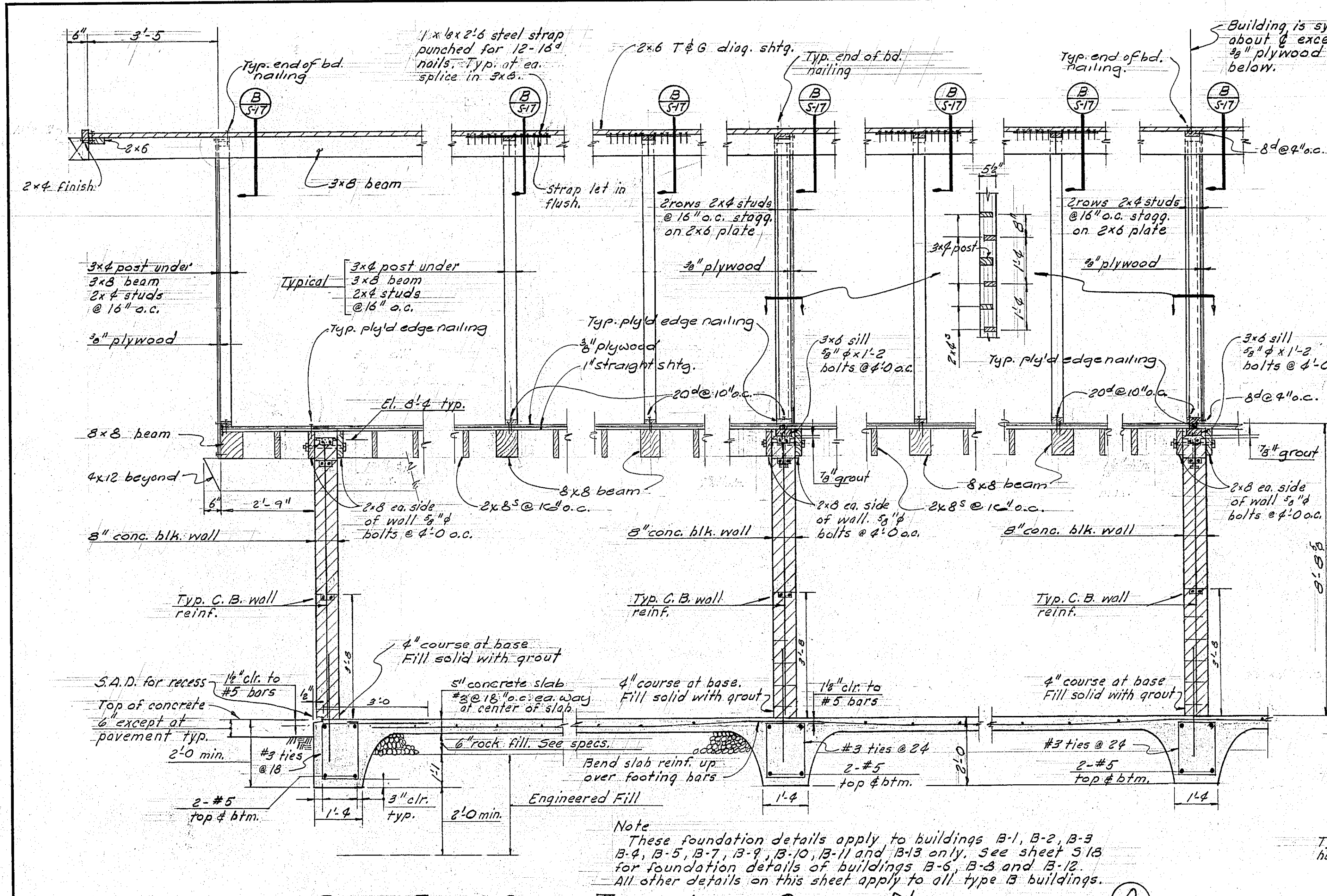


Note: These foundation details apply to buildings B-1, B-2, B-3, B-4, B-5, B-7, B-9, B-10, B-11 and B-13 only. See sheet S-15 for foundation details of buildings B-6, B-8 and B-12. All other details this sheet apply to all type B buildings.

For dimensions and details not shown see section A



REVISION	DATE	DESCRIPTION
1	11-3-58	JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN
<p>HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA</p> <p>LOW RENT HOUSING PROJECT NO. CAL. 52-1</p> <p>BUILDING TYPE "B" SECTIONS AND DETAILS</p>		
<p>CONSULTANT</p> <p>WILDMAN & MORRIS CONSULTING ENGINEERS G.E.G.</p>		<p>DATE</p> <p>11-3-58</p> <p>DRAWN</p> <p>G.E.G.</p>
<p>111 NEW MONTGOMERY ST. SAN FRANCISCO 9</p>		<p>JOB NO.</p> <p>574</p> <p>DWG. NO.</p> <p>516</p> <p>OF 18</p>



REVISION	DATE	DESCRIPTION
1		ISSUED FOR PERMIT
2		ISSUED FOR CONSTRUCTION
3		ISSUED FOR CONSTRUCTION
4		ISSUED FOR CONSTRUCTION
5		ISSUED FOR CONSTRUCTION
6		ISSUED FOR CONSTRUCTION
7		ISSUED FOR CONSTRUCTION
8		ISSUED FOR CONSTRUCTION
9		ISSUED FOR CONSTRUCTION
10		ISSUED FOR CONSTRUCTION

JOHN CARL WARNECKE AIA ARCHITECT
 AARON G. GREEN AIA ARCHITECT
 HOUSING AUTHORITY OF THE COUNTY OF MARIN
 MARIN CITY, CALIFORNIA
 LOW RENT HOUSING PROJECT NO. CAL. 52-1
BUILDING TYPE "B"
SECTIONS AND DETAILS
 CONSULTANT: JOHN CARL WARNECKE AIA, AARON G. GREEN AIA
 WILDMAN & MORRIS CONSULTING ENGINEERS
 111 NEW MONTGOMERY ST., SAN FRANCISCO 94104
 DATE: 11-3-58
 DRAWN: G.E.G.
 JOB NO: 574
 DWG. NO: 517
 OF 18

INDEX TO DRAWINGS

SHEET NUMBER	DESCRIPTION
GENERAL	
T 1	INDEX TO DRAWINGS, ABBREVIATIONS AND SYMBOLS
T 2	LOCATION PLAN AND SCHEDULE
CIVIL	
C 1	GENERAL SITE PLAN
C 2	HORIZONTAL CONTROL AND UTILITY PLAN SECTOR 1
C 3	HORIZONTAL CONTROL AND UTILITY PLAN SECTOR 2
C 4	HORIZONTAL CONTROL AND UTILITY PLAN SECTOR 3
C 5	HORIZONTAL CONTROL AND UTILITY PLAN SECTOR 4
C 6	HORIZONTAL CONTROL AND UTILITY PLAN SECTOR 5
C 7	HORIZONTAL CONTROL AND UTILITY PLAN SECTOR 6
C 8	HORIZONTAL CONTROL AND UTILITY PLAN SECTOR 7
C 9	HORIZONTAL CONTROL AND UTILITY PLAN SECTOR 8
C 10	GRADING PLAN SECTOR 1
C 11	GRADING PLAN SECTOR 2
C 12	GRADING PLAN SECTOR 3
C 13	GRADING PLAN SECTOR 4
C 14	GRADING PLAN SECTOR 5
C 15	GRADING PLAN SECTOR 6
C 16	GRADING PLAN SECTOR 7
C 17	GRADING PLAN SECTOR 8
C 18	PROFILE AND ROAD DETAILS, DRAKE AVENUE AND LOOP ROAD
C 19	MISCELLANEOUS DETAILS

SHEET NUMBER	DESCRIPTION
ARCHITECTURAL	
BLDG. TYPE "A-L"	
A 1	FIRST, SECOND & THIRD LEVEL PLANS; ROOM FINISH SCHEDULE; DOOR SCHEDULE
A 2	FOURTH & FIFTH LEVEL PLANS; TYPICAL APARTMENT FLOOR PLAN; WINDOW SCHEDULE
A 3	ELEVATIONS
A 4	HEATER RM., LAUNDRY RM. & STORAGE ROOM PLANS; STAIRS No 1 & No 2 DETAILS
BLDG. TYPE "A-R"	
A 5	FIRST, SECOND & THIRD LEVEL PLANS; ROOM FINISH SCHEDULE; DOOR SCHEDULE
A 6	FOURTH & FIFTH LEVEL PLANS; TYPICAL APARTMENT FLOOR PLAN; WINDOW SCHEDULE
A 7	ELEVATIONS
A 8	HEATER RM., LAUNDRY RM. & STORAGE RM. PLANS; STAIRS No 1 & No 2 DETAILS
BLDG. TYPES "A-L" and "A-R"	
A 9	TYPICAL WALL SECTIONS; WINDOW & LOUVER DETAILS
A 10	PRECAST CONCRETE SCREEN, DOOR & MISCELLANEOUS DETAILS
A 11	KITCHEN, BATH & MOVABLE WARDROBE DETAILS
A 12	GARBAGE CHUTE & COLLECTOR DETAILS; STAIRS No 3, 4 & 5 DETAILS
BLDG. TYPE "B"	
A 13	FLOOR PLANS; EXT. & INT. ELEVATIONS; BUILDING SECTION; AND DETAILS
A 14	UNIT PLANS; MAILBOX DETAILS; BUILDING TYPE "E" DETAILS
BLDG. TYPE "C"	
A 15	FOUNDATION, FLOOR & FRAMING PLANS; EXT. ELEV. DETAILS
A 16	UNIT PLAN; INT. ELEV.; BUILDING SECTION; FENCE & STOR. UNIT DETAILS
BLDG. TYPE "E"	
A 17	FOUNDATION, FLOOR & FRAMING PLANS; EXT. ELEV. DETAILS; UNIT PLAN; INT. ELEV.; BUILDING SECTION & DETAILS
BLDG. TYPES "B", "C" & "E" ADMINISTRATION & MAINT.	
A 18	BLDG. TYPES "B", "C" & "E" AND ADMIN. & MAINT.; DOOR & WINDOW DETAILS AND SCHEDULES
ADMINISTRATION & MAINT.	
A 19	PLANS, SECTIONS, ELEVATIONS AND STAIR DETAILS
A 20	WALL SECTIONS; FRAMING PLAN AND DETAILS
A 21	ADMINISTRATION & MAINTENANCE FLOOR PLANS

SHEET NUMBER	DESCRIPTION
STRUCTURAL	
BLDG. TYPES "A-L" and "A-R"	
S 11	GENERAL NOTES AND TYPICAL DETAILS
S 2	"A-L" 1, "A-L" 2, "A-L" 3, FOUNDATION PLAN
S 3	"A-R" 1, "A-R" 2, "A-R" 3, FOUNDATION PLAN
S 4	"A-L" 4, & "A-R" 4 FOUNDATION PLAN & DETAILS
S 5	FIRST, SECOND & THIRD LEVEL FRAMING PLAN
S 6	FOURTH, FIFTH & ROOF LEVEL FRAMING PLAN
S 7	SLAB REINFORCING PLANS
BLDG. TYPE "A-R"	
S 8	FIRST, SECOND & THIRD LEVEL FRAMING PLAN
S 9	FOURTH, FIFTH & ROOF LEVEL FRAMING PLAN
S 10	SLAB REINFORCING PLANS
BLDG. TYPES "A-L" and "A-R"	
S 11	TYPICAL SECTIONS
S 12	TYPICAL SECTIONS
S 13	TYPICAL SECTIONS
BLDG. TYPE "B", "C" and "E"	
S 14	GENERAL NOTES AND TYPICAL DETAILS
S 15	FOUNDATION & FIRST FLOOR PLAN; SECOND FL. & ROOF FRAMING PLAN
S 16	SECTIONS & DETAILS
S 17	SECTIONS & DETAILS
BLDG. TYPES "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z" ADMIN. & MAINT.	
S 18	PIER, GRADE BEAM & FLOOR PLANS SECTIONS & DETAILS

SHEET NUMBER	DESCRIPTION
PLUMBING & MECHANICAL	
BLDG. TYPE "A-L"	
PM 1	FIRST, SECOND & THIRD FL. PLUMB. & HTG. PLANS; LEGEND & CONV. CONN. DETAILS
PM 2	FOURTH, FIFTH & MISC. FL. PLUMB. & HTG. PLANS; EQUIPMENT SCHEDULES
PM 3	MISCELLANEOUS PLANS AND DETAILS
PM 4	RIGER DIAGRAM & MISCELLANEOUS DETAILS
BLDG. TYPE "A-R"	
PM 5	FIRST, SECOND & THIRD FL. PLUMB. & HTG. PLANS; LEGEND & CONV. CONN. DETAILS
PM 6	FOURTH, FIFTH & MISC. FL. PLUMB. & HTG. PLANS; EQUIPMENT SCHEDULE
PM 7	MISCELLANEOUS PLANS AND DETAILS
PM 8	RIGER DIAGRAM & MISCELLANEOUS DETAILS
ADMIN. & MAINT.	
PM 9	PLUMB. & HTG. PLANS; MISC. DETAILS & EQUIP. SCHEDULE
BLDG. TYPES "B", "C", "E"	
PM 10	PLUMB. & HTG. PLANS; MISC. DETAILS & EQUIP. SCHEDULE
BLDG. TYPE "C"	
PM 11	PLUMB. & HTG. PLANS; MISC. DETAILS & EQUIP. SCHEDULE

SHEET NUMBER	DESCRIPTION
ELECTRICAL	
E 1	EXTERIOR ELECTRICAL DISTRIBUTION; SITE PLAN
E 2	EXTERIOR ELECTRICAL DISTRIBUTION; POLE LINE DET. No 1
E 3	EXTERIOR ELECTRICAL DISTRIBUTION; POLE LINE DET. No 2
E 4	EXTERIOR ELECTRICAL DISTRIBUTION; POLE LINE DET. No 3
E 5	INTERIOR ELECTRICAL
E 6	INTERIOR ELECTRICAL
E 7	INTERIOR ELECTRICAL

SHEET NUMBER	DESCRIPTION
LANDSCAPING	
LL 1	LANDSCAPE LAYOUT SECTOR 1
LL 2	LANDSCAPE LAYOUT SECTOR 2
LL 3	LANDSCAPE LAYOUT SECTOR 3
LL 4	LANDSCAPE LAYOUT SECTOR 4
LL 5	LANDSCAPE LAYOUT SECTOR 5
LL 6	LANDSCAPE LAYOUT SECTOR 6
LL 7	LANDSCAPE LAYOUT SECTOR 7
LL 8	LANDSCAPE LAYOUT SECTOR 8
LD 1	LANDSCAPE DETAILS
LD 2	LANDSCAPE DETAILS
LP 0	PLANT LIST
LP 1	LANDSCAPE PLANTING SECTOR 1
LP 2	LANDSCAPE PLANTING SECTOR 2
LP 3	LANDSCAPE PLANTING SECTOR 3
LP 4	LANDSCAPE PLANTING SECTOR 4
LP 5	LANDSCAPE PLANTING SECTOR 5
LP 6	LANDSCAPE PLANTING SECTOR 6
LP 7	LANDSCAPE PLANTING SECTOR 7
LP 8	LANDSCAPE PLANTING SECTOR 8

SYMBOLS

	CONCRETE		CONCRETE BLOCK		METAL
	METAL LATH & PLASTER		GYP. BD. OR PLASTERBOARD		CERAMIC TILE
	WOOD BLOCKING		WOOD FRAMING		WOOD FRAMING
	ROOM IDENTIFICATION		COLUMN OR WALL LINE IDENTIFICATION		
	DOOR TYPE		UNIT IDENTIFICATION		
	WINDOW TYPE		PRECAST CONCRETE SCREEN		
		BUILDING TYPE			

ABBREVIATIONS

ADJ.	ADJUSTABLE	LAM.	LAMINATED
ALUM.	ALUMINUM	L.H.	LEFT HAND
APPROX.	APPROXIMATE	MAINT.	MAINTENANCE
BET.	BETWEEN	M.O.	MASONRY OPENING
BLK. OR DL.	BLOCK	MAX.	MAXIMUM
BLDG.	BUILDING	M.L.	METAL LATH
CLG.	CEILING	MET. THRLD.	METAL THRESHOLD
COMPO.	COMPOSITION	MIN.	MINIMUM
CONC.	CONCRETE	N.I.C.	NOT IN CONTRACT
C.O.	CONCRETE OPENING	OBSC.	OBSCURE
COND.	CONDITION	O.C.	ON CENTER
CONT. & CONTIN.	CONTINUOUS	OPENG.	OPENING
DET.	DETAIL	PART.	PARTIALLY
DIM.	DIMENSION	PART'N.	PARTITION
DBL.	DOUBLE	PLAS.	PLASTER
DSD.	DOUBLE STRENGTH	PLAS. BD.	PLASTERBOARD
D.F.	DOUGLAS FIR	PLATE	PLATE
DN.	DOWN	PLYWD.	PLYWOOD
EACH	EACH	R.	RANGE
EL.	ELEVATION	REF.	REFRIGERATOR
EX.	EXPANDED OR EXPANSION	REIN.	REINFORCING
F.C.	FACE OF CONCRETE	R.H.	RIGHT HAND
F.S.	FACE OF STUD	R.M.	ROOM
FIN.	FINISH	R.O.	ROUGH OPENING
FIN. FL.	FINISH FLOOR	SH.	SHEATHING
FL. OR FLR.	FLOOR	STOR.	STORAGE
F.A.	FRESH AIR	T.D.	TIE DOWN
GALV.	GALVANIZED	T. & G.	TONGUE & GROOVE
G.I.	GALVANIZED IRON	TYP.	TYPICAL
G.A.	GAUGE	VERT.	VERTICAL
GL.	GLASS	WALLBD.	WALLBOARD
GL. ENAM.	GLAZED ENAMEL	WH.	WATER HEATER
GYP. BD.	GYP. BOARD	WIN.	WINDOW
HD. BD.	HARD BOARD	W.D.	WINDOW DIMENSION
H.	HEATER	WO.	WOOD
HT.	HEIGHT	E.S.	EXTRA STRONG
JT.	JOINT		
KIT.	KITCHEN		

REVISION	DATE	DESCRIPTION

JOHN CARL WARNECKE AIA ARCHITECT	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA
AARON G. GREEN AIA ARCHITECT	
HOUSING AUTHORITY OF THE COUNTY OF MARIN	LOW RENT HOUSING PROJECT NO. CAL. 52-1

CONSULTANT	DATE	JOHN CARL WARNECKE AIA	JOB NO.
	11-3-58	AARON G. GREEN AIA	57-4
		ASSOCIATED ARCHITECTS	DWG. NO.
			TI

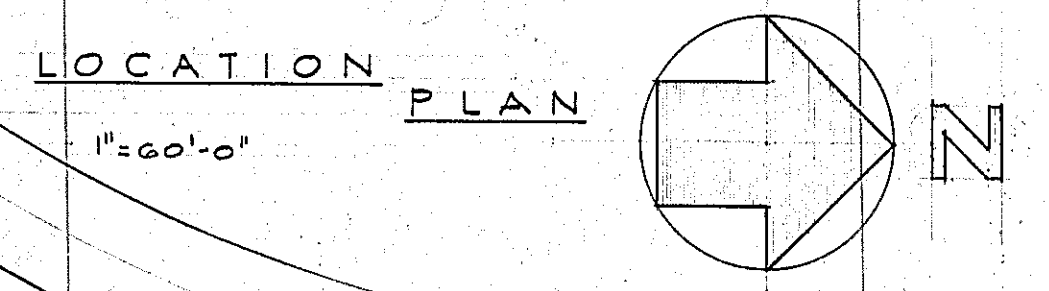
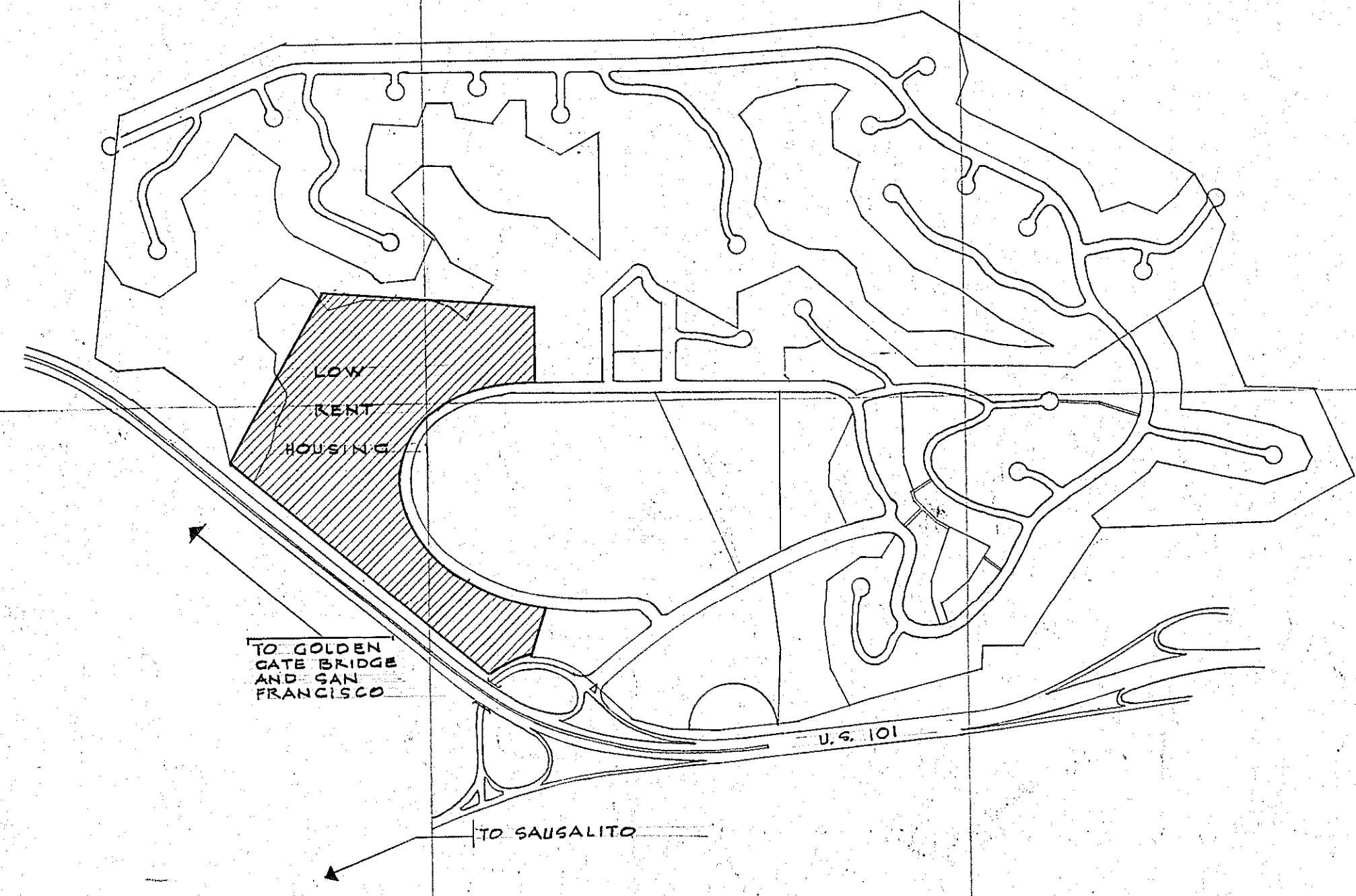
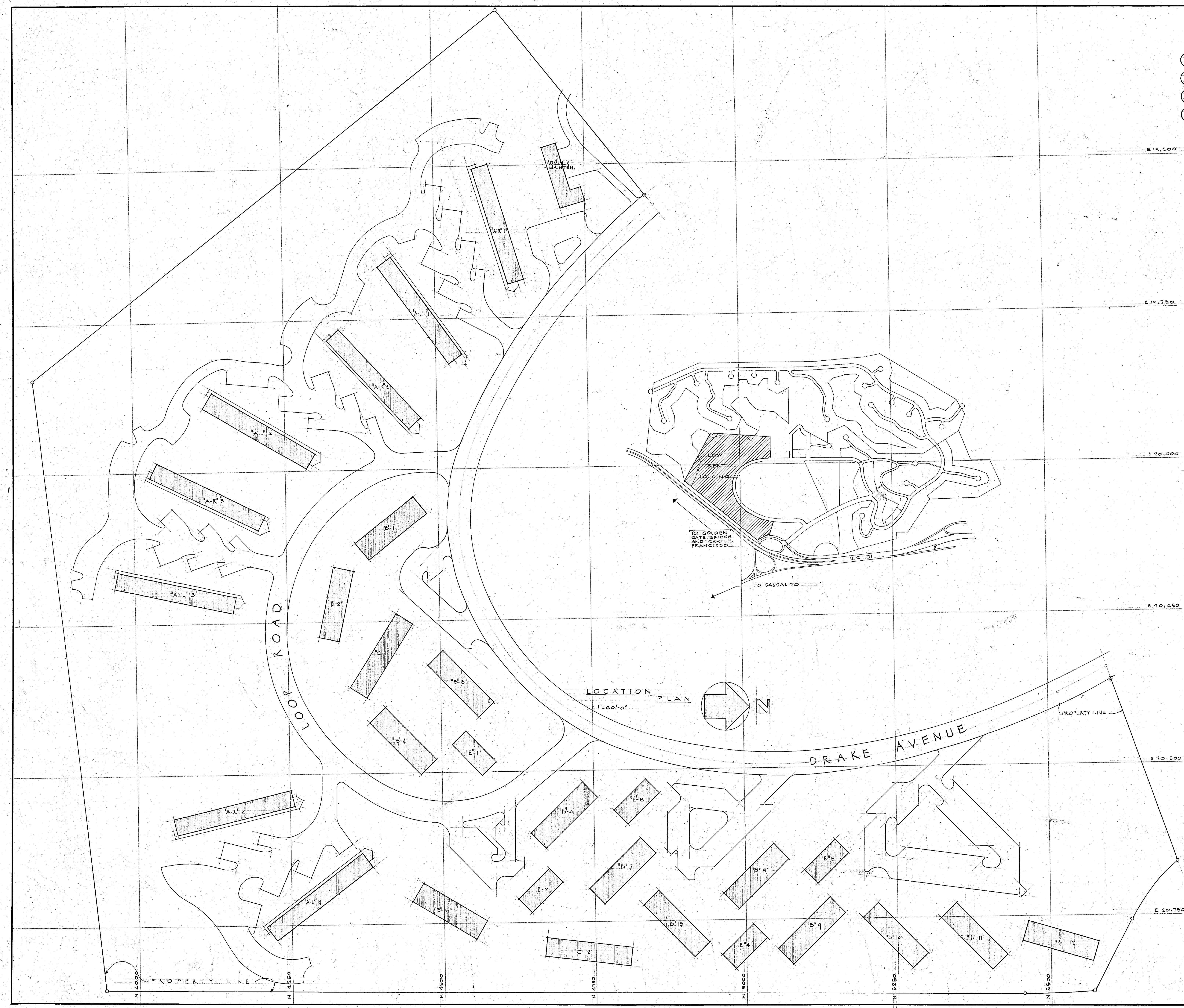
111 NEW MONTGOMERY ST. SAN FRANCISCO 9
318 GRANT AVE. SAN FRANCISCO 9

SCHEDULE OF BUILDINGS				
BUILDING TYPES	NO. OF BLDGS	NO. OF D.U.	NO. OF BLDG	NO. OF D.U.
(A) MULTI-STORY REIN. CONCRETE 2 BEDROOM UNITS	5	21	168	336
(B) 2 STORY WOOD FRAME 3 BEDROOM UNITS	15	5	104	312
(C) 1 STORY WOOD FRAME 4 BEDROOM UNITS	2	4	8	32
(D) 1 STORY WOOD FRAME 1 BEDROOM UNIT	5	4	20	20
TOTALS	27	34	300	700

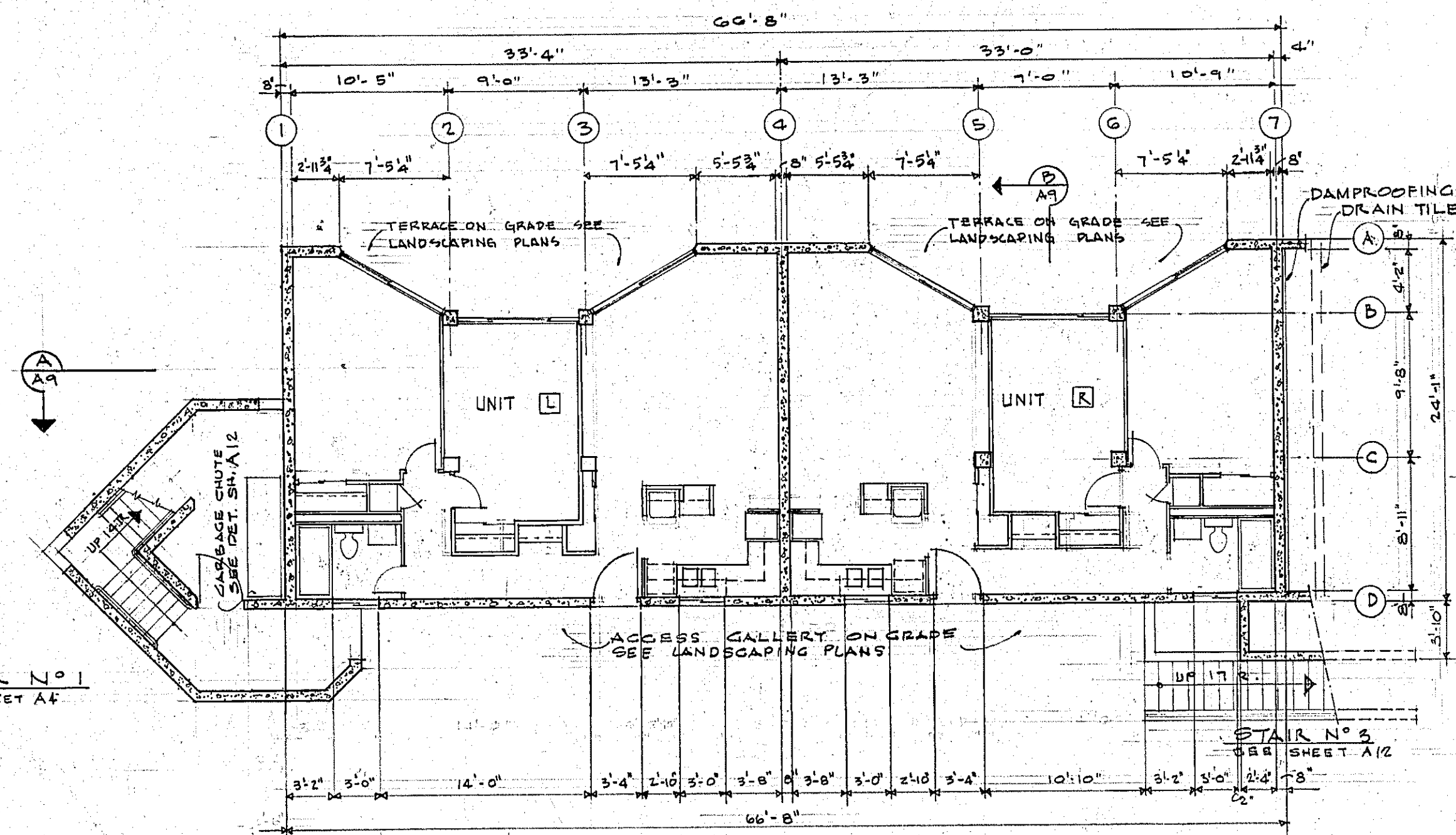
2 1/2 x TOTAL NUMBER OF D.U. = 300 x 2 1/2 = 750
 TOTAL NUMBER OF ROOMS = 700 + 750 = 1450
 ROOM RATIO = TOTAL RMS. / TOTAL UNITS = 1450 / 700 = 2.07

PROJECT DENSITY
 TOTAL PROJECT AREA TO BE ACQUIRED 1,314,700 SQ. FT.
 LESS AREA OF LOOP ROAD 50,000 SQ. FT.
 TOTAL AREA TO BE DIVIDED AT COMPLETION OF PROJECT 1,264,700 SQ. FT.
 LESS UNBUILDABLE AREA OVER 30% SLOPE 234,750 SQ. FT.
 AREA OF PARKING AREAS NOT DEDICATED 160,500 SQ. FT.
 TOTAL PROJECT AREA DEDUCTED 395,250 SQ. FT.
 AREA FOR COMPUTATION OF DENSITY 869,450 SQ. FT.

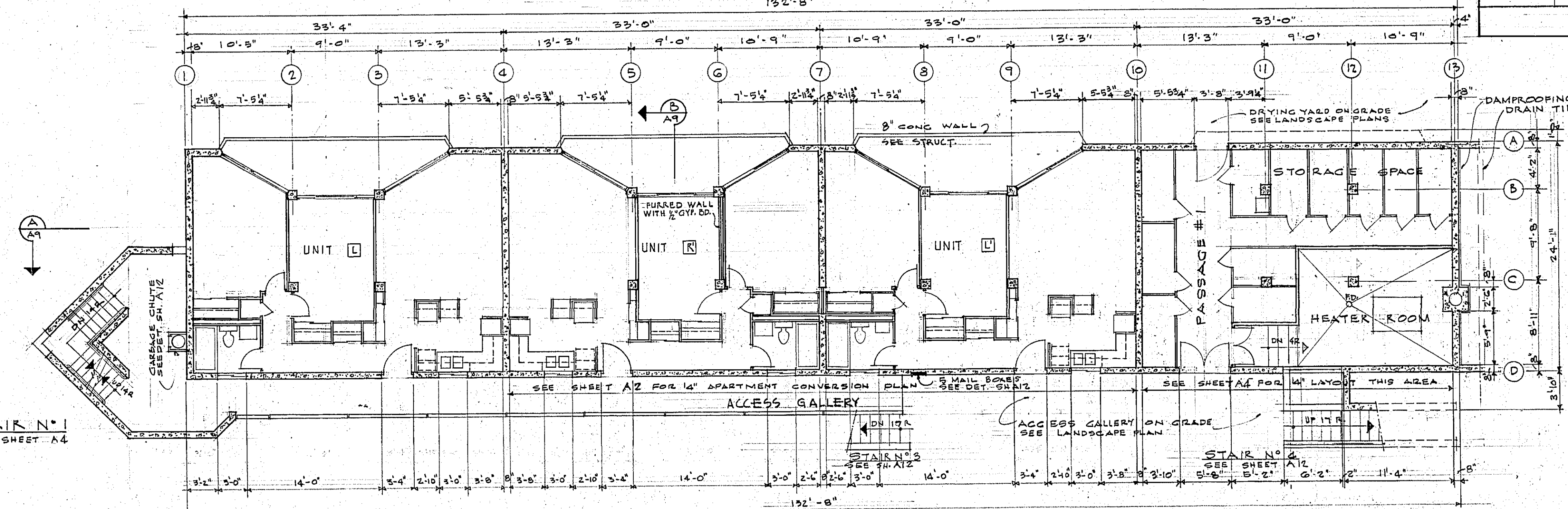
ACRES 21.62 ACRES
 DWELLING UNIT DENSITY 15.85 UNITS/ACRE
 NUMBER OF PERSONS, AVERAGE OCCUPANCY 1242
 PERSON DENSITY 57.45 PERSONS/ACRE
 GROUND AREA OF BUILDINGS:
 DWELLINGS 146,551
 NON-DWELLINGS 2,650
 TOTAL AREA OF BUILDINGS 149,201
 COVERAGE 15.7%



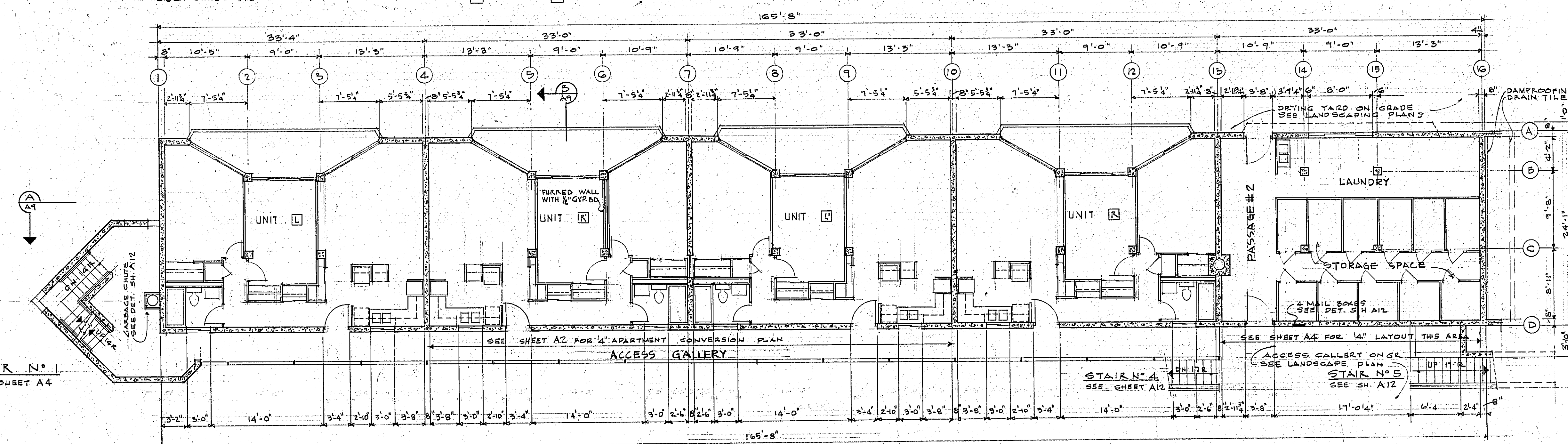
REVISION	DATE	DESCRIPTION
JOHN CARL WARNECKE AIA ARCHITECT		HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA
AARON G. GREEN AIA ARCHITECT		
HOUSING AUTHORITY OF THE COUNTY OF MARIN		
LOW RENT HOUSING PROJECT NO. CAL. 52-1		
BUILDING TYPES "A-L", "A-K", "B", "C", "E" and ADMINISTRATION & MAINTENANCE		
LOCATION PLAN		
CONSULTANT	DATE	JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS
	11-3-58	JOB NO. 57-4
DRAWN		RICHARD GIBSON
		111 NEW MONTGOMERY ST., SAN FRANCISCO 4 218 GRANT AVE., SAN FRANCISCO 4
		DWG. NO. T-2 OF 2



BUILDING TYPE 'A-L'
FLOOR PLAN AT FIRST LEVEL 1/8" = 1'-0"
SEE SHEET A2 FOR 'L' LAYOUT UNITS L AND R



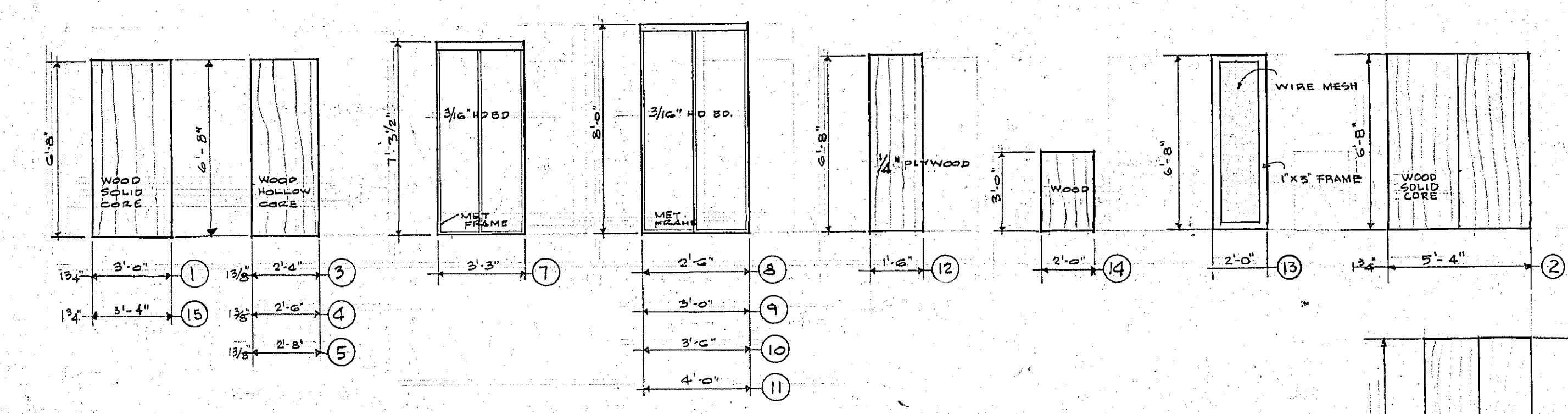
BUILDING TYPE 'A-L'
FLOOR PLAN AT SECOND LEVEL 1/8" = 1'-0"
SEE SHEET A2 FOR 'L' LAYOUT UNITS L AND R



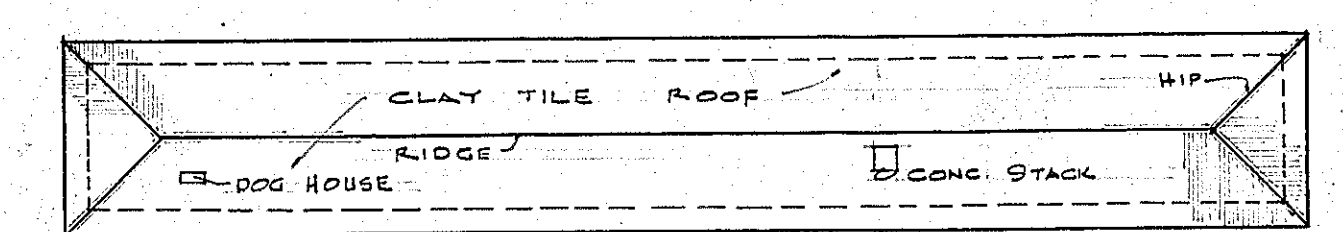
BUILDING TYPE 'A-L'
FLOOR PLAN AT THIRD LEVEL 1/8" = 1'-0"
SEE SHEET A2 FOR 'L' LAYOUT UNITS L AND R

RM. NO.	ROOM NAME	FLOOR		BASE		WALL		WNSCT	FRAMES & TRIM		CEILING		REMARKS	
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		MATERIAL	FINISH	MATERIAL	FINISH		HEIGHT
A 1	LIVING-DINING	CONC.	SEALER	WOOD	PAINT	CONC.	PLAS.	PAINT	WOOD	PAINT	CONC.	PAINT	8'-0"	
A 2	BED ROOM #1	CONC.	SEALER	WOOD	PAINT	CONC.	PLAS.	PAINT	WOOD	PAINT	CONC.	PAINT	8'-0"	
A 3	BED ROOM #2	CONC.	SEALER	WOOD	PAINT	CONC.	PLAS.	PAINT	WOOD	PAINT	CONC.	PAINT	8'-0"	
A 4	BED ROOM #3	CONC.	SEALER	WOOD	PAINT	CONC.	PLAS.	PAINT	WOOD	PAINT	CONC.	PAINT	8'-0"	
A 5	KITCHEN	CONC.	SEALER	WOOD	PAINT	CONC.	WOOD	PAINT	ALUM.	ALUM.	CONC.	PAINT	8'-0"	SEE CAB. DET. SHEET A11
A 6	BATH	CONC.	SEALER	WOOD	PAINT	CONC.	GLAZ. CEM.	GLAZ. CEM.	WOOD	PAINT	CONC.	PAINT	8'-0"	SEE BATH DET. SHEET A11
A 7	HALL	CONC.	SEALER	WOOD	PAINT	CONC.	PLAS.	PAINT	WOOD	PAINT	CONC.	PAINT	8'-0"	
A 8	PASSAGE #1	CONC.	SEALER			CONC.	PLAS.	PAINT	WOOD	PAINT	CONC.	PAINT	8'-0"	
A 9	JANITOR	CONC.	SEALER	WOOD	PAINT	CONC.	PLAS.	PAINT	WOOD	PAINT	CONC.	PAINT	8'-0"	
A 10	HEATER ROOM	CONC.	SEALER			CONC.	PLAS.	PAINT	WOOD	PAINT	CONC.	PAINT	10'-0"	
A 11	STORAGE RMS.	CONC.	SEALER			CONC.	FLYWOOD.	PLAS.	WOOD	PAINT	CONC.	PAINT	8'-0"	SEE DOOR (D) DETAIL SHEET A10
A 12	PASSAGE #2	CONC.	SEALER			CONC.	FLYWOOD.	PAINT	WOOD	PAINT	CONC.	PAINT	8'-0"	
A 13	LAUNDRY	CONC.	SEALER			CONC.	FLYWOOD.	PAINT	WOOD	PAINT	CONC.	PAINT	8'-0"	
A 14	STORAGE RMS.	CONC.	SEALER			CONC.	FLYWOOD.	PAINT	WOOD	PAINT	CONC.	PAINT	8'-0"	SEE DOOR (D) DETAIL SHEET A10
A 15	TRASH ROOM	CONC.	SEALER			CONC.	EXP.		WOOD	PAINT	CONC.	EXP.	8'-0"	SEE SH. A12 FOR GARBAGE CHUTE DETAILS
	ACCESS GALLERY	CONC.	SEALER			CONC.	EXP.		WOOD	PAINT	CONC.	EXP.	8'-0"	
	PRIV. BALCONIES	CONC.	SEALER			CONC.	EXP.		WOOD	PAINT	CONC.	EXP.	8'-0"	
	STAIR NO. 1	CONC.	SEALER			CONC.	EXP.		WOOD	PAINT	CONC.	EXP.	8'-0"	
	STAIR NO. 2	CONC.	SEALER			CONC.	EXP.		WOOD	PAINT	CONC.	EXP.	8'-0"	

SCHEDULE OF FINISHES BLDG. TYPE "A-L"



DOOR SCHEDULE
SEE SHEET A10 FOR DETAILS

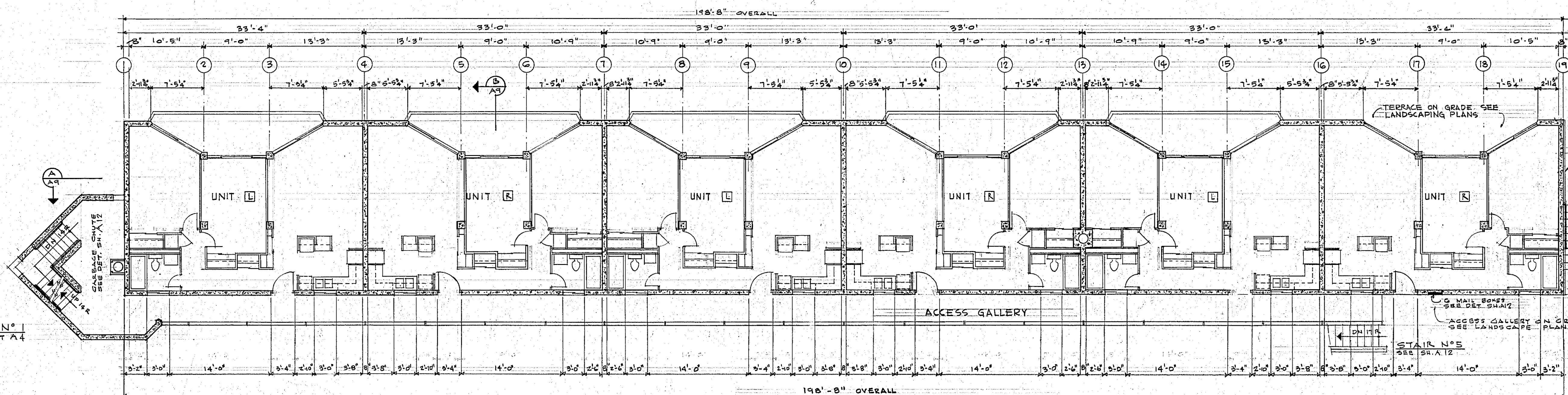


ROOF PLAN
1/8" = 1'-0"
(SEE MECHANICAL DWGS FOR ALL VENT LOCATIONS)

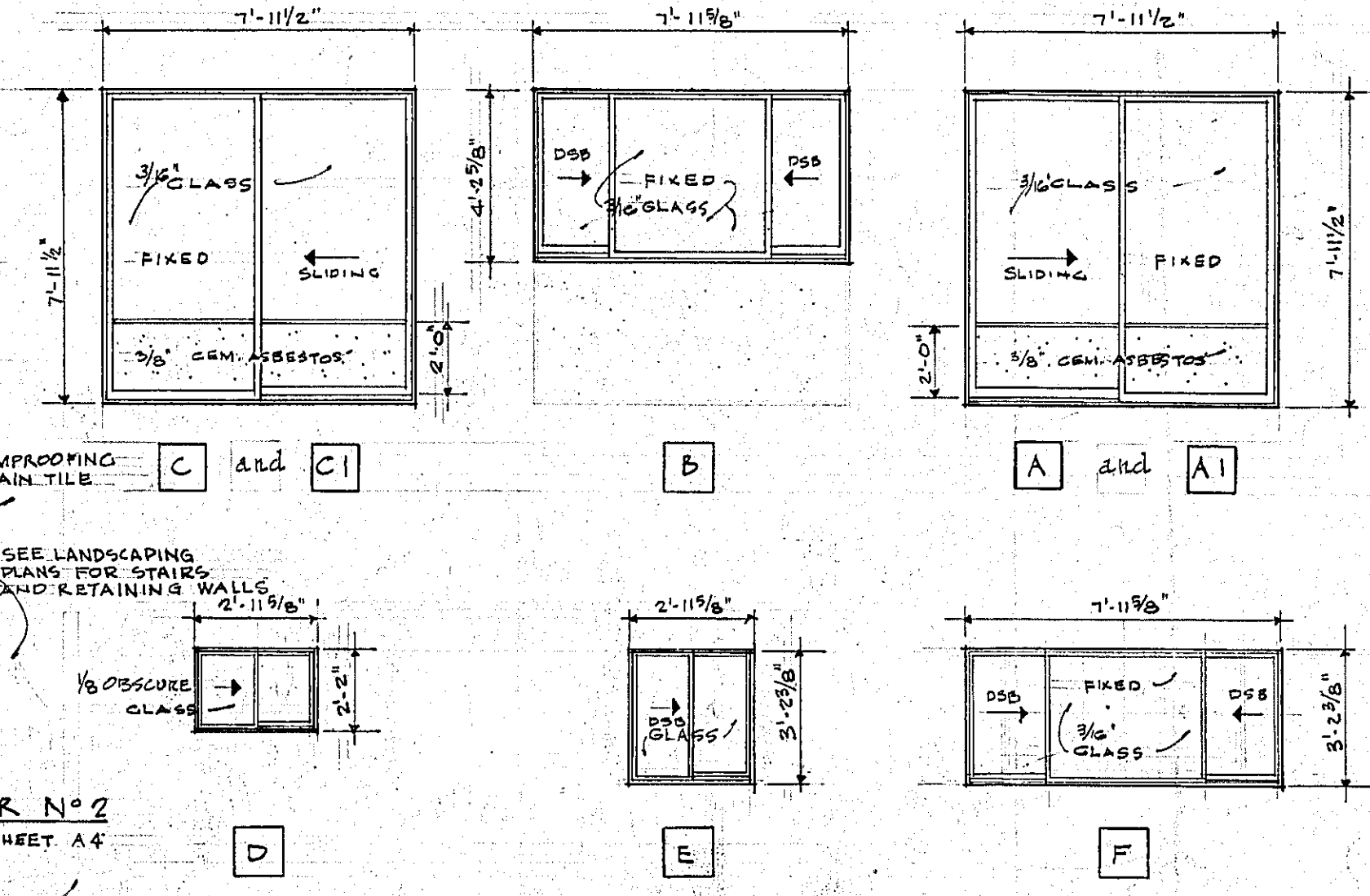
NOTE: SEE CIVIL ENGINEERING DRAWINGS FOR EXTENT OF DRAIN TILE

REVISION	DATE	DESCRIPTION

JOHN CARL WARNECKE AIA ARCHITECT	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA		
AARON G. GREEN AIA ARCHITECT			
HOUSING AUTHORITY OF THE COUNTY OF MARIN	LOW RENT HOUSING PROJECT NO. CAL 52-1		
	BUILDING TYPE "A-L"		
	FLOOR PLANS AT FIRST, SECOND AND THIRD LEVELS		
	SCHEDULE OF FINISHES		
	DOOR SCHEDULE		
CONSULTANT	DATE	JOHN CARL WARNECKE AIA	JOB NO.
	11-3-58	AARON G. GREEN AIA	57-4
		ASSOCIATED ARCHITECTS	DWG. NO.
			A-1
DRAWN			
RICHARD GIBSON		111 NEW MONTGOMERY ST. SAN FRANCISCO 9	SAN FRANCISCO 9 OP 21

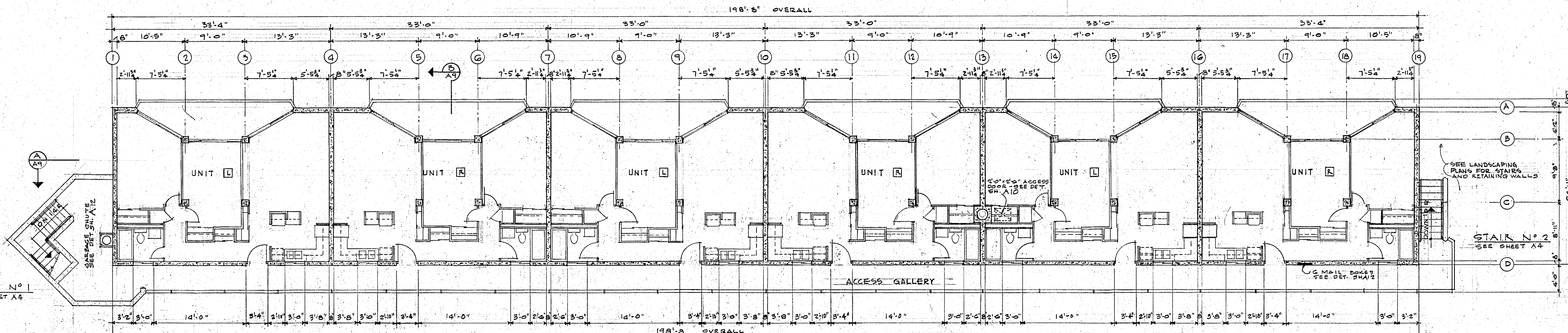


BUILDING TYPE "A"
FLOOR PLAN AT FOURTH LEVEL 1/8" = 1'-0"

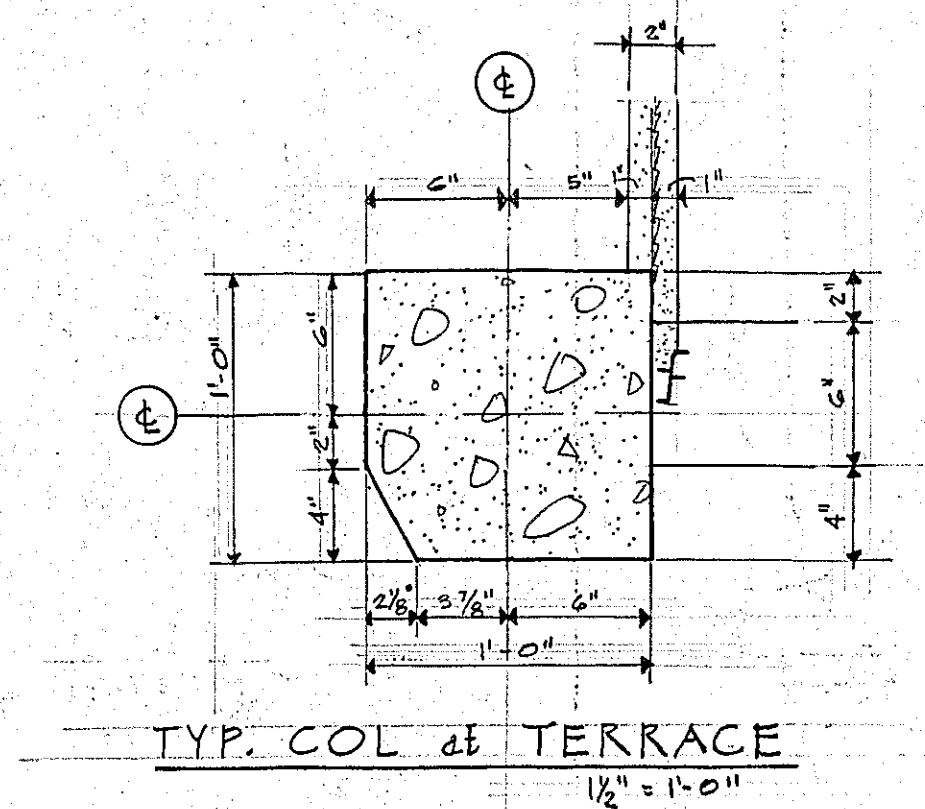


WINDOW SCHEDULE
SEE SHEET A9 FOR DETAILS

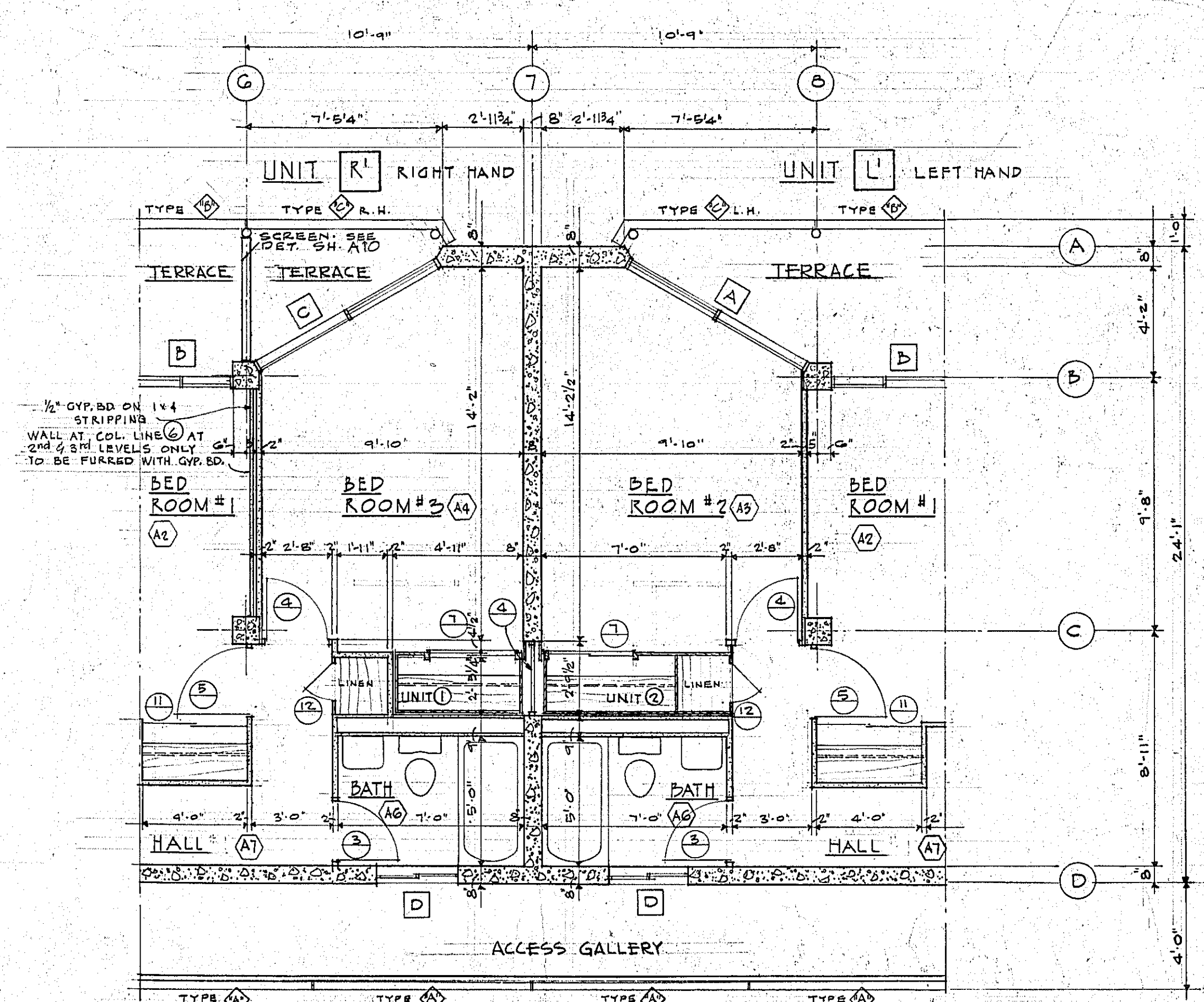
NOTE: A1 and C1 ARE TO BE FINISHED WITH SLIDING SCREEN DOORS. APARTMENTS REQUIRING SCREENS ARE AS FOLLOWS:
FIRST LEVEL: BETWEEN COLS. ①, ④ and ④, ⑦
SECOND LEVEL: BETWEEN COLS. ⑦, ⑩
FOURTH LEVEL: BETWEEN COLS. ⑩, ⑬



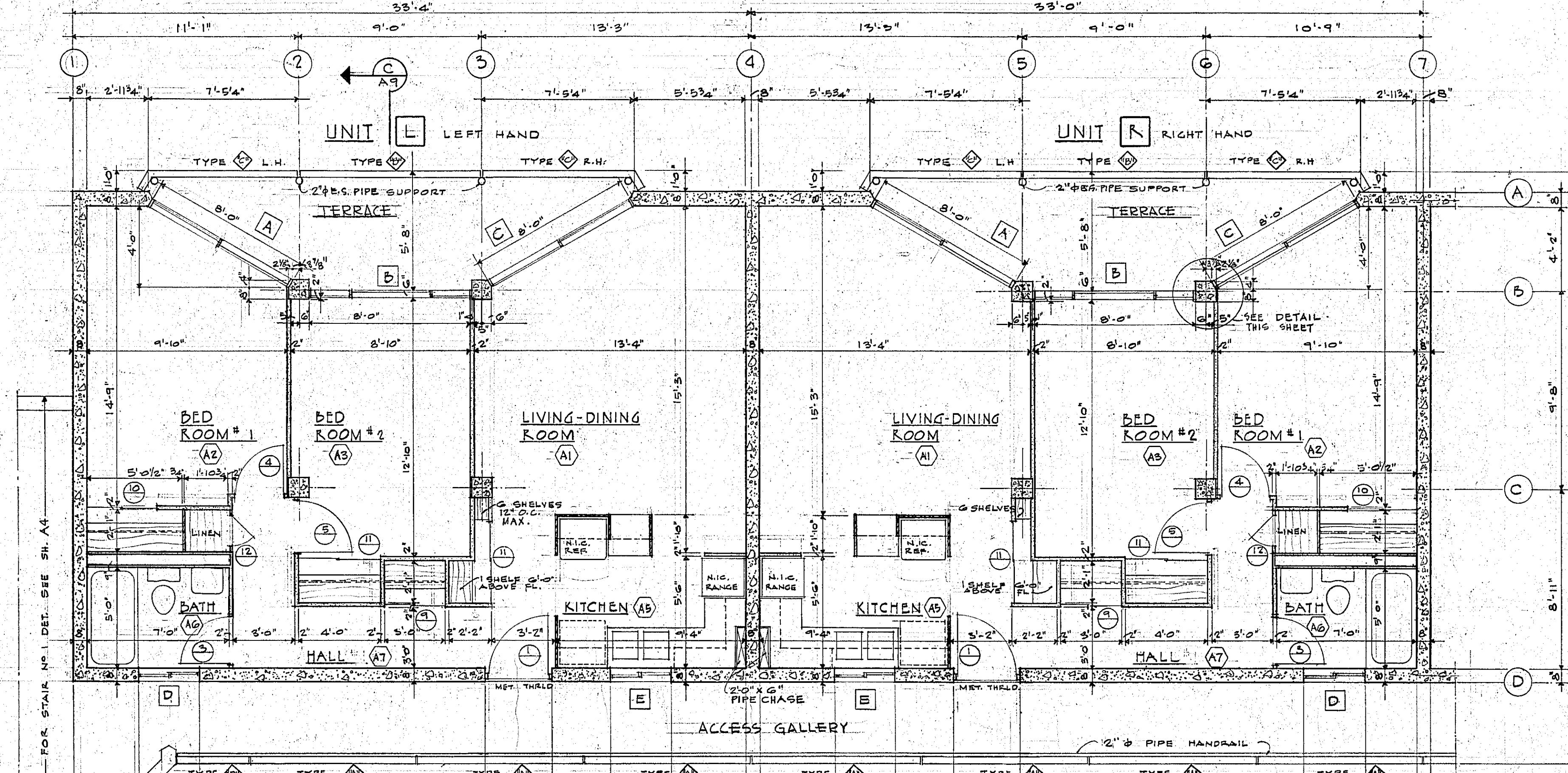
BUILDING TYPE "A"
FLOOR PLAN AT FIFTH LEVEL 1/8" = 1'-0"



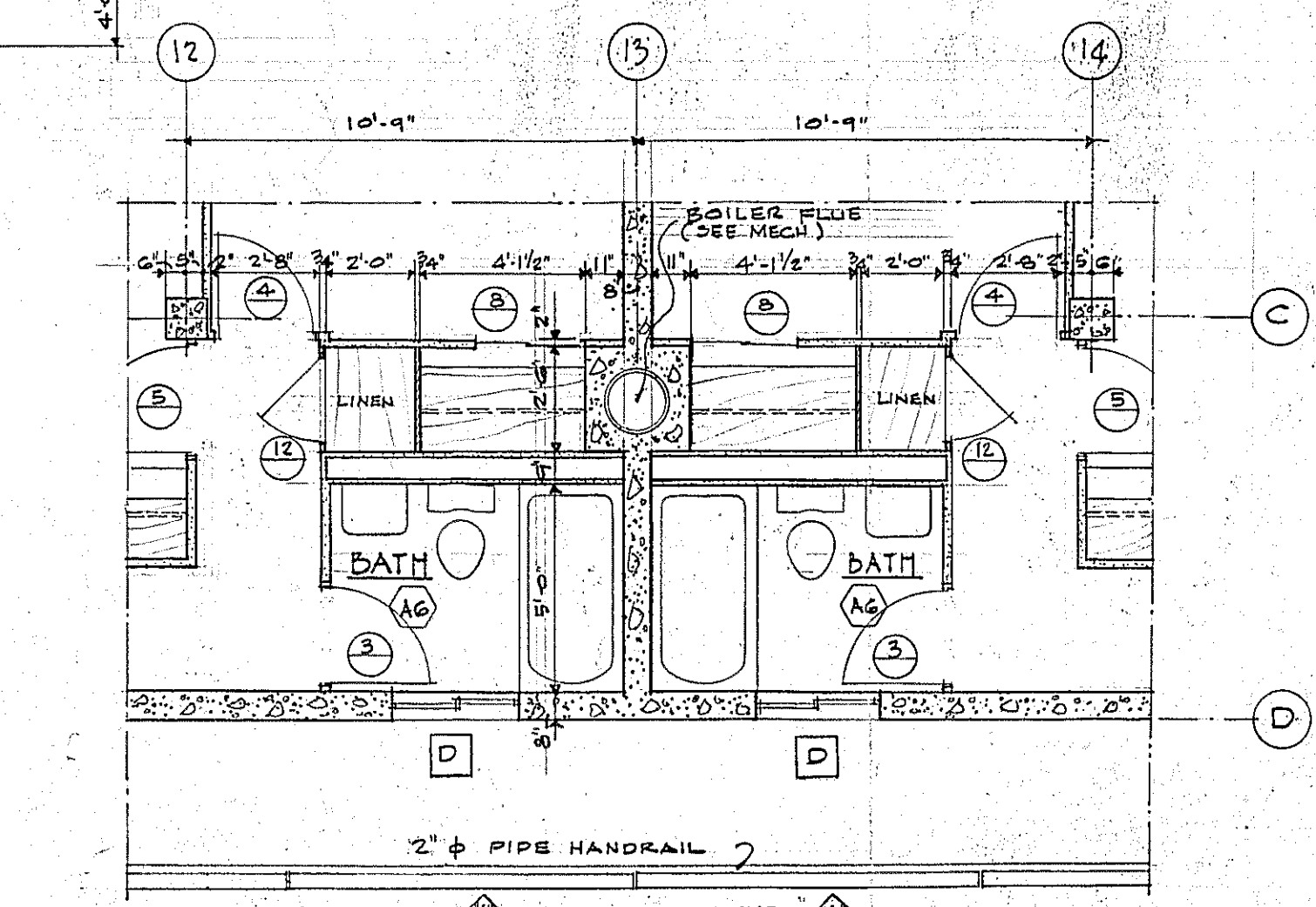
TYP. COL. & TERRACE
1/2" = 1'-0"



ONE BED ROOM APARTMENT
BUILDING TYPE "A"
APARTMENT CONVERSION PLAN 1/4" = 1'-0"
SECOND AND THIRD LEVELS ONLY
NOTE: SEE SHEET A11 FOR RELOCATION AND DETAILS OF MOVABLE STORAGE UNITS



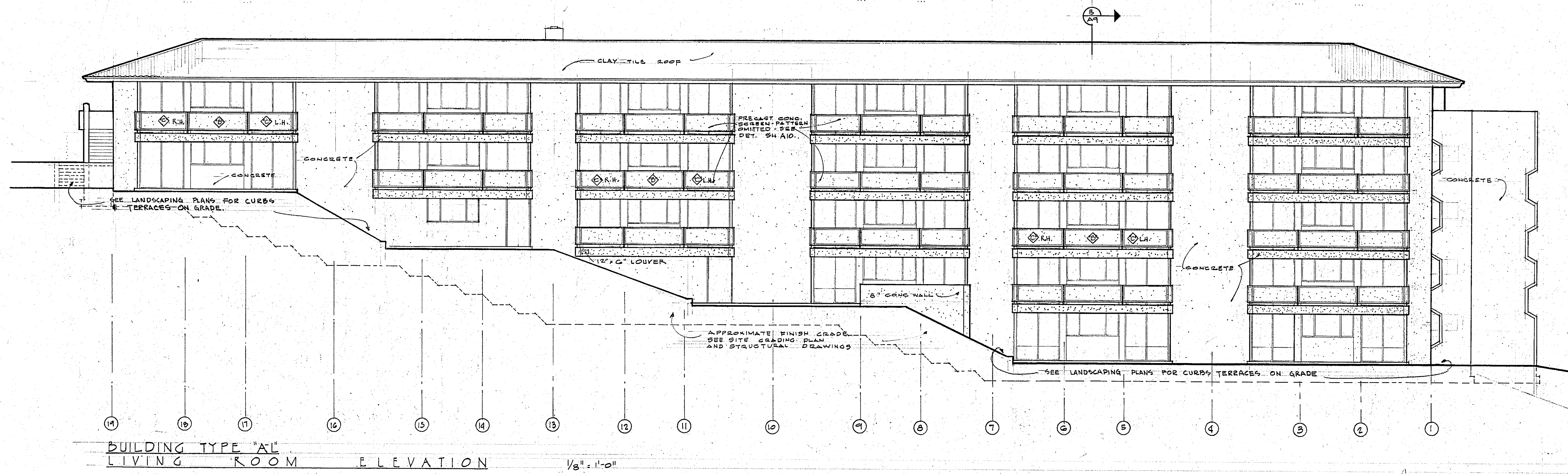
BUILDING TYPE "A"
TYPICAL FLOOR PLANS - UNIT L LEFT HAND & UNIT R RIGHT HAND 1/4" = 1'-0"



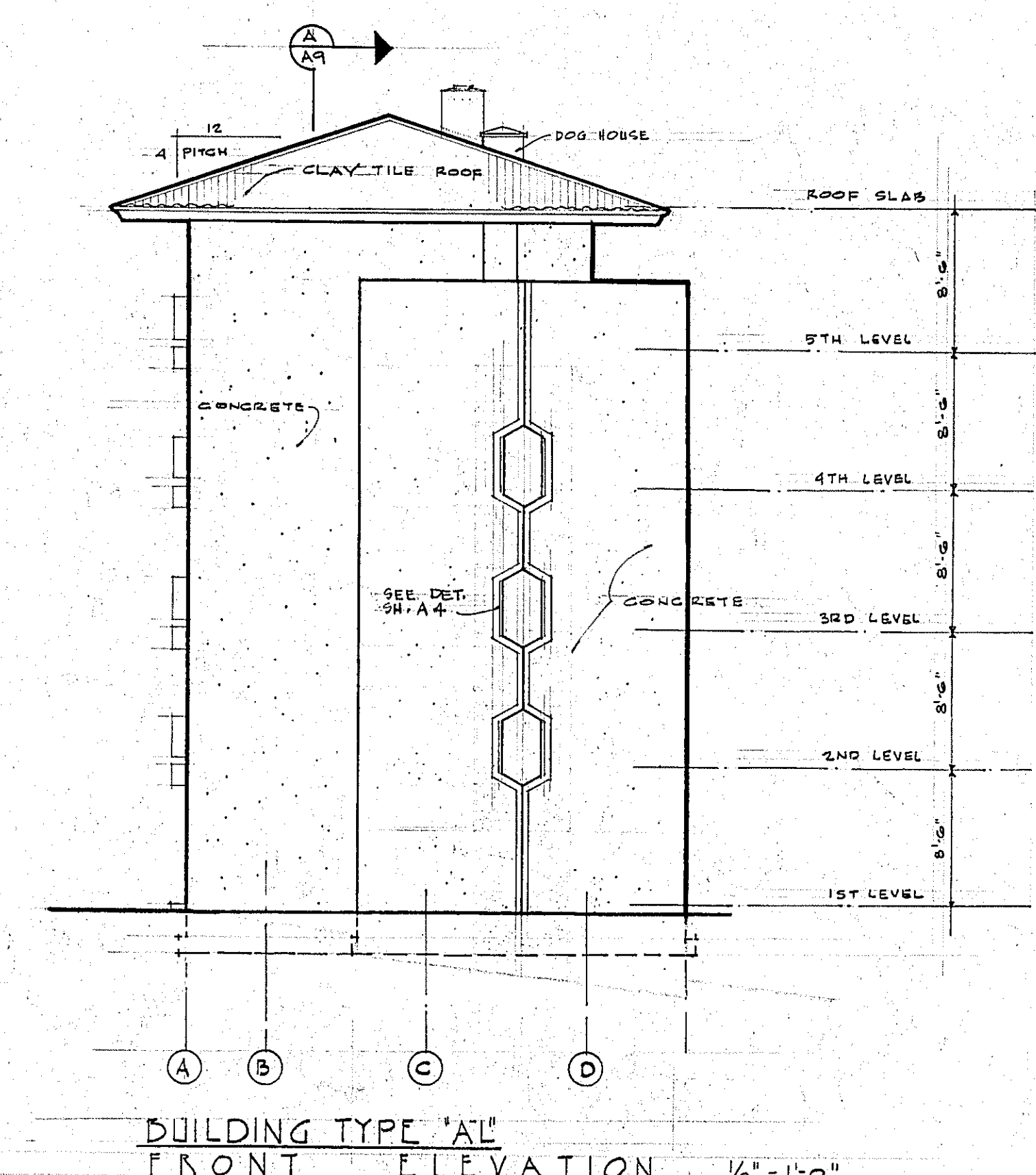
BUILDING TYPE "A"
PARTIAL PLAN LAYOUT AT BOILER STACK 1/4" = 1'-0"
THIRD, FOURTH AND FIFTH LEVELS ONLY

REVISION	DATE	DESCRIPTION

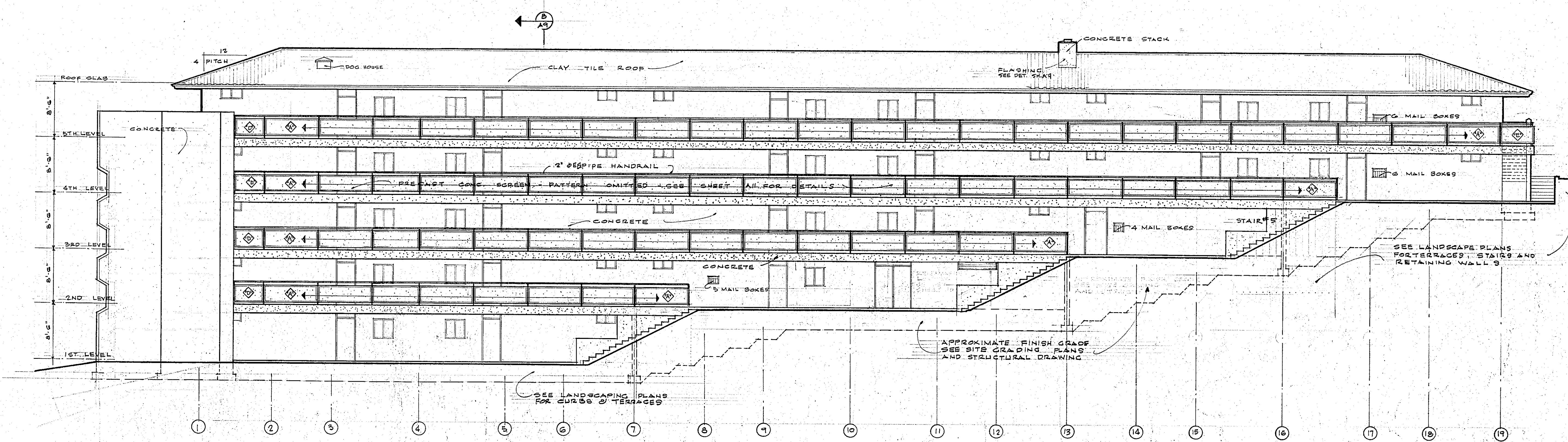
JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA LOW RENT HOUSING PROJECT NO. CAL. 52-1
<p>BUILDING TYPE "A" FLOOR PLANS AT FOURTH AND FIFTH LEVELS TYPICAL APARTMENT FLOOR PLANS WINDOW SCHEDULE</p>	
CONSULTANT	DATE: 11-5-55 DRAWN: RICHARD GIBSON
JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS	JOB NO. 57-4 DWG. NO. A-2 111 NEW MONTGOMERY ST. SAN FRANCISCO 5 SAN FRANCISCO 5 OF 21



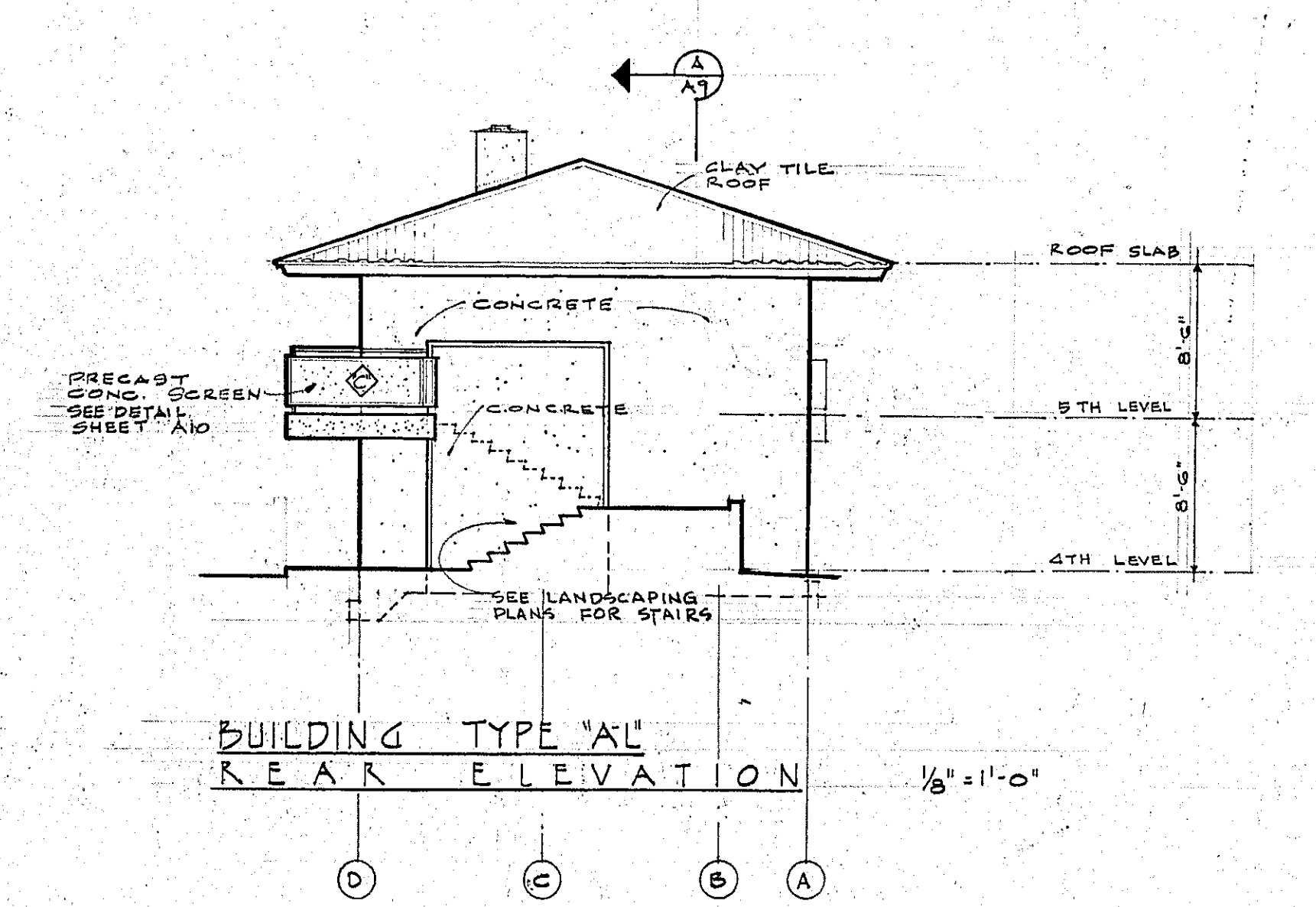
BUILDING TYPE "AL"
LIVING ROOM ELEVATION 1/8" = 1'-0"



BUILDING TYPE "AL"
FRONT ELEVATION 1/8" = 1'-0"



BUILDING TYPE "AL"
ACCESS ROOM ELEVATION 1/8" = 1'-0"



BUILDING TYPE "AL"
REAR ELEVATION 1/8" = 1'-0"

REVISION	DATE	DESCRIPTION

JOHN CARL WARNECKE AIA ARCHITECT
AARON G. GREEN AIA ARCHITECT
HOUSING AUTHORITY OF THE COUNTY OF MARIN

HOUSING AUTHORITY OF THE COUNTY OF MARIN
MARIN CITY, CALIFORNIA
LOW RENT HOUSING PROJECT NO. CAL. 52-1

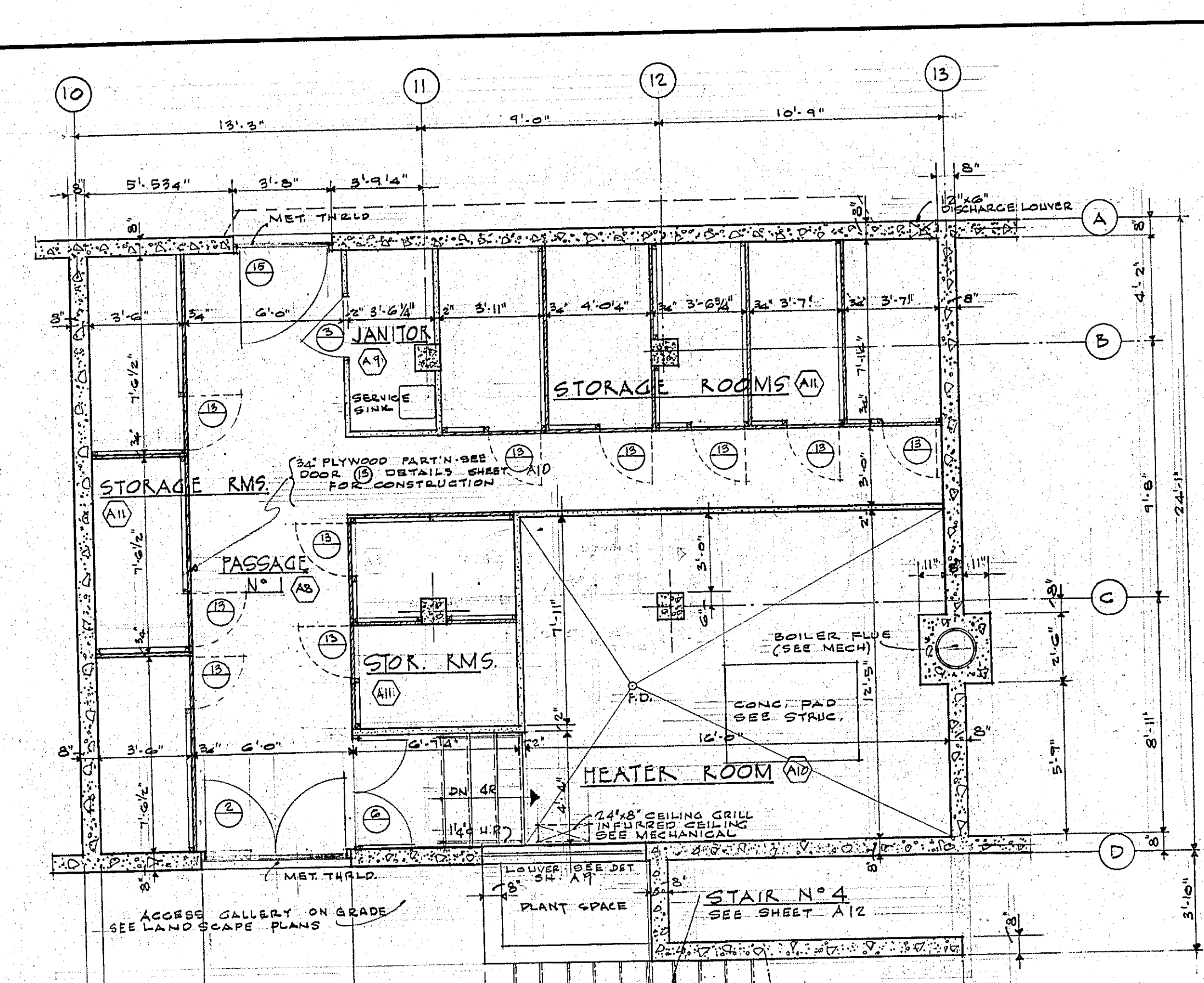
0 5 10 20

BUILDING TYPE "AL"

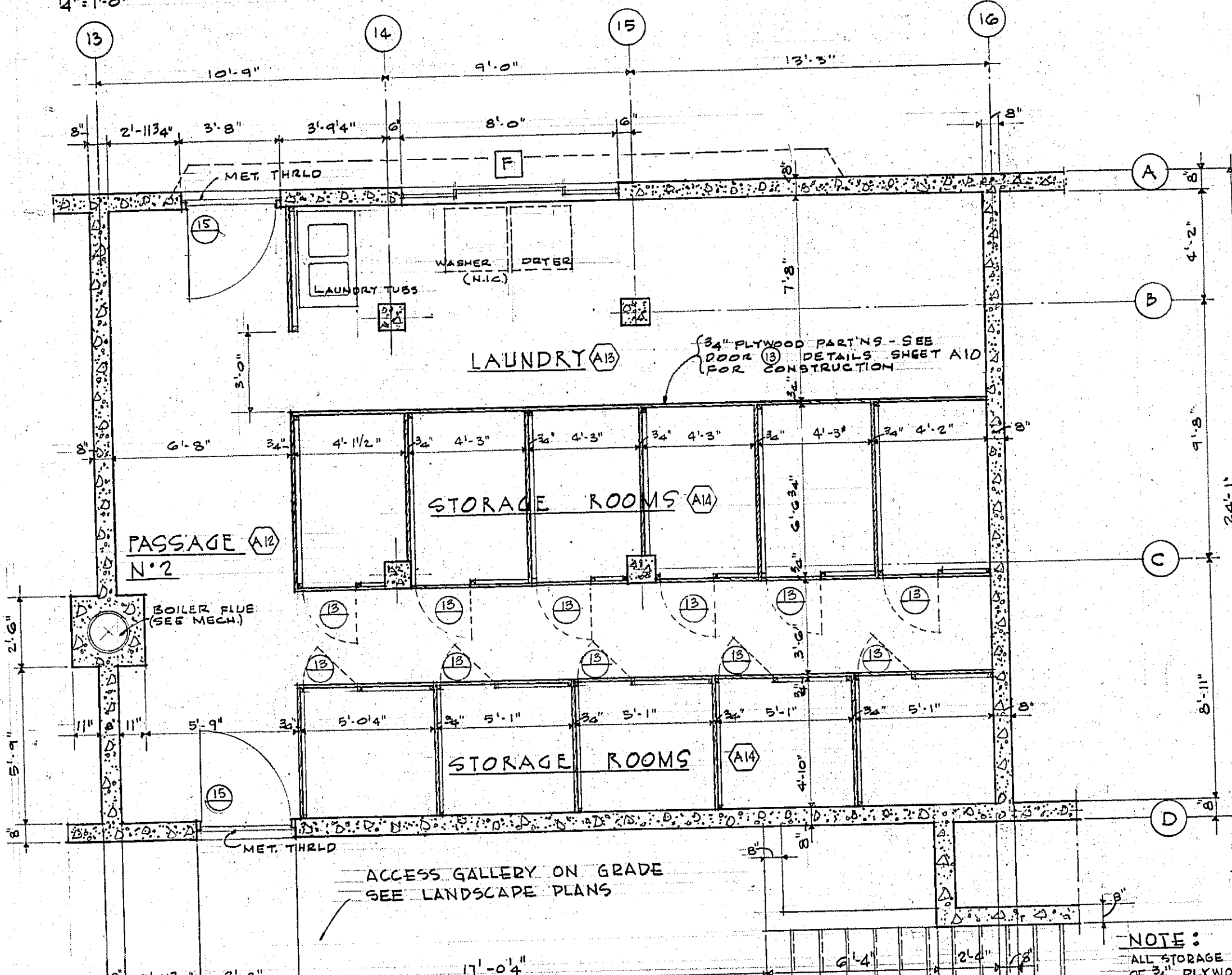
ELEVATIONS

CONSULTANT	DATE 11-8-58	JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS	JOB NO. 57-4
	DRAWN RICHARD GILSON		DWG. NO. A-3

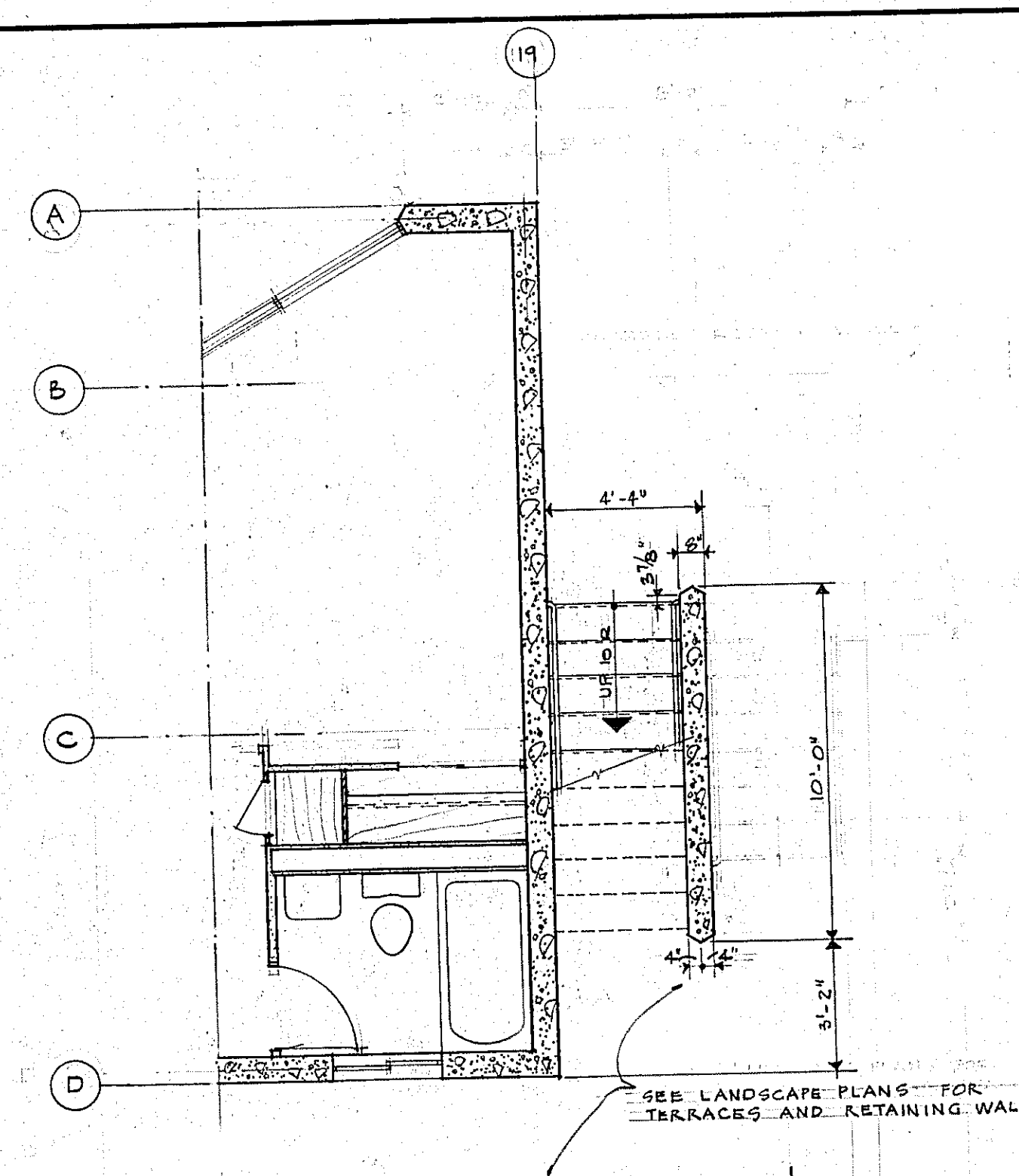
111 NEW MONTGOMERY ST.
310 GRANT AVE. SAN FRANCISCO 8



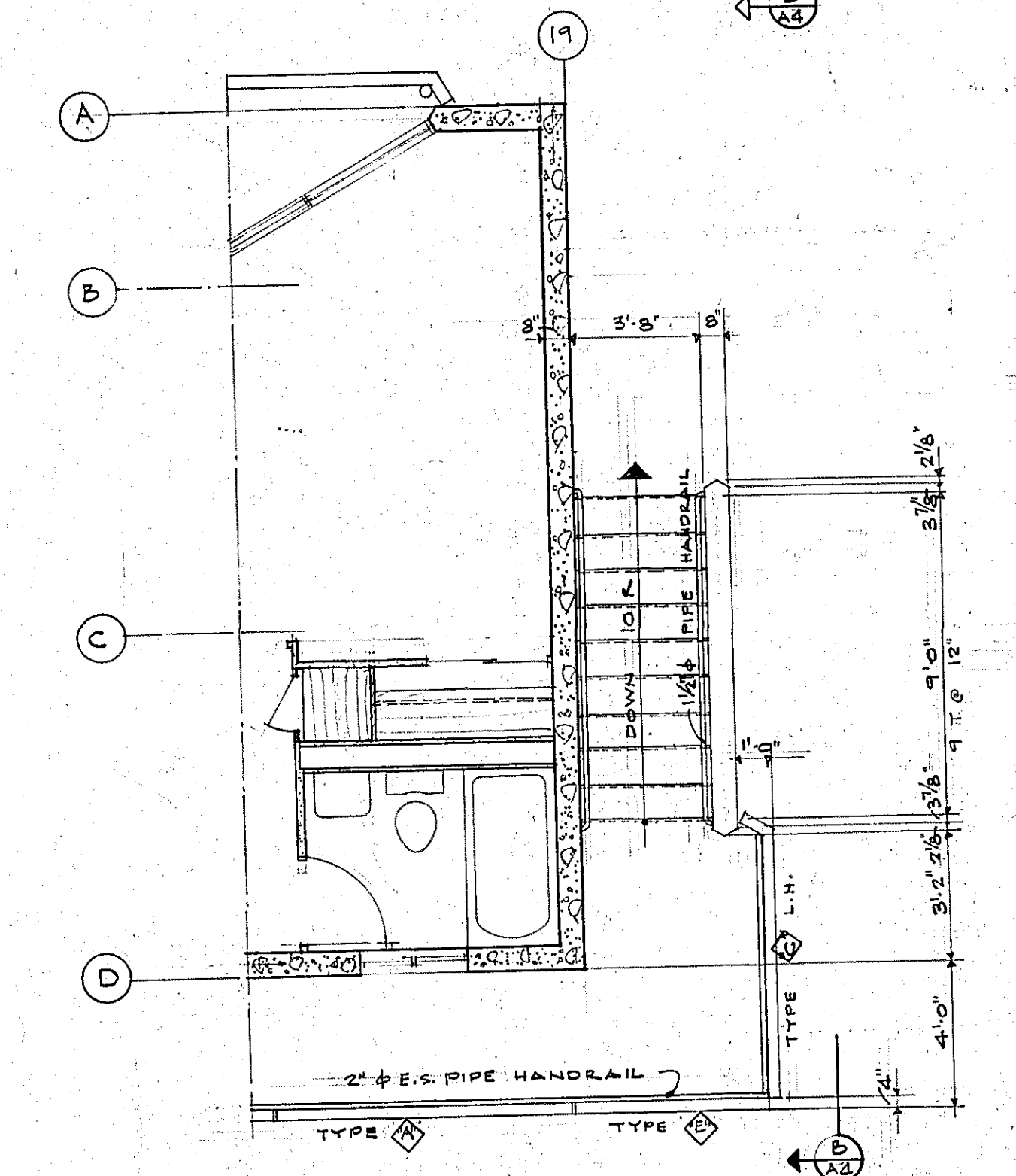
BUILDING TYPE 'A'
PLAN OF BOILER ROOM AND STORAGE ROOMS - SECOND LEVEL
1/4" = 1'-0"



BUILDING TYPE 'A'
PLAN OF LAUNDRY AND STORAGE ROOMS - THIRD LEVEL
1/4" = 1'-0"

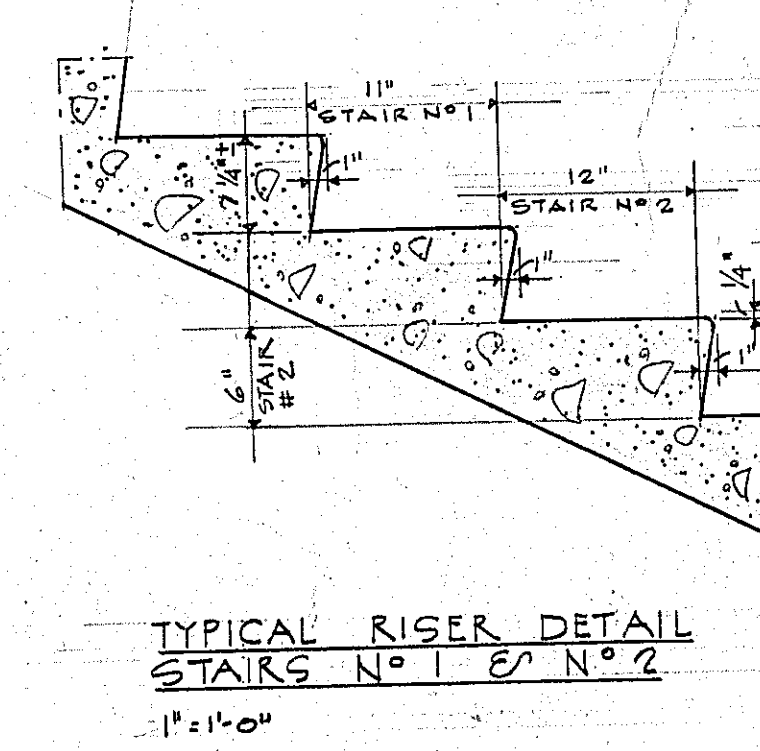


FOURTH LEVEL PLAN
1/4" = 1'-0"

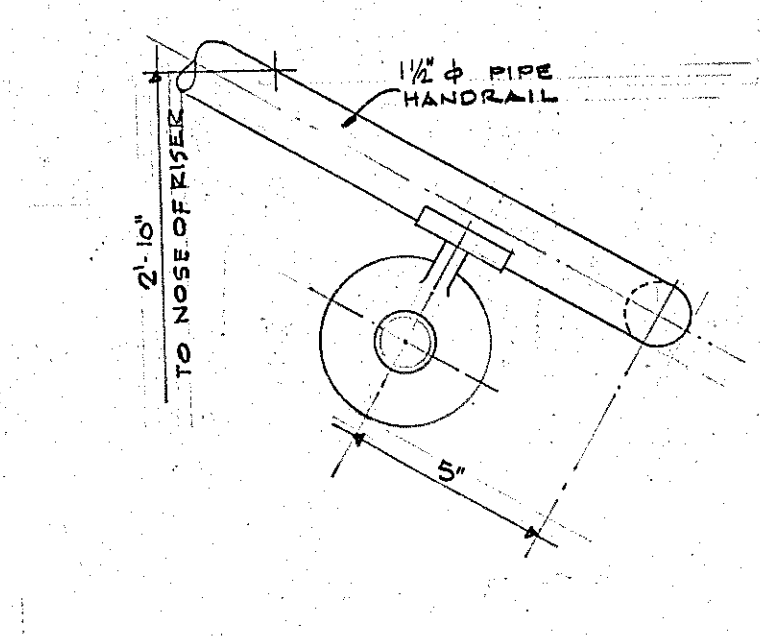


FIFTH LEVEL PLAN
1/4" = 1'-0"

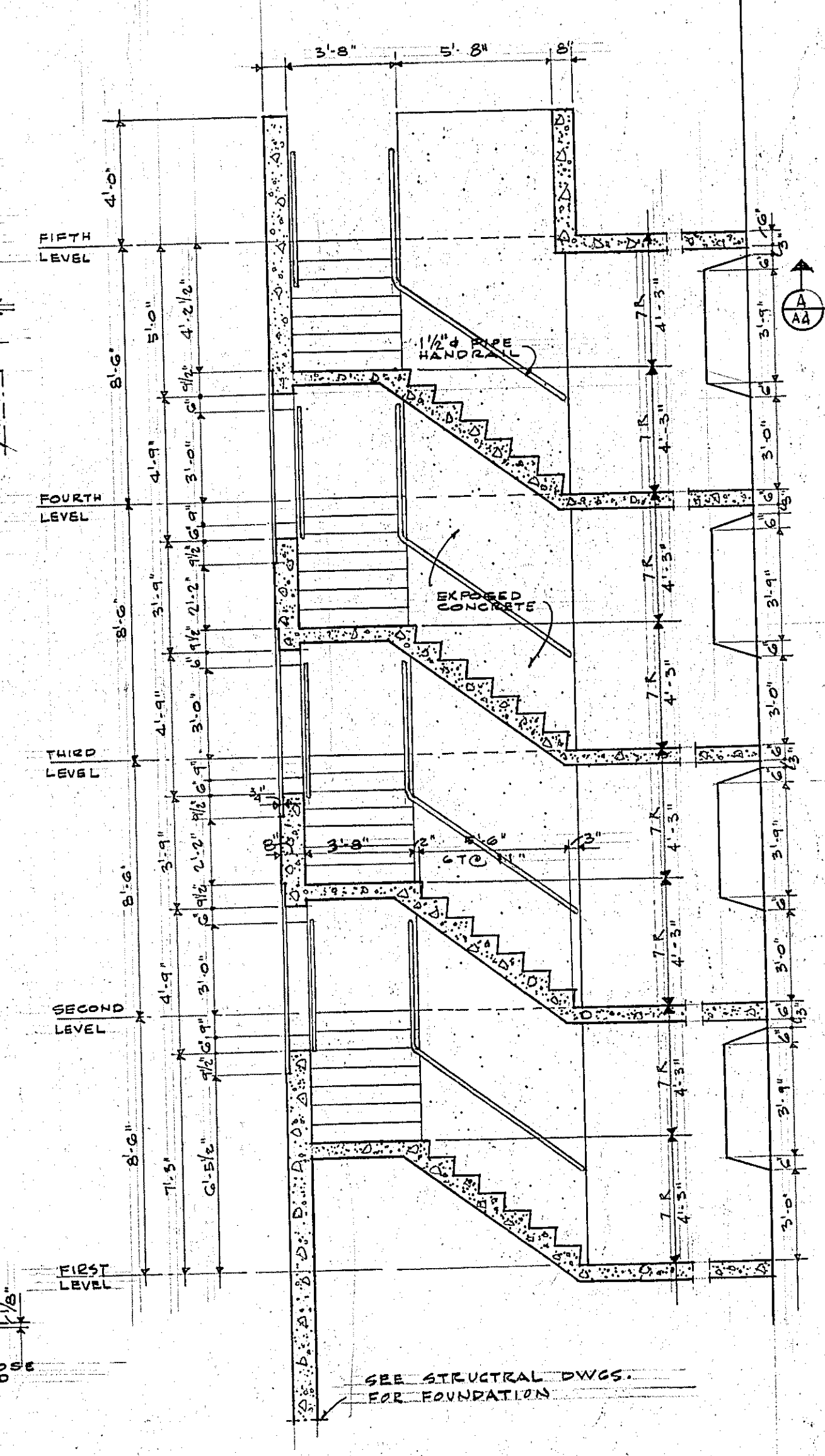
BUILDING TYPE 'A'
STAIR NUMBER TWO DETAILS
1/4" = 1'-0"



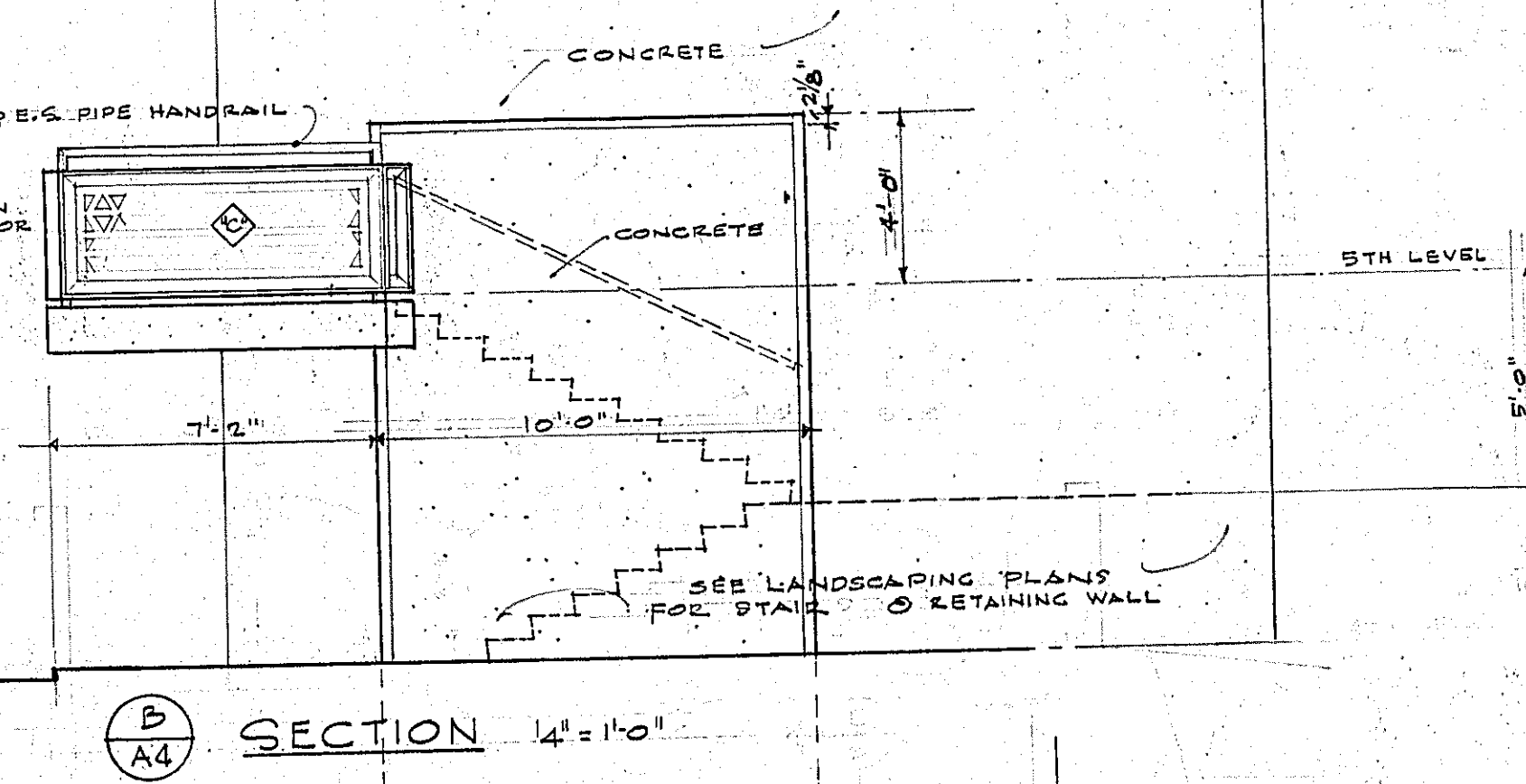
TYPICAL RISER DETAIL
STAIRS NO. 1 & NO. 2
1" = 1'-0"



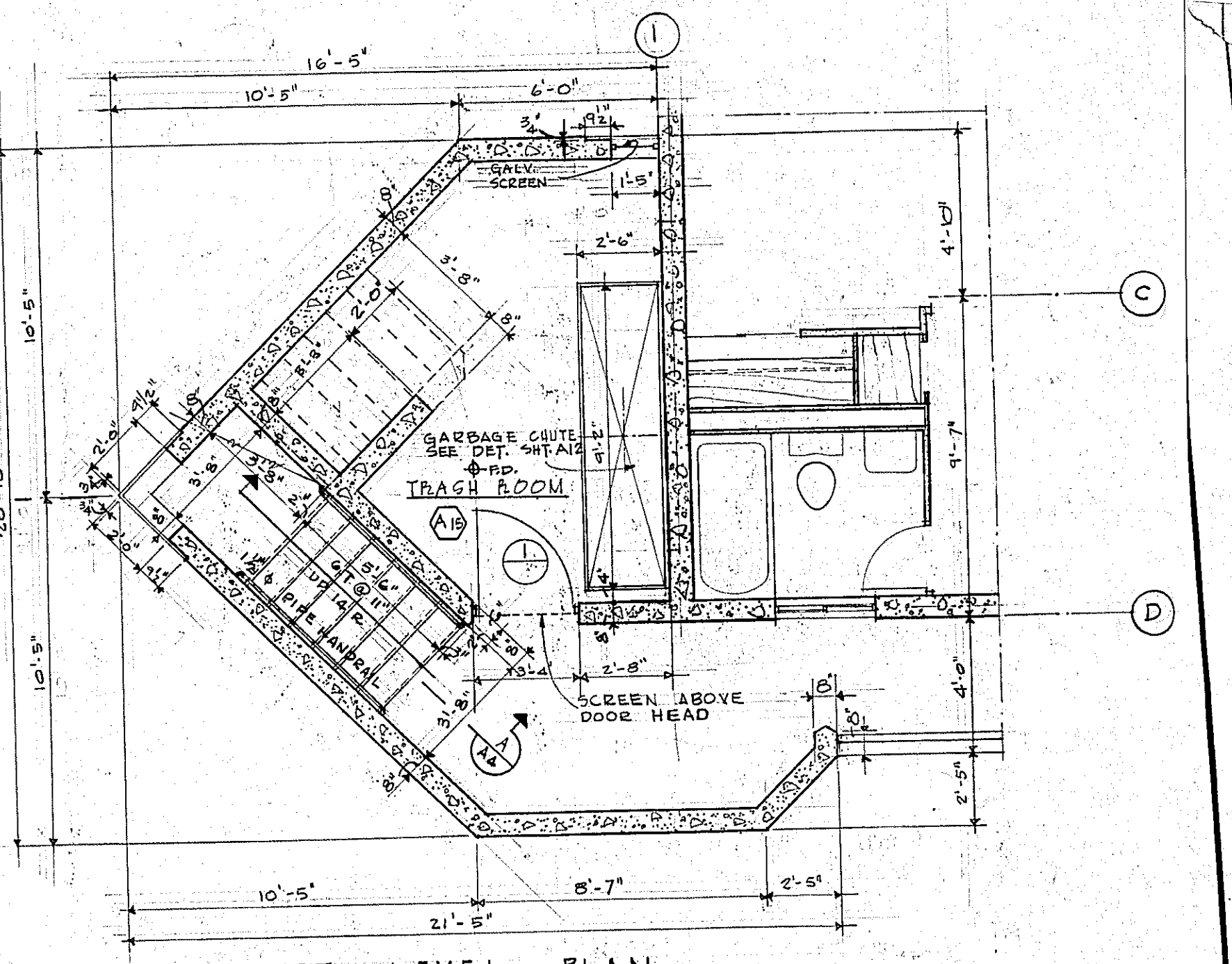
WALL MOUNTED
HANDRAIL DETAIL
3/8" = 1'-0"



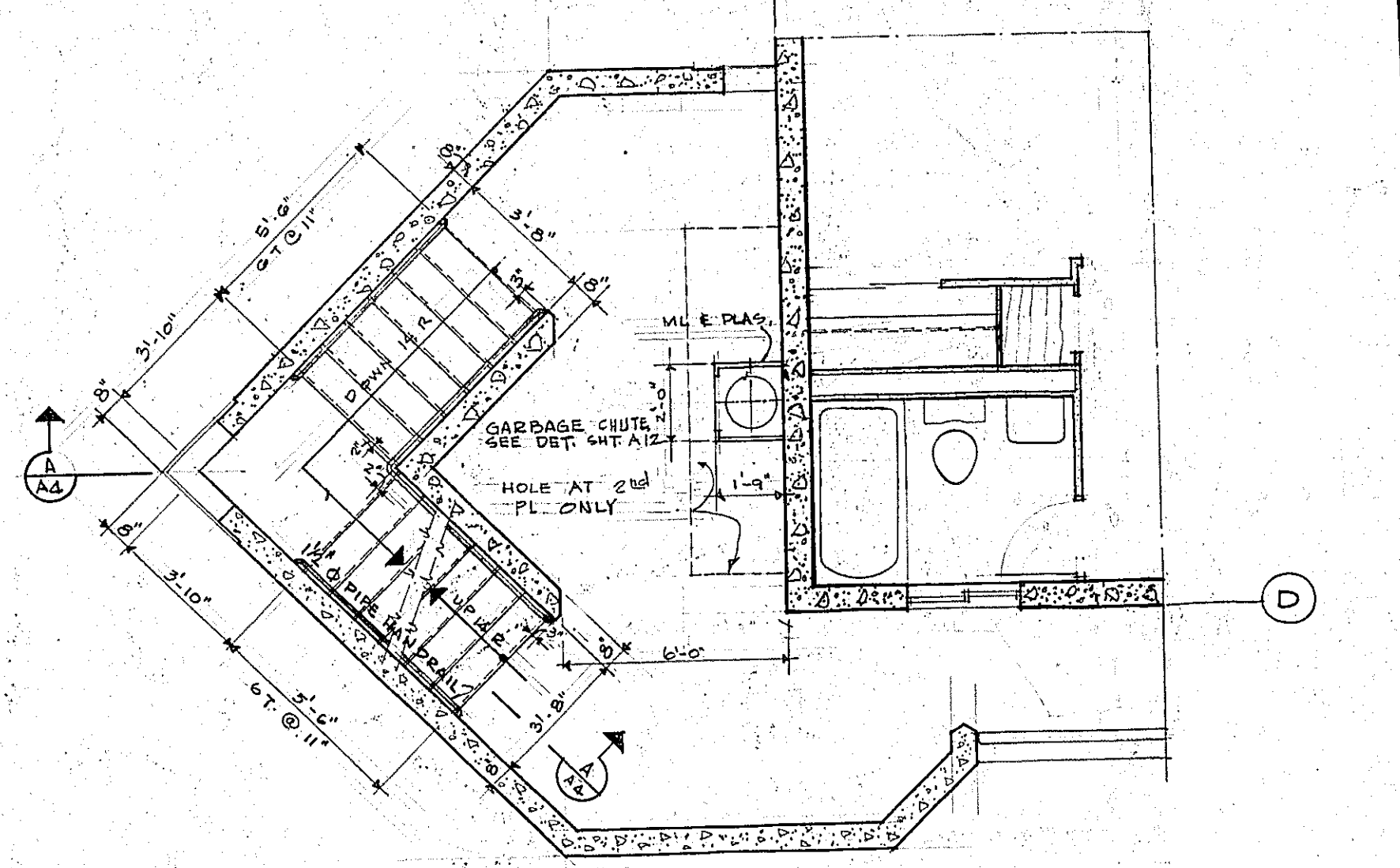
SECTION
A-A
1/4" = 1'-0"



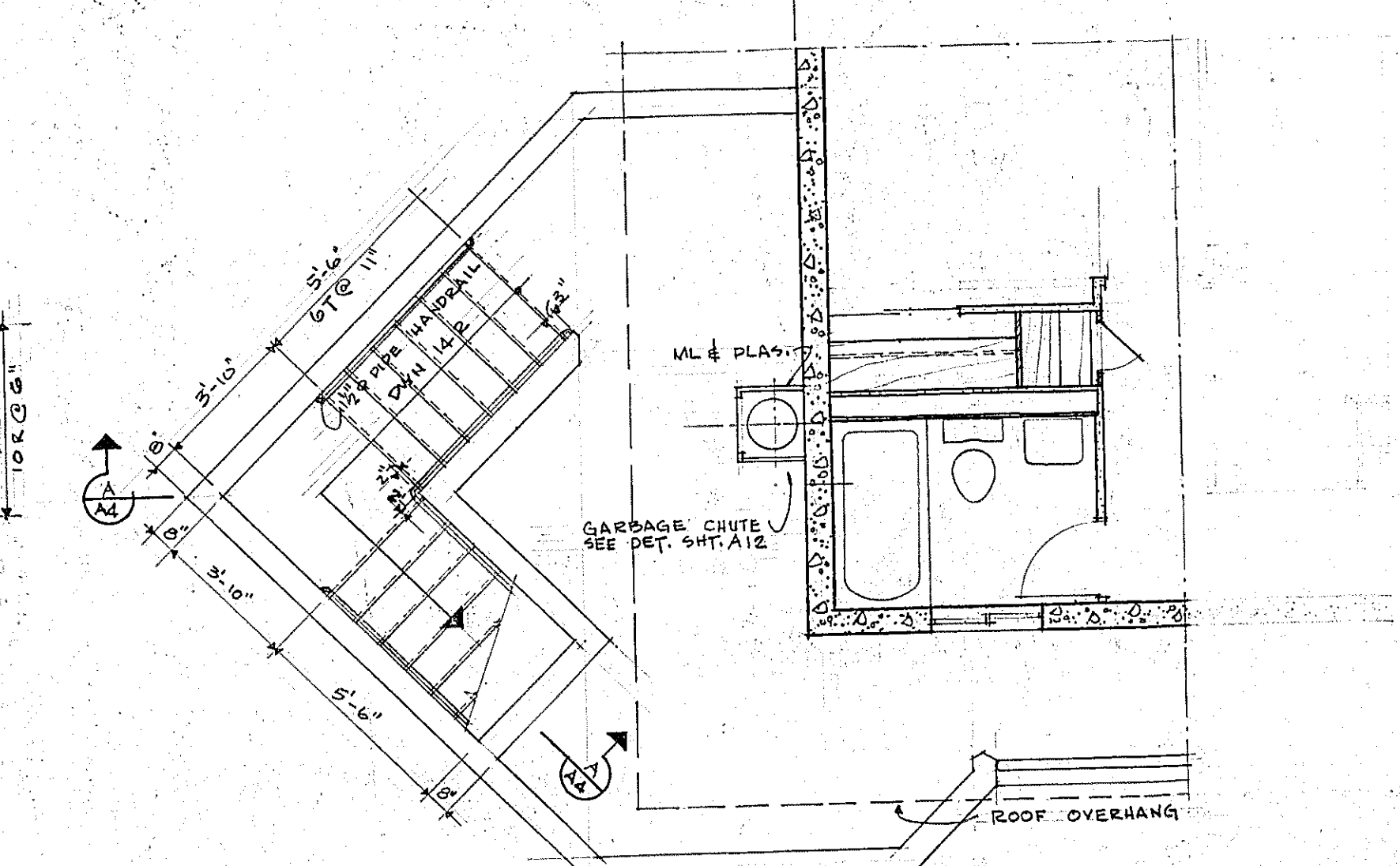
SECTION
B-A
1/4" = 1'-0"



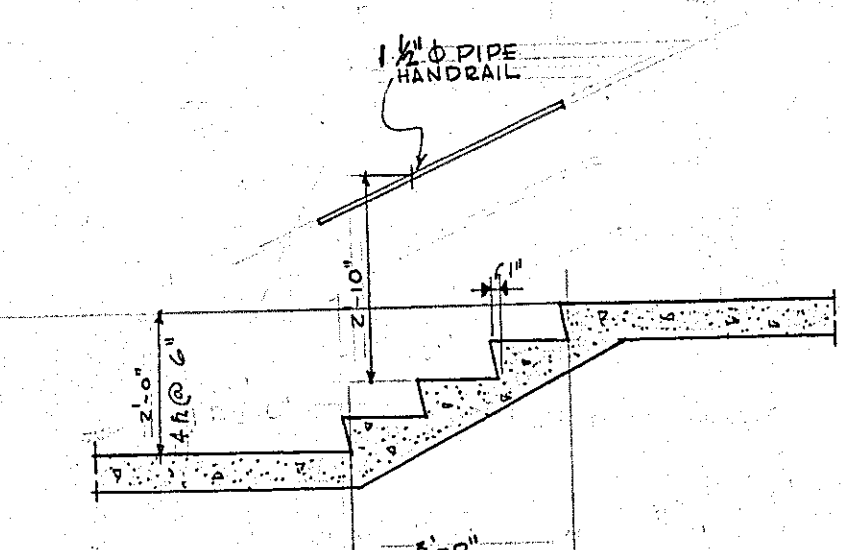
FIRST LEVEL PLAN
1/4" = 1'-0"



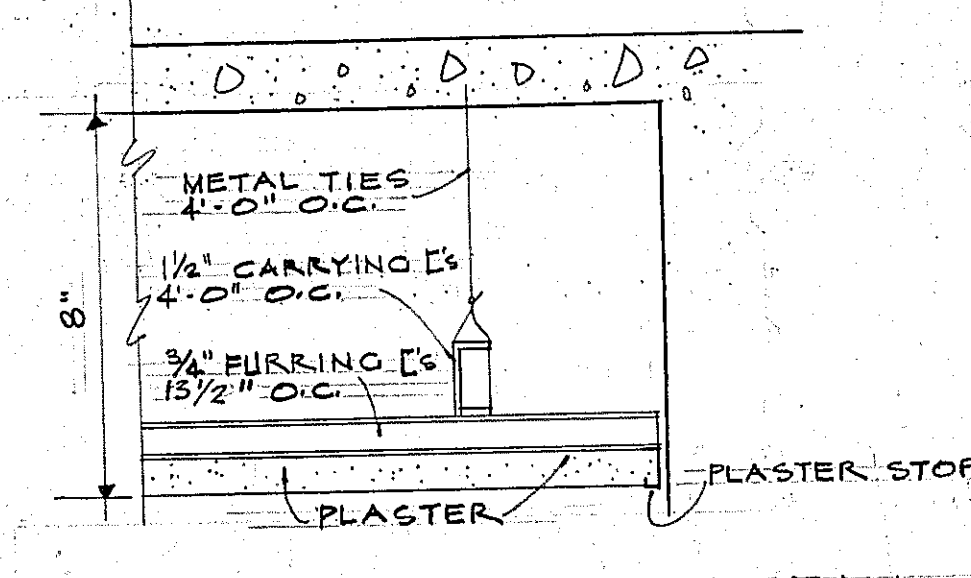
SECOND THRU FOURTH LEVEL PLAN
1/4" = 1'-0"



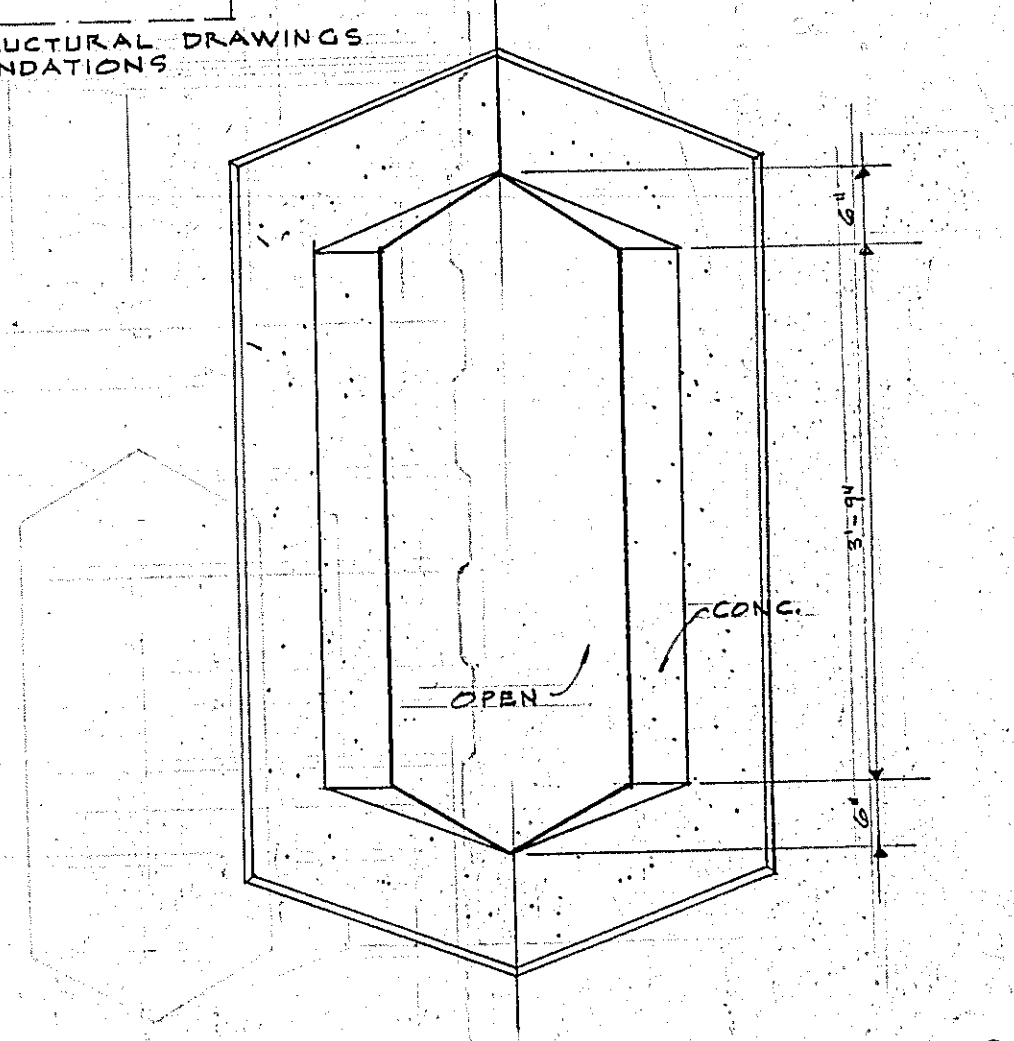
FIFTH LEVEL PLAN
BUILDING TYPE 'A'
STAIR NUMBER ONE DETAILS
1/4" = 1'-0"



BUILDING TYPE 'A'
BOILER ROOM STEPS
3/8" = 1'-0"



FURROWED CEILING DETAIL
HEATER ROOM ONLY
3/8" = 1'-0"



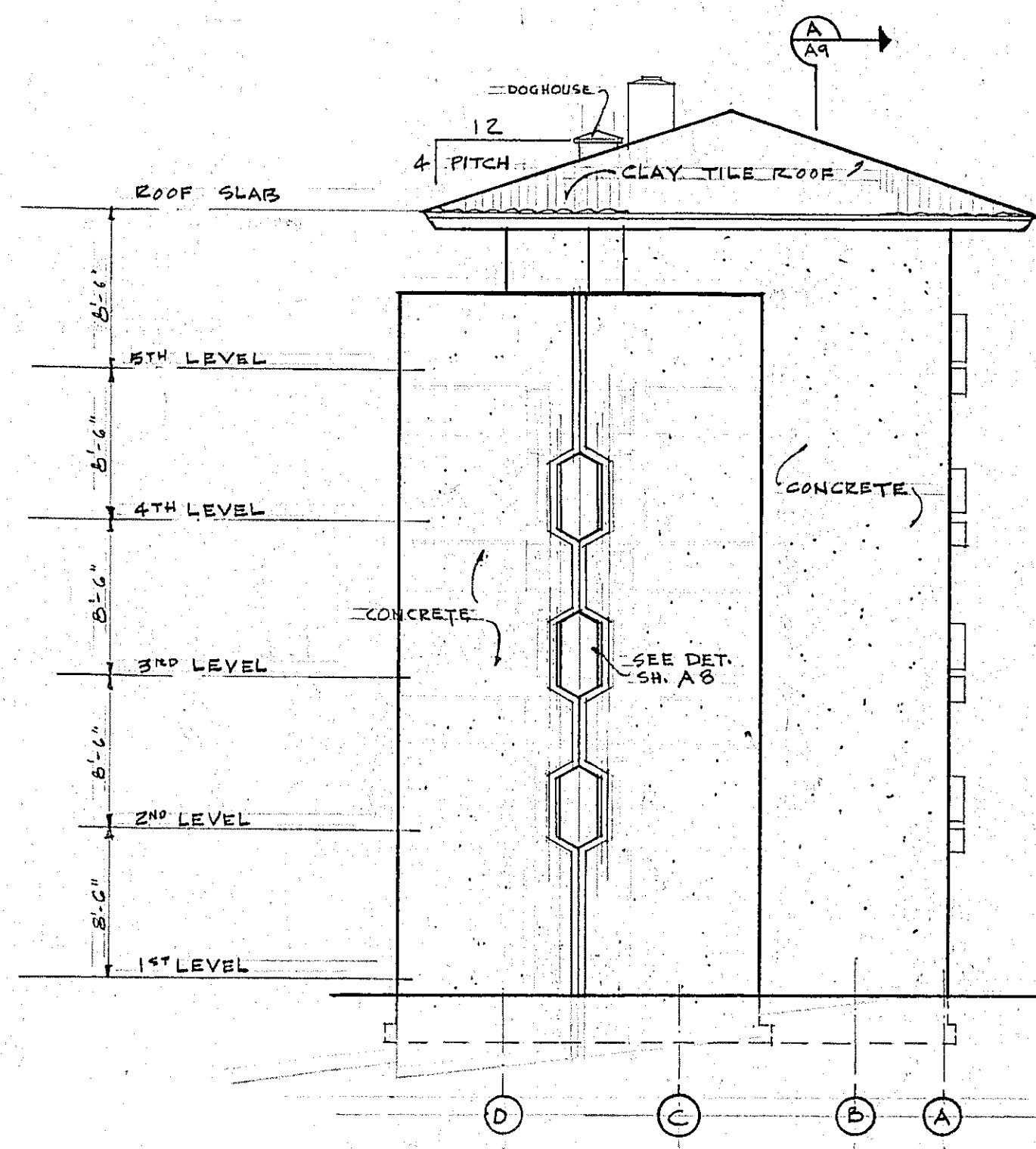
DETAIL PIERCED CONC. PATTERN STAIR NO. 1
3/4" = 1'-0"

REVISION	DATE	DESCRIPTION
1		JOHN CARL WARNECKE AIA ARCHITECT
2		AARON G. GREEN AIA ARCHITECT
3		HOUSING AUTHORITY OF THE COUNTY OF MARIN

HOUSING AUTHORITY OF THE COUNTY OF MARIN
 MARIN CITY, CALIFORNIA
 LOW RENT HOUSING PROJECT NO. CAL. 52-1

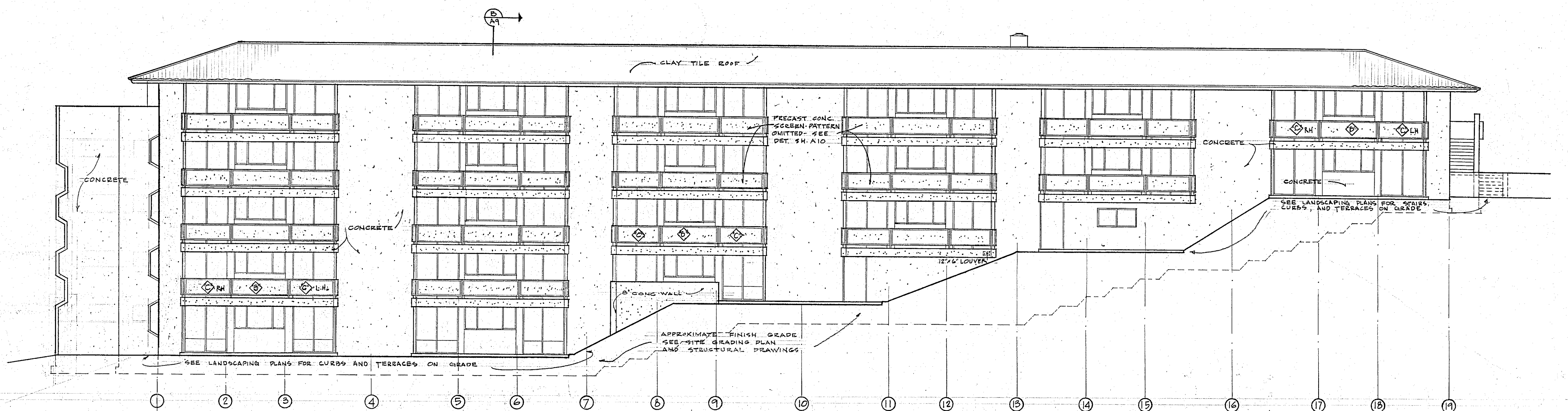
BUILDING TYPE 'A'
 HEATER ROOM, LAUNDRY ROOM AND
 STORAGE ROOMS FLOOR PLANS
 STAIRS NO. 1 AND NO. 2 DETAILS

DATE: 11-8-58
 DRAWN: RICHARD GIBSON
 CONSULTANT: JOHN CARL WARNECKE AIA, AARON G. GREEN AIA ASSOCIATED ARCHITECTS
 111 NEW MONTGOMERY ST., SAN FRANCISCO 9
 216 GRANT AVE., SAN FRANCISCO 9
 JOB NO. 57-4
 DWG. NO. A-4
 OF 2-1



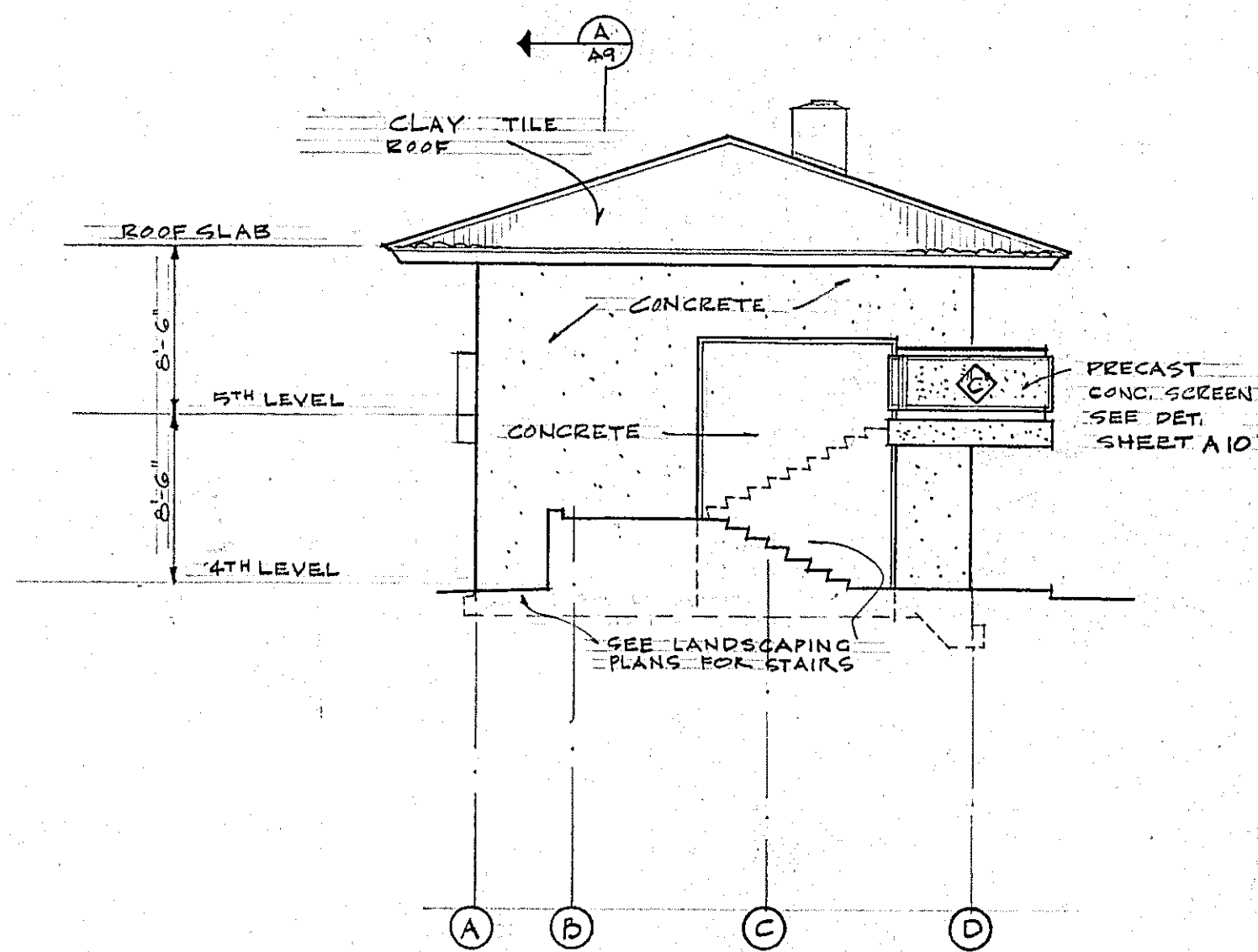
BUILDING TYPE 'A2'
FRONT ELEVATION

1/8" = 1'-0"



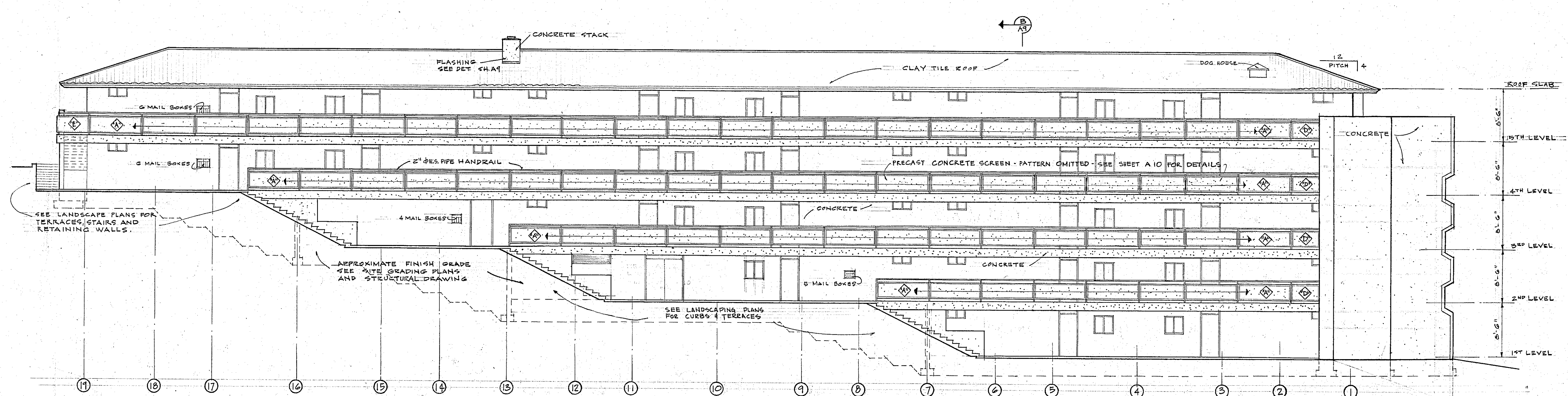
BUILDING TYPE 'A2'
LIVING ROOM ELEVATION

1/8" = 1'-0"



BUILDING TYPE 'A2'
REAR ELEVATION

1/8" = 1'-0"



BUILDING TYPE 'A2'
ACCESS ELEVATION

1/8" = 1'-0"

REVISION	DATE	DESCRIPTION

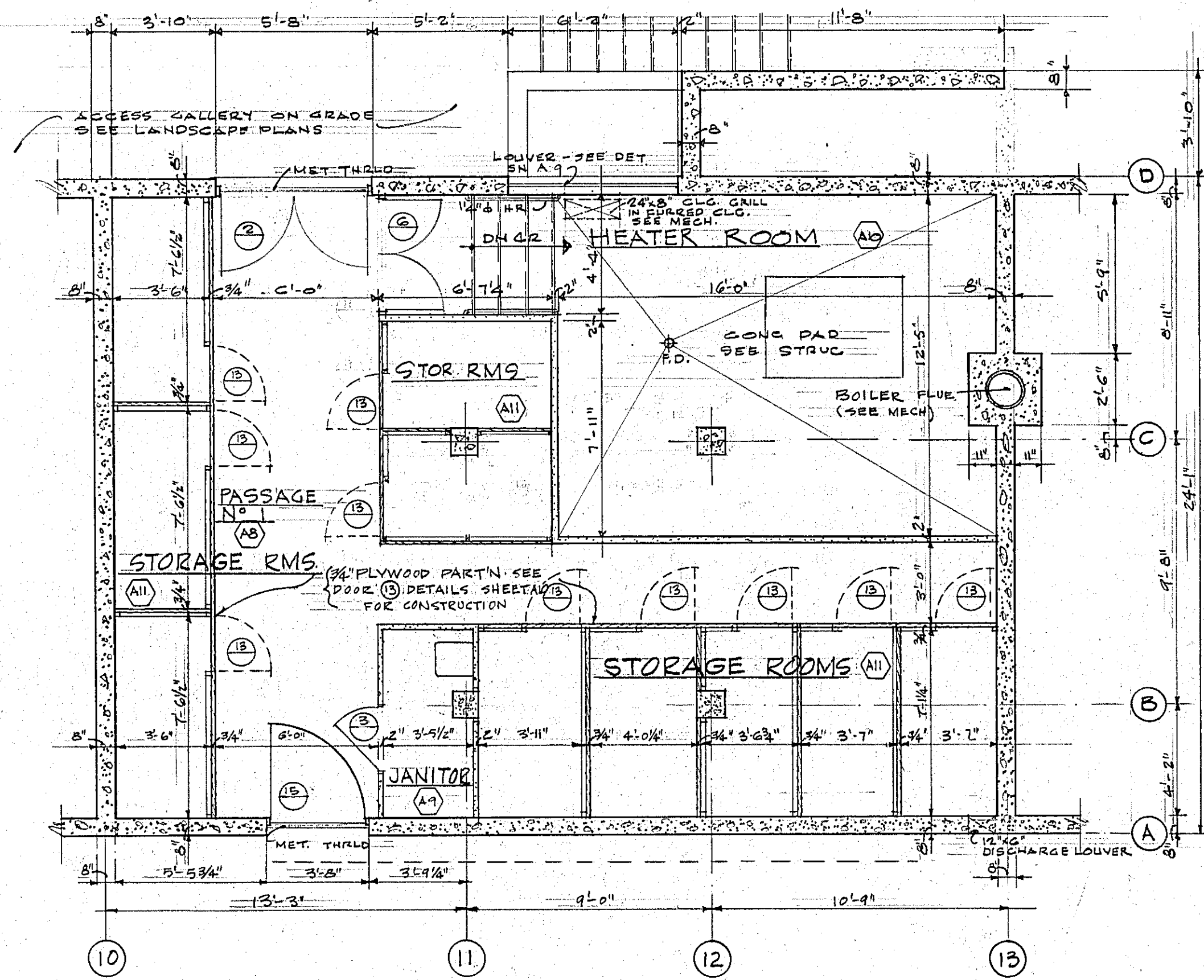
JOHN CARL WARNECKE AIA ARCHITECT
AARON G. GREEN AIA ARCHITECT
HOUSING AUTHORITY OF THE COUNTY OF MARIN

HOUSING AUTHORITY OF THE COUNTY OF MARIN
MARIN CITY, CALIFORNIA
LOW RENT HOUSING PROJECT NO. CAL. 52-1

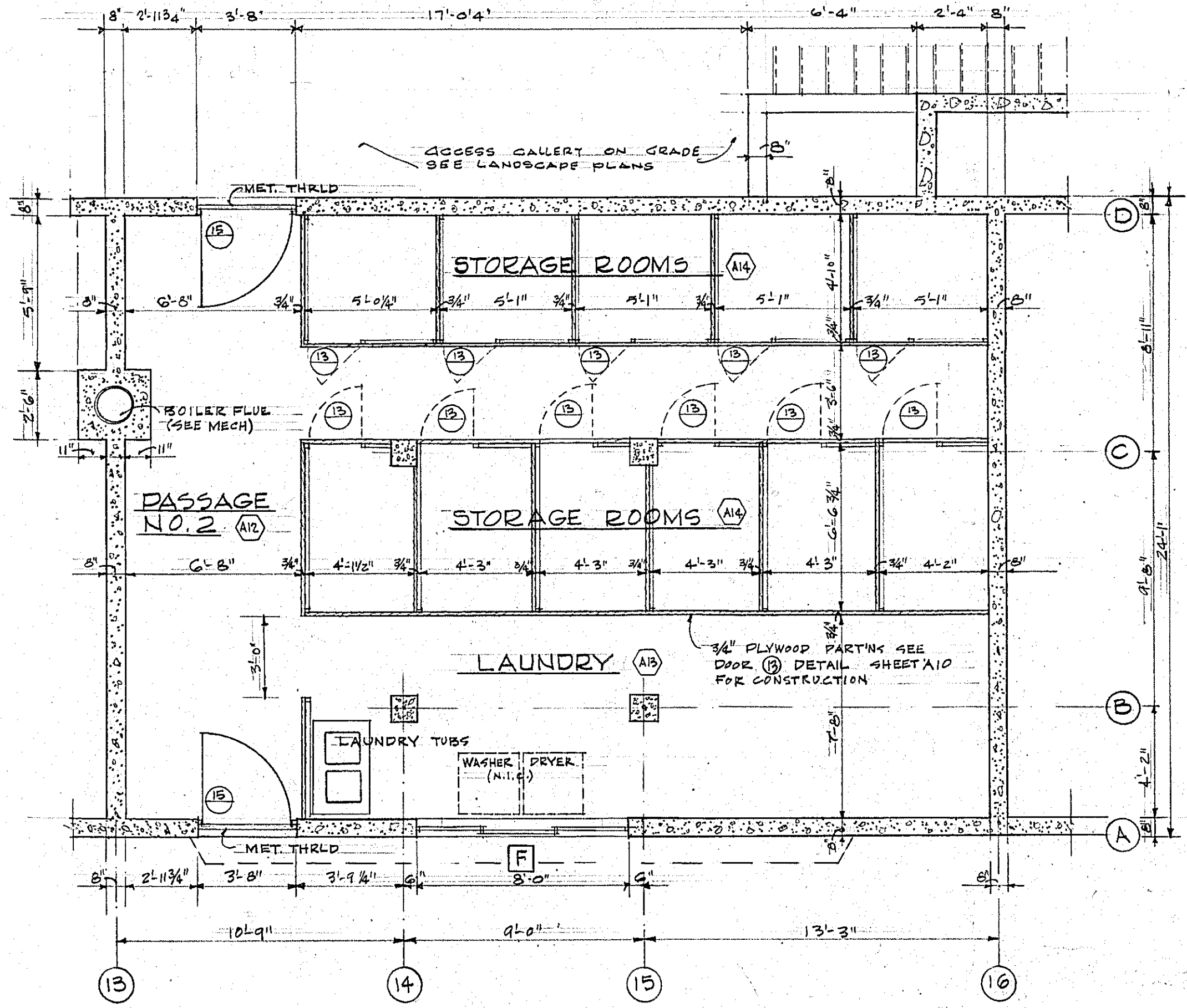
SCALE: 1" = 10'-0"

BUILDING TYPE 'A2'
ELEVATIONS

CONSULTANT	DATE	JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS	JOB NO. 574
	DRAWN	WILLIE BELL	DWG. NO. A-7
		111 NEW MONTGOMERY ST. SAN FRANCISCO 9	SAN FRANCISCO 9 OF 21

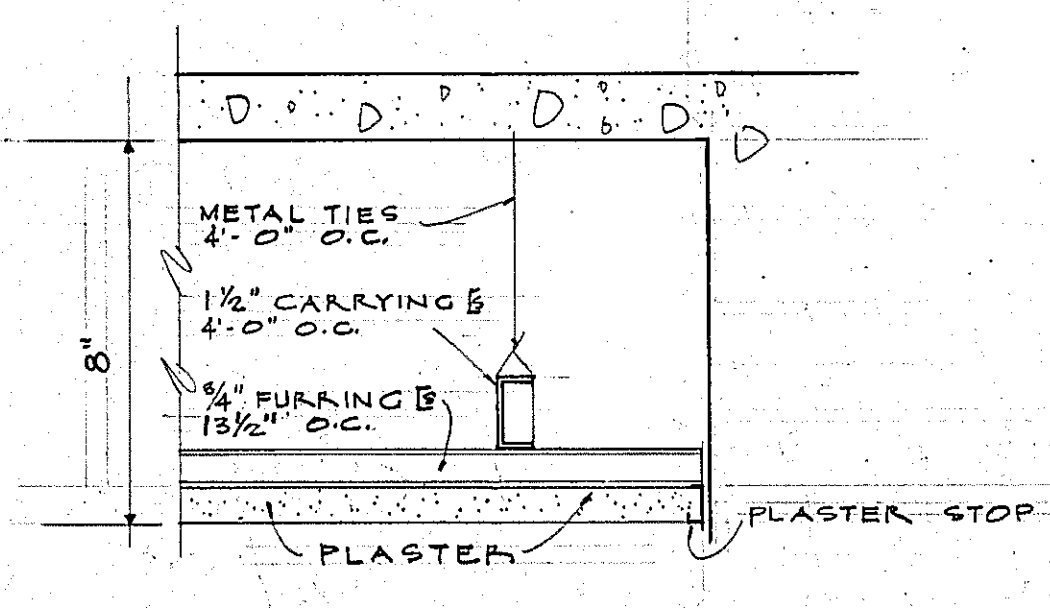


BUILDING TYPE "A-R"
PLAN OF BOILER ROOM AND STORAGE ROOMS - SECOND LEVEL 1/4" = 1'-0"

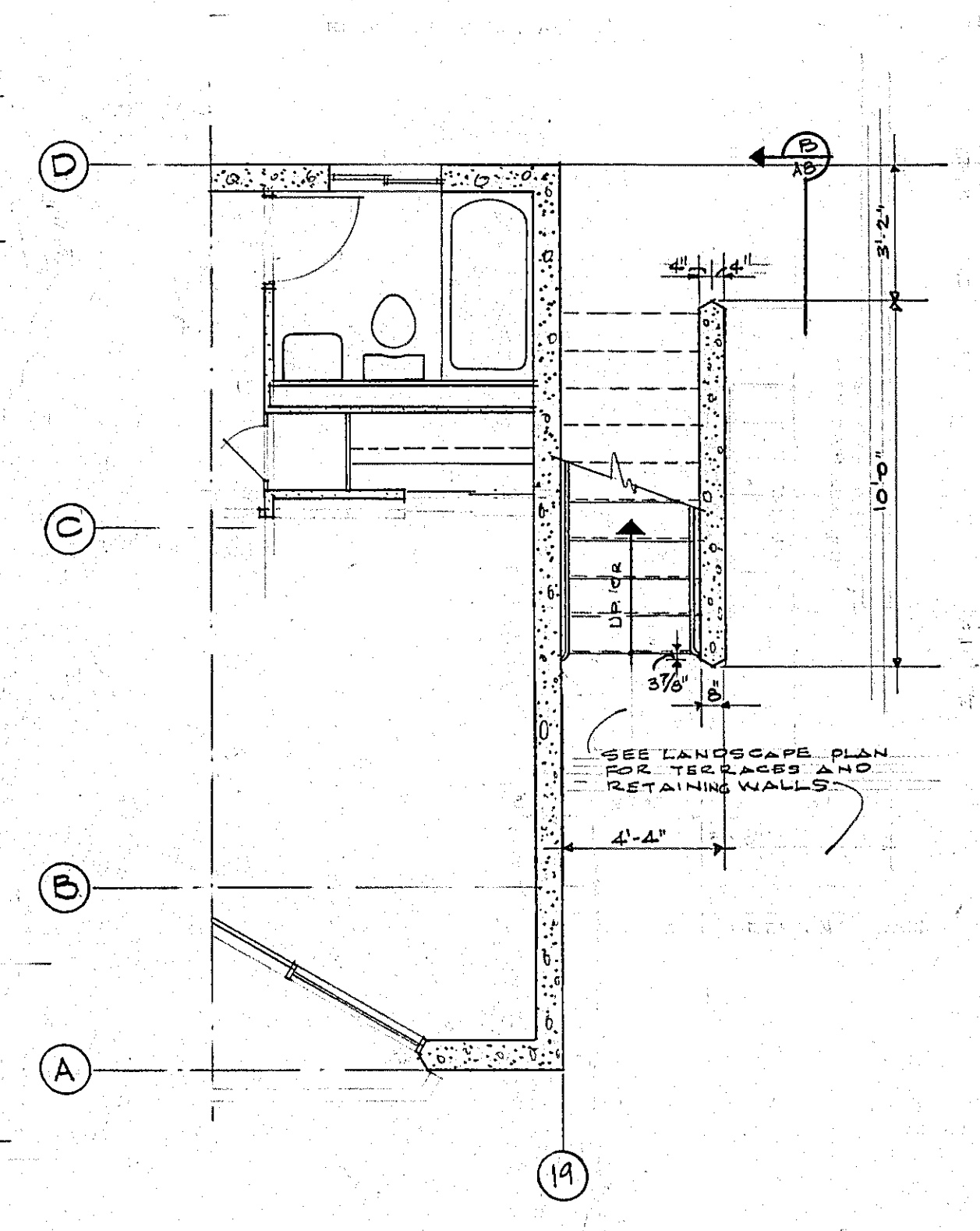


BUILDING TYPE "A-R"
PLAN OF LAUNDRY AND STORAGE ROOMS - THIRD LEVEL 1/4" = 1'-0"

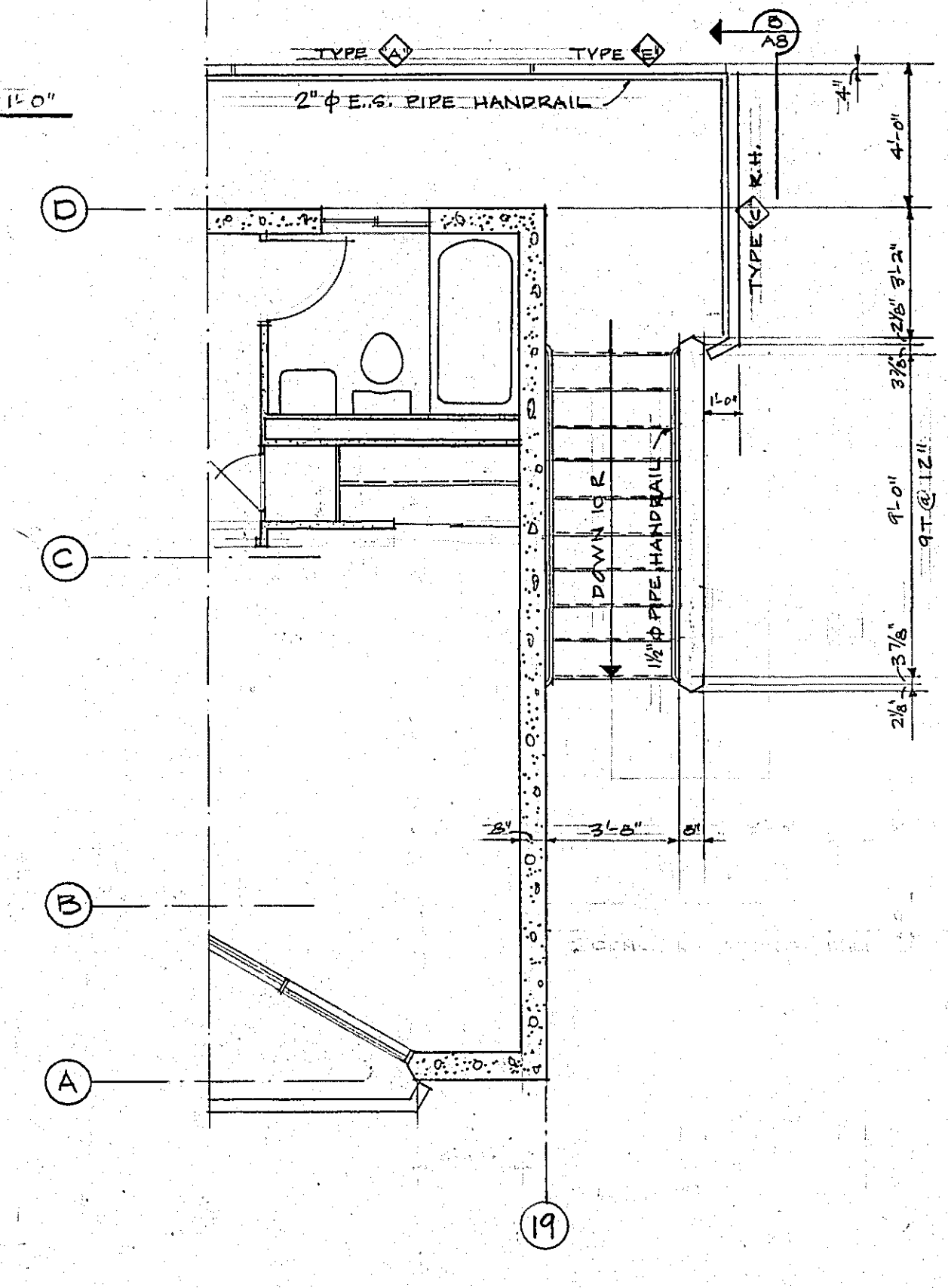
NOTE: ALL STORAGE ROOM WALLS SHALL BE OF 3/4" PLWOOD TO HEAD OF DOOR ONLY. WIRE MESH ABOVE DOOR HEAD. ALL DOORS SHALL BE 1x3 WOOD FRAME WITH WIRE MESH.



FURKED CEILING DETAIL
HEATER ROOM ONLY 3/4" = 1'-0"

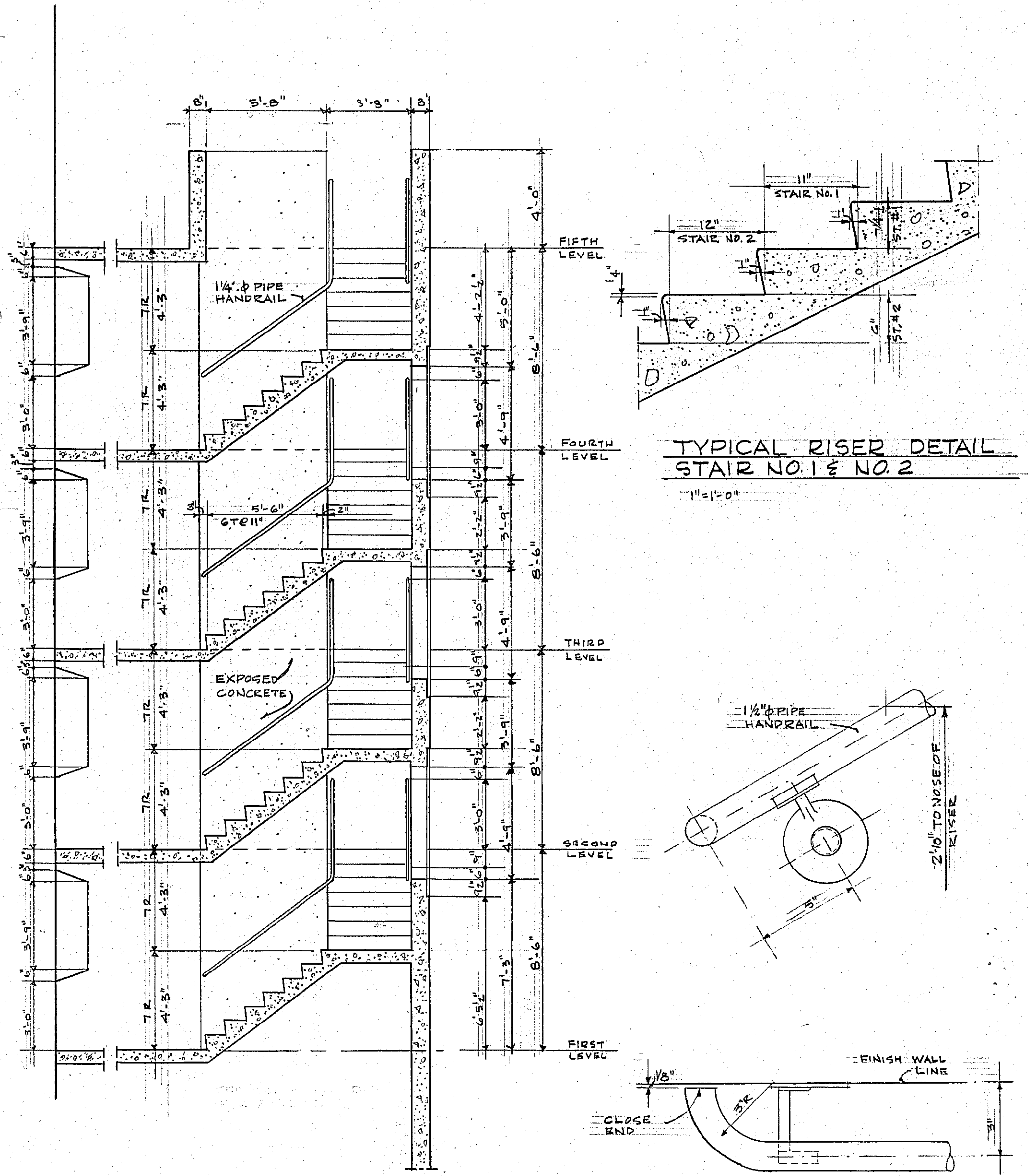


FOURTH LEVEL PLAN 1/4" = 1'-0"



FIFTH LEVEL PLAN 1/4" = 1'-0"

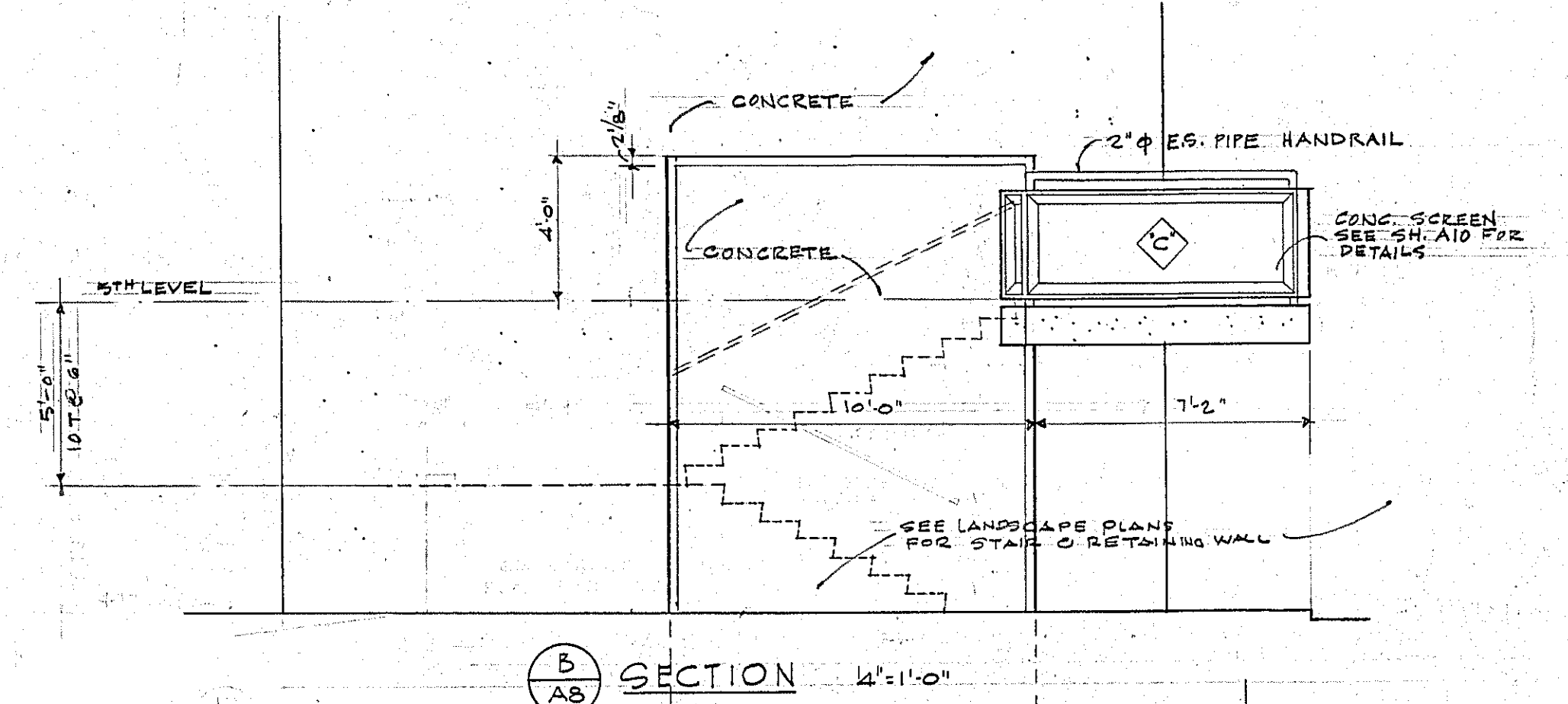
BUILDING TYPE "A-R"
STAIR NUMBER TWO DETAILS 1/4" = 1'-0"



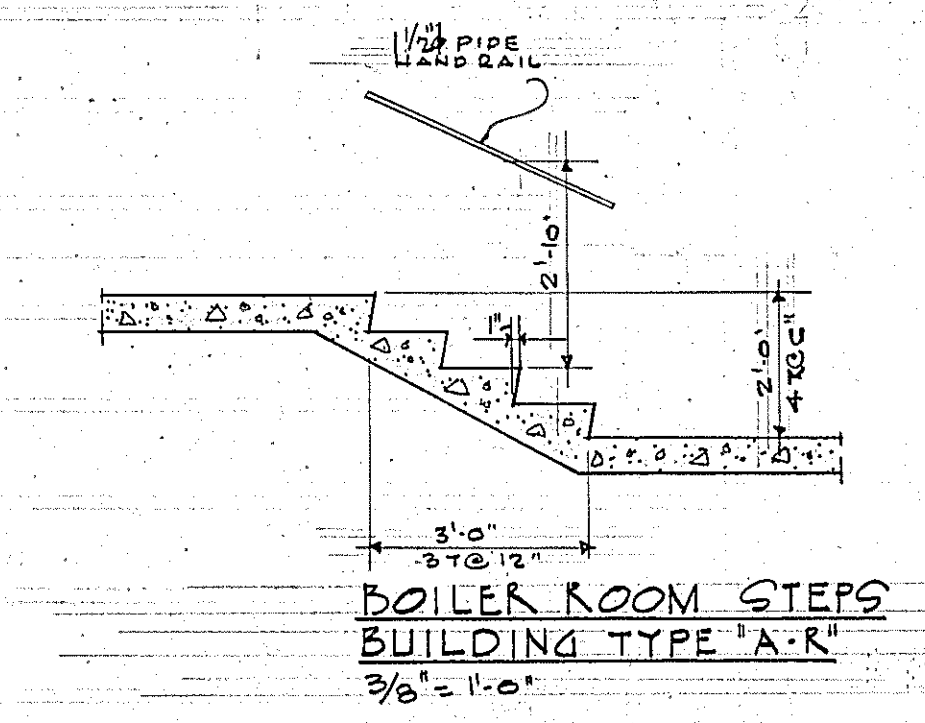
TYPICAL RISER DETAIL
STAIR NO. 1 & NO. 2 1/4" = 1'-0"

SECTION A-A 1/4" = 1'-0"

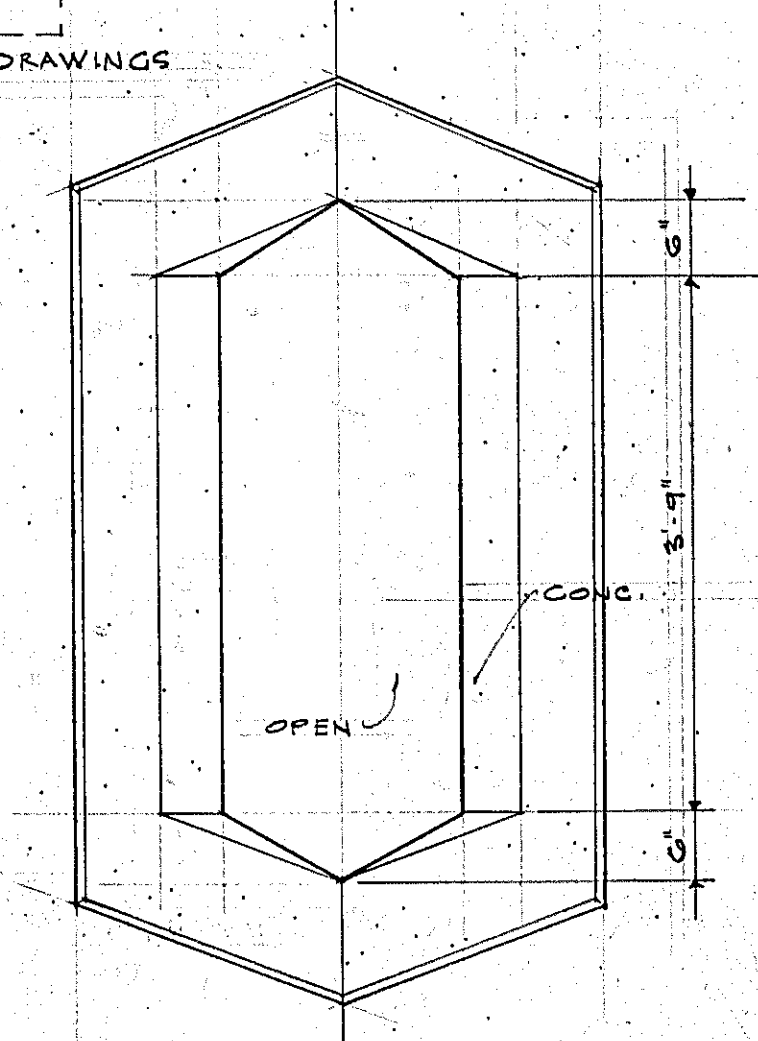
WALL MOUNTED
HANDRAIL DETAIL 3/4" = 1'-0"



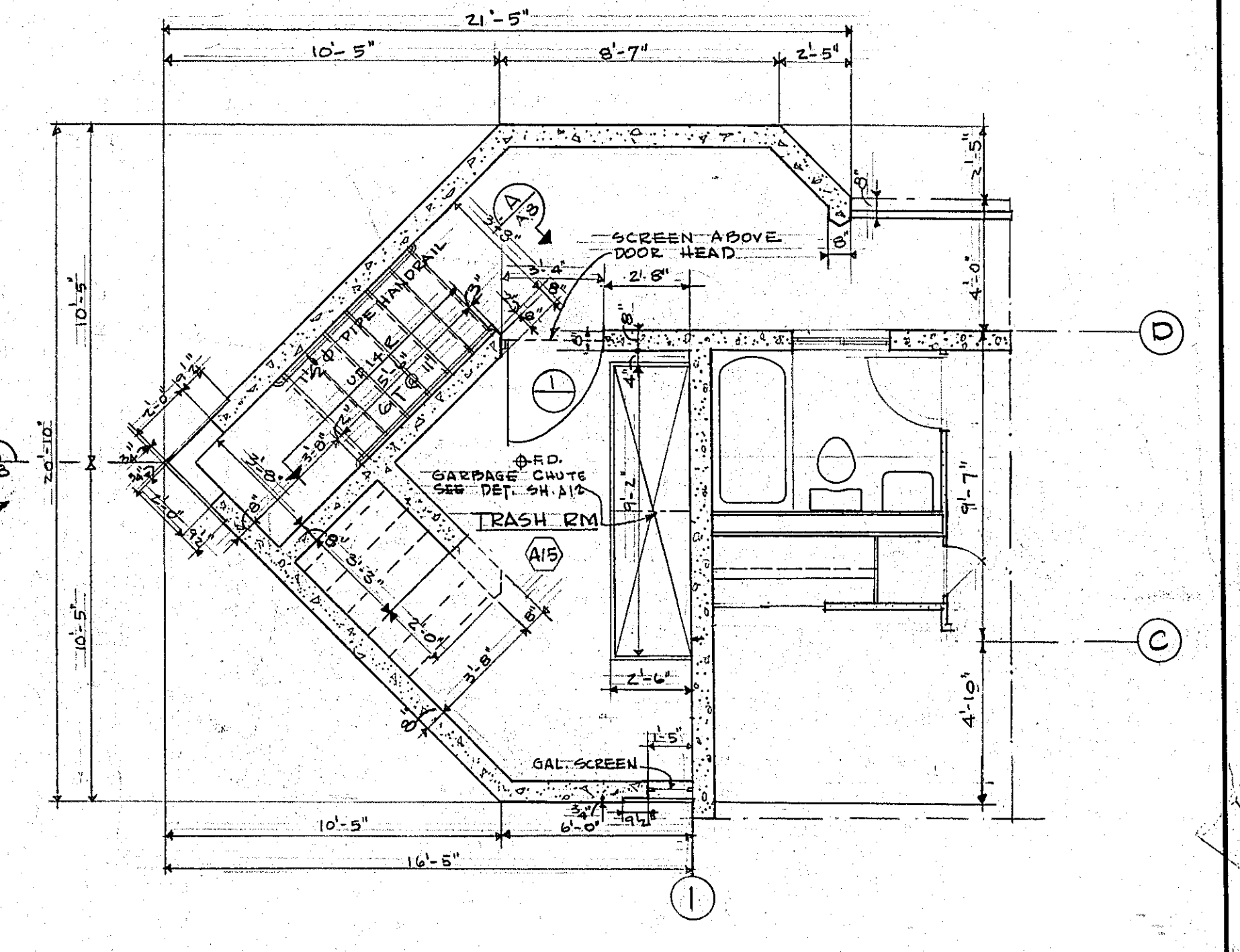
SECTION B-B 1/4" = 1'-0"



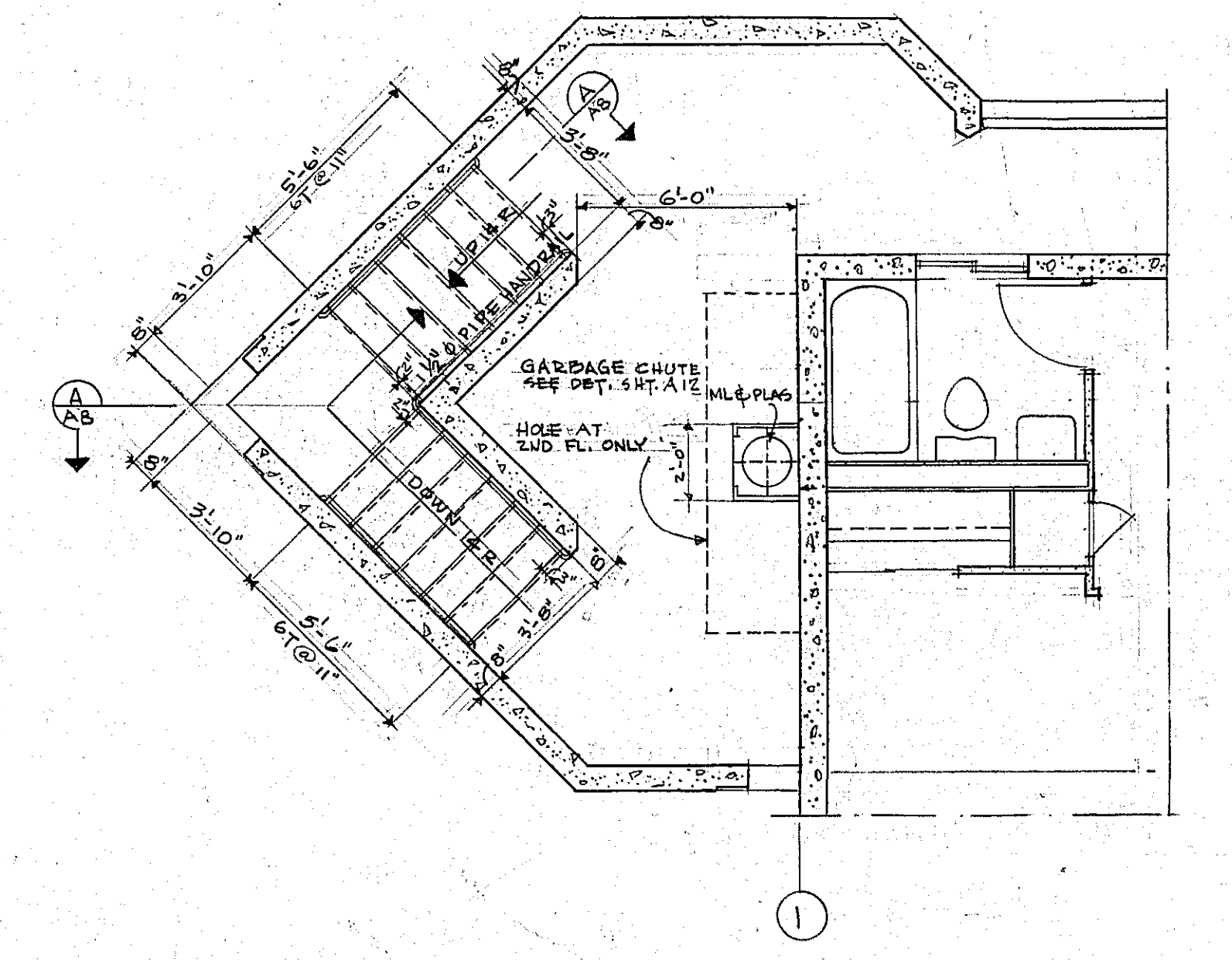
BOILER ROOM STEPS
BUILDING TYPE "A-R"
3/8" = 1'-0"



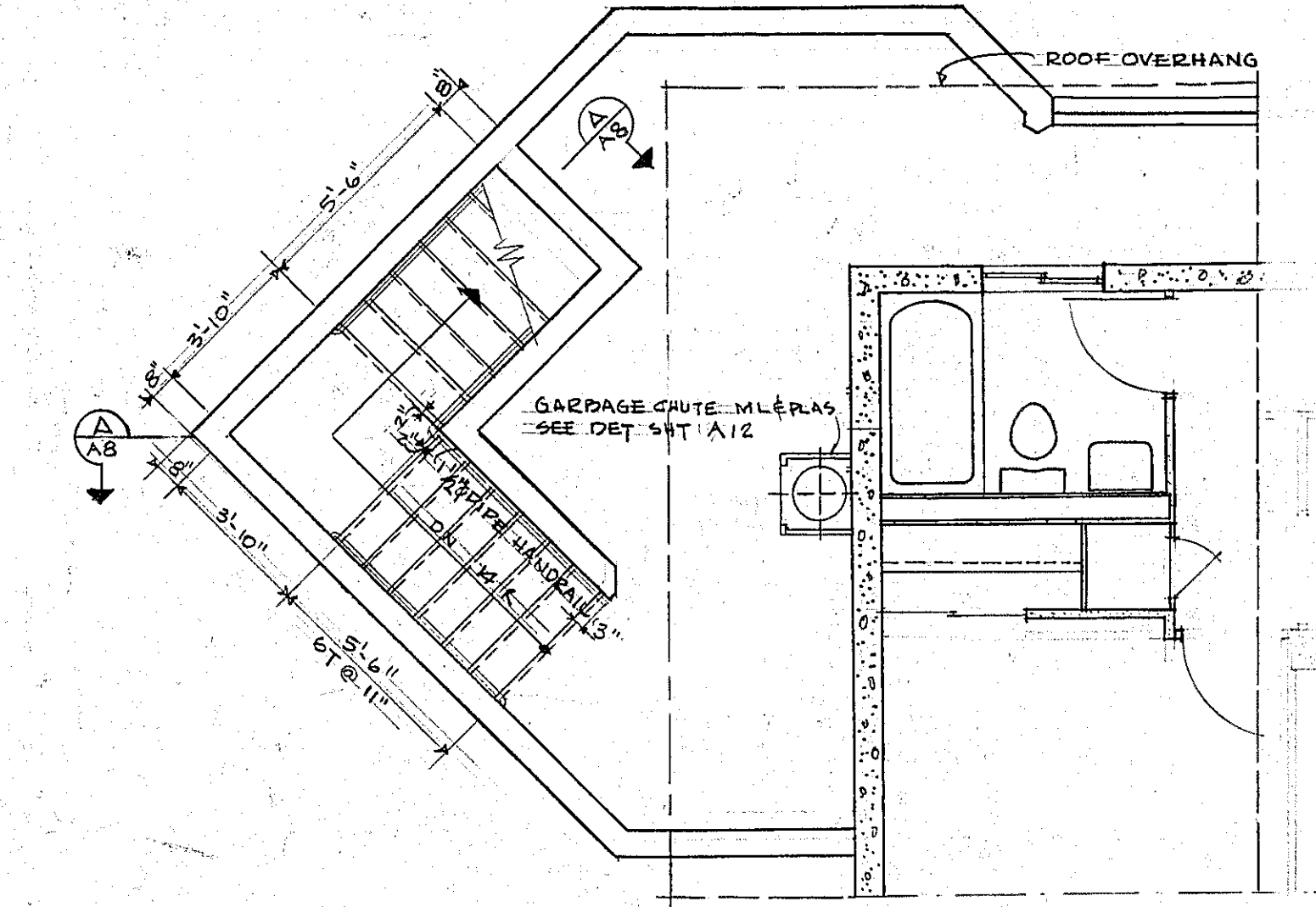
DETAIL PIERCED CONC. PATTERN STAIR NO. 1 3/4" = 1'-0"



FIRST LEVEL PLAN 1/4" = 1'-0"



SECOND THRU FOURTH LEVEL PLAN 1/4" = 1'-0"



FIFTH LEVEL PLAN 1/4" = 1'-0"

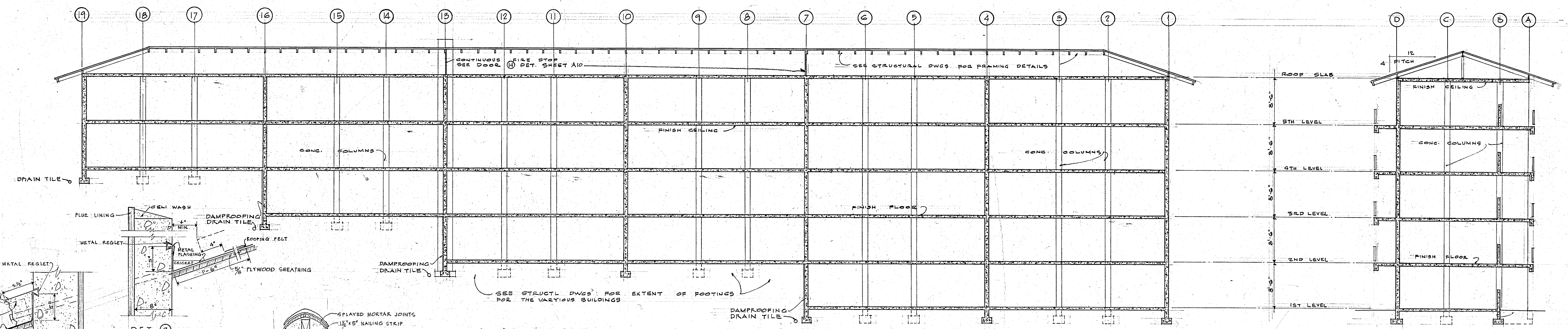
BUILDING TYPE "A-R"
STAIR NUMBER ONE DETAILS 1/4" = 1'-0"

REVISION	DATE	DESCRIPTION
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JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA LOW RENT HOUSING PROJECT NO. CAL 52-1 BUILDING TYPE "A-R" HEATER ROOM, LAUNDRY ROOM AND STORAGE ROOMS FLOOR PLANS STAIRS NO. 1 AND NO. 2 DETAILS	JOB NO. 57-4 DATE 11-3-55 DRAWN WILLIE DBLL 111 NEW MONTGOMERY ST. SAN FRANCISCO 5 319 GRANT AVE. SAN FRANCISCO 5
--	---	---

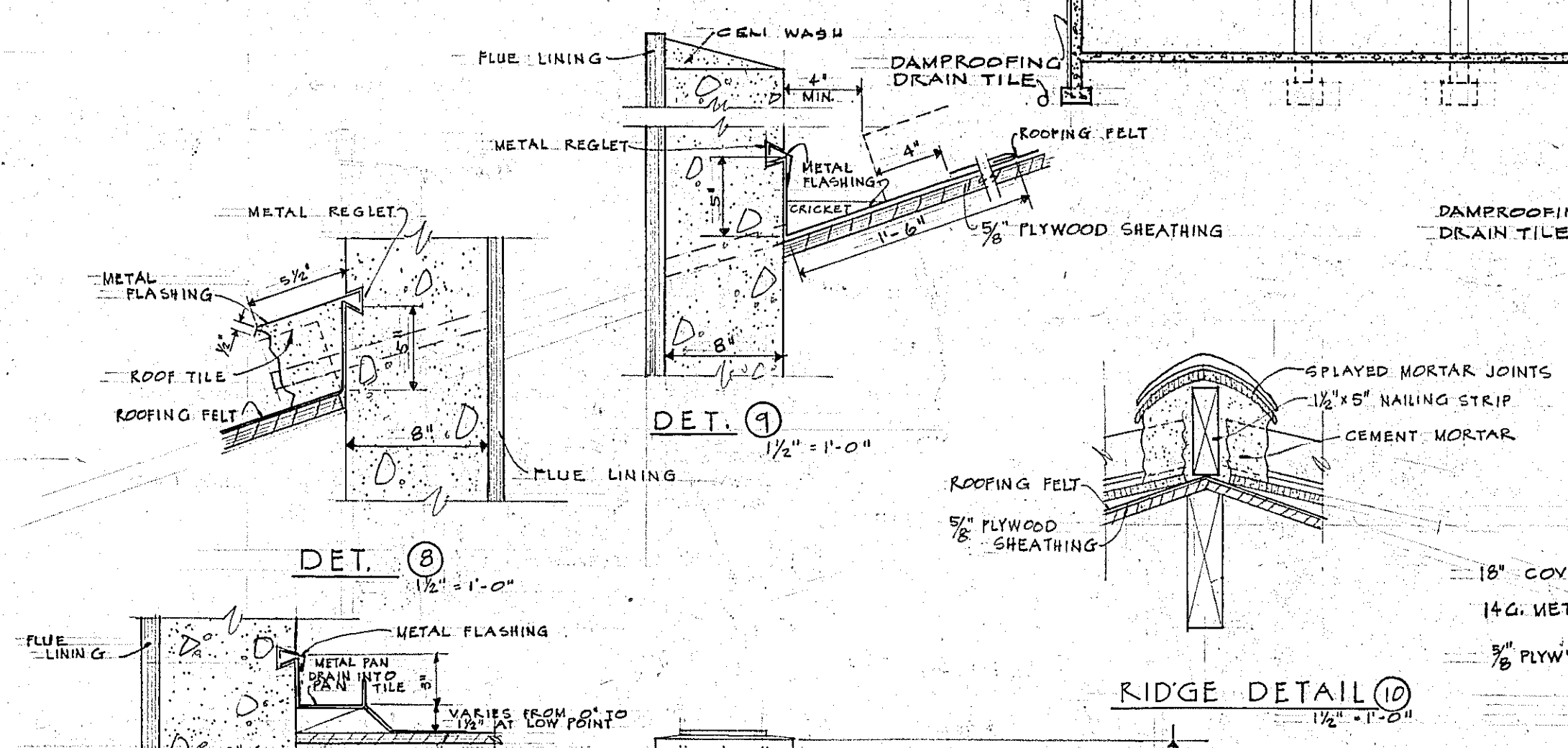
KOBEL

KE



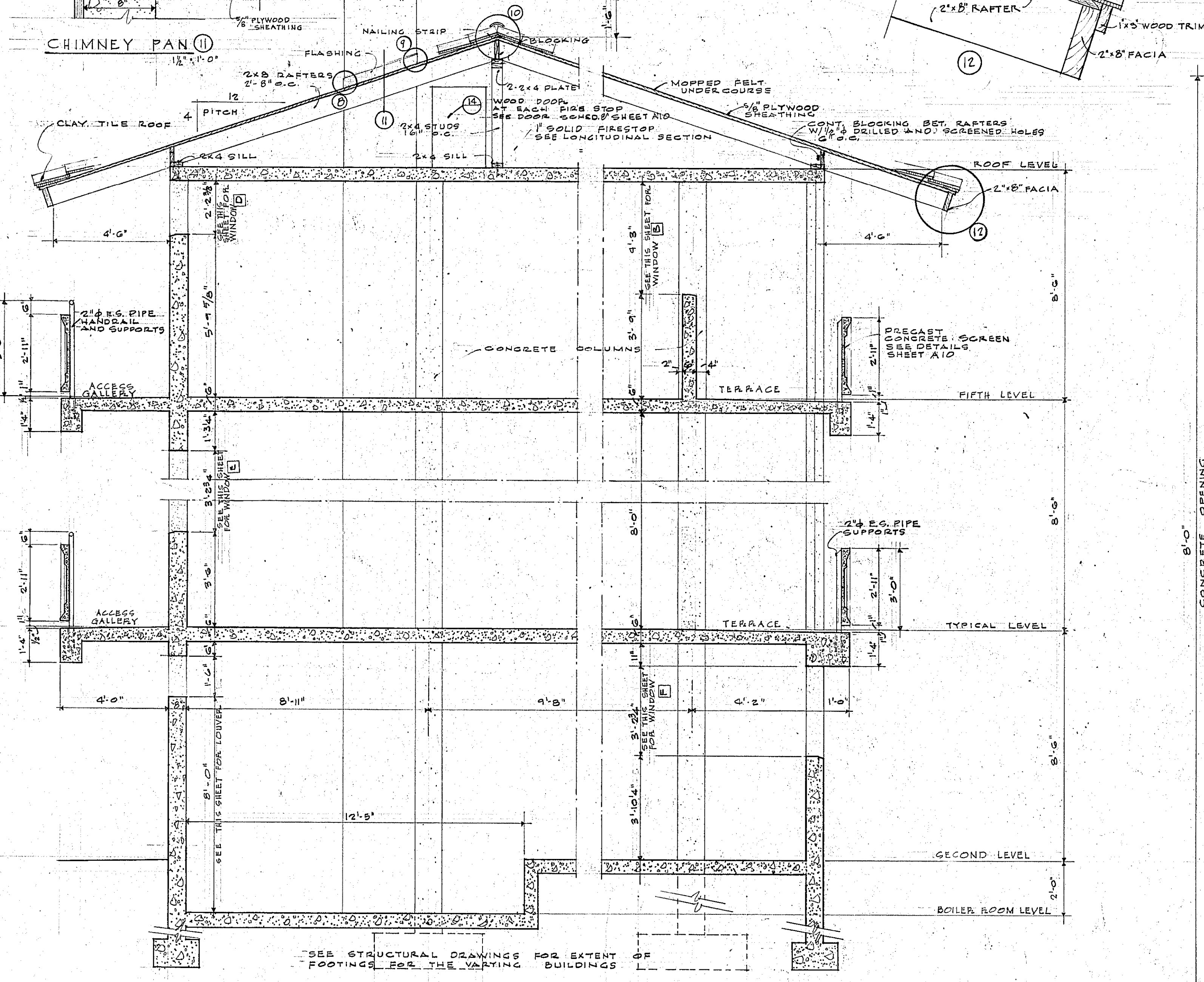
BUILDING TYPES 'AL' AND 'AK'
LONGITUDINAL SECTION
1/8" = 1'-0"

BUILDING TYPES 'AL' AND 'AK'
TRANSVERSE SECTION
1/8" = 1'-0"
SEE TYPICAL BUILDING SECTION (B) THIS SHEET FOR DETAILS.

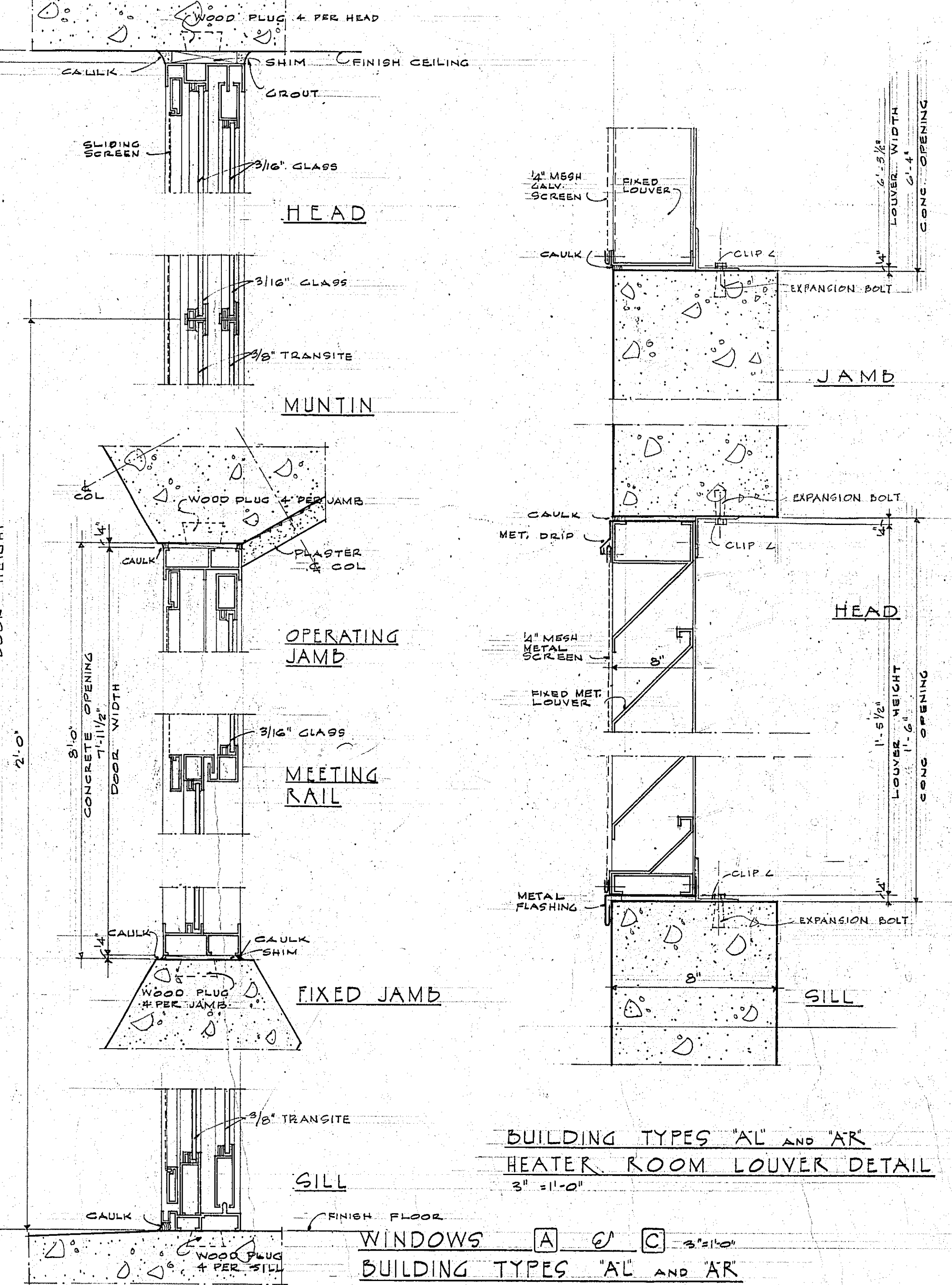


RIDGE DETAIL (10)
1/2" = 1'-0"

CHIMNEY PAN (11)
1/2" = 1'-0"

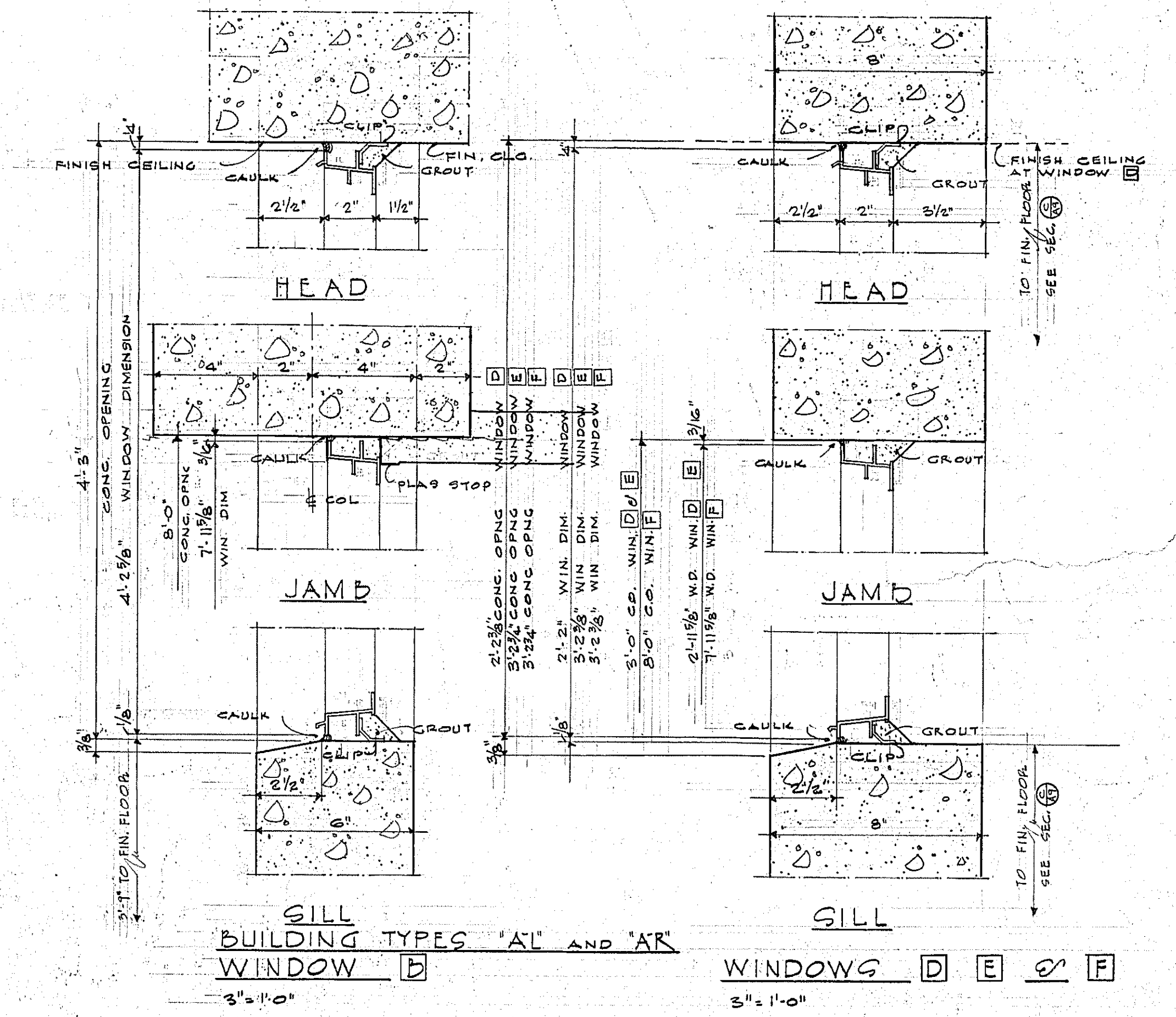


BUILDING TYPES 'AL' AND 'AK'
TYPICAL BUILDING SECTION
3/8" = 1'-0"



BUILDING TYPES 'AL' AND 'AK'
HEATER ROOM LOUVER DETAIL
3" = 1'-0"

WINDOWS (A) (C) (E) (F)
BUILDING TYPES 'AL' AND 'AK'

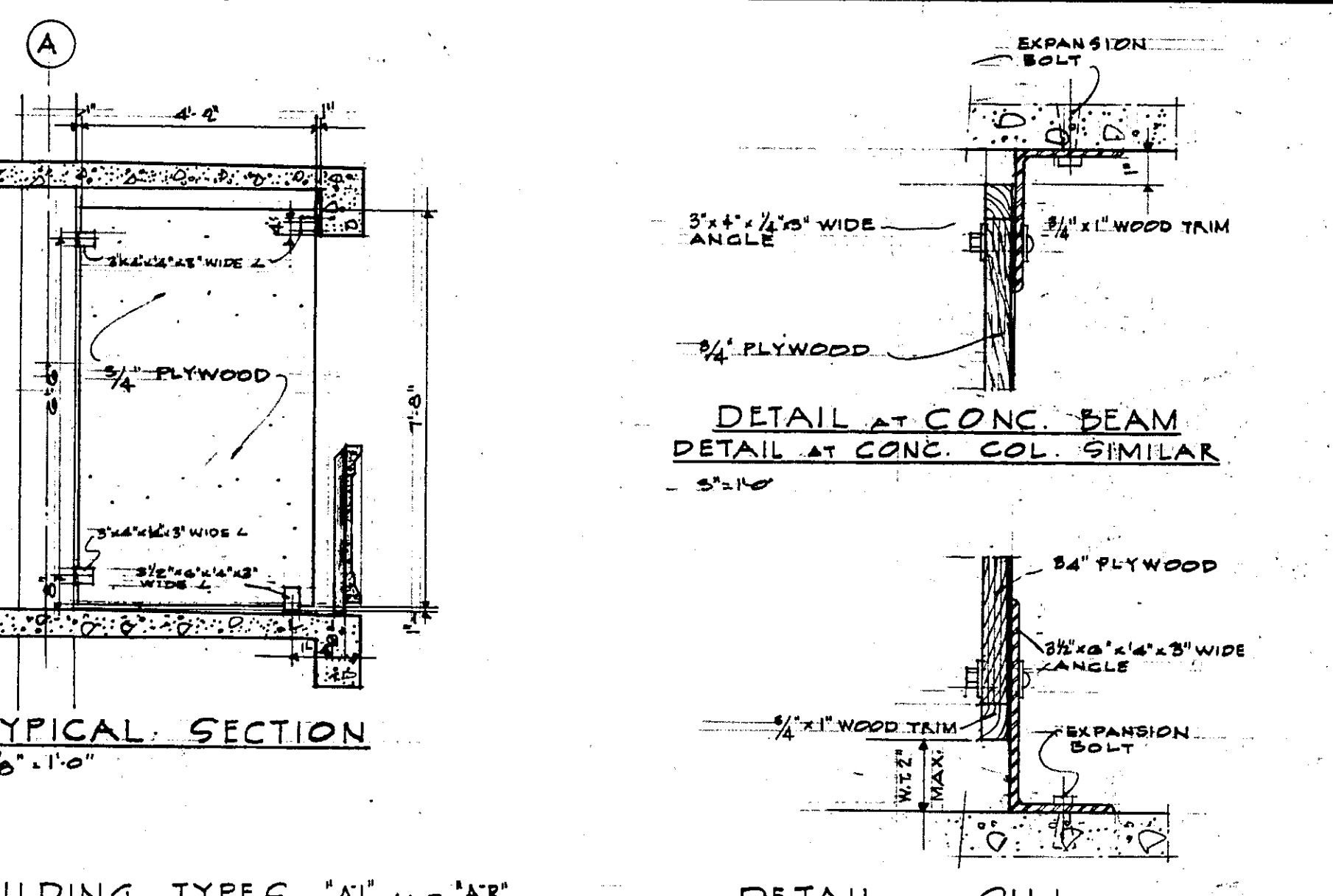
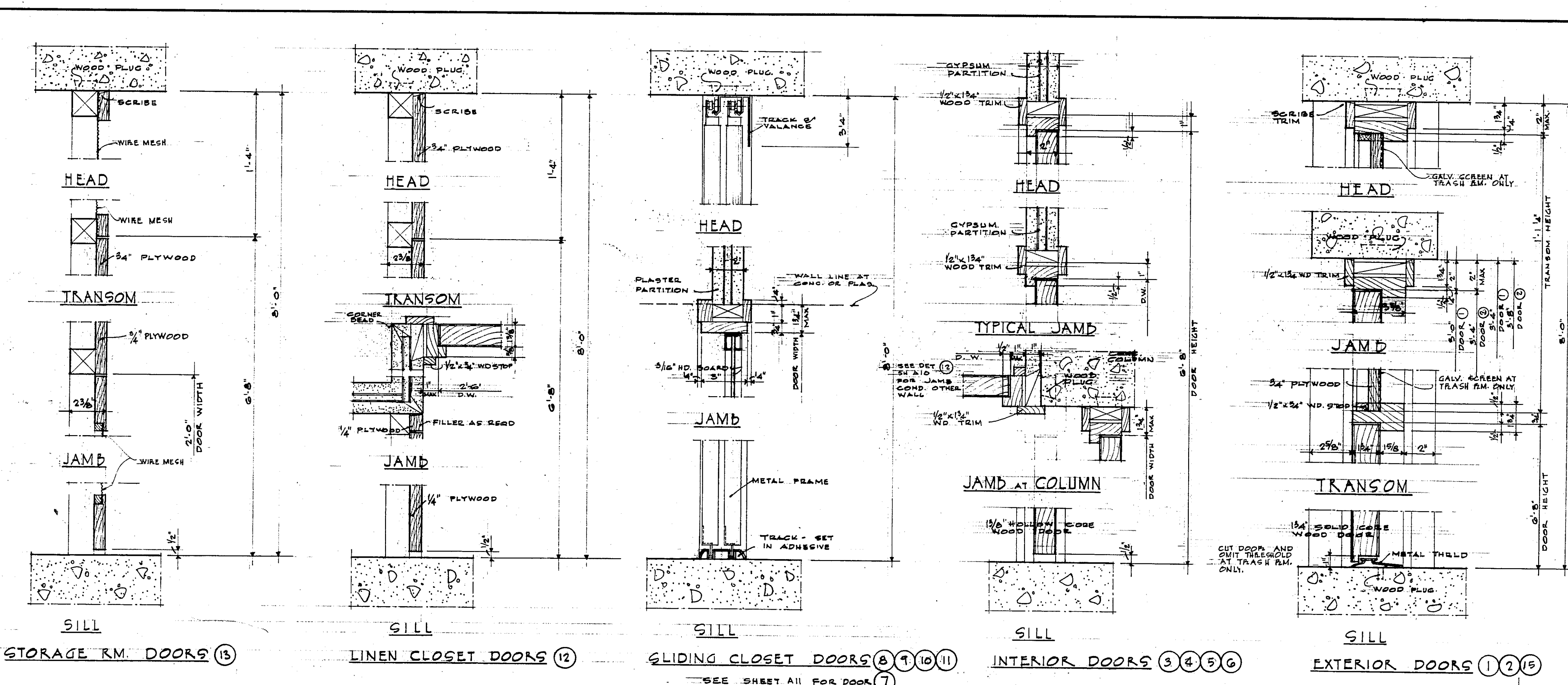
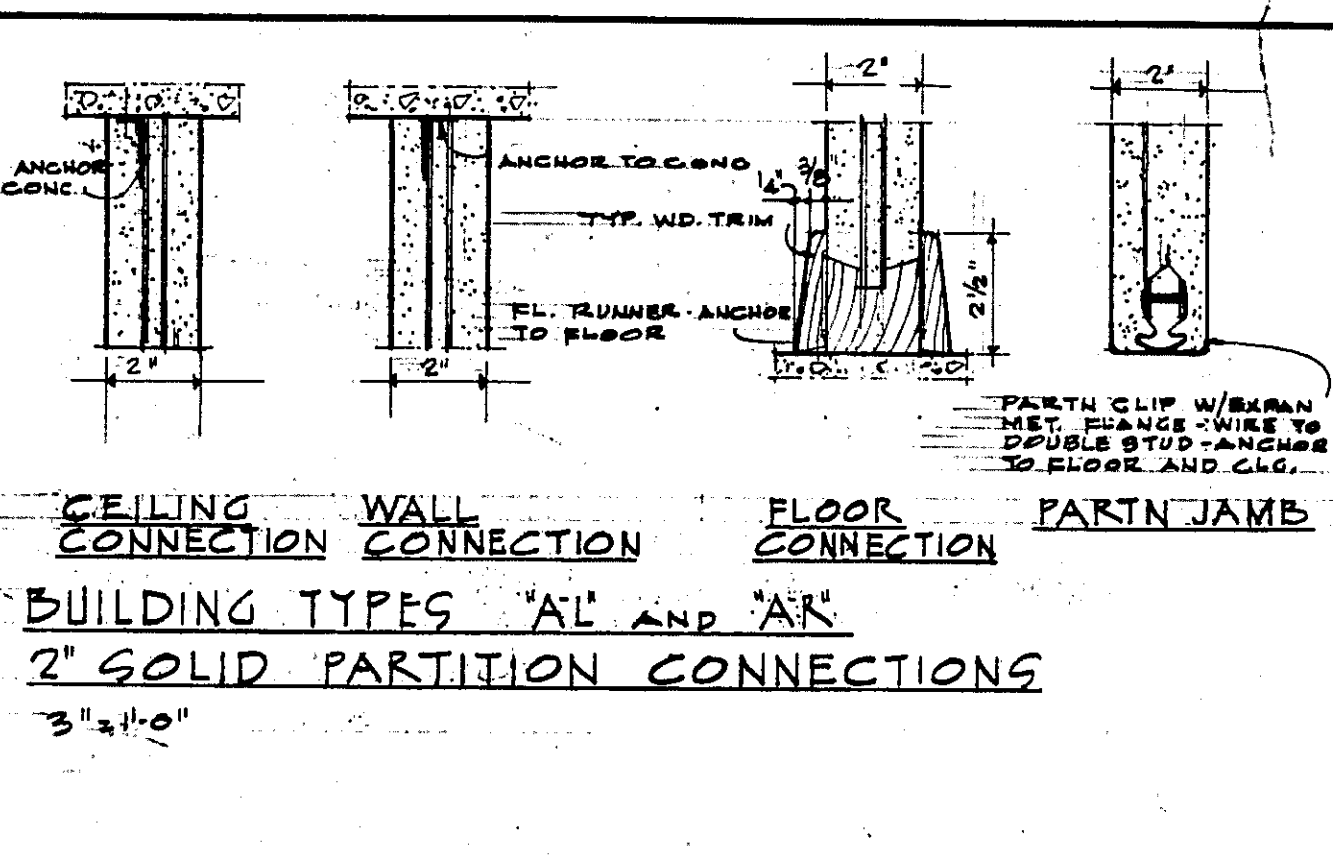
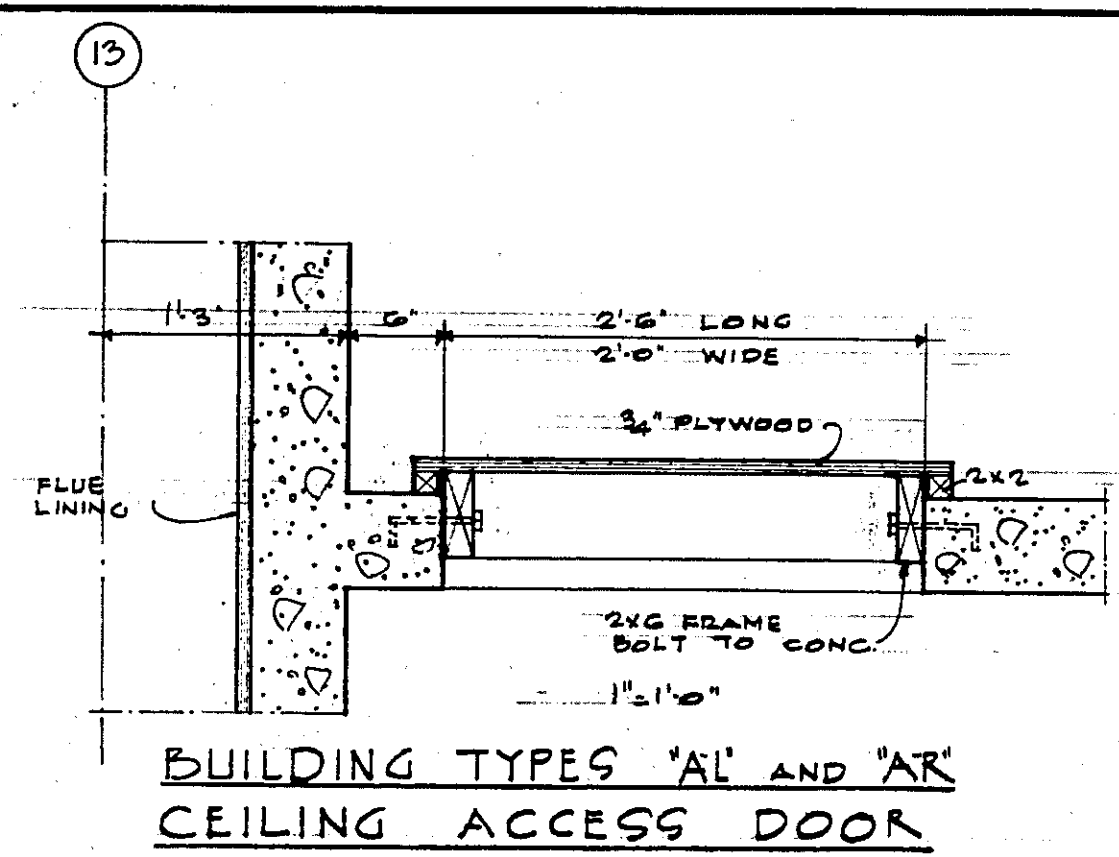


BUILDING TYPES 'AL' AND 'AK'
WINDOW (D) (E) (F)
3" = 1'-0"

REVISION	DATE	DESCRIPTION

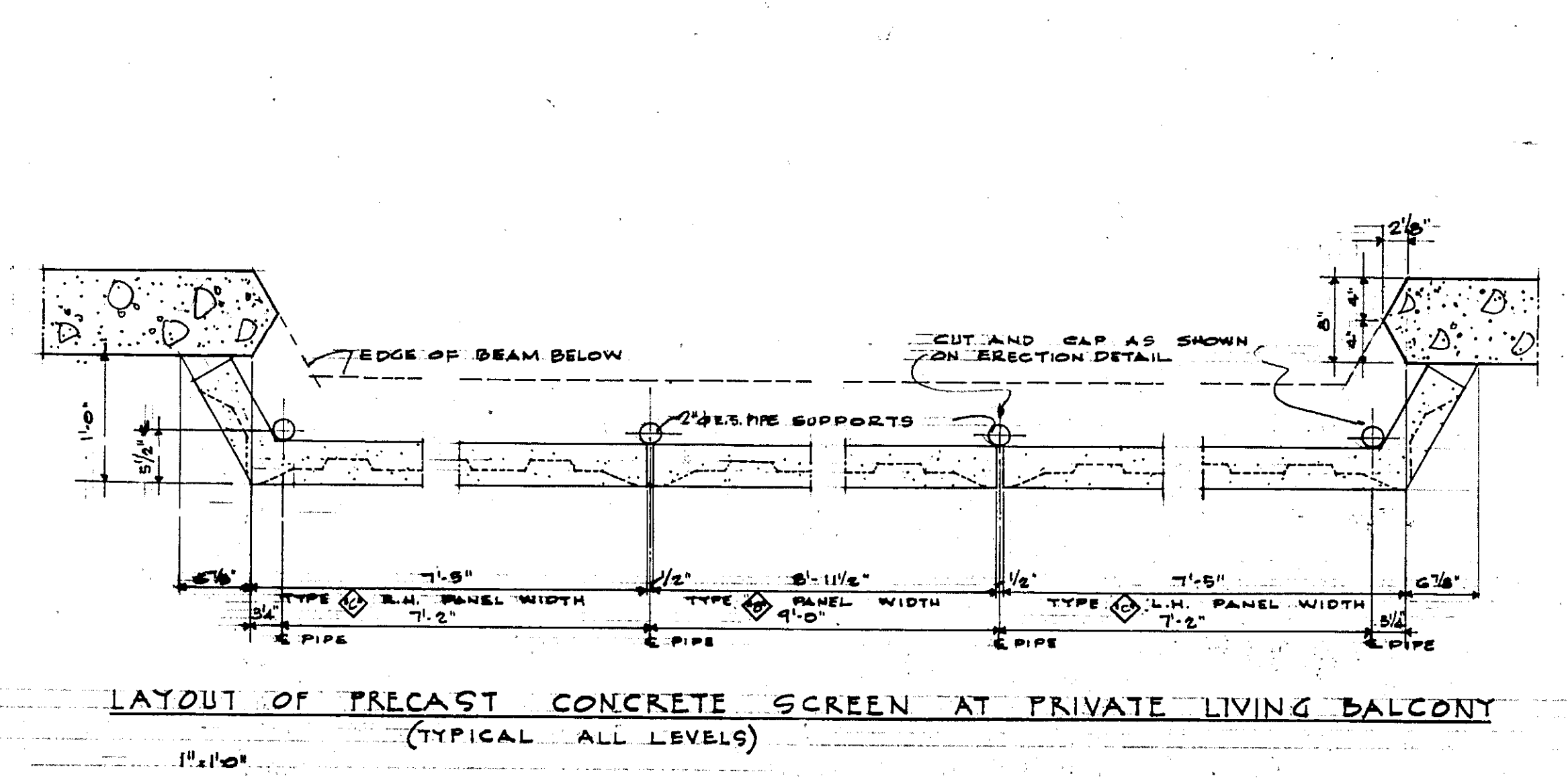
JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA LOW RENT HOUSING PROJECT NO. CAL. 52-1 BUILDING TYPES 'AL' AND 'AK' TYPICAL WALL SECTIONS WINDOW DETAILS LOUVER DETAIL
CONSULTANT	DATE: 11-3-58 DRAWN: RICHARD GIBSON 111 NEW MONTGOMERY ST. SAN FRANCISCO 9 519 GRANT AVE. SAN FRANCISCO 9
JOB NO. 57.4 DWG. NO. A9 OF 21	31-52

32-11 16A-1A
miller
ngat

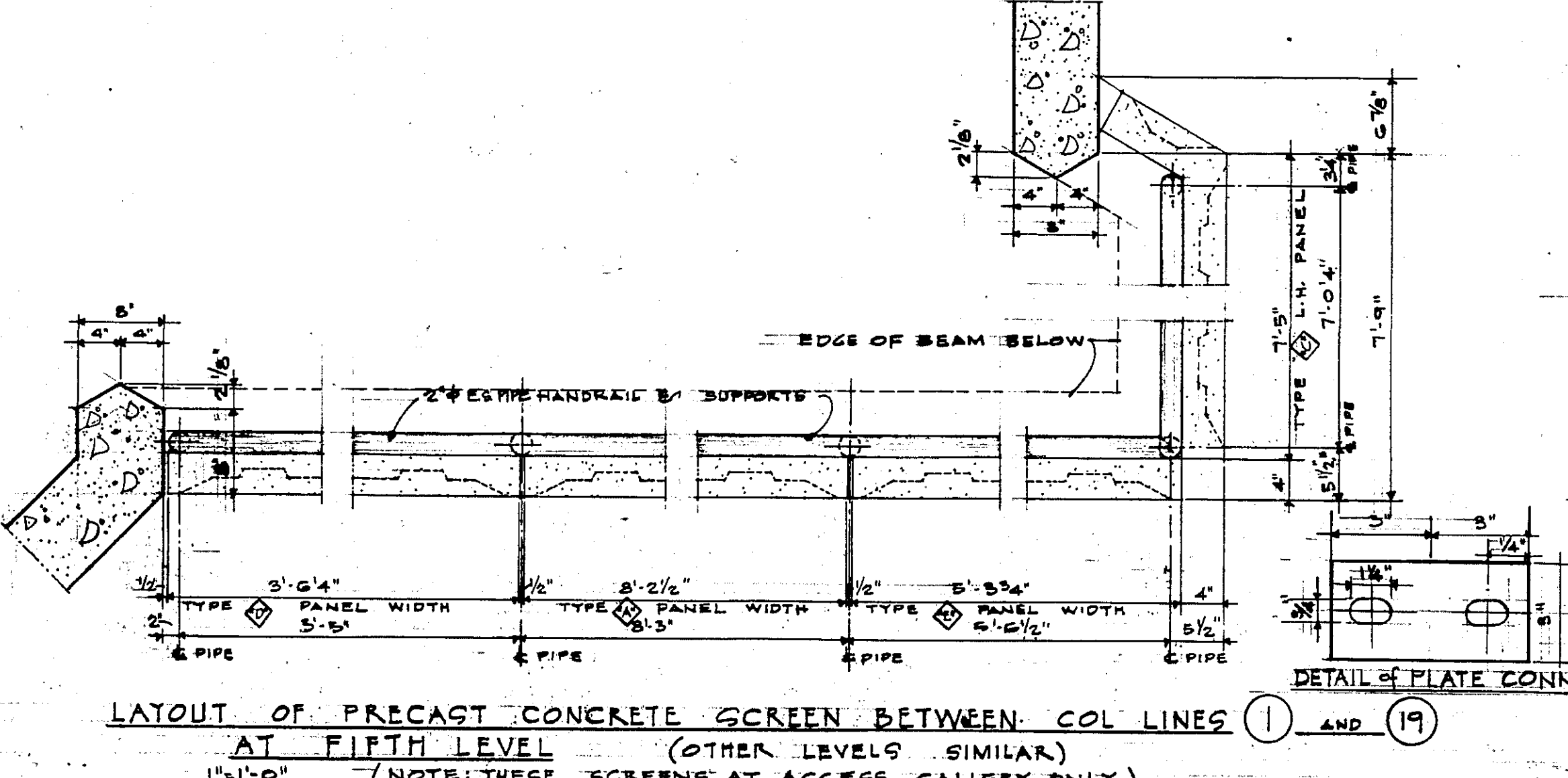


BUILDING TYPES 'A' AND 'A' DETAIL AT SILL
DETAIL OF BALCONY SCREEN-APT CONVERSION UNITS (N.I.C.)
FOR FUTURE CONVERSION BY LOCAL AUTHORITY

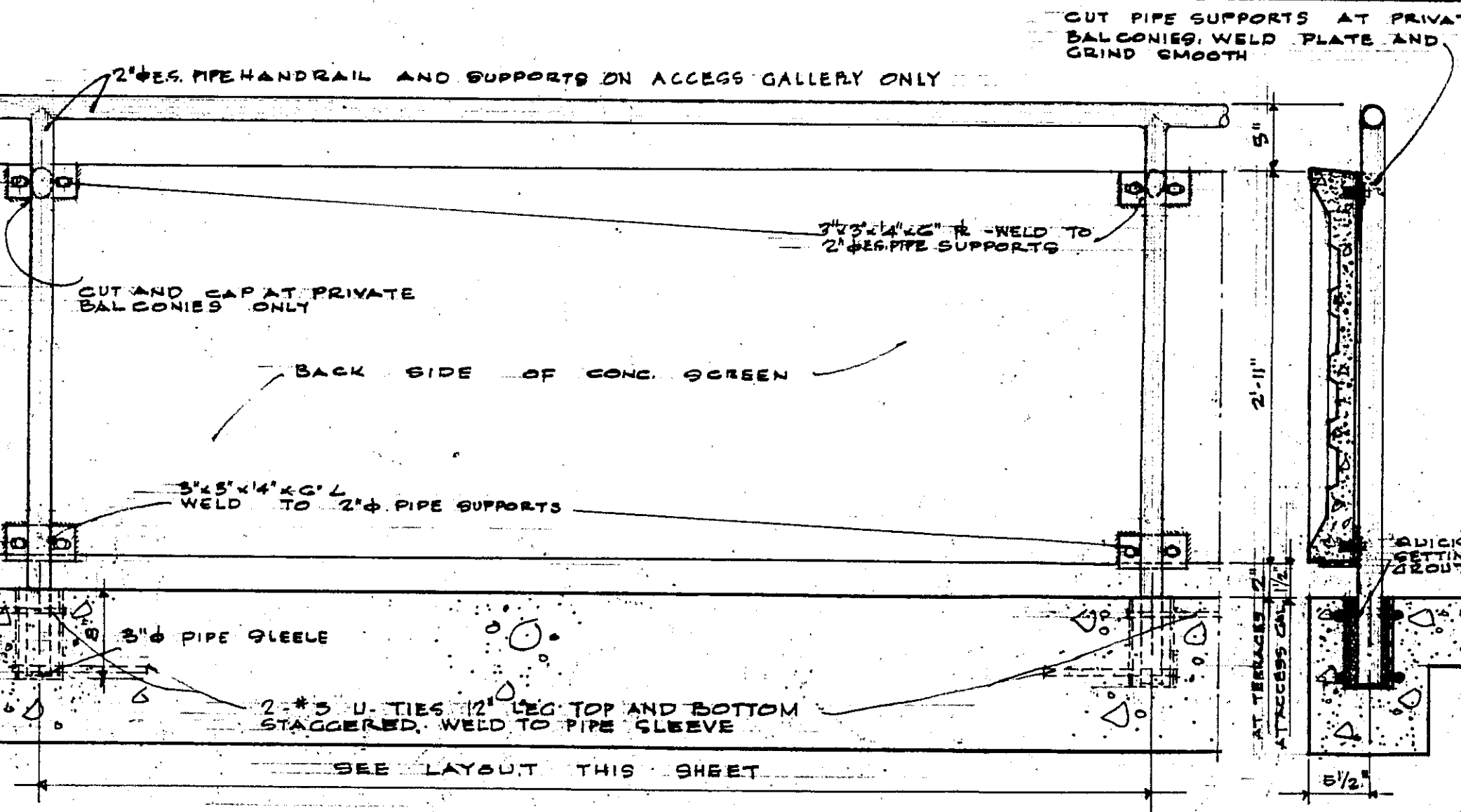
EXTERIOR & INTERIOR DOOR DETAILS BUILDING TYPES 'A' AND 'A'
PRE HUNG DOORS



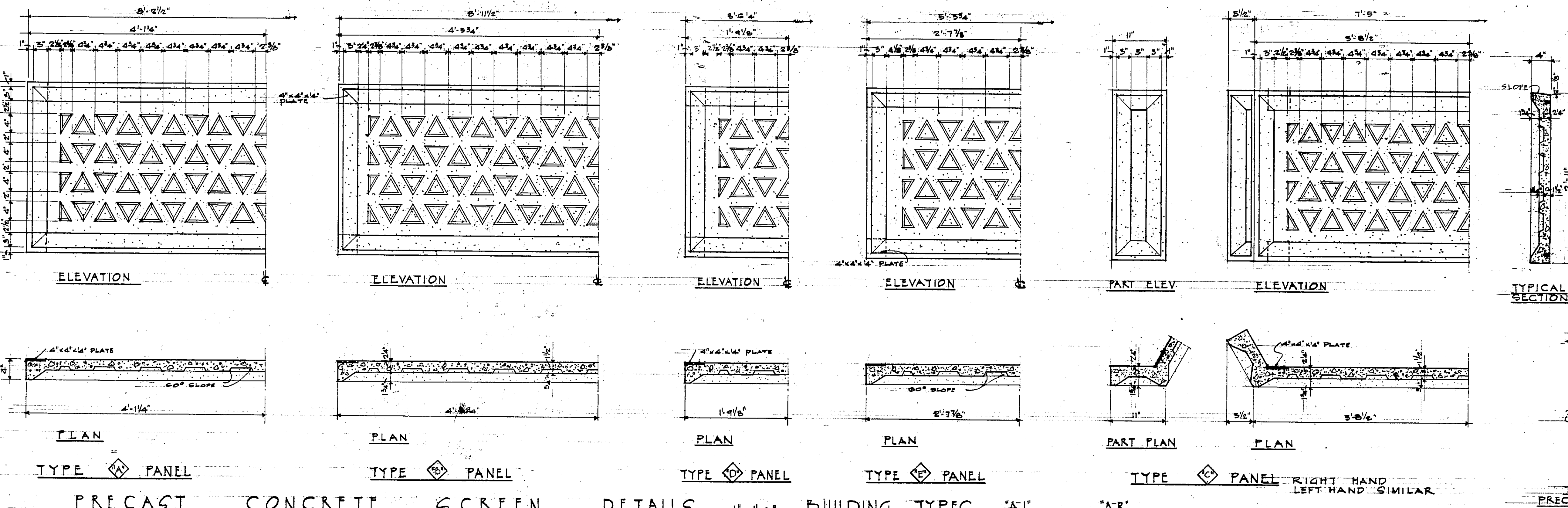
LAYOUT OF PRECAST CONCRETE SCREEN AT PRIVATE LIVING BALCONY
(TYPICAL ALL LEVELS)



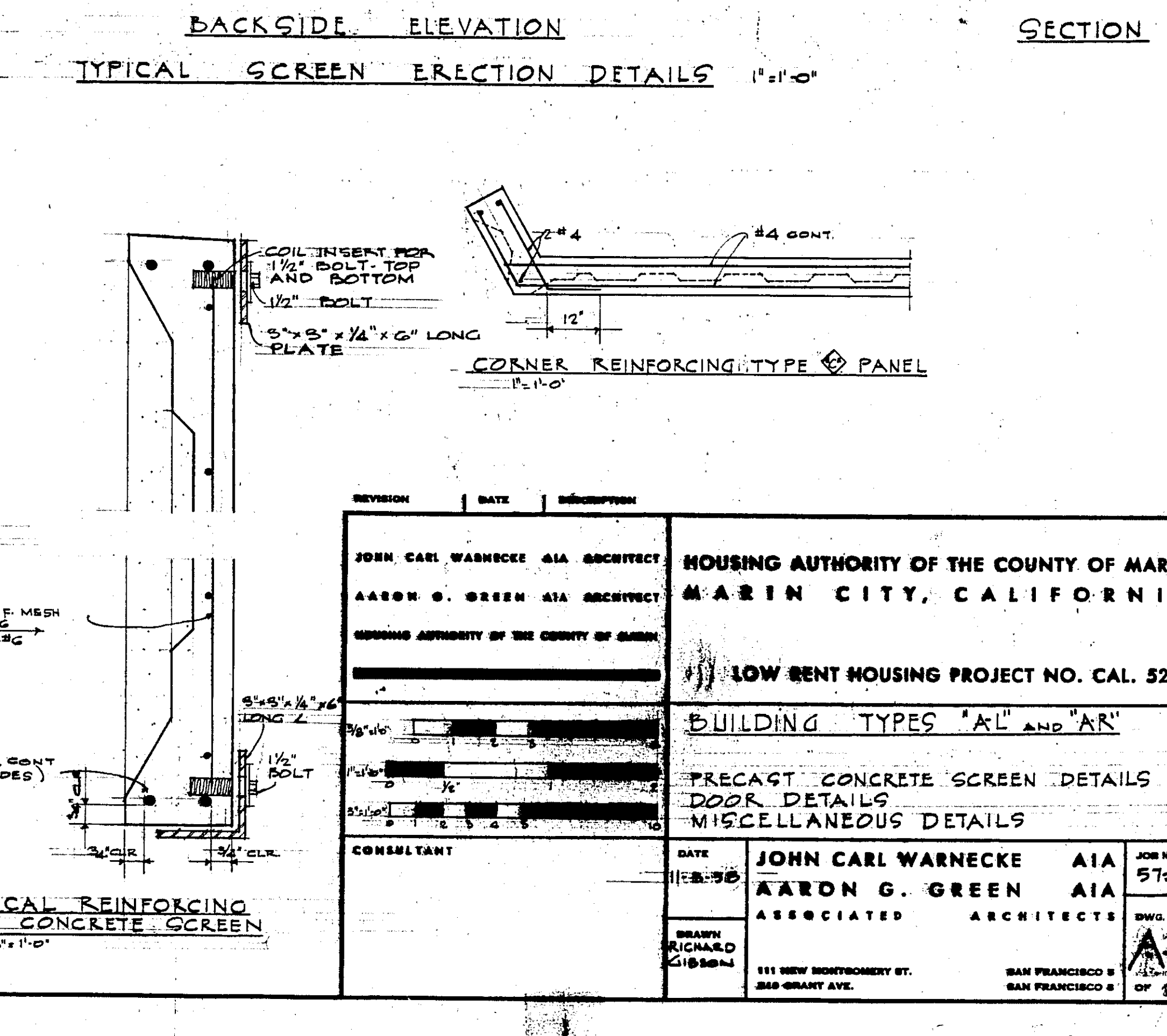
LAYOUT OF PRECAST CONCRETE SCREEN BETWEEN COL LINES AT FIFTH LEVEL
(OTHER LEVELS SIMILAR)
(NOTE: THESE SCREENS AT ACCESS GALLERY ONLY)



BACKSIDE ELEVATION SECTION
TYPICAL SCREEN ERECTION DETAILS

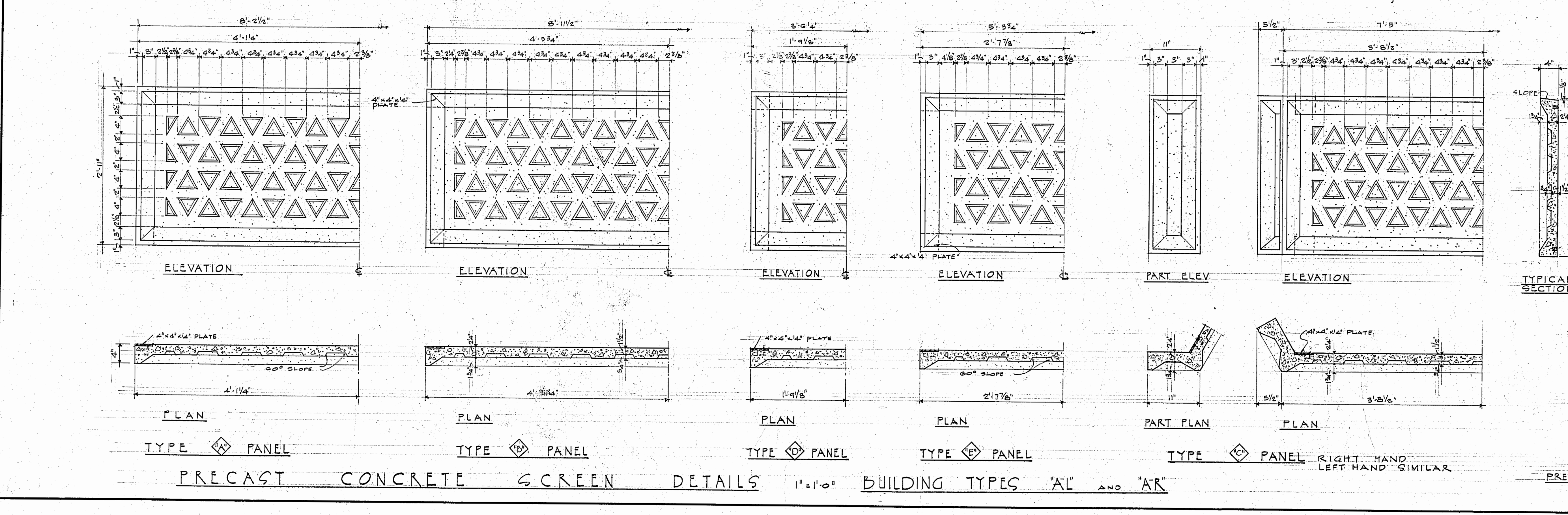
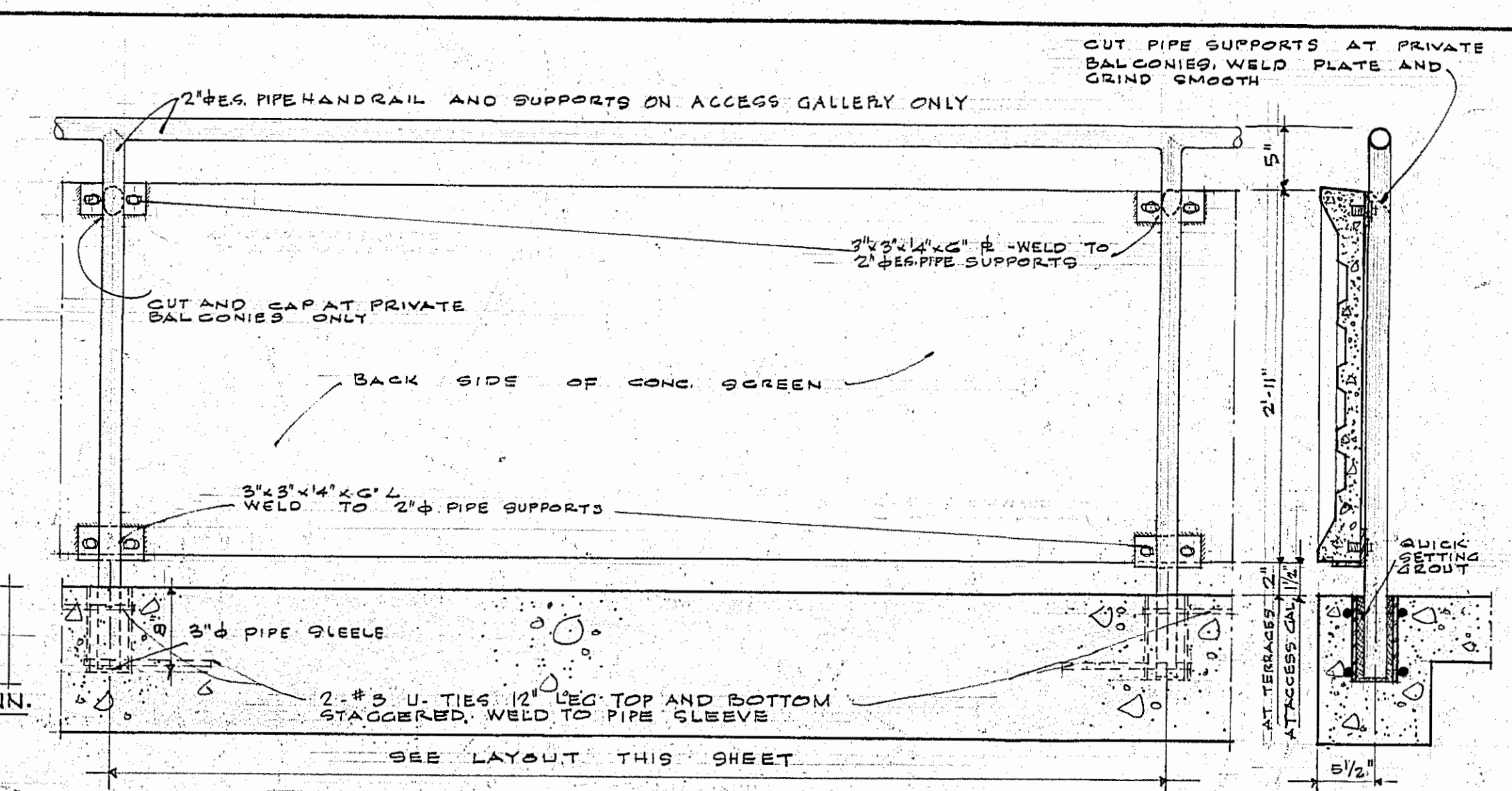
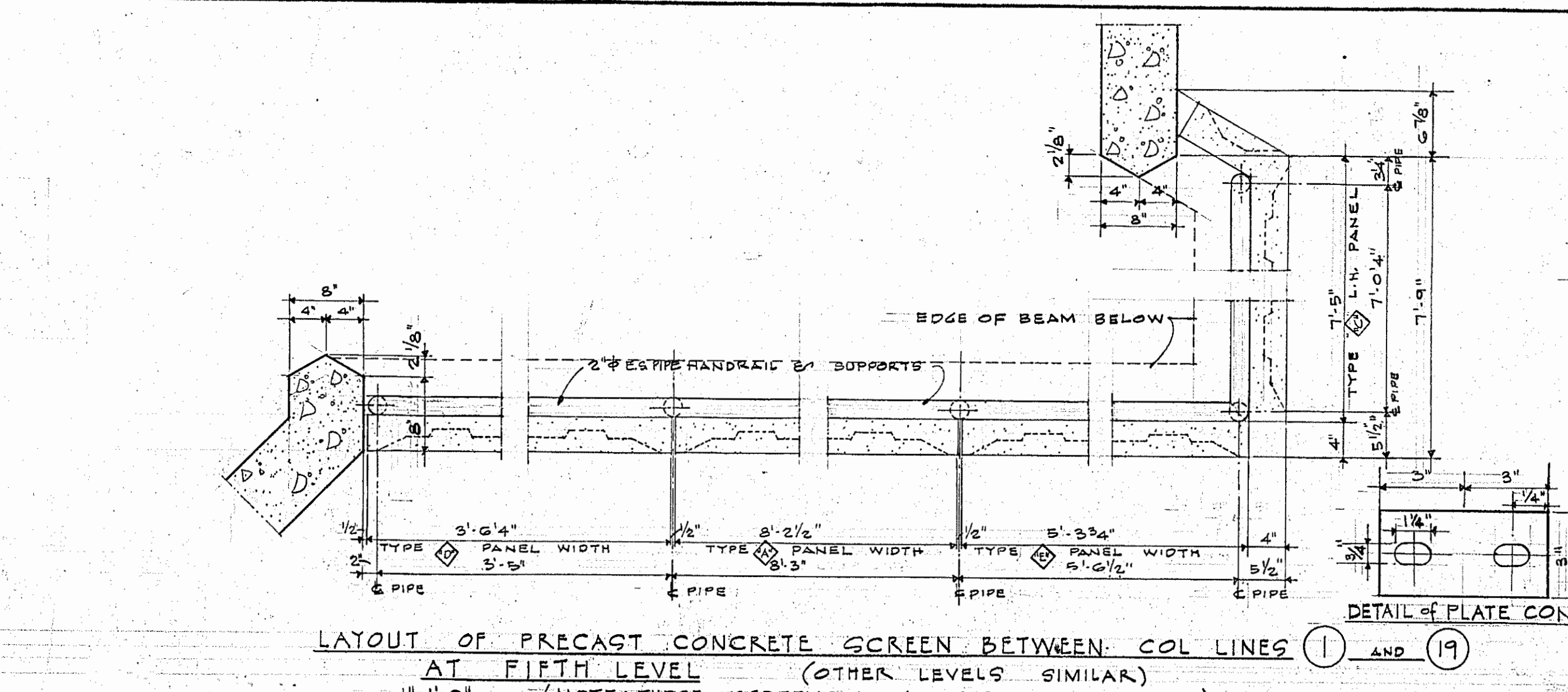
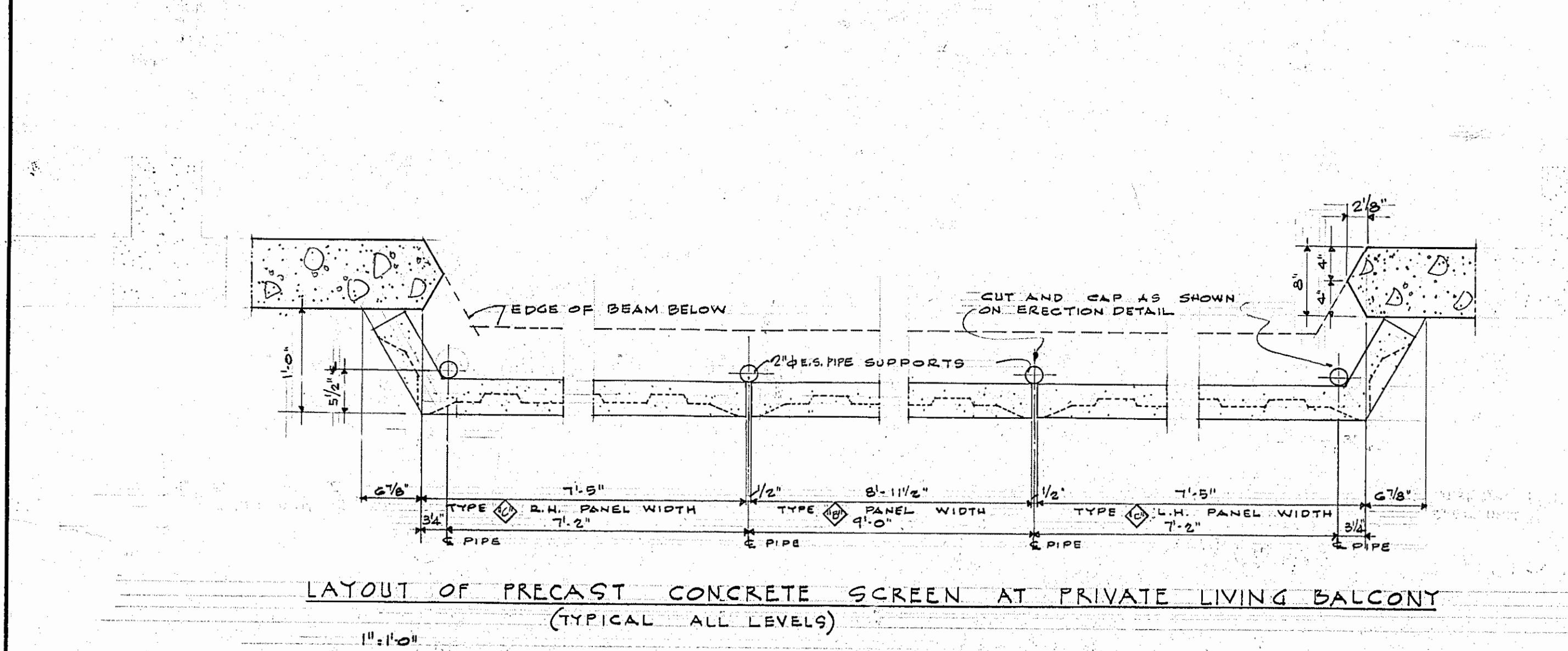
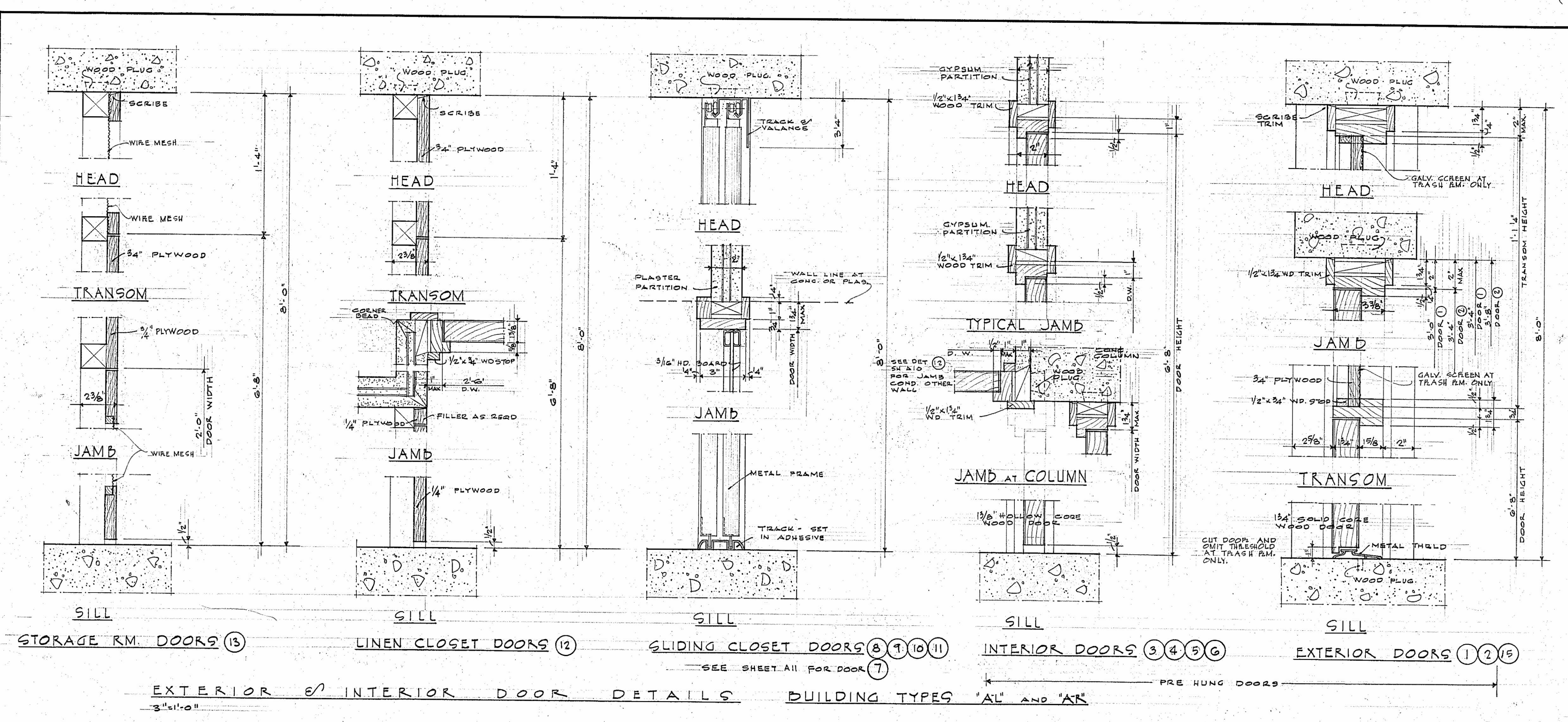
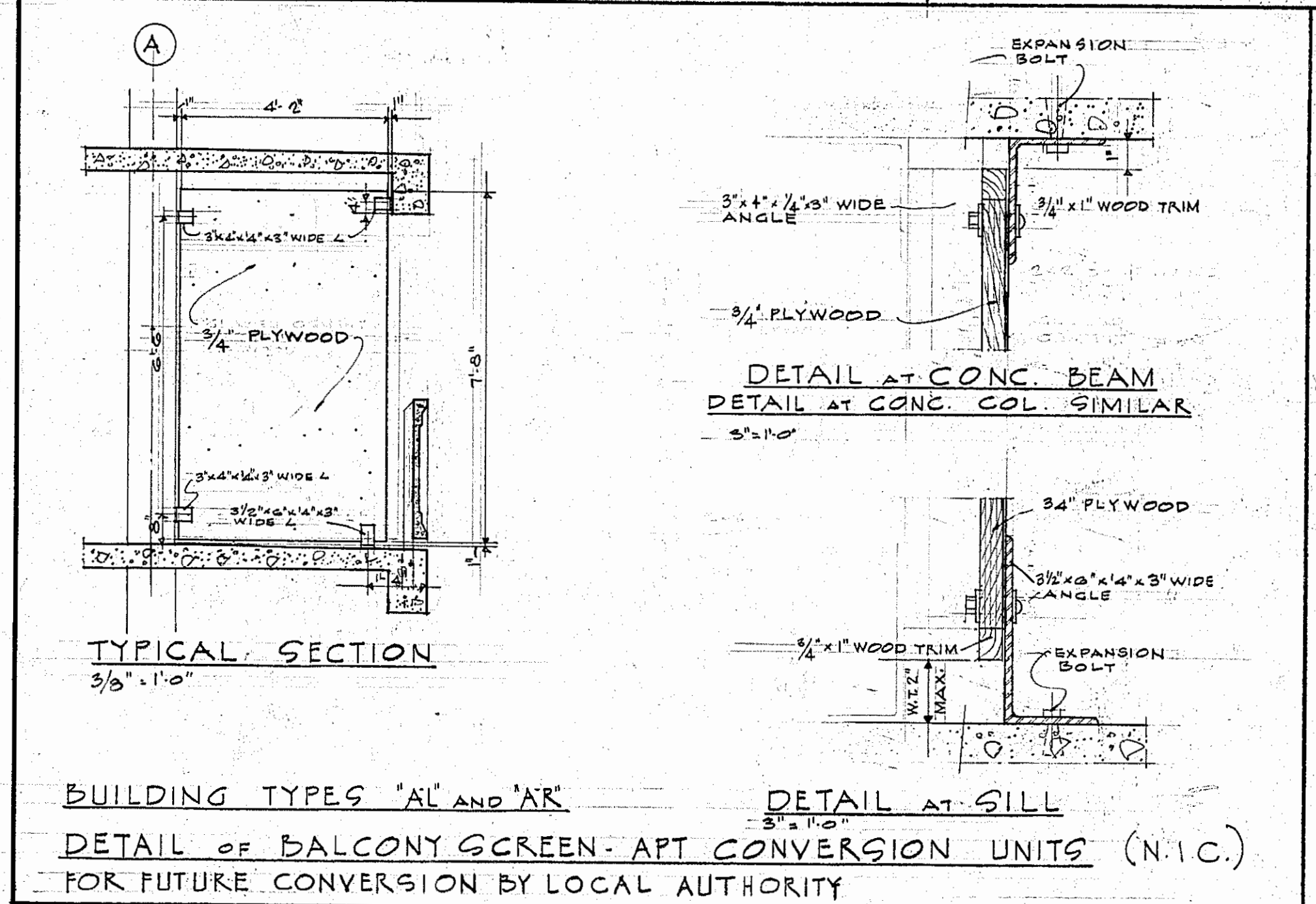
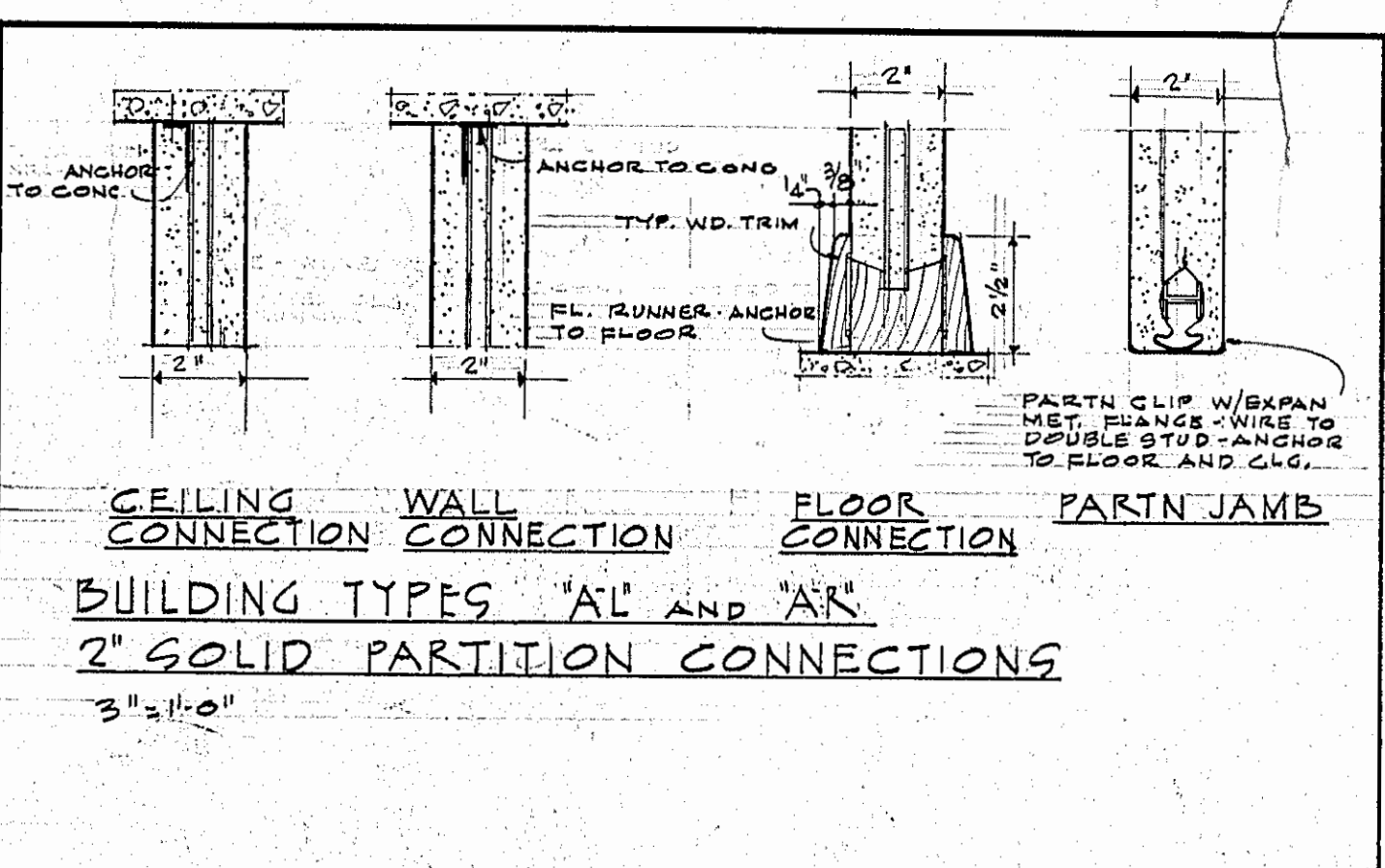
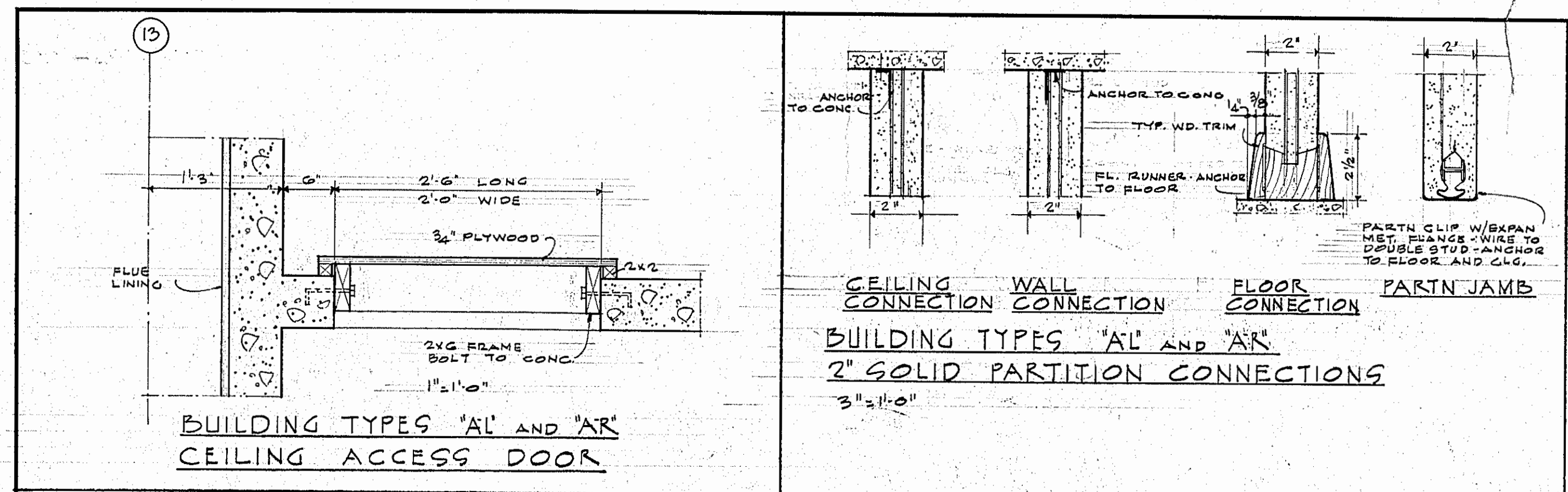


PRECAST CONCRETE SCREEN DETAILS BUILDING TYPES 'A' AND 'A'



TYPICAL REINFORCING PRECAST CONCRETE SCREEN

REVISION DATE DESCRIPTION	JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA LOW RENT HOUSING PROJECT NO. CAL. 52-1 BUILDING TYPES 'A' AND 'A' PRECAST CONCRETE SCREEN DETAILS DOOR DETAILS MISCELLANEOUS DETAILS
CONSULTANT DATE 11-2-78	JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS 111 NEW MONMOUTH ST. SAN FRANCISCO 94104 SAN FRANCISCO 94104



REVISION | DATE | DESCRIPTION

JOHN CARL WARNECKE AIA ARCHITECT
AARON G. GREEN AIA ARCHITECT
HOUSING AUTHORITY OF THE COUNTY OF MARIN

HOUSING AUTHORITY OF THE COUNTY OF MARIN
MARIN CITY, CALIFORNIA

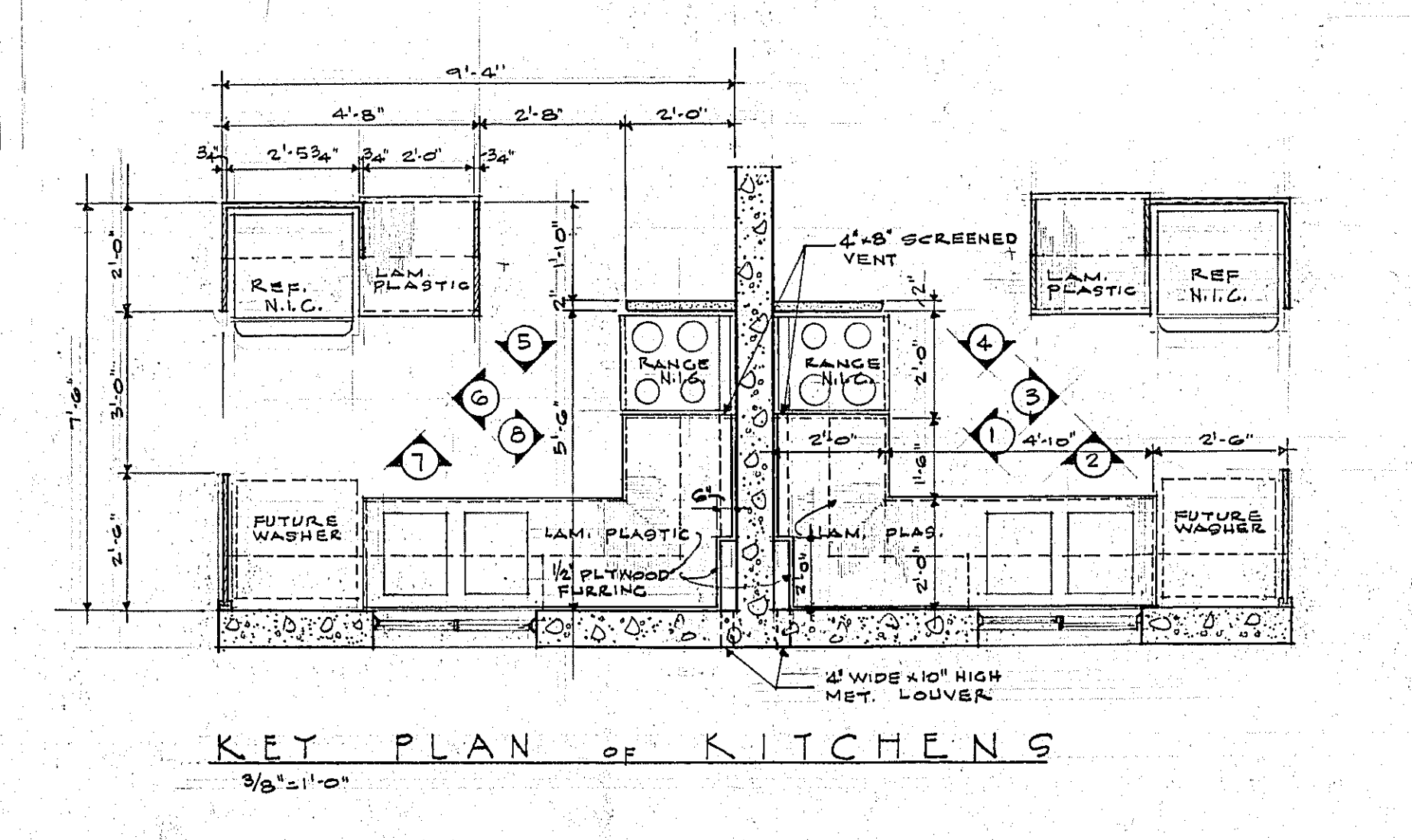
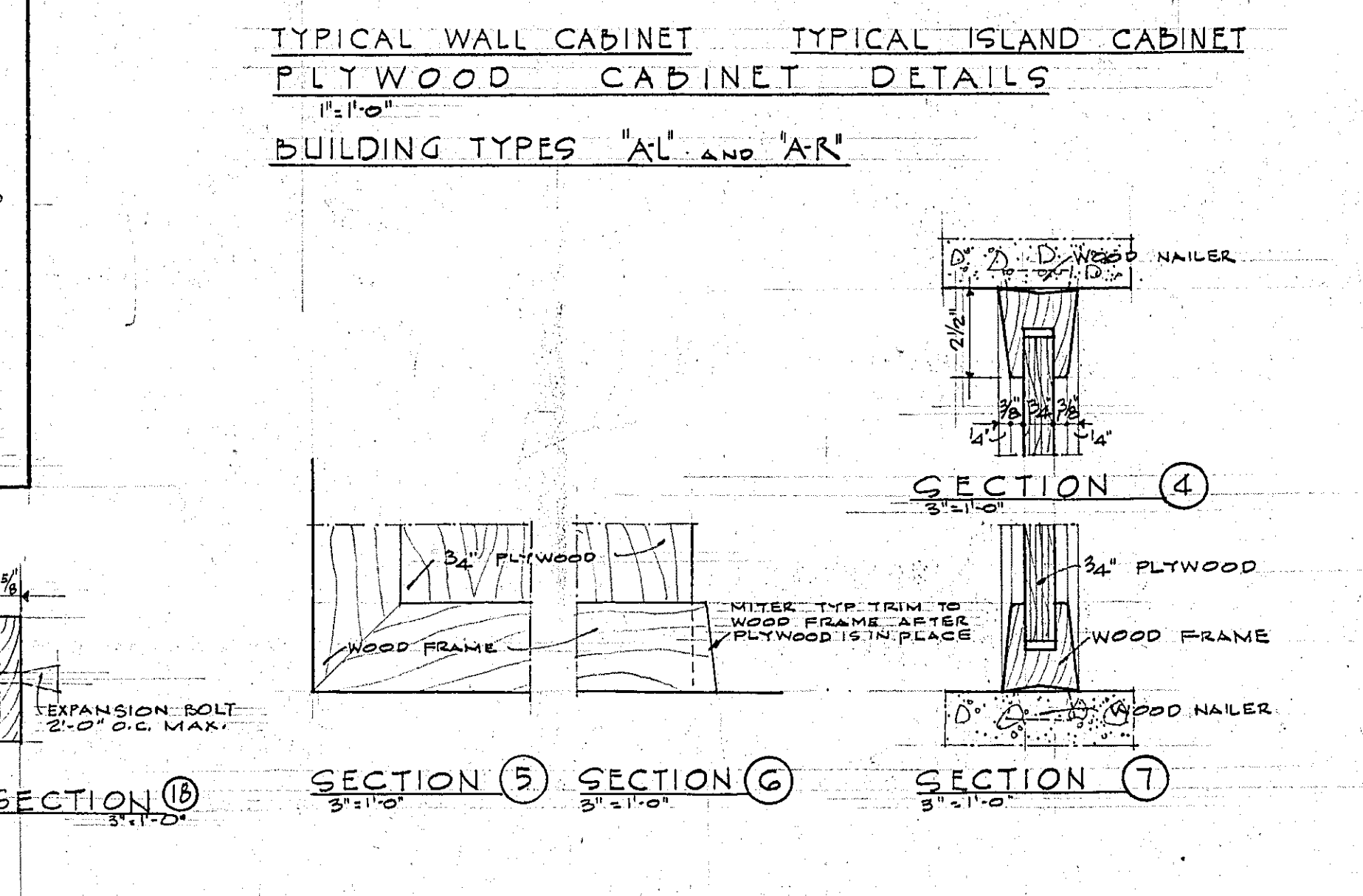
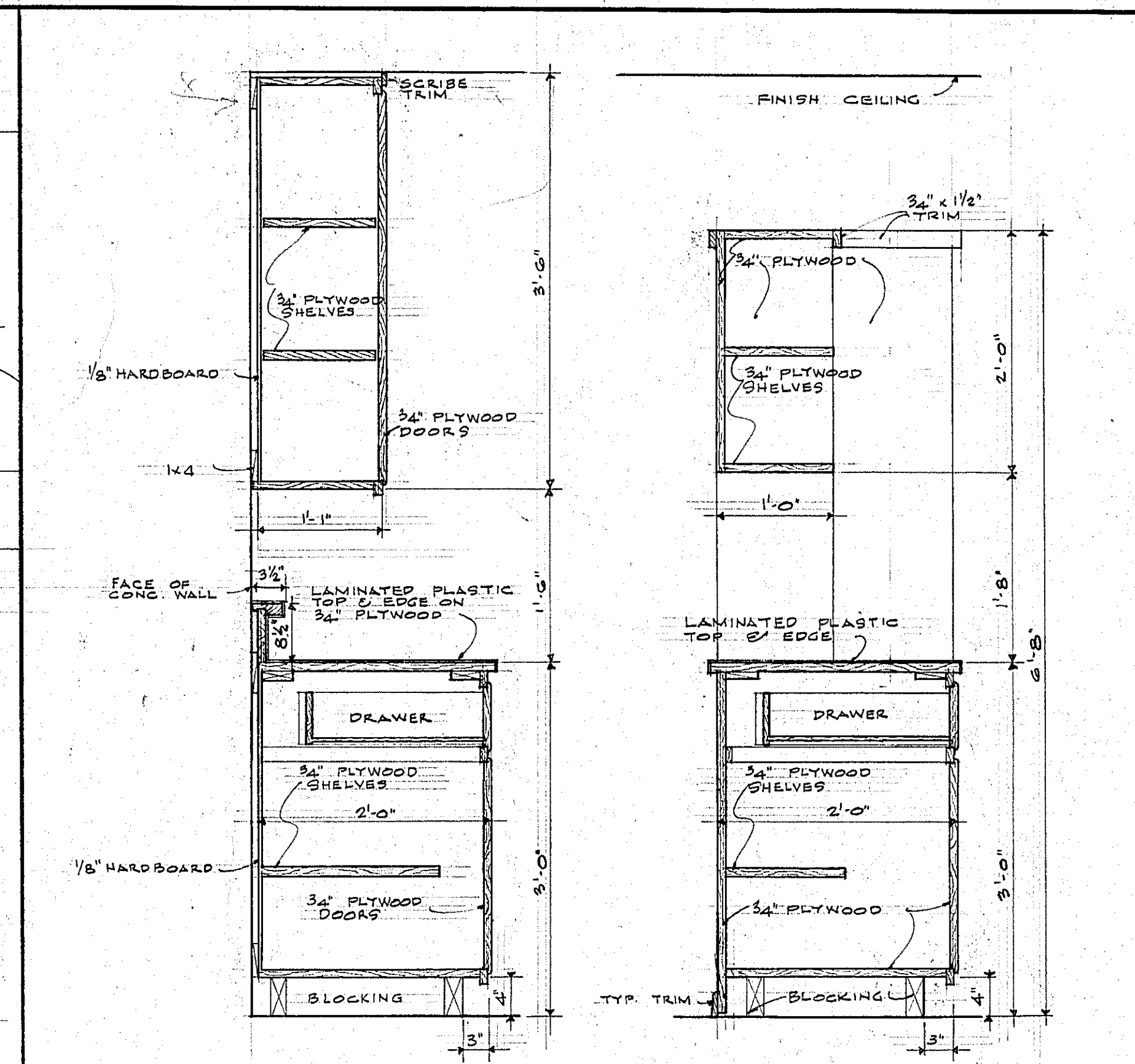
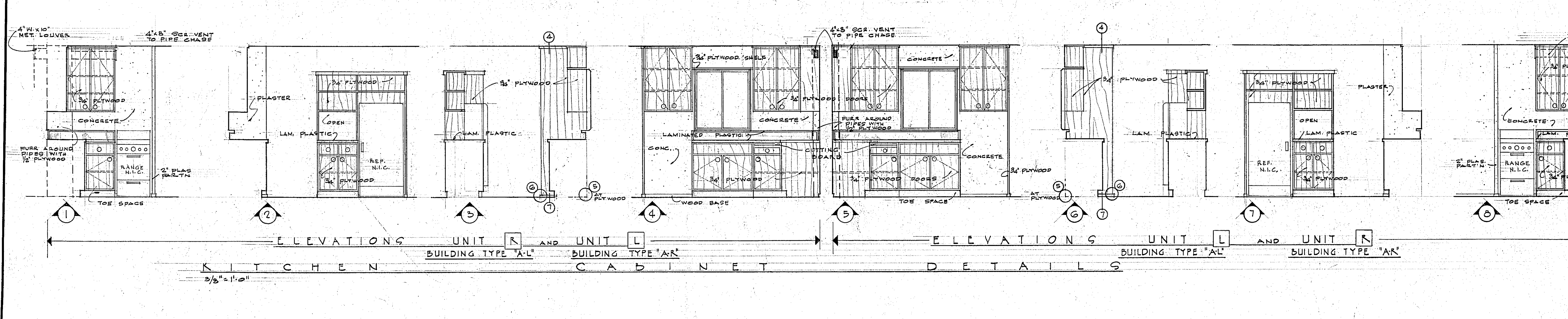
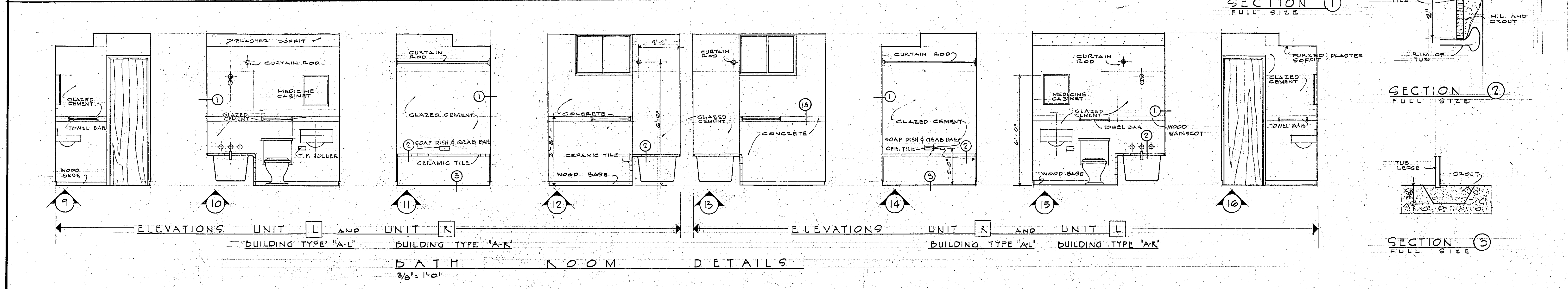
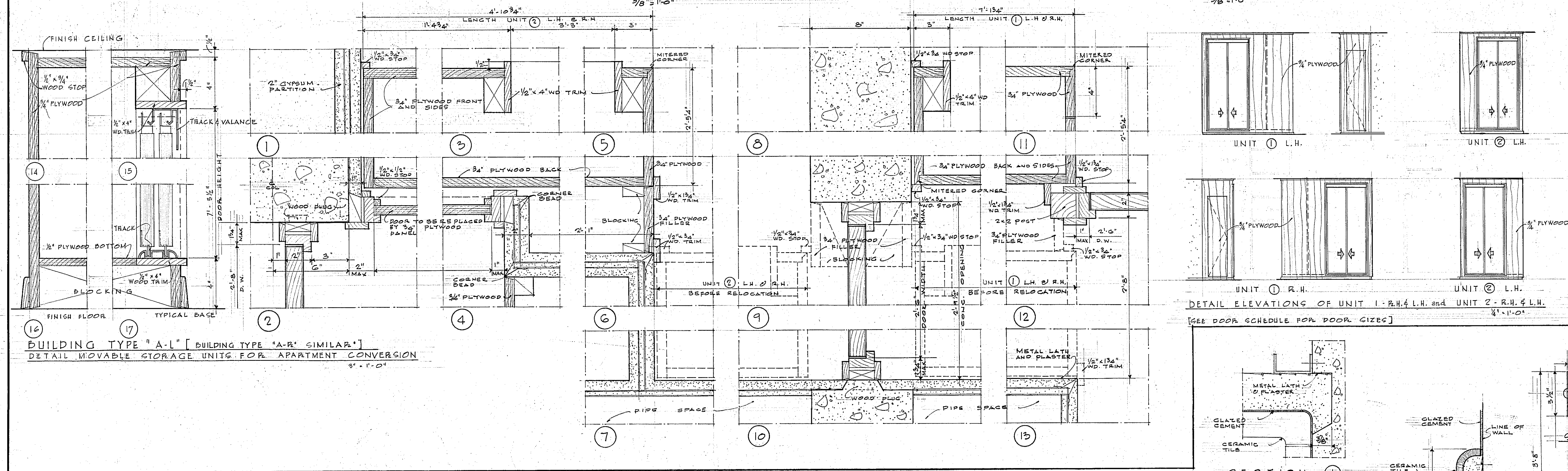
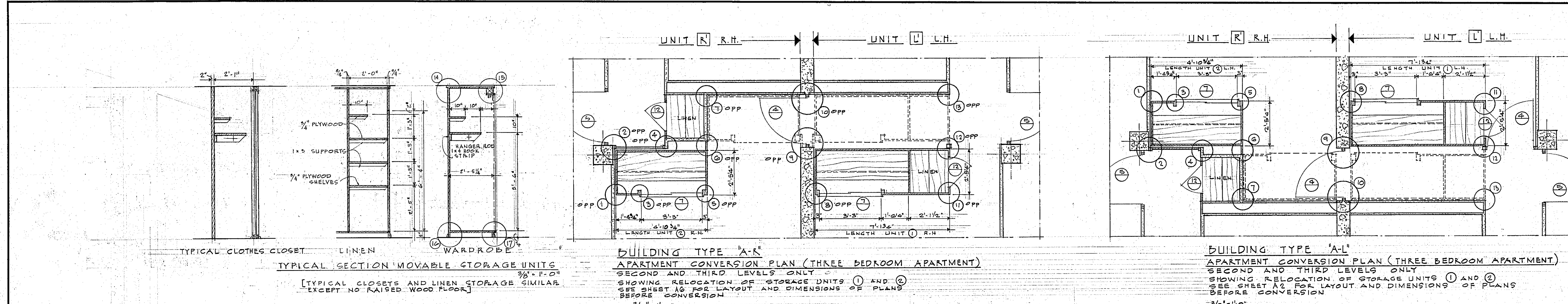
LOW RENT HOUSING PROJECT NO. CAL. 52-1

BUILDING TYPES 'A1' AND 'A2'
PRECAST CONCRETE SCREEN DETAILS
DOOR DETAILS
MISCELLANEOUS DETAILS

DATE: 11-5-58
DRAWN: RICHARD GIBSON
CONSULTANT

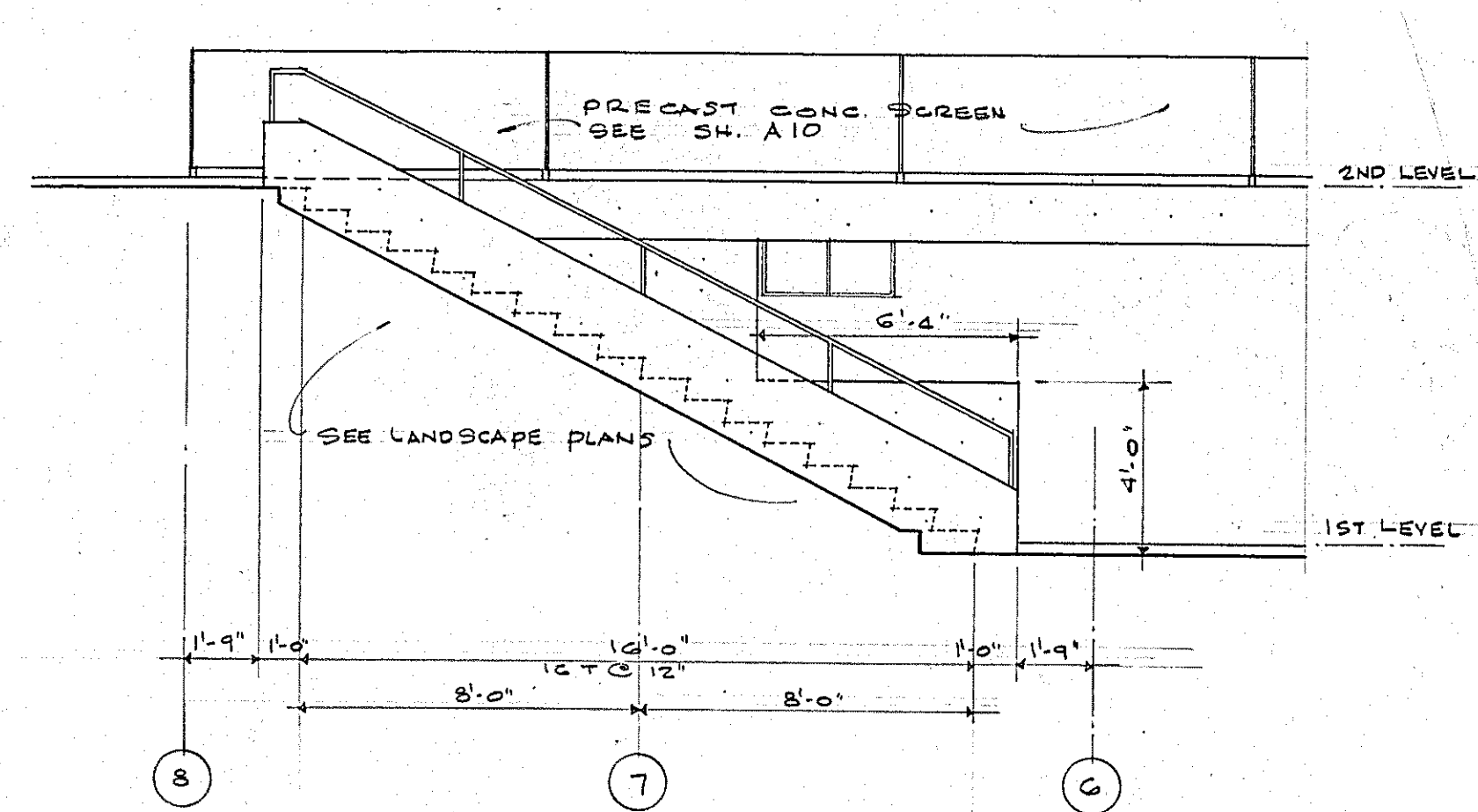
DATE: 11-5-58
JOB NO.: 574
AIA
AIA
ARCHITECTS
DWG. NO.:
111 NEW MONTGOMERY ST.
SAN FRANCISCO 9
219 GRANT AVE.
SAN FRANCISCO 9
OF 21

A10

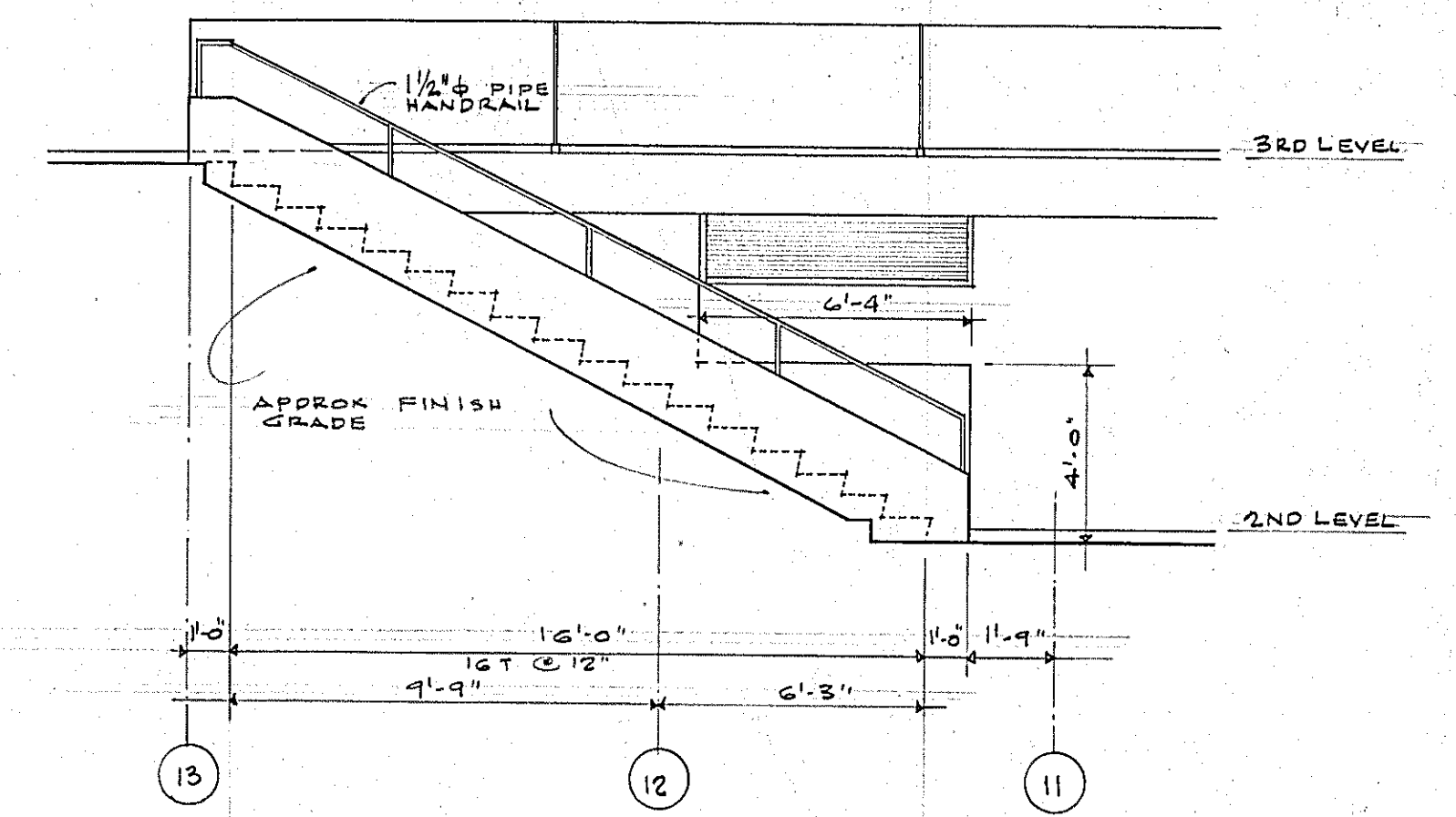


REVISION	DATE	DESCRIPTION
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2	11-5-56	ISSUE FOR CONSTRUCTION

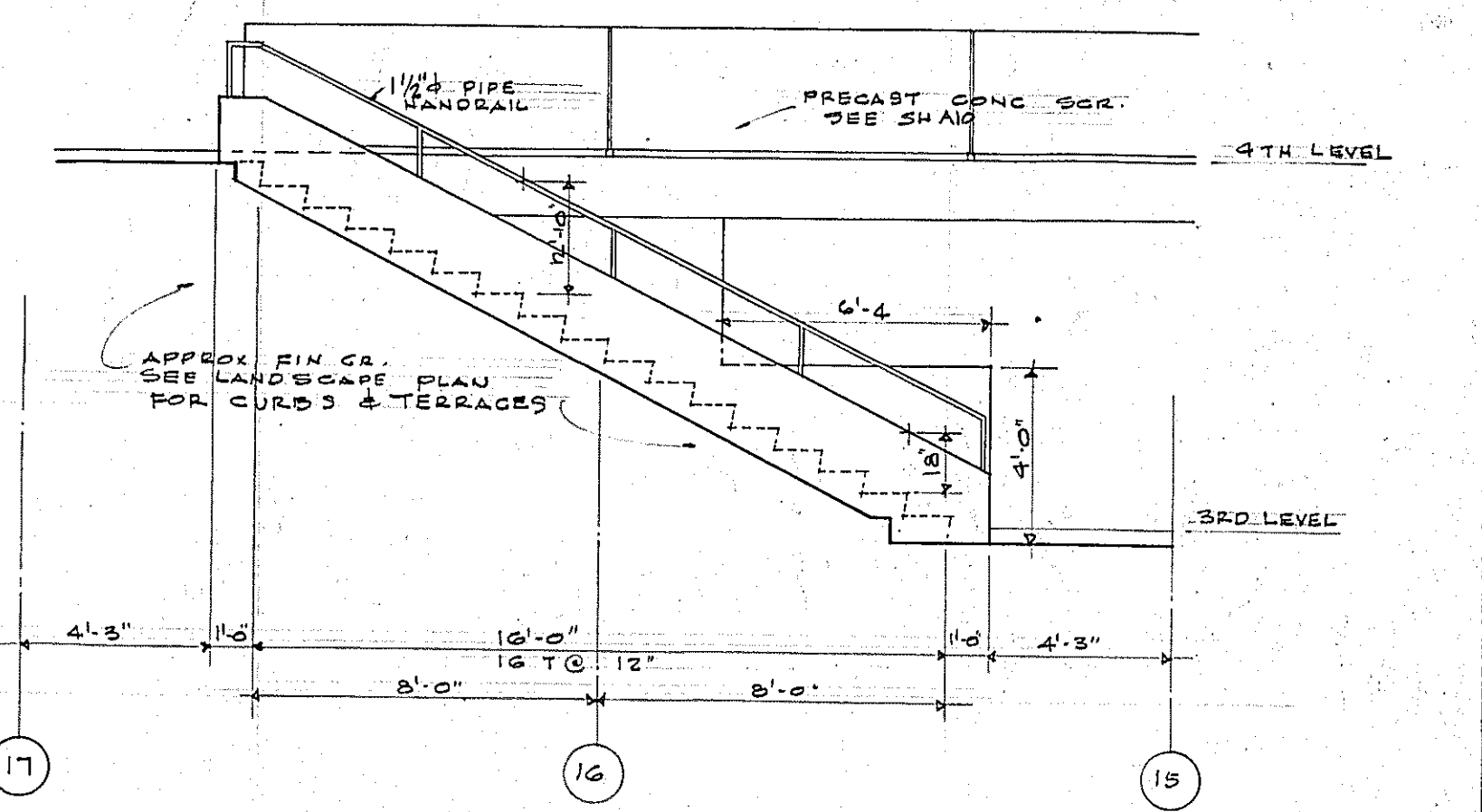
JOHN CARL WARNECKE AIA ARCHITECT AARON G. GREEN AIA ARCHITECT HOUSING AUTHORITY OF THE COUNTY OF MARIN	HOUSING AUTHORITY OF THE COUNTY OF MARIN MARIN CITY, CALIFORNIA LOW RENT HOUSING PROJECT NO. CAL. 52-1 BUILDING TYPES 'A-L' AND 'A-K' KITCHEN DETAILS BATH DETAILS MOVABLE WARDROBE DETAILS
CONSULTANT JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS	DATE 11-5-56 DRAWN RICHARD GIBSON 111 NEW MONTGOMERY ST. SAN FRANCISCO 5



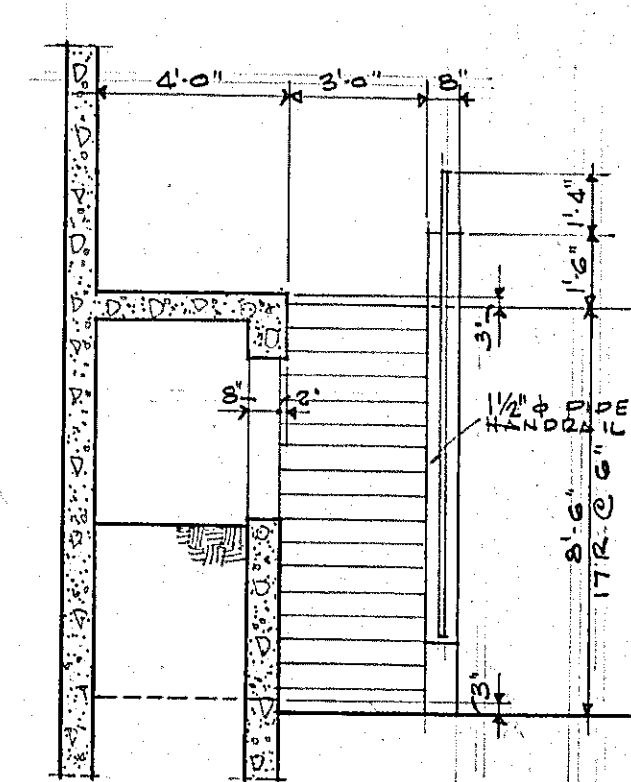
STAIR NO. 3
BUILDING TYPE "A-K"



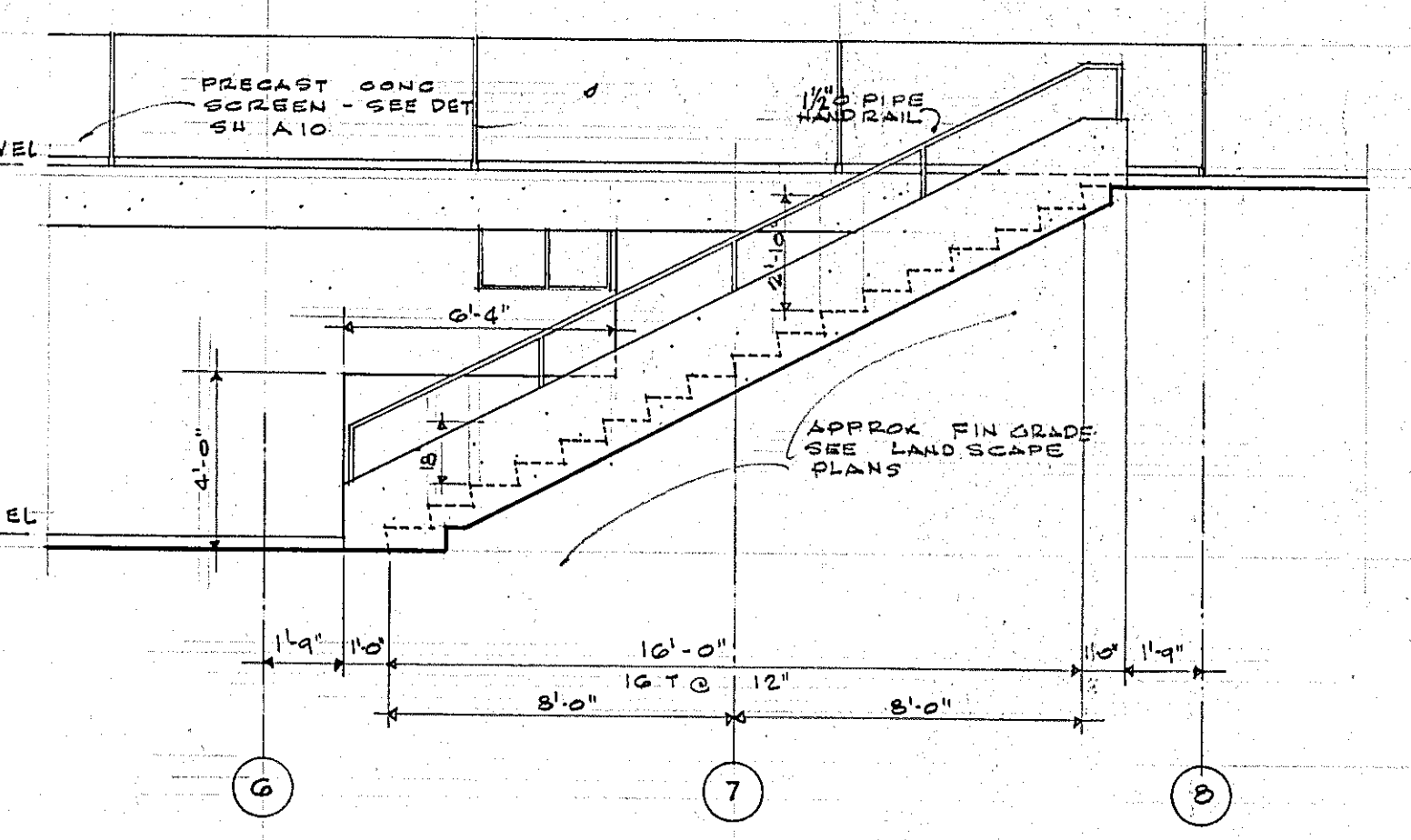
STAIR NO. 4
BUILDING TYPE "A-K"



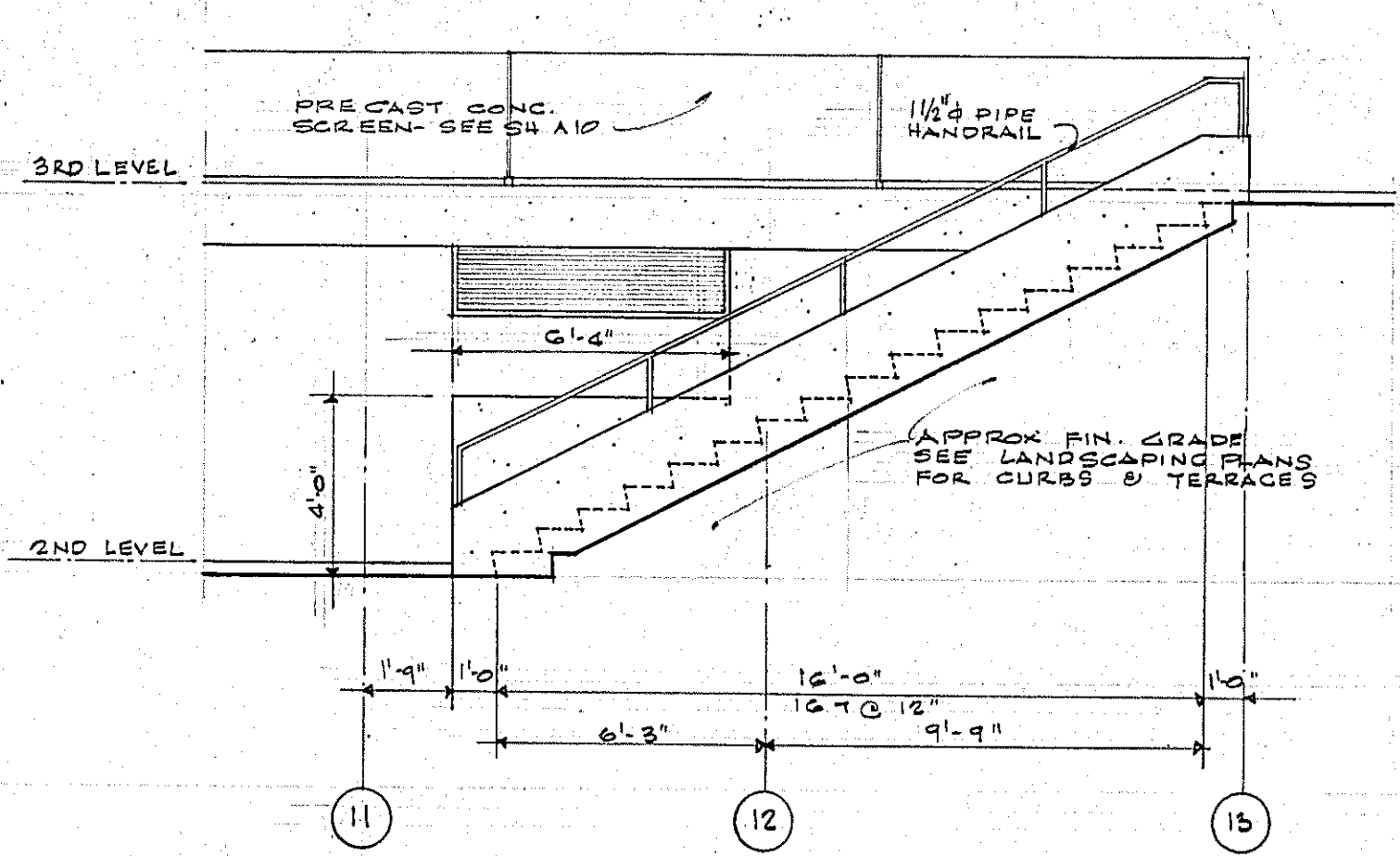
STAIR NO. 5
BUILDING TYPE "A-K"



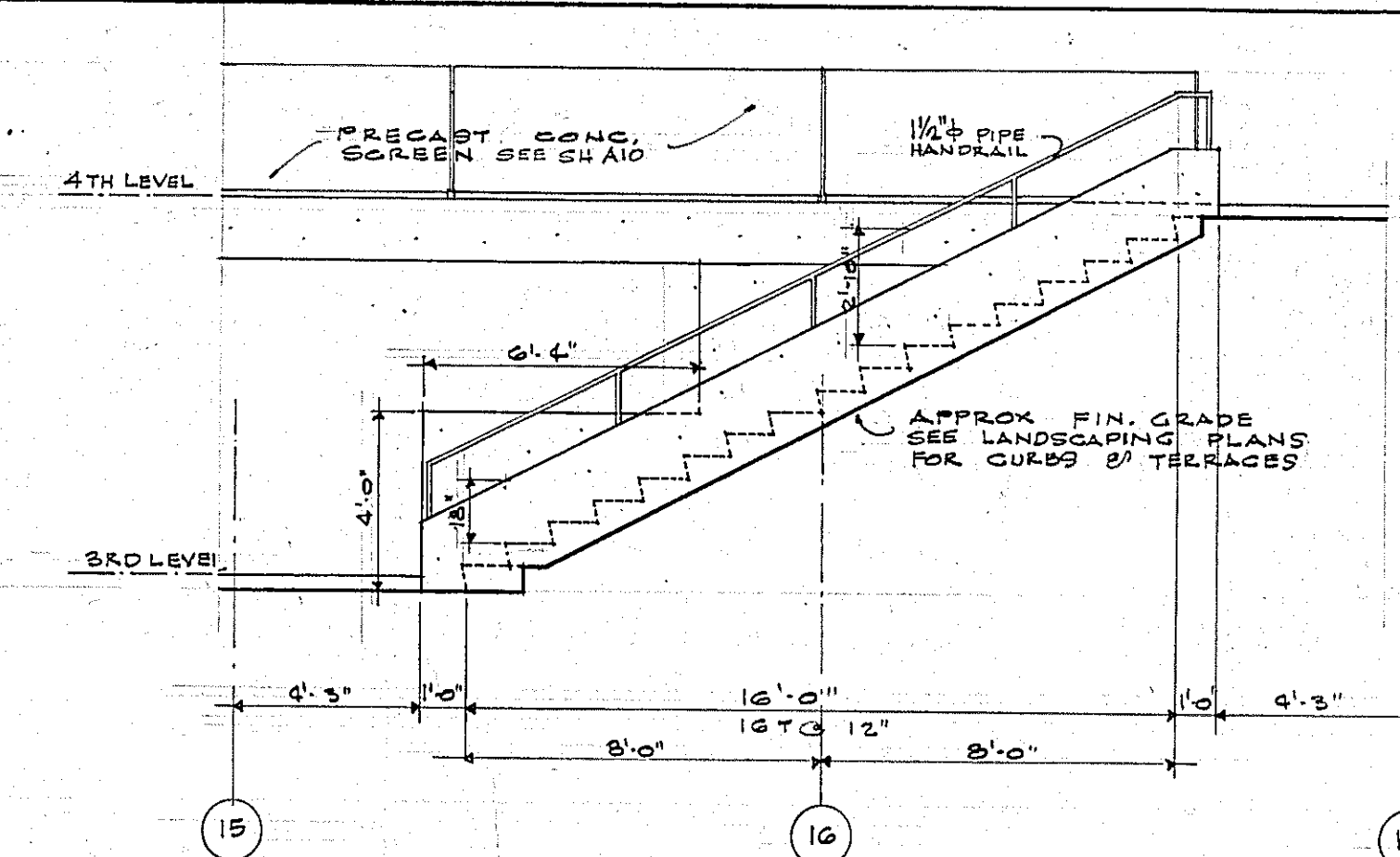
TYPICAL SECTION
BUILDING TYPE "A-L" AND "A-K"



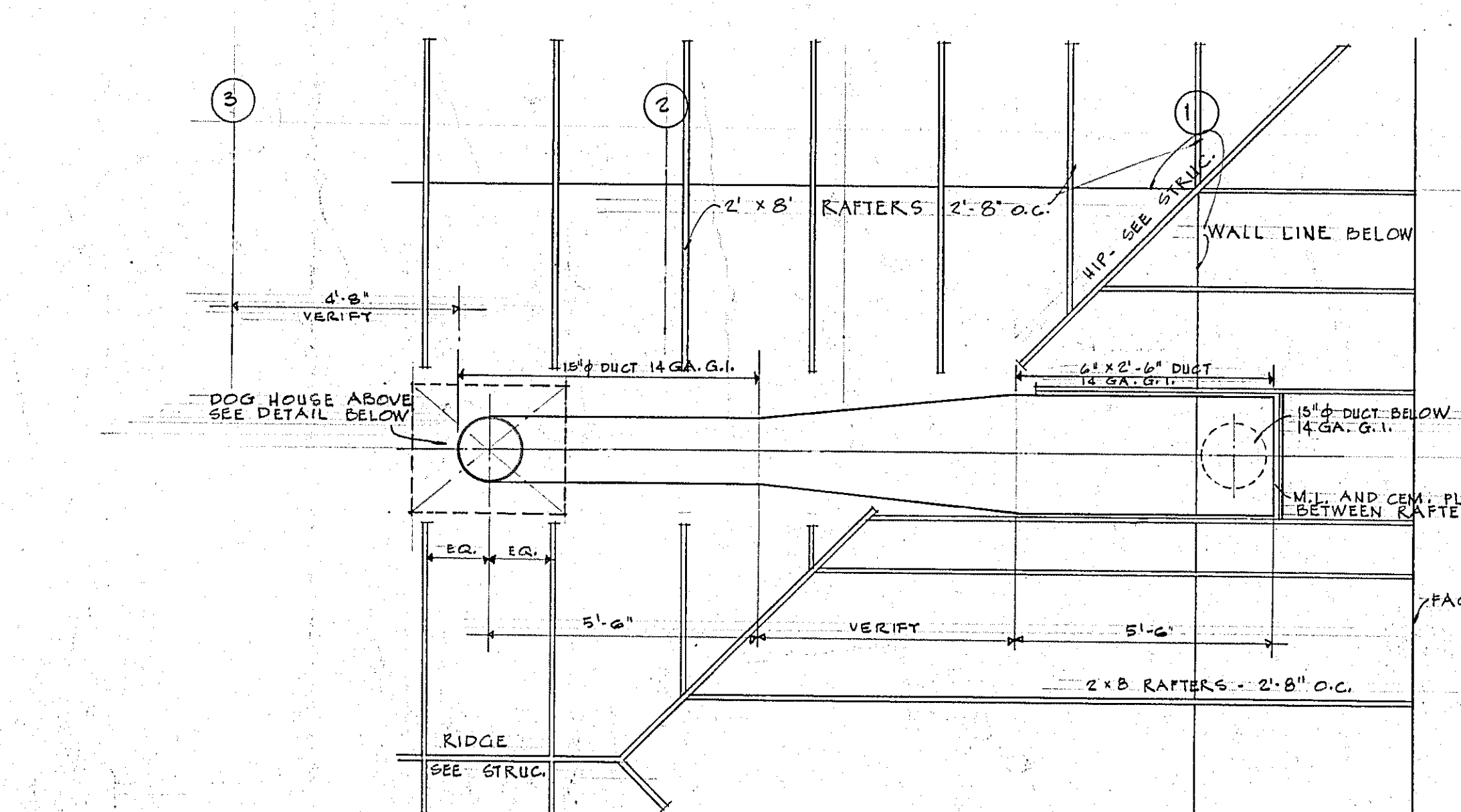
STAIR NO. 3
BUILDING TYPE "A-L"



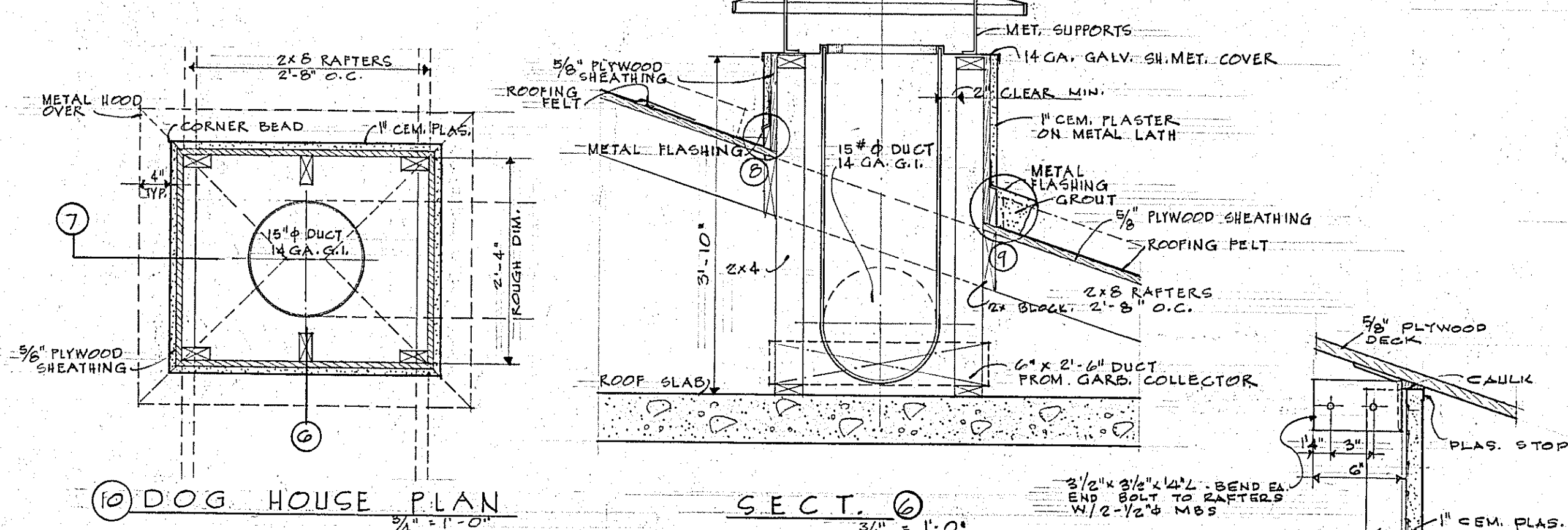
STAIR NO. 4
BUILDING TYPE "A-L"



STAIR NO. 5
BUILDING TYPE "A-L"

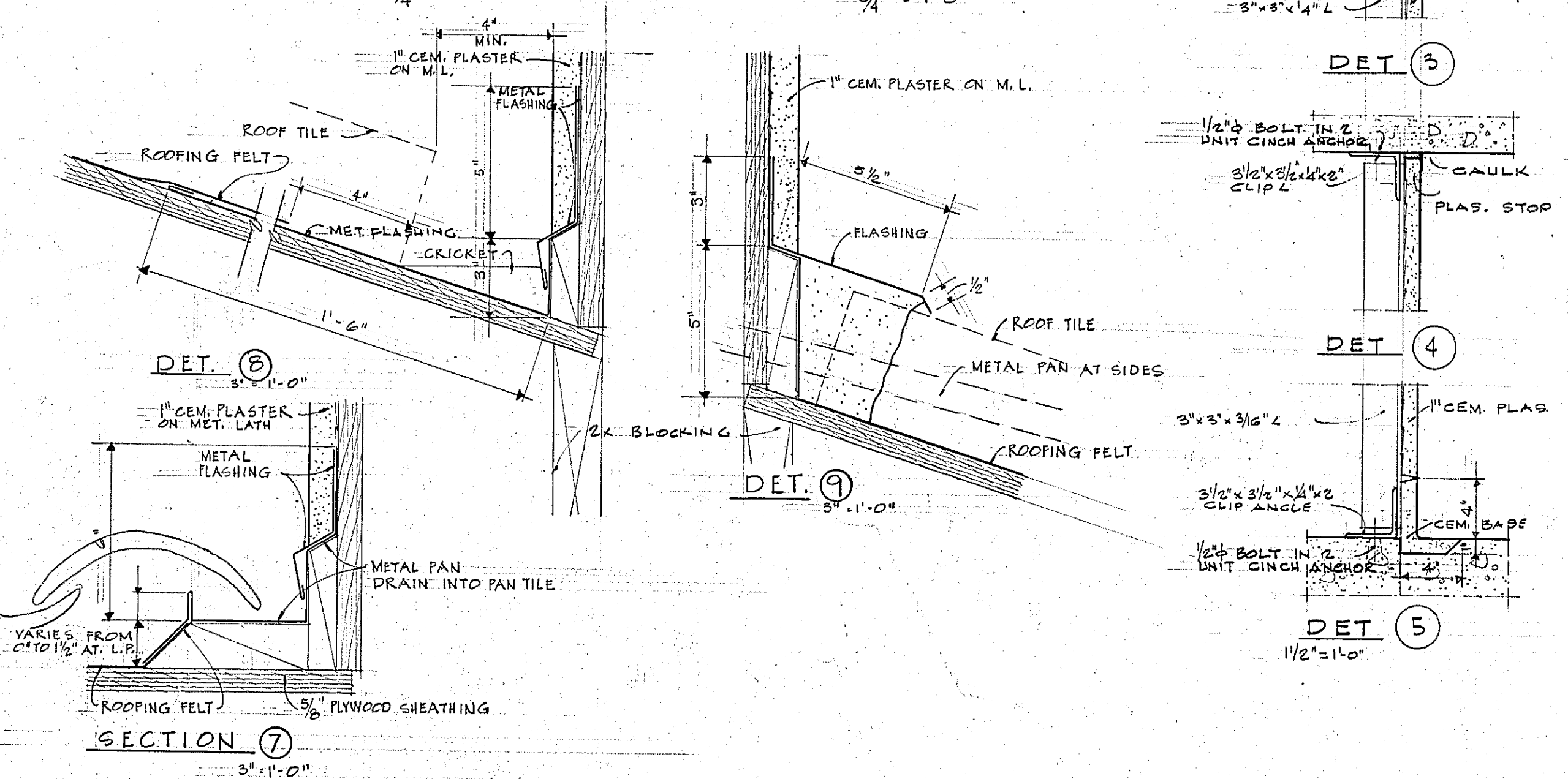


ROOF PLAN AT METAL VENT

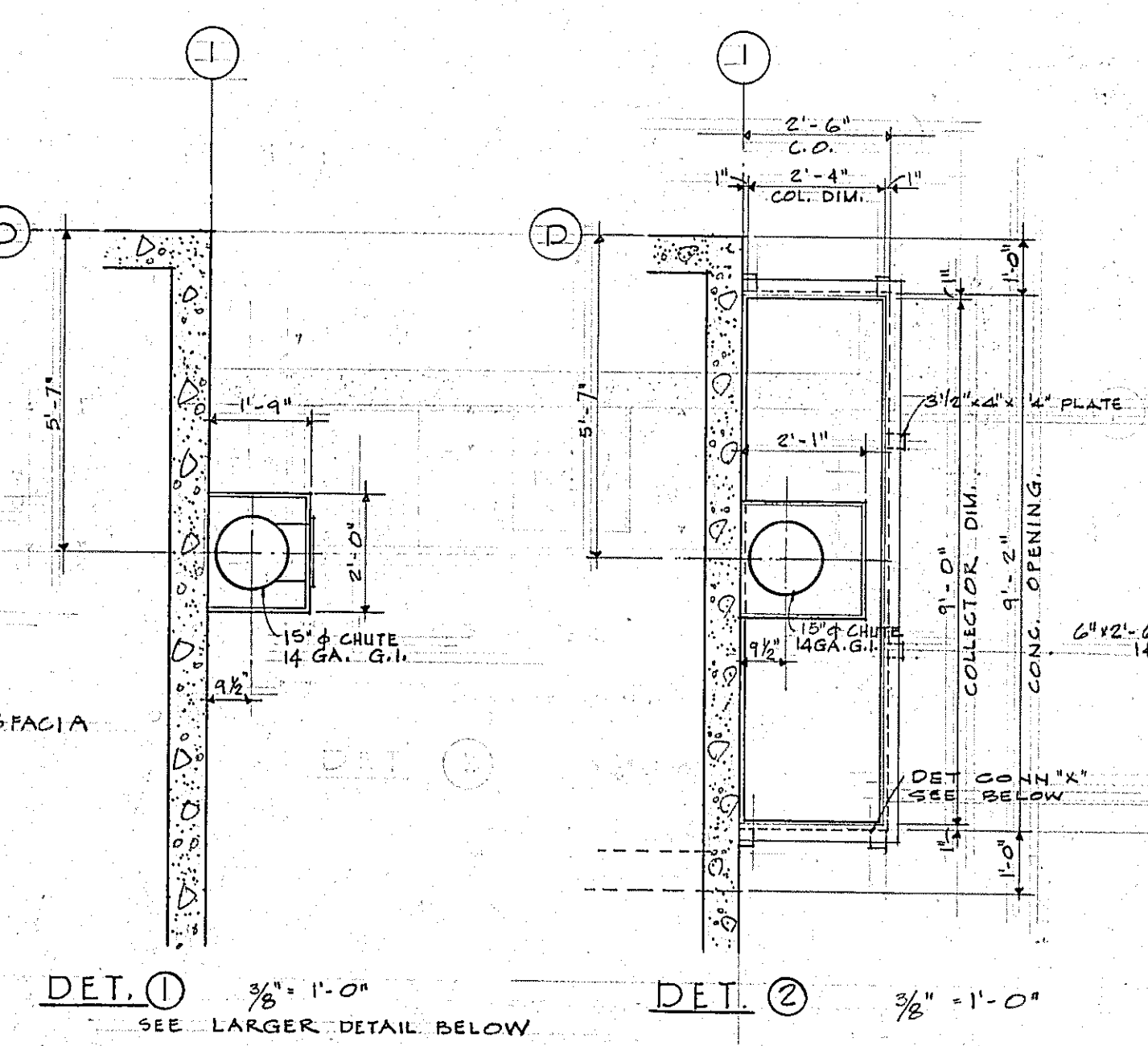


DOG HOUSE PLAN

SECTION

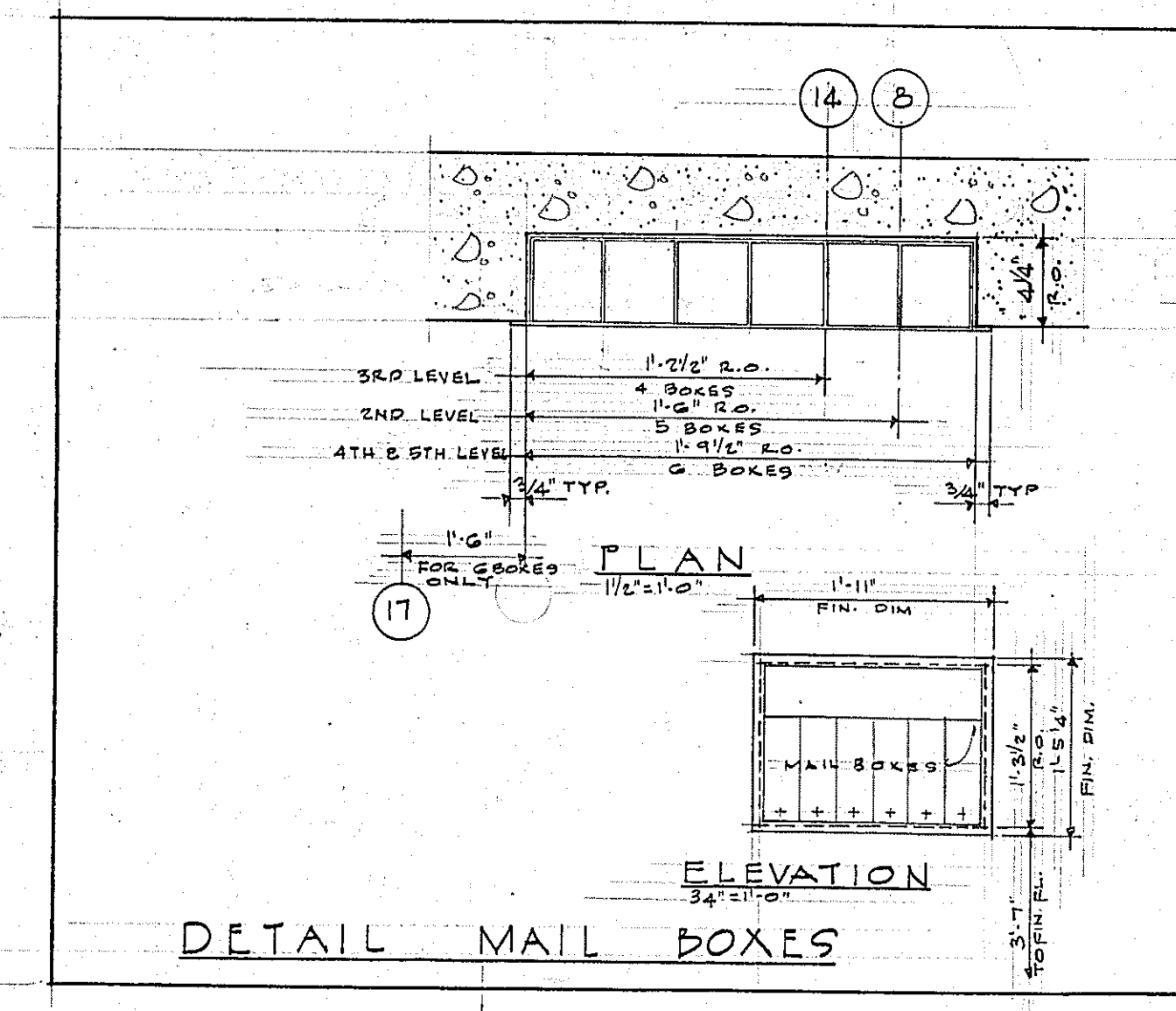


SECTION 7

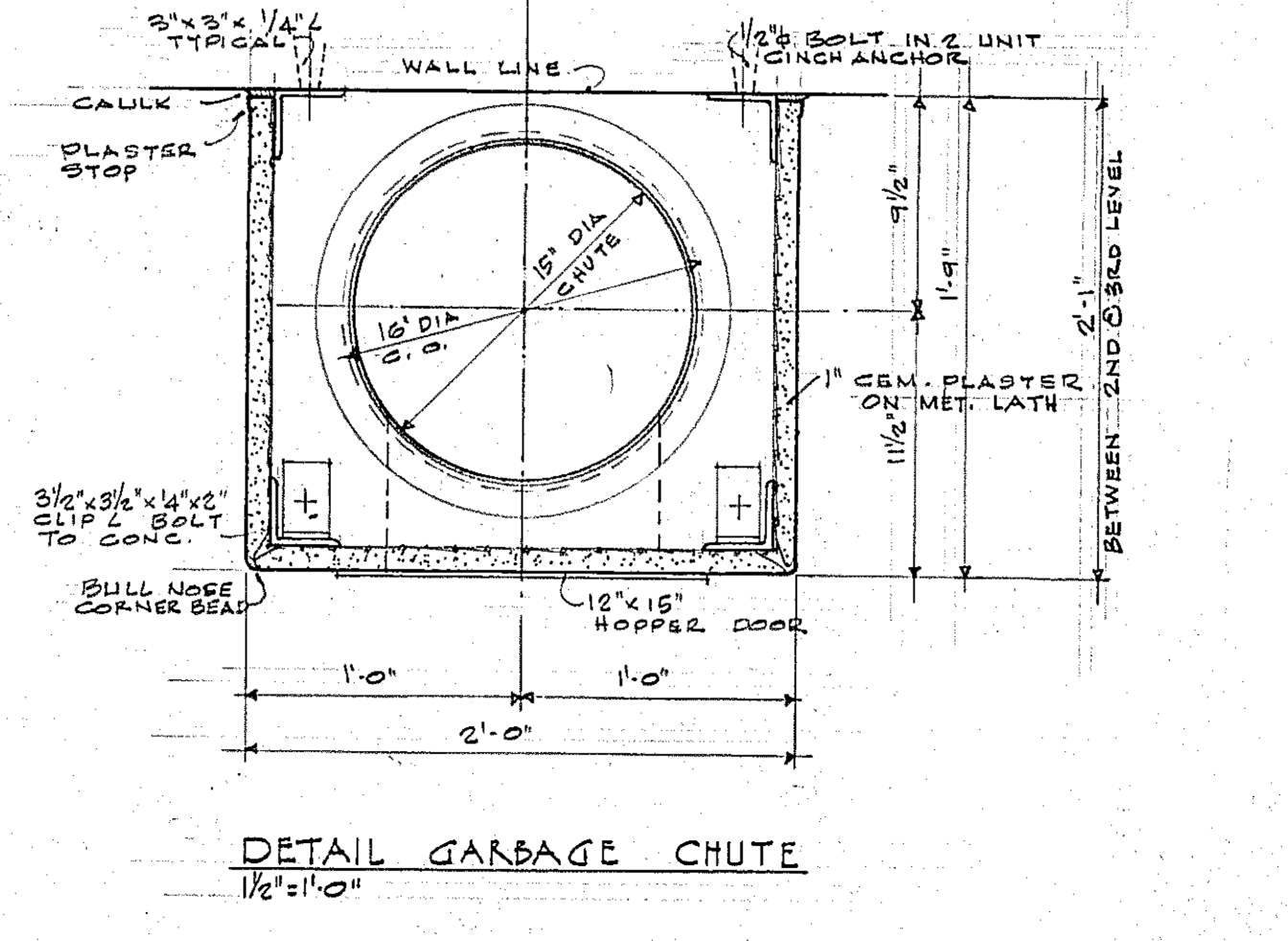


DET. 1

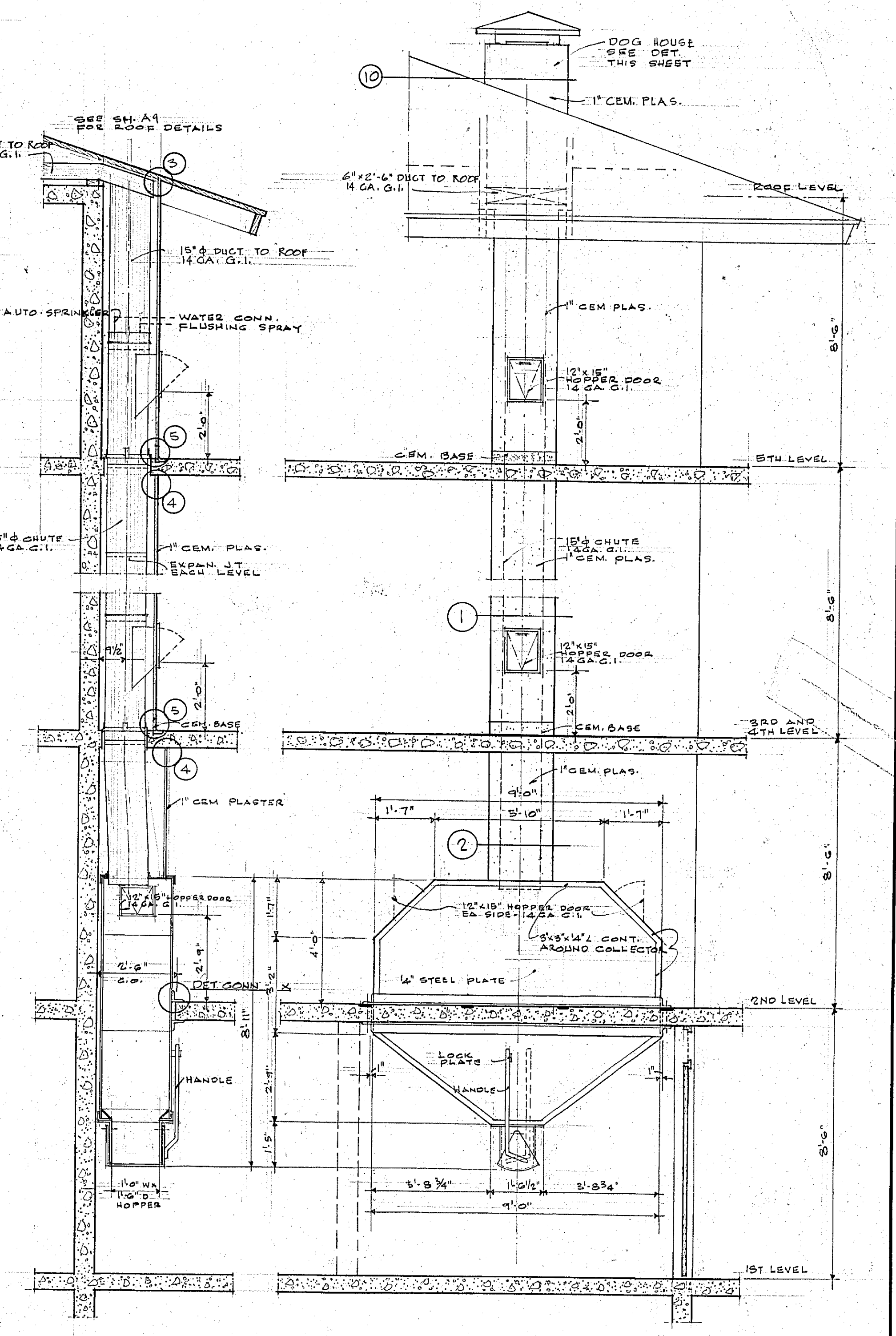
DET. 2



DETAIL MAIL BOXES



DETAIL GARBAGE CHUTE



SECTION OF ELEVATION OF GARBAGE CHUTE AND COLLECTOR
BUILDING TYPE "A-L"
(CONDITIONS AT BUILDING TYPE "A-K" SHOWN DOTTED)

REVISION	DATE	DESCRIPTION

JOHN CARL WARNECKE AIA ARCHITECT	HOUSING AUTHORITY OF THE COUNTY OF MARIN	
AARON G. GREEN AIA ARCHITECT	MARIN CITY, CALIFORNIA	
HOUSING AUTHORITY OF THE COUNTY OF MARIN	LOW RENT HOUSING PROJECT NO. CAL. 52-1	
BUILDING TYPES "A-L" AND "A-K"		
GARBAGE CHUTE & COLLECTOR DETAILS STAIR NO. 3, 4, & 5 DETAILS		
CONSULTANT	DATE 11-8-58	JOHN CARL WARNECKE AIA AARON G. GREEN AIA ASSOCIATED ARCHITECTS
DRAWN RICHARD GIBSON	111 NEW MONTGOMERY ST. SAN FRANCISCO 9	JOB NO. 57-4 DWG. NO. A-12 OF 21

APPENDIX F



HUD Quick Guide

Appendix A

Quick Reference Guide

Appendix A

Quick Reference Guide (HA Version)

1. Log on to PIC.																							
2. Access the Development Submodule .																							
3. Select a Development.	<table border="1" data-bbox="760 747 1390 827"> <tr> <td>Field Office HA:</td> <td>LA011 WESTWEGO</td> </tr> <tr> <td>Physical Development:</td> <td>LA011001 MID-CITY HEIGHTS ▾</td> </tr> </table>	Field Office HA:	LA011 WESTWEGO	Physical Development:	LA011001 MID-CITY HEIGHTS ▾																		
Field Office HA:	LA011 WESTWEGO																						
Physical Development:	LA011001 MID-CITY HEIGHTS ▾																						
4. Review the following Development data: <ul style="list-style-type: none"> • Profile • Management office address • Contact information 	<table border="1" data-bbox="760 863 1390 1255"> <thead> <tr> <th colspan="2">Development Profile Information</th> </tr> </thead> <tbody> <tr> <td>Development Name:</td> <td>MID-CITY HEIGHTS</td> </tr> <tr> <td>Program Type:</td> <td>Low Income Rental</td> </tr> <tr> <td>Development Method:</td> <td>New Construction - Conventional</td> </tr> <tr> <td>Structure Type:</td> <td>Semi Detached</td> </tr> <tr> <td>Acquisition Construction Date:</td> <td></td> </tr> <tr> <td>DOFA Date:</td> <td>02/28/1963</td> </tr> <tr> <td>EIOP Date:</td> <td>03/03/1963</td> </tr> <tr> <td>Dwelling Structures:</td> <td>50</td> </tr> <tr> <td>Non-Dwelling Structures:</td> <td>2</td> </tr> <tr> <td>Scattered Site?</td> <td>No</td> </tr> </tbody> </table>	Development Profile Information		Development Name:	MID-CITY HEIGHTS	Program Type:	Low Income Rental	Development Method:	New Construction - Conventional	Structure Type:	Semi Detached	Acquisition Construction Date:		DOFA Date:	02/28/1963	EIOP Date:	03/03/1963	Dwelling Structures:	50	Non-Dwelling Structures:	2	Scattered Site?	No
Development Profile Information																							
Development Name:	MID-CITY HEIGHTS																						
Program Type:	Low Income Rental																						
Development Method:	New Construction - Conventional																						
Structure Type:	Semi Detached																						
Acquisition Construction Date:																							
DOFA Date:	02/28/1963																						
EIOP Date:	03/03/1963																						
Dwelling Structures:	50																						
Non-Dwelling Structures:	2																						
Scattered Site?	No																						
5. Perform the following tasks on the Building Tab: <ul style="list-style-type: none"> • Edit building details. • Add building records. • Remove building records (during initial upload only). 	<table border="1" data-bbox="760 1293 1390 1566"> <thead> <tr> <th colspan="2">Building Entrance Details</th> </tr> </thead> <tbody> <tr> <td>Building Type:</td> <td>Multifamily/Walkup Apts (Shared Entrance) ▾*</td> </tr> <tr> <td>Building Status Type:</td> <td>Initial Approval Completed</td> </tr> <tr> <td>Bar Code Number:</td> <td><input type="text"/> Reserved for future use</td> </tr> <tr> <td>Floor Count:</td> <td><input type="text" value="3"/>*</td> </tr> <tr> <td>Total Units Count:</td> <td>9</td> </tr> <tr> <td>Construction Date:</td> <td><input type="text" value="02/28/1941"/> MM/DD/YYYY</td> </tr> </tbody> </table>	Building Entrance Details		Building Type:	Multifamily/Walkup Apts (Shared Entrance) ▾*	Building Status Type:	Initial Approval Completed	Bar Code Number:	<input type="text"/> Reserved for future use	Floor Count:	<input type="text" value="3"/> *	Total Units Count:	9	Construction Date:	<input type="text" value="02/28/1941"/> MM/DD/YYYY								
Building Entrance Details																							
Building Type:	Multifamily/Walkup Apts (Shared Entrance) ▾*																						
Building Status Type:	Initial Approval Completed																						
Bar Code Number:	<input type="text"/> Reserved for future use																						
Floor Count:	<input type="text" value="3"/> *																						
Total Units Count:	9																						
Construction Date:	<input type="text" value="02/28/1941"/> MM/DD/YYYY																						

<p>6. Perform the following tasks on the Unit Tab:</p> <ul style="list-style-type: none"> • Edit, add, and (in some cases) delete unit records. • Upload building/unit data. • View Upload Error Reports. 	<div style="border: 1px solid black; padding: 5px;"> <p>Unit Information</p> <p>Unit Number: 10165</p> <p>Entrance Number: 1</p> <p>ACC Unit Indicator: Yes</p> <p>Door Number: H</p> <p>Bedroom Count: 1</p> <p>Unit Status Type: Initial Approval Completed</p> </div>																		
<p>7. Submit Building/Unit data.</p>	<div style="border: 1px solid black; padding: 5px; text-align: center;"> <p>Submit Data For Approval Save</p> </div>																		
<p>8. Generate reports.</p>	<div style="border: 1px solid black; padding: 5px;"> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #800000; color: white;"> <th style="width: 5%;"></th> <th style="width: 40%;">Development Code</th> <th style="width: 55%;">Development Name</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/></td> <td>LA011001</td> <td>MID-CITY HEIGHTS</td> </tr> <tr> <td><input type="checkbox"/></td> <td>LA011002</td> <td>WOODLAND ACRES</td> </tr> <tr> <td><input type="checkbox"/></td> <td>LA011003</td> <td>MID-CITY HEIGHTS</td> </tr> <tr> <td><input type="checkbox"/></td> <td>LA011004</td> <td>CANAL PLAZA</td> </tr> <tr style="background-color: #800000; color: white;"> <td><input checked="" type="checkbox"/></td> <td colspan="2">Select/Deselect All</td> </tr> </tbody> </table> <p>Building Status In Inventory</p> <p>Select Report Type <input type="radio"/> Summary <input type="radio"/> Summary by Development <input checked="" type="radio"/> Detailed</p> </div>		Development Code	Development Name	<input type="checkbox"/>	LA011001	MID-CITY HEIGHTS	<input type="checkbox"/>	LA011002	WOODLAND ACRES	<input type="checkbox"/>	LA011003	MID-CITY HEIGHTS	<input type="checkbox"/>	LA011004	CANAL PLAZA	<input checked="" type="checkbox"/>	Select/Deselect All	
	Development Code	Development Name																	
<input type="checkbox"/>	LA011001	MID-CITY HEIGHTS																	
<input type="checkbox"/>	LA011002	WOODLAND ACRES																	
<input type="checkbox"/>	LA011003	MID-CITY HEIGHTS																	
<input type="checkbox"/>	LA011004	CANAL PLAZA																	
<input checked="" type="checkbox"/>	Select/Deselect All																		

Appendix B

Defining Structure Types

Defining Structure Types

for PIC - Building and Unit Data

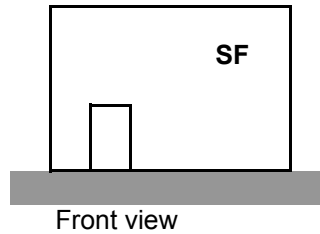
Single Family/Detached (SF)

C:\PIC\Guidance\Structure Drawings.xls

11/18/2003 DMcM

A structure that consists of a single living unit and is surrounded by permanent open spaces.

One configuration

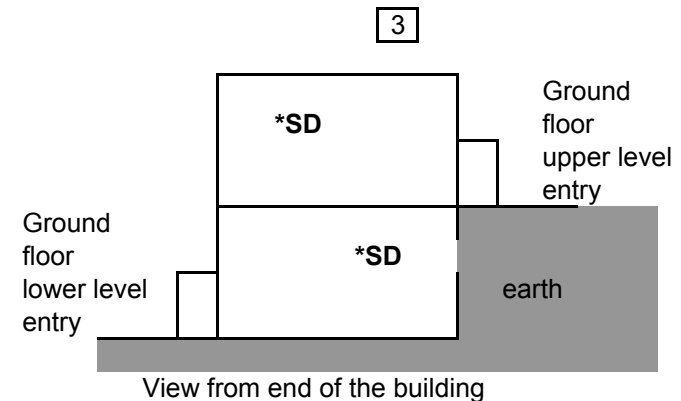
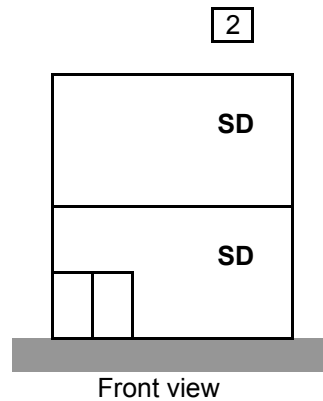
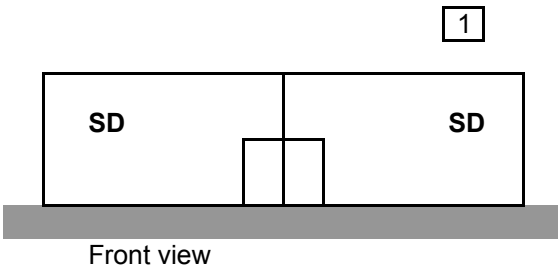


One building
One entrance
One address

Semi-Detached (SD) (duplex)

A structure containing two separate living units, surrounded by permanent open space.

3 configurations:



* If more than two units this is a Row/Townhouse Dwelling (RW) or a Walk-Up/Multifamily Apartment (WU)

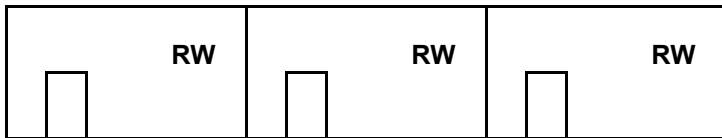
Row/Townhouse Dwelling (RW)

A structure containing three or more separate living units, each having individual outside entrances at ground level (which may face in different directions)
Each unit may have more than one level.

3 configurations

1

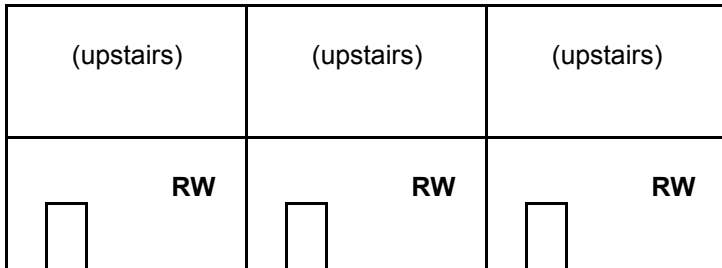
Front view



One building
3 units/entrances
3 addresses

2

Front view

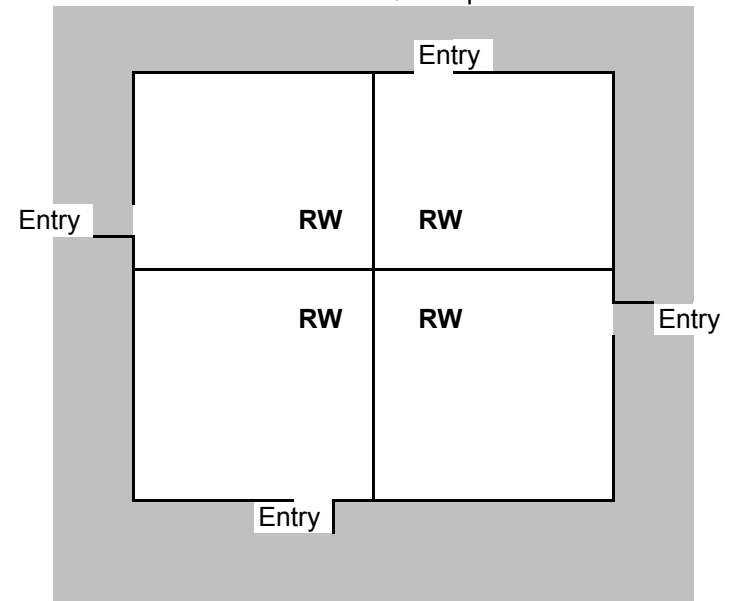


One building
3 units/entrances
3 addresses

One building
4 entrances - 4 addresses - 4 units

3

View from above Quadrplex

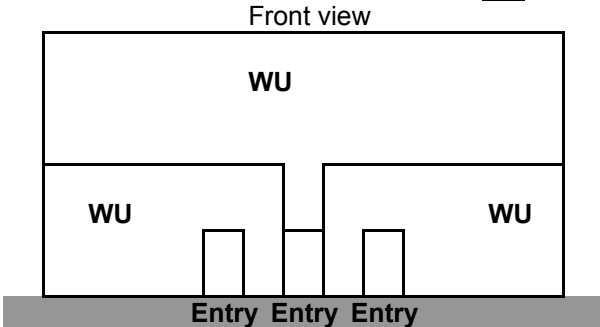


Walk-UP/ Multifamily Apartment (WU)

More than one dwelling on more than one level with one or more entrances at ground level.
But not a SD - Semi-Detached !

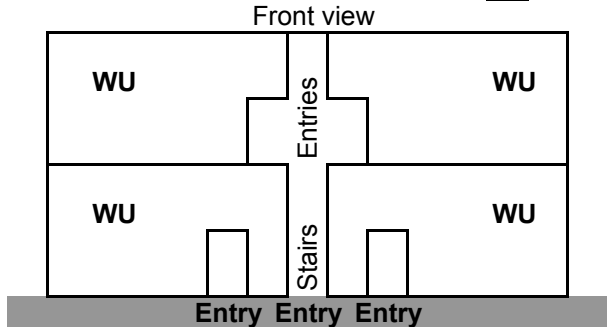
4 configurations

1

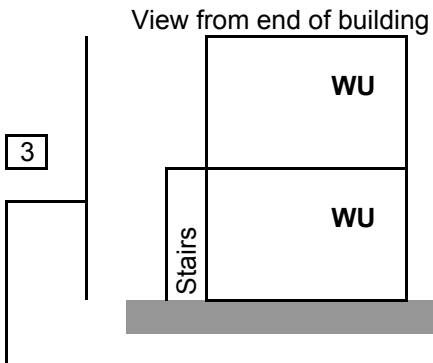


One building
3 entrances
3 addresses
3 units

2

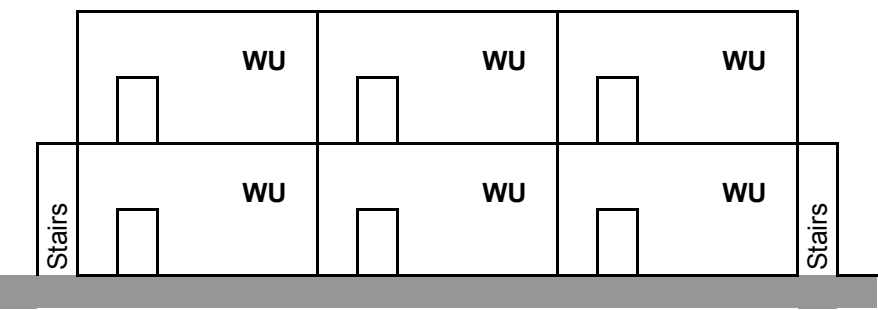


One building
3 entrances
3 addresses
4 units
Second level requires door numbers
At least 2 door numbers



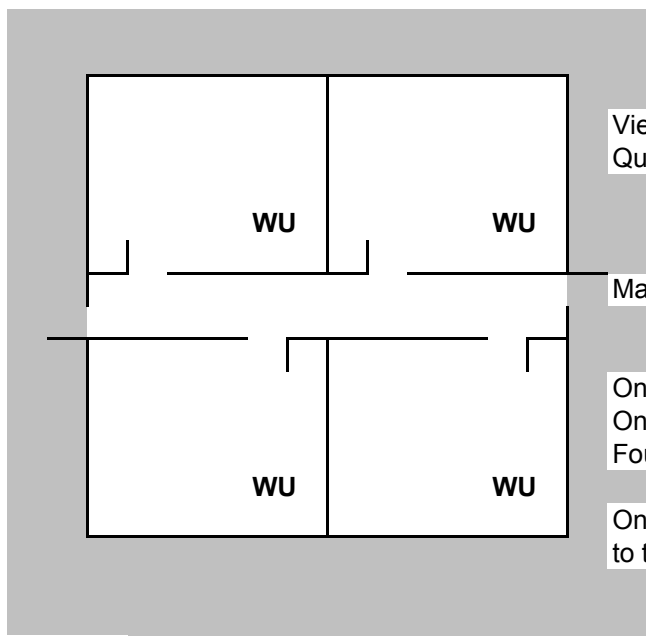
One building
One address
(the building's)
6 units
6 door numbers

3



Front view - Motel style - 6 units

4

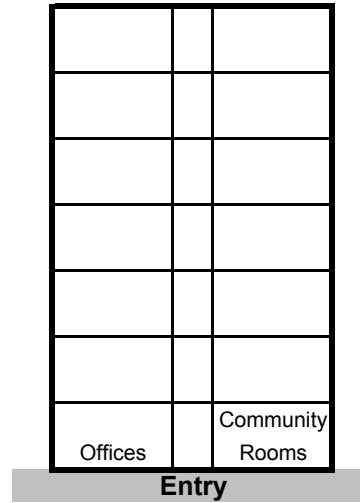


View from above
Quadraplex
Main entrance to the building
One building
One entrance
Four units
Only the main entrances
to the units are shown

Elevator Structure (ES)

Any high-rise structure for which an elevator is required under the Minimum Property Standards or local building codes.

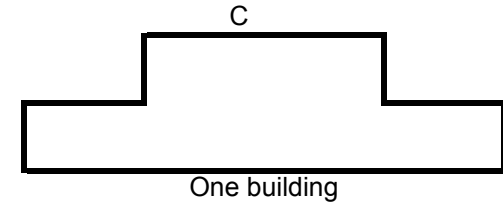
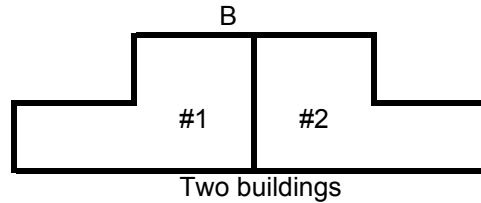
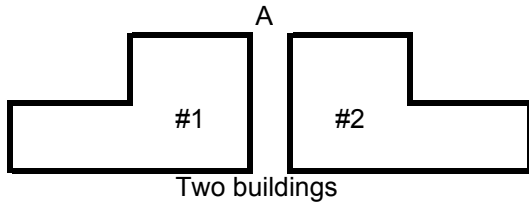
One configuration



One building
One entrance (the main entrance)
One address
7 floors
12 units
more than 12 door numbers

Buildings and Entrances

Viewing from above



If two structures are the mirror image of each other and are placed against each other as is presumed in the case of "B", they are two different buildings having different entrances.

In the case of "B", if #1 was built first and #2 is an addition the PHA probably treats #1 and #2 as two separate buildings and they should be so designated in PIC.

If two structures share a common wall or common (unbroken) roof, they are one building (as in "C") and may have more than one main entrance, each serving a different set of units.

Appendix C

Building and Unit Data Entry Guidance

A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	
Once these 5 fields are approved the data cannot be changed !																
participant_code	development_number	building_number	building_number_entrance	unit_number	ssn_head	first_name	last_name	occupancy_date	door_number	floor_number	bedroom_count	unit_tenant_type_code	acc_unit_ind	unit_details_complete_ind	unit_type_code	
for instance: IL002	for instance: IL002001				Leave these fields blank											
Alphanumeric max. 5	A/n max. 11	A/n max. 6	A/n max. 3	A/n max. 10						A/n max. 5	A/n max. 3	Integer	A/n max. 5	Max. 1	Max. 1	Max. 2
The code that HUD uses to identify this PHA	The code that HUD uses to identify this project	The PHA's code number for the building	The PHA's code number for this entrance to the building	The same as the inventory number the PHA uses for this unit. For some PHAs this may be the same as the door number.						Required for WU and ES type units	The floor in the building on which the entry to this unit is located.	The number of bedrooms in the unit	The type of tenant occupying the unit	Indicate "Y" for Yes or "N" for No	Enter "Y" if all information has been supplied	Indicates the type of unit being uploaded.
		Not the number of buildings in the development.	Not the number of entrances that are in the development.	Not how many units there are.	Optional for SF, SD, and RW type units			Leave blank if unit is vacant, a non-dwelling unit, or a merged unit	Indicate if the unit is in the ACC - Annual Contributions Contract	"Y" indicates the unit information is complete & ready for HUD approval.	FA=Family Unit EL=Unit designated as Elderly Unit ND=Non-Dwelling MU=Merged Unit					
									EM = Employee LE = Law Enforcement RT = Regular Tenant							

Guidance for Completing the *Building Spreadsheet* - PIC

P113PT_DEVELOPMENT_BUILDING_ENT

C:\PIC\Guidance\Bldg-Unit Uploads-11-19-03.xls

DMcM 11/19/2003

A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P
Once these three fields are approved the data cannot be changed !															
development_number	building_number	building_number_entrance	building_name	building_type_code	floor_count	unit_count	construction_date	comment_text	address_line1_text	address_line2_text	city_name	county_name	state_code	basic_zip_code	zip_extension_code
for instance IL013001	for instance 001001	for instance 1	for instance null	for instance RW	2	1	for instance 3/31/1989	NA	for instance 123 N Elm	NA	for instance Chicago	for instance Cook	IL	for instance 60606	for instance 1234
Alphanumeric max. 11	A/n max. 6	A/n maximum 3	Max. 50	Maximum 5	Integer	Integer	Date	A/n max. 255	Max. 255	Max. 255	Max. 50	Max. 50	Max. 2	Numeric max. 5	Numeric Max. 4
The code that HUD uses to identify this project	The PHA's code for this building	PHA's code number for this entrance to the building	Name of the building - optional	Description of the building ES=Elevator Structure* RW=Row or Townhuse SD=Semi-Detached SF=Single Family/Detached (duplex) WU=Walk-Up/Multifamily Apt.*	Total number of floors served by this entrance Includes floors with units and floors without units	Total number of dwelling units served by this entrance Include spaces which were originally used as dwelling units and have not been de-programed.	Optional, but if a date is entered use the format: MM/DD/YYYY Must not be greater than the current date.	Optional General comments about the building or building entrance	Use the address the police and fire department use for this building/entrance Optional	Optional				5 digit zip code	Optional 4 digit code
	Not how many buildings there are in the development.	Not how many entrances there are in the building, nor a secondary service entrance.		* Use door numbers in Unit Spreadsheet (table).					<div style="border: 2px solid black; padding: 10px; width: fit-content; margin: auto;"> <p>After HUD approval of the building and unit data, there are 5 identifications which cannot be changed: 1 - the PHA ID (ie. IL002); 2 - the development (project) ID; 3 - the building ID; 4 - the entrance ID; and 5 - the unit ID.</p> </div>						

Appendix D

**Instructions for CSV File Format
and**

**Table for the Field References on the Upload Error
Report Page**



Uploading Building and Unit Data Using a Comma Separated Values(CSV) File

A CSV file allows you to export the values in a database table as a series of ASCII text lines. A bar “|” separates each column value from the next column value, and each row starts a new line. When you decide to submit your data in the CSV format you must ensure that the text file is correctly formatted. Each row of data must be structured in the order that is specified in the detailed instructions listed below. Also the rows must contain the appropriate data elements for that particular column. If a specific column for a row of data is not available and is not required you must still insert a placeholder for that column by adding a |. Please follow the detailed instructions on the file layout and content.

File Format

You will be required to submit a separate file for your building and unit records.

1. All files should have **.csv** as the file extension, for example; mybuilding.csv.
2. The first row of all files must contain a header that identifies the subsequent records.
3. All rows of data records must be separated by a new line or hard return.

Examine the example below for guidance on how to format your data for submission to HUD..

Example of unit records in CSV format. File name: myunit.csv

development_number|building_number|building_number_entrance|building_name|building_type_code|floor_count|unit_count|construction_date|comment_text|address_line1_text|address_line2_text|city_name|county_name|state_code|basic_zip_code|zip_extension_code

AKP001005 | 300 | 1 | Plaza 1 | EL | 12 | 10000 | 06/06/2000 | high rise Building | 1401 SOUTH Street | | Some City | Some County | AK | 20001 | 1002

AKP001005 | 302 | 1 | Garden | EL | 12 | 10000 | 06/06/2000 | high rise Building | 1401 SOUTH Street | | Some City | Some County | AK | 20001 | 1002

Example of two Building Records in CSV format. File name: mybuilding.csv

participant_code|development_number|building_number|building_number_entrance|unit_number|ssn_head|first_name|last_name|occupancy_date|door_number|floor_number|bedroom_count|unit_tenant_type_code|acc_unit_ind|unit_details_complete_ind|unit_type_code

AK001| AK00100511 | 3 | 1 | A1234 | 111111111 | FIRST NAME | LAST NAME | 05/18/2000 | A1 | 3 | 2 | RT | Y | Y | FA

AK001| AK00100511 | 3 | 1 | A1236 | 111111111 | FIRST NAME | LAST NAME | 05/18/2000 | A1 | 3 | 2 | RT | Y | Y | FA



Detail instructions for data

Building Template

No.	Building Field	Description	Instructions	Data Type / Field Length
1.	Development Number	The code that HUD uses to uniquely identify developments managed by a Housing Authority.	Should not be blank. Should be a valid Development number in PIC. Character position 1- 5 is the Participant Code, character position 6 - 8 Development Number and character position 9 -11 optional suffix.	Alphanumeric Max 11
2.	Building Number	The code that uniquely identifies a building structure.	Should not be blank.	Alphanumeric Max 6
3.	Building Entrance Number	The code that uniquely identifies a building entrance within a development / building.	Should not be blank. If only a single Building Entrance enter "1". The particular entrance corresponds to a unique postal address.	Alphanumeric Max 3
4.	Building Name	The name of the building.	Optional.	Max 50
5.	Building Type Code	Provides a description of the architecture of a building or building entrance.	Should not be blank. The allowable values are: <ul style="list-style-type: none">• ES - Elevator Structure• RW - Row or Townhouse Style• SD - Semi Detached• SF - Single Family/Detached• WU - Walkup/Multifamily Apt.	Max 5
6.	Floor Count	The number of floors in the building where units that can be occupied exist.	Should not be blank.	Integer
7.	Total Unit Count	Number of units within a building or building entrance. This total includes non-dwelling, and merged units. This total does not include fully demolished or disposed units.	Should not be blank. In the units template, the number of units assigned to this particular building cannot exceed this count.	Integer



PIH Information Center

No.	Building Field	Description	Instructions	Data Type / Field Length
8.	Construction Date	The completion date of the development. For developments with multiple buildings, this is the completion date of the last building that was complete.	Optional. A valid date in the format MM/DD/YYYY. The date should not be greater than the current date.	Date
9.	Comment Text	General comments about the building or building entrance.	Optional. General comments about the building or building entrance.	Max 255
10.	Address Line1 Text	Number and Street (Building or Building Entrance)	Should not be blank.	Alphanumeric Max 255
11.	Address Line2 Text	Street/Suffix (Building or Building Entrance)	Optional.	Max 255
12.	City Name	City (Building or Building Entrance)	Should not be blank.	Max 50
13.	County Name	County (Building or Building Entrance)	Should not be blank.	Max 50
14.	State Code	State (Building or Building Entrance)	Should not be blank. A valid two-character code to identify the state.	Max 2
15.	Basic Zip	Zip code (Building or Building Entrance)	Should not be blank.	Numeric Max 5
16.	Zip Extension Code	Zip code suffix (Building or Building Entrance)	Optional.	Numeric Max 4



Unit Template

No.	Unit Field	Description	Instructions	Data Type / Field Length
1.	Participant Code	The code that HUD uses to uniquely identify individual Housing Authorities.	Should not be blank. Should be a valid Participant Code.	Alphanumeric Max 5
2.	Development Number	The code that HUD uses to identify all developments that belong to the housing authorities.	Should not be blank. Should be a valid Development Number in PIC. Character position 1-5 Participant Code, character position 6 - 8 Development Number and character position 9 -11 optional suffix.	Alphanumeric Max 11
3.	Building Number	The code that uniquely identifies a building structure within a development.	Should not be blank. Should be unique across developments.	Alphanumeric Max 6
4.	Building Entrance Number	The code that uniquely identifies a building entrance within a development / building.	Should not be blank. If only a single Building Entrance enter "1". The particular entrance corresponds to a unique postal address.	Alphanumeric Max 3
5.	Unit Number	Unit number within a building (e.g., Apt #).	Should not be blank.	Alphanumeric Max 10
6.	SSN Head	The social security number of the head of the household for each unit.	Optional. Should be blank if the unit is vacant ¹ . Should be blank if the Unit Type is ND (Non-Dwelling) or MU (Merged Unit).	Numeric Max 9
7.	First Name	First name of head of household occupying unit.	Optional. Should be blank if the unit is vacant. Should be blank if the Unit Type is ND (Non-Dwelling) or MU (Merged Unit).	Alphanumeric Max 25
8.	Last Name	Last name of head of household occupying unit.	Optional. Should be blank if the unit is vacant. Should be blank if the Unit Type is ND (Non-Dwelling) or MU (Merged Unit).	Alphanumeric Max 35

¹ The Social Security Number field should be populated for all occupied units. If the unit is vacant, no social security number is required in this field.



PIH Information Center

No.	Unit Field	Description	Instructions	Data Type / Field Length
9.	Occupancy Date	The date that a tenant occupies a unit. This date must be the later of the lease date or move-in date.	Optional. A valid date in the format MM/DD/YYYY. Should be blank if the unit is vacant. Should be blank if the Unit Type is ND (Non-Dwelling) or MU (Merged Unit).	Date
10.	Door Number or Apartment Number	The code that is used to uniquely identify each unit within a specific building.	Should not be blank for multiple units in a single building (For example, elevator structure or multifamily apt.). Should be blank for one unit in a single building (For example, Townhouse or Single Family).	Alphanumeric Max 5
11.	Floor Number	Refers to the floor number on which each unit is located within a building.	Should not be blank. This value should be (1) for the following building types: <ul style="list-style-type: none"> • RW - Row or Townhouse Style • SD - Semi Detached • SF - Single Family/Detached 	Alphanumeric Max 3
12.	Bedroom Count	Number of bedrooms in a unit.	Should not be blank. Should be greater than or equal to zero.	Integer
13.	Unit Tenant Type	Indicates the type of tenant who is occupying the unit.	This field should not be blank if the unit is occupied: <ul style="list-style-type: none"> • EM - Employee • LE - Law Enforcement • RT - Regular tenant Should be blank if the unit type is ND (Non-Dwelling) or MU (Merged Unit). A HUD 50058 form is not required if the unit tenant type is EM or LE.	Max 5
14.	ACC Unit Ind.	Indicates whether a unit qualifies under the Annual Contribution Contract (ACC) program.	Should not be blank. Must be either Y or N.	Max 1
15.	Unit Details Complete Ind.	Indicates that the unit information which is being uploaded in the spreadsheet is complete and ready to be submitted to HUD for approval.	Should not be blank. This column should always be set to Y.	Max 1



PIH Information Center

No.	Unit Field	Description	Instructions	Data Type / Field Length
16.	Unit type	Indicates the type of unit that is being uploaded.	Cross check in the code table if such a code exists. The allowable values are: <ul style="list-style-type: none">• FA - Family Unit• EL - Designated as Elderly Unit• ND - Non-Dwelling• MU - Merged Unit	Max 5

APPENDIX G

HUD Form 52860-b

The information collection requirements contained in this document have been approved by the Office of Management and Budget (OMB) under the Paperwork Reduction Act of 1995 (44 U.S.C. 3501-3520) and assigned OMB control number 2577-0075. There is no personal information contained in this application. Information on activities and expenditures of grant funds is public information and is generally available for disclosure. Recipients are responsible for ensuring confidentiality when disclosure is not required. In accordance with the Paperwork Reduction Act, HUD may not conduct or sponsor, and a person is not required to respond to, a collection of information unless the collection displays a currently valid OMB control number.

This information is required as a supplement to the HUD-52860 for all SAC applications that propose a demolition under 24 CFR 970.15 or a disposition under 24 CFR 970.17 based on physical obsolescence. HUD will use this information to determine whether, and under what circumstances, to approve SAC applications as well as to track removals for other record keeping requirements. Responses to this collection of information are statutory and regulatory to obtain a benefit. All terms not defined in this form have the meanings as 24 CFR part 970 and PIH notice 2018-04 (or any replacement notice). The information requested does not lend itself to confidentiality.

1. SAC Application Number in IMS/PIC

DDA _____

Project (AMP) Name & Number in IMS/PIC

Golden Gate Village- (28) Buildings; (300) Units

2. Total Development Cost (TDC) Calculation

Based on HUD Notice

PIH-2018-04

Year: 2021

For Locality: Marin City (Sausalito) California

Complete the calculations below for the unit proposed for demolition and/or disposition based on physical obsolescence:

Size - Type	Number of units	Times	TDC Per Unit	= TDC
0 - Bdr Detached and Semi detached	0	X		0
0 - Bdr Row Dwelling	0	X		0
0 - Bdr Walk-Up	0	X		0
0 - Bdr elevator	0	X		0
1 - Bdr Detached and Semi detached	0	X		0
1 - Bdr Row Dwelling	0	X		0
1 - Bdr Walk-Up	44	X	241,838	\$10,640,872
1 - Bdr elevator	0	X		0
2 - Bdr Detached and Semi detached	0	X		0
2 - Bdr Row Dwelling	0	X		0
2 - Bdr Walk-Up	132	X	305975	\$40,388,700
2 - Bdr elevator	0	X		0
3 - Bdr Detached and Semi detached	0	X		0
3 - Bdr Row Dwelling	102	X	383187	39085074
3 - Bdr Walk-Up	13	X	402945	\$5,238,285
3 - Bdr Elevator	0	X		0
4 - Bdr Detached and Semi detached	0	X		0
4 - Bdr Row Dwelling	0	X		0
4 - Bdr Walk-Up	9	X	498972	\$4,490,748
4 - Bdr Elevator	0	X		0
5 - Bdr Detached and Semi detached	0	X		0
5 - Bdr Row Dwelling	0	X		0
5 - Bdr Walk-Up	0	X		0
5 - Bdr Elevator	0	X		0
6 - Bdr Detached and Semi detached	0	X		0
6 - Bdr Row Dwelling	0	X		0
6 - Bdr Walk-Up	0	X		0
6 - Bdr Elevator	0	X		0
Total Units	300			\$99,843,679

3. Estimated Cost of Rehabilitation

Attach a document showing rehabilitation needs by line item and dollar amount

\$63,750,526

4. Rehabilitation Cost % (estimated cost of Rehabilitation/Total TDC) x 100 =

63.85%

Provide attachments as needed. All attachments must reference the Section and line number to which they apply
Previous versions obsolete

Instructions Form HUD-52860-B

Refer to SAC website at www.hud.gov/sac for more information

PHAs proposing to demolish or dispose of public housing developments based on physical obsolescence under 24 CFR part 970 must complete this HUD-52860-B in order to demonstrate to HUD that no reasonable program of modification is cost-effective to return the development to their useful life.

Item 1: Insert the number of the PIH Notice from which the PHA extracted the Total Development Cost (TDC) data. The year of the PIH Notice should coincide with the year the rehabilitation estimate was generated, which should not be more than two years prior to the SAC application submission date. Insert the name of the nearest locality to the proposed developments.

Item 2: TDC Calculation: Complete the TDC calculation for the proposed developments.

Item 3: Rehabilitation Calculation: Attach a document showing rehabilitation needs by line item and dollar amount for the proposed developments in accordance with 24 CFR 970.15 and PIH notice 2018-04 (or any replacement notice). Soft costs associated with the rehabilitation (e.g. construction contingency, architectural/engineer's design and construction monitoring fees; profit & overhead fees for specialty sub-contractor; general condition fees; and PHA administrative costs) should all be listed as separate line items. Certain costs may require additional third-party documentation. See PIH notice 2018-04 (or any replacement notice).

5 Story Mid-Rise	4,345,226.25	X	8.00	\$	34,761,810.00
2-Story Residential	\$1,781,909	X	13.00	\$	23,164,819.00
1-Story Residential	\$831,985.29	X	7.00	\$	5,823,897.00
			28.00	\$	63,750,526.00

The information collection requirements contained in this document have been approved by the Office of Management and Budget (OMB) under the Paperwork Reduction Act of 1995 (44 U.S.C. 3501-3520) and assigned OMB control number 2577-0075. There is no personal information contained in this application. Information on activities and expenditures of grant funds is public information and is generally available for disclosure. Recipients are responsible for ensuring confidentiality when disclosure is not required. In accordance with the Paperwork Reduction Act, HUD may not conduct or sponsor, and a person is not required to respond to, a collection of information unless the collection displays a currently valid OMB control number.

This information is required as a supplement to the HUD-52860 for all SAC applications that propose a demolition under 24 CFR 970.15 or a disposition under 24 CFR 970.17 based on physical obsolescence. HUD will use this information to determine whether, and under what circumstances, to approve SAC applications as well as to track removals for other record keeping requirements. Responses to this collection of information are statutory and regulatory to obtain a benefit. All terms not defined in this form have the meanings as 24 CFR part 970 and PIH notice 2018-04 (or any replacement notice). The information requested does not lend itself to confidentiality.

1. SAC Application Number in IMS/PIC DDA _____
Project (AMP) Name & Number in IMS/PIC Golden Gate Village- 1-story Buildings (8 ea)

2. Total Development Cost (TDC) Calculation

Based on HUD Notice PIH-2018-04 Year: 2020 For Locality: Marin City (Sausalito) California

Complete the calculations below for the unit proposed for demolition and/or disposition based on physical obsolescence:

Size - Type	Number of units	Times	TDC Per Unit	= TDC
0 - Bdr Detached and Semi detached		X		0
0 - Bdr Row Dwelling		X		0
0 - Bdr Walk-Up		X		0
0 - Bdr elevator		X		0
1 - Bdr Detached and Semi detached		X		0
1 - Bdr Row Dwelling		X		0
1 - Bdr Walk-Up	21	X	241,838	\$5,078,598
1 - Bdr elevator		X		0
2 - Bdr Detached and Semi detached		X		0
2 - Bdr Row Dwelling		X		0
2 - Bdr Walk-Up		X		\$0
2 - Bdr elevator		X		0
3 - Bdr Detached and Semi detached		X		0
3 - Bdr Row Dwelling		X		0
3 - Bdr Walk-Up		X		\$0
3 - Bdr Elevator		X		0
4 - Bdr Detached and Semi detached		X		0
4 - Bdr Row Dwelling		X		0
4 - Bdr Walk-Up	9	X	498972	\$4,490,748
4 - Bdr Elevator		X		0
5 - Bdr Detached and Semi detached		X		0
5 - Bdr Row Dwelling		X		0
5 - Bdr Walk-Up		X		0
5 - Bdr Elevator		X		0
6 - Bdr Detached and Semi detached		X		0
6 - Bdr Row Dwelling		X		0
6 - Bdr Walk-Up		X		0
6 - Bdr Elevator		X		0
Total Units	30			\$9,569,346

3. Estimated Cost of Rehabilitation

Attach a document showing rehabilitation needs by line item and dollar amount

\$5,823,897

4. Rehabilitation Cost % (estimated cost of Rehabilitation/Total TDC) x 100 =

60.86%

Instructions Form HUD-52860-B

Refer to SAC website at www.hud.gov/sac for more information

PHAs proposing to demolish or dispose of public housing developments based on physical obsolescence under 24 CFR part 970 must complete this HUD-52860-B in order to demonstrate to HUD that no reasonable program of modification is cost-effective to return the development to their useful life.

Item 1: Insert the number of the PIH Notice from which the PHA extracted the Total Development Cost (TDC) data. The year of the PIH Notice should coincide with the year the rehabilitation estimate was generated, which should not be more than two years prior to the SAC application submission date. Insert the name of the nearest locality to the proposed developments.

Item 2: TDC Calculation: Complete the TDC calculation for the proposed developments.

Item 3: Rehabilitation Calculation: Attach a document showing rehabilitation needs by line item and dollar amount for the proposed developments in accordance with 24 CFR 970.15 and PIH notice 2018-04 (or any replacement notice). Soft costs associated with the rehabilitation (e.g. construction contingency, architectural/engineer's design and construction monitoring fees; profit & overhead fees for specialty sub-contractor; general condition fees; and PHA administrative costs) should all be listed as separate line items. Certain costs may require additional third-party documentation. See PIH notice 2018-04 (or any replacement notice).

The information collection requirements contained in this document have been approved by the Office of Management and Budget (OMB) under the Paperwork Reduction Act of 1995 (44 U.S.C. 3501-3520) and assigned OMB control number 2577-0075. There is no personal information contained in this application. Information on activities and expenditures of grant funds is public information and is generally available for disclosure. Recipients are responsible for ensuring confidentiality when disclosure is not required. In accordance with the Paperwork Reduction Act, HUD may not conduct or sponsor, and a person is not required to respond to, a collection of information unless the collection displays a currently valid OMB control number.

This information is required as a supplement to the HUD-52860 for all SAC applications that propose a demolition under 24 CFR 970.15 or a disposition under 24 CFR 970.17 based on physical obsolescence. HUD will use this information to determine whether, and under what circumstances, to approve SAC applications as well as to track removals for other record keeping requirements. Responses to this collection of information are statutory and regulatory to obtain a benefit. All terms not defined in this form have the meanings as 24 CFR part 970 and PIH notice 2018-04 (or any replacement notice). The information requested does not lend itself to confidentiality.

1. SAC Application Number in IMS/PIC DDA _____
Project (AMP) Name & Number in IMS/PIC Golden Gate Village- 2-story Buildings (13 ea)

2. Total Development Cost (TDC) Calculation

Based on HUD Notice PIH-2018-04 Year: 2020 For Locality: Marin City (Sausalito) California

Complete the calculations below for the unit proposed for demolition and/or disposition based on physical obsolescence:

Size - Type	Number of units	Times	TDC Per Unit	= TDC
0 - Bdr Detached and Semi detached	0	X	0	0
0 - Bdr Row Dwelling		X		0
0 - Bdr Walk-Up		X		0
0 - Bdr elevator		X		0
1 - Bdr Detached and Semi detached		X		0
1 - Bdr Row Dwelling		X		0
1 - Bdr Walk-Up		X		\$0
1 - Bdr elevator		X		0
2 - Bdr Detached and Semi detached		X		0
2 - Bdr Row Dwelling		X		0
2 - Bdr Walk-Up		X		\$0
2 - Bdr elevator		X		0
3 - Bdr Detached and Semi detached		X		0
3 - Bdr Row Dwelling	102	X	383187	39085074
3 - Bdr Walk-Up		X		\$0
3 - Bdr Elevator		X		0
4 - Bdr Detached and Semi detached		X		0
4 - Bdr Row Dwelling		X		0
4 - Bdr Walk-Up		X		\$0
4 - Bdr Elevator		X		0
5 - Bdr Detached and Semi detached		X		0
5 - Bdr Row Dwelling		X		0
5 - Bdr Walk-Up		X		0
5 - Bdr Elevator		X		0
6 - Bdr Detached and Semi detached		X		0
6 - Bdr Row Dwelling		X		0
6 - Bdr Walk-Up		X		0
6 - Bdr Elevator		X		0
Total Units	102			\$39,085,074

3. Estimated Cost of Rehabilitation

Attach a document showing rehabilitation needs by line item and dollar amount

\$23,164,819

4. Rehabilitation Cost % (estimated cost of Rehabilitation/Total TDC) x 100 =

59.27%

Instructions Form HUD-52860-B

Refer to SAC website at www.hud.gov/sac for more information

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1. SAC Application Number in IMS/PIC DDA _____
Project (AMP) Name & Number in IMS/PIC Golden Gate Village- 5-story Buildings (8 ea)

2. Total Development Cost (TDC) Calculation

Based on HUD Notice PIH-2018-04 Year: 2020 For Locality: Marin City (Sausalito) California

Complete the calculations below for the unit proposed for demolition and/or disposition based on physical obsolescence:

Size - Type	Number of units	Times	TDC Per Unit	= TDC
0 - Bdr Detached and Semi detached		X		0
0 - Bdr Row Dwelling		X		0
0 - Bdr Walk-Up		X		0
0 - Bdr elevator		X		0
1 - Bdr Detached and Semi detached		X		0
1 - Bdr Row Dwelling		X		0
1 - Bdr Walk-Up	23	X	241,838	\$5,562,274
1 - Bdr elevator		X		0
2 - Bdr Detached and Semi detached		X		0
2 - Bdr Row Dwelling		X		0
2 - Bdr Walk-Up	132	X	305975	\$40,388,700
2 - Bdr elevator		X		0
3 - Bdr Detached and Semi detached		X		0
3 - Bdr Row Dwelling		X		0
3 - Bdr Walk-Up	13	X	402945	\$5,238,285
3 - Bdr Elevator		X		0
4 - Bdr Detached and Semi detached		X		0
4 - Bdr Row Dwelling		X		0
4 - Bdr Walk-Up		X		\$0
4 - Bdr Elevator		X		0
5 - Bdr Detached and Semi detached		X		0
5 - Bdr Row Dwelling		X		0
5 - Bdr Walk-Up		X		0
5 - Bdr Elevator		X		0
6 - Bdr Detached and Semi detached		X		0
6 - Bdr Row Dwelling		X		0
6 - Bdr Walk-Up		X		0
6 - Bdr Elevator		X		0
Total Units	168			\$51,189,259

3. Estimated Cost of Rehabilitation

Attach a document showing rehabilitation needs by line item and dollar amount

\$34,761,810

4. Rehabilitation Cost % (estimated cost of Rehabilitation/Total TDC) x 100 =

67.91%

Instructions Form HUD-52860-B

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Item 1: Insert the number of the PIH Notice from which the PHA extracted the Total Development Cost (TDC) data. The year of the PIH Notice should coincide with the year the rehabilitation estimate was generated, which should not be more than two years prior to the SAC application submission date. Insert the name of the nearest locality to the proposed developments.

Item 2: TDC Calculation: Complete the TDC calculation for the proposed developments.

Item 3: Rehabilitation Calculation: Attach a document showing rehabilitation needs by line item and dollar amount for the proposed developments in accordance with 24 CFR 970.15 and PIH notice 2018-04 (or any replacement notice). Soft costs associated with the rehabilitation (e.g. construction contingency, architectural/engineer's design and construction monitoring fees; profit & overhead fees for specialty sub-contractor; general condition fees; and PHA administrative costs) should all be listed as separate line items. Certain costs may require additional third-party documentation. See PIH notice 2018-04 (or any replacement notice).

APPENDIX H

Rehabilitation Cost Estimates

Date:	03/02/2021	1-story Building			Gross Square Feet:		20,855
Project:	Golden Gate Village	Total for (7) Buildings			Number of Units:		28
Address:	429 Drake Avenue				R.S. Means City Source:		San Francisco
City, State:	Marin City, California				Labor Type (Standard or Union):		Union, DBWR
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost
1	3	Concrete					\$ 21,973.00
	030130712010	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, clean/grind surface free of contaminants	LF	\$ 2.27	700.0	\$ 1,589.00
	030130712020	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, rout crack with v-notch crack chaser if needed	LF	\$ 3.24	700.0	\$ 2,268.00
	030130712030	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, blow out crack with oil-free dry compressed air (1 pass)	LF	\$ 0.31	700.0	\$ 217.00
	030130712040	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, cap crack with epoxy gel at underside of elevated slabs if needed	LF	\$ 3.19	700.0	\$ 2,233.00
	030130712050	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, insert backer rod in crack if needed	LF	\$ 2.31	700.0	\$ 1,617.00
	030130712060	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, partially fill crack with dry sand if needed	LF	\$ 1.15	700.0	\$ 805.00
	030130712070	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, apply 2 beads of sealant alongside crack to form a reservoir if needed	LF	\$ 2.62	700.0	\$ 1,834.00
	038113500300	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete slabs, plain, up to 3" deep, includes blade cost, layout and set up time	LF	\$ 3.12	1,400.0	\$ 4,368.00
	038113500320	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete, existing slab, plain, for each additional inch of depth over 3", includes blade cost, layout and set up time	LF	\$ 1.04	1,400.0	\$ 1,456.00
	033053405001	Concrete Floor Demo for MEP Repair	Structural concrete, in place, slab on grade (3000 psi), 4" thick, includes concrete (Portland cement Type I), placing and broom finish, excludes forms and reinforcing	SF	\$ 3.99	1,400.0	\$ 5,586.00
2	4	Masonry					\$ 42,303.60
	040120100520	CMU Repairs	Patching masonry, CMU patching, 1/4" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 20.75	360.0	\$ 7,470.00
	040120100540	CMU Repairs	Patching masonry, CMU patching, 3/8" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 28.28	360.0	\$ 10,180.80
	040120100580	CMU Repairs	Patching masonry, CMU patching, 1/2" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 36.11	360.0	\$ 12,999.60
	040120200600	CMU Repairs	Pointing masonry, tuck, cut and re-point, soft old mortar, running bond	SF	\$ 10.79	1,080.0	\$ 11,653.20
3	5	Metals					\$ 5,250.00
	AEI estimate	Utility Meter Enclosure Repairs	Repair/replace chain link fence style meter enclosures, gates, and locks	EA	\$ 750.00	7.0	\$ 5,250.00
4	6	Rough Carpentry					\$ 304,941.33
	060505103500	Selective Demolition- 35%	Selective demolition, wood framing, fascia boards, 2" x 8"	LF	\$ 2.32	1,820.0	\$ 4,222.40
	060505105684	Selective Demolition- 15%	Selective demolition, wood framing, rafters, 6/12 - 8/12 pitch, 2" x 8", 16" OC	SF	\$ 2.25	4,200.0	\$ 9,450.00
	060505106092	Selective Demolition- 25%	Selective demolition, wood framing, sheathing, 5/8", from roof	SF	\$ 1.53	4,200.0	\$ 6,426.00
	060505106720	Selective Demolition- 15%	Selective demolition, wood framing, wall framing, 2" x 4", includes studs, plates and blocking	SF	\$ 23.09	3,264.0	\$ 75,365.76
	090505302350	Selective Demolition- 15%	Walls and partitions demolition, metal or wood studs, finish two sides, plywood	SF	\$ 5.96	2,448.0	\$ 14,590.08
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	39.8	\$ 3,226.23
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	8.9	\$ 7,098.59
	074629102800	Wood Siding Replacement, plywood	Wood product siding, plywood, redwood textured panels, 5/8" thick	SF	\$ 5.73	840.0	\$ 4,813.20
	061516100650	Wood Roof T&G Replacement- 15%	Wood roof decking, douglas fir, 2" thick	SF	\$ 9.64	4,200.0	\$ 40,488.00
	061323102300	Heavy Timber Roof Joist replace- 10%	Wood framing, heavy mill timber, roof purlins, structural grade, 4" thick	LF	\$ 4.97	1,680.0	\$ 8,345.45
	061636100205	Roofing Lumber	Sheathing, plywood on roof, CDX, 5/8" thick, pneumatic nailed	SF	\$ 2.75	4,200.0	\$ 11,550.00
	061110022625	Attic Mic. Framing	2" x 4" miscellaneous wood blocking, to wood construction, pneumatic nailed, per M.B.F.	MBF	\$ 6,625.73	3.5	\$ 23,190.06
	061110022665	Attic Mic. Framing	2" x 8" miscellaneous wood blocking, to wood construction, pneumatic nailed	MBF	\$ 4,848.50	1.8	\$ 8,484.88
	061110060017	Attic Mic. Framing	1" x 3" wood bridging, for joists 16" OC, pneumatic nailed	PR	\$ 7.90	420.0	\$ 3,318.00
	061110305060	Roofing Lumber	Wood framing, roofs, rafters, ordinary, to 4 in 12 pitch, 2" x 8"	LF	\$ 4.26	896.0	\$ 3,816.96
	061110305880	Roofing Lumber	Wood framing, roofs, ridge boards, #2 or better, 2" x 8"	LF	\$ 6.91	910.0	\$ 6,288.10
	061110306070	Roofing Lumber	Wood framing, roofs, fascia boards, 2" x 8"	MBF	\$ 8,959.68	1.8	\$ 16,306.62
	AEI estimate	Meter Box Rebuild	3/4" plywood, 2" x 4" framing, mitered corners, hinges, screwed to block wall	EA	\$ 300.00	7.0	\$ 2,100.00
	061110420800	Cabinetry blocking	Furring, wood, on walls, on CMU, 1" x 3"	LF	\$ 5.14	2,352.0	\$ 12,089.28
	061110420300	Rough Carpentry- walls	Furring, wood, on walls, masonry, 1x2, 24" O.C. (LF of furring) - exterior and dividing masonry walls at all units, ceilings at select locations	LF	\$ 1.50	29,120	\$ 43,771.73
5	6	Finish Carpentry					\$ 50,924.90
	062213505950	Finish Carpentry	Units - Moldings, window & door, window trim sets, 2-1/2" wide, includes casings, header, stops, stool & apron, pine	Opng.	\$ 97.93	520	\$ 50,924.90
6	7	Thermal and Moisture Protection					\$ 40,913.60
	079213200055	Exterior Window Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	3,792.0	\$ 13,272.00
	079213200060	Exterior Door Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 3/8", in place	LF	\$ 3.54	5,040.0	\$ 17,841.60
	079213200055	Interior Dissimilar Material Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	2,800.0	\$ 9,800.00
7	7	Insulation					\$ 5,300.00
	AEI allowance	Insulation	Window and Door chinking/grouting	EA	\$ 25.00	212.0	\$ 5,300.00
8	7	Roofing					\$ 640,561.77
	070505101170	Roofing Demolition	Selective demolition, thermal and moisture protection, roof accessories, adjustable metal chimney flashing	EA	\$ 92.10	56	\$ 5,157.60
	070505101325	Roofing Demolition	Selective demolition, thermal and moisture protection, roof accessories, plumbing vent flashing	EA	\$ 25.83	350	\$ 9,040.50
	070505103125	Roofing Demolition	Selective demolition, thermal and moisture protection, roofing, roofing felt, #30	SQ	\$ 27.55	420	\$ 11,571.00
	070505103180	Roofing Demolition	Selective demolition, thermal and moisture protection, roofing, asphalt shingles, 2 layers	SF	\$ 2.39	28,000	\$ 66,920.00
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	52.5	\$ 4,252.50
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	10.4	\$ 8,296.30
	075216101600	*Code 7A Fire: Mineral Cap Sheet	SBS modified bituminous membrane, smooth surface cap sheet, 145 mils, mopped	SF	\$ 4.42	28,000.0	\$ 123,760.00
	079213203500	*Code 7A Fire: Caulking Eaves/Soffits	Joint sealants, caulking and sealants, polyurethane, bulk, in place, 1 or 2 component, 1/4" x 1/4"	LF	\$ 3.61	3,400.0	\$ 12,274.00
	079213203510	*Code 7A Fire: Caulking Eaves/Soffits	Joint sealants, caulking and sealants, polyurethane, bulk, in place, 1 or 2 component, 1/4" x 3/8"	LF	\$ 3.78	5,100.0	\$ 19,278.00
	073113100505	New Shingle Roofing	Asphalt shingles, premium, laminated multi-layered shingles, class A, 300-385 lb/sq, pneumatic nailed	SQ	\$ 748.59	462	\$ 345,848.58
	073113100825	New Shingle Roofing	Asphalt shingles, #30 felt underlayment	SQ	\$ 29.41	462	\$ 13,587.42
	073113100850	New Shingle Roofing	Asphalt shingles, self adhering polyethylene and rubberized asphalt underlayment	SQ	\$ 134.34	116	\$ 15,516.27
	073113100905	New Shingle Roofing	Asphalt shingles, ridge shingles, pneumatic nailed	LF	\$ 5.56	910	\$ 5,059.60
9	7	Sheet Metal					\$ 19,551.00
	076510100100	Roofing Sheet Metal Flashing	Sheet metal flashing, aluminum, flexible, mill finish, .032" thick, including up to 4 bends	SF	\$ 9.31	2,100	\$ 19,551.00
10	8	Doors					\$ 380,148.46
	080505100200	Selective Demolition	Door demolition, exterior door, single, 3' x 7' high, 1-3/4" thick, remove	EA	\$ 53.53	36.0	\$ 1,927.08
	080505101500	Selective Demolition	Door demolition, interior door, hollow core, remove	EA	\$ 53.53	280.0	\$ 14,988.40
	080505102200	Selective Demolition	Door demolition, door frames, wood, remove	EA	\$ 66.50	336.0	\$ 22,344.00

Date:	03/02/2021	1-story Building			Gross Square Feet:	20,855	
Project:	Golden Gate Village	Total for (7) Buildings			Number of Units:	28	
Address:	429 Drake Avenue				R.S. Means City Source:	San Francisco	
City, State:	Marin City, California				Labor Type (Standard or Union):	Union, DBWR	
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost
024119192150		Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	9.1	\$ 739.37
024119195000		Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	18.1	\$ 14,488.89
081723101640		Unit Entry Door	Doors, prehung, exterior, entrance door, flush, birch, solid core, 4-5/8" solid jamb, 1-3/4" x 6'-8" x 3'-0" wide	EA	\$ 559.76	56.0	\$ 31,346.56
083213100400		Unit Patio Doors	Doors, glass, sliding, aluminum, premium, 5/8" tempered insulated glass, 6'-0" x 6'-8"	EA	\$ 2,141.00	28.0	\$ 59,948.00
081723105000		Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-6" wide	EA	\$ 504.58	120.0	\$ 60,549.60
081723105020		Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-8" wide	EA	\$ 349.22	92.0	\$ 32,128.24
081433204460		Unit Closet Door	Doors, wood, residential, interior, bi-passing closet, flush, luan, 6'-0" x 6'-8", incl. hardware and frame, excl. trim	EA	\$ 389.92	68.0	\$ 26,514.56
087120401400		Entry Door Hardware	Door hardware, lockset, heavy duty, cylindrical, with sectional trim, residential, minimum	EA	\$ 247.79	56.0	\$ 13,876.35
087120411000		Entry Door Hardware	Door hardware, deadlock, tubular, standard duty, outside key	EA	\$ 110.69	56.0	\$ 6,198.44
087120452020		Entry Door Hardware	Peepholes, wide view	EA	\$ 32.00	56.0	\$ 1,792.00
087120650800		Entry Door Hardware	Thresholds, rubber, 2-3/4" x 1/2"	EA	\$ 79.26	56.0	\$ 4,438.39
087120401100		Interior Door Hardware	Door hardware, non-keyed, heavy duty, cylindrical, with sectional trim, residential, interior door, minimum	EA	\$ 325.00	212.0	\$ 68,900.00
087120501300		Interior Door Hardware	Door stops, wall bumper, 4" dia., w/rubber pad	EA	\$ 31.38	212.0	\$ 6,653.40
087120900012		All Door Hardware	Hinges, full mortise, steel base	SET	\$ 39.63	336.0	\$ 13,315.18
11	8	Windows					\$ 147,870.26
080505200200		Window Demolition	Window demolition, aluminum, to 12 S.F.	EA	\$ 53.53	112.0	\$ 5,995.36
080505200280		Window Demolition	Window demolition, aluminum, to 50 S.F.	EA	\$ 171.93	44.0	\$ 7,564.92
024119192150		Window Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	2.2	\$ 176.90
024119195000		Window Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	2.9	\$ 2,311.11
085113204100		New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 3'-0" x 2'-0" opening, incl. frame and glazing	EA	\$ 507.08	48.0	\$ 24,339.84

Date:	03/02/2021		1-story Building		Gross Square Feet:		20,855
Project:	Golden Gate Village		Total for (7) Buildings		Number of Units:		28
Address:	429 Drake Avenue				R.S. Means City Source:		San Francisco
City, State:	Marin City, California				Labor Type (Standard or Union):		Union, DBWR
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost
	085113204400	New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 5'-0" x 3'-0" opening, incl. frame and glazing	EA	\$ 746.37	64.0	\$ 47,767.68
	085113204700	New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 8'-0" x 4'-0" opening, incl. frame and glazing	EA	\$ 1,049.98	16.0	\$ 16,799.68
	085113205100	New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 9'-0" x 5'-0" opening, incl. frame and glazing	EA	\$ 1,532.67	28.0	\$ 42,914.76
12	8	Glass	NONE INCLUDED		\$ -		\$ -
13	9	Lath and Plaster					\$ 24,808.00
	074646100030	Exterior Stucco Panel Repair	Repair and fill select areas of concrete stucco with textured finish	SF	\$ 4.43	5,600	\$ 24,808.00
14	9	Drywall					\$ 58,970.54
	090505100200	Drywall demolition	Ceiling demolition, gypsum wall board, furred and nailed, remove	SF	\$ 1.48	700.0	\$ 1,036.00
	090505301000	Drywall demolition	Walls and partitions demolition, gypsum wallboard, per s.f., nailed or screwed	SF	\$ 0.60	3,840.0	\$ 2,304.00
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	22.4	\$ 1,814.40
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	33.2	\$ 26,548.15
	092910302050	Unit Drywall	Gypsum wallboard, on walls, standard, taped & finished (level 4 finish), 5/8" thick	SF	\$ 1.63	3,840.0	\$ 6,261.85
	092910305350	Unit Drywall	Gypsum wallboard, for finishing corners, inside, add	LF	\$ 2.54	1,344.0	\$ 3,413.76
	092910305355	Unit Drywall	Gypsum wallboard, for finishing outer corners, add	LF	\$ 2.11	7,168.0	\$ 15,124.48
	092910303050	Unit Drywall	Gypsum wallboard, on ceilings, standard, taped & finished (level 4 finish), 5/8" thick	SF	\$ 3.53	700	\$ 2,467.90
15	9	Ceramic Tile					\$ 38,331.24
	090505303760	Ceramic tile demolition	Walls and partitions demolition, tile, ceramic, on walls, thin set	SF	\$ 2.94	812	\$ 2,387.28
	090505202000	Ceramic tile demolition	Flooring demolition, tile, ceramic, thin set	SF	\$ 2.60	150	\$ 390.00
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	72.2	\$ 5,844.15
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	3.0	\$ 2,375.31
	093113103300	Ceramic Tile Floors- ADA Bathrooms	Ceramic tile, floors, glazed, porcelain type, 1 color, color group 2, 1" x 1"	SF	\$ 15.07	150	\$ 2,260.50
	093113102100	Ceramic Tile Bath Surrounds	Ceramic tile, bathtub, adhesive set, 5' w x 7' h, with 4-1/4" x 4-1/4" tile wainscot	EA	\$ 895.50	28	\$ 25,074.00
16	9	Acoustical					\$ -
			NONE INCLUDED		\$ -		\$ -
17	9	Wood Flooring					\$ -
			NONE INCLUDED		\$ -		\$ -
18	9	Resilient Flooring					\$ 174,040.83
	090505200900	Selective demolition	Flooring demolition, vinyl composition tile, 12" x 12"	SF	\$ 1.76	20,855.0	\$ 36,704.80
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	52.1	\$ 4,223.14
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	5.8	\$ 4,634.44
	AEI estimate	Unit Floor Prep	Scrape, repair, level concrete floor to receive vct flooring	SF	\$ 0.25	20,855.0	\$ 5,213.75
	096519197400	Unit Resilient Flooring	Flooring, vinyl composition tile, solid, 12" x 12" x 1/8"	SF	\$ 3.94	20,855.0	\$ 82,168.70
	096513131100	Unit Resilient Flooring	Wall base, rubber, straight or cove, standard colors, 4" high, 1/8" thick	SF	\$ 4.67	8,800.0	\$ 41,096.00
19	9	Painting					\$ 170,961.72
	090190930810	Paint Preparation	Surface preparation, exterior, siding, masonry, brick & block, pressure wash, based on 2500 lb operating pressure	SF	\$ 0.40	20,160.0	\$ 8,064.00
	099113900410	Building Facade- First Floor	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, first coat, latex, roller	SF	\$ 0.76	20,160.0	\$ 15,321.60
	099113900420	Building Facade- First Floor	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, second coat, latex, roller	SF	\$ 0.62	20,160.0	\$ 12,499.20
	099113620530	Building Facade- Second Floor	Paints & coatings, siding, misc., smooth wood (butt, T&G, beveled, drop, or B&B siding), primer + 2 coats, exterior latex, roller	SF	\$ 2.41	6,272.0	\$ 15,115.52
	099113620570	Building Facade- Second Floor	Paints & coatings, siding, misc., smooth wood (butt, T&G, beveled, drop, or B&B siding), primer + 2 coats, exterior latex, spray	SF	\$ 1.36	6,272.0	\$ 8,529.92

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Address:	429 Drake Avenue					R.S. Means City Source:	San Francisco	
City, State:	Marin City, California					Labor Type (Standard or Union):	Union, DBWR	
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost	
099113800150		Building Facade- Second Floor	Paints & coatings, trim, exterior, fascia, latex paint, 1 coat coverage, brushwork, 1" x 6" to 1" x 10"	LF	\$ 1.61	1,620.0	\$ 2,608.20	
099113800120		Building Facade- Second Floor	Paints & coatings, trim, exterior, fascia, latex paint, 1 coat coverage, brushwork, 1" x 4"	LF	\$ 1.54	1,620.0	\$ 2,494.80	
099113700170		Painting, exterior	Paints & coatings, exterior doors, flush, roll & brush, finish coat, exterior latex, incl. frame & trim	EA	\$ 103.68	36.0	\$ 3,732.48	
099113700120		Painting, exterior	Paints & coatings, exterior door frames & trim only, brushwork, finish coat, exterior latex	LF	\$ 2.00	324.0	\$ 648.00	
099123722110		Painting, Interior	Paints & coatings, walls & ceilings, interior, masonry or concrete block, latex paint, smooth finish, roller	SF	\$ 0.99	19,440.0	\$ 19,245.60	
099123720480		Painting, Interior	Paints & coatings, walls & ceilings, interior, concrete, drywall or plaster, latex paint, 1 coat, smooth finish, spray	SF	\$ 0.50	46,080.0	\$ 23,040.00	
099123350140		Painting, Interior	Paints & coatings, interior latex, doors, flush, both sides, roll & brush, primer + 2 coats, incl. frame & trim	EA	\$ 213.08	280.0	\$ 59,662.40	
20	10	Specialties					\$ 38,930.07	
024116190370		Selective demolition - bathroom	Minor building deconstruction, salvage labor, toilet accessories (5% of line item cost)	EA	\$ 20.40	196.0	\$ 3,997.42	
024119192150		Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	7.0	\$ 567.00	
102813130200		Specialties	Toilet accessories, curtain rod, stainless steel, 1" diameter x 5' long	EA	\$ 73.34	28.0	\$ 2,053.39	
102813136500		Specialties	Toilet accessories, towel bar, stainless steel, 30" long	EA	\$ 80.62	56.0	\$ 4,514.92	
102813134300		Specialties	Toilet accessories, robe hook, regular, single	EA	\$ 25.83	56.0	\$ 1,446.30	
102813136100		Specialties	Toilet accessories, toilet tissue dispenser, stainless steel, surface mount, single roll	EA	\$ 38.13	28.0	\$ 1,067.51	
102816200020		Specialties	Bath accessories, medicine cabinet, with mirror, stainless steel frame, unlighted, 16" x 22"	EA	\$ 142.12	28.0	\$ 3,979.25	
Industry Average		Specialties	Range Queens, pair	EA	\$ 91.10	28.0	\$ 2,550.80	
Industry Average		Specialties	Stainless-steel splash guards @ ranges	EA	\$ 68.33	28.0	\$ 1,913.10	
105723190200		Specialties	Wood shelving, pine, clear grade, no edge band, 1x12 (Closet shelving, Avg. 40lf/unit)	LF	\$ 10.98	1,120	\$ 12,294.86	
105523100300		Specialties	Mail boxes, horizontal, key lock, 5" H x 6" W x 15" D, aluminum, front load	EA	\$ 97.93	28.0	\$ 2,742.11	
101423131050		Specialties	Signs, flexible door sign, adhesive back, w/Braille, 5/8" letters, 6" x 6"	EA	\$ 64.41	28.0	\$ 1,803.42	
21	10	Special Equipment					\$ -	
			NONE INCLUDED				\$ -	
22	11	Cabinets					\$ 319,568.79	
060505201000		Selective demolition - cabinets	Selective demolition, millwork and trim, wood base cabinets	LF	\$ 23.09	392.0	\$ 9,051.28	
060505201020		Selective demolition - cabinets	Selective demolition, millwork and trim, wood wall cabinets	LF	\$ 23.09	392.0	\$ 9,051.28	
060505201510		Selective demolition - countertops	Selective demolition, millwork and trim, counter top, L, U or C shapes	LF	\$ 15.43	392.0	\$ 6,048.56	
024116190370		Selective demolition - bathroom	Minor building deconstruction, salvage labor, vanity (15% of line item cost)	EA	\$ 61.19	28.0	\$ 1,713.18	
024119192150		Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	31.5	\$ 2,551.50	
024119195000		Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	7.2	\$ 5,771.11	
123223109600		New cabinets- RS Means Rule of Thumb	Custom cabinets, rule of thumb: kitchen cabinets, excl. counters & appliances, maximum	LF	\$ 562.57	392.0	\$ 220,527.44	
123623301540		New Countertops	Countertops, plastic laminate, 24" wide, 1-1/2" thick edging, plastic laminate edging, maximum	LF	\$ 50.68	392.0	\$ 19,866.56	
123623302640		Add backsplashes to countertops	Countertops, plastic laminate, backsplash, add to above, maximum	LF	\$ 29.41	392.0	\$ 11,528.72	
123223308050		New Bathroom Vanity Cabinets	Wood casework vanities, base, 2 door, 30" h x 21" d x 30" w	EA	\$ 615.05	28.0	\$ 17,221.40	
224116131040		New Bathroom Vanity Tops	Lavatory, vanity top, cultured marble, white, single bowl, 25" x 19", includes trim	EA	\$ 579.92	28.0	\$ 16,237.76	
23	11	Appliances					\$ -	
			NONE INCLUDED				\$ -	
24	12	Blinds and Shades, Artwork					\$ 23,832.64	
120505104920		Demolition blinds	Selective demolition, blinds, interior, horizontal or vertical	LF	\$ 4.55	844	\$ 3,840.20	
122113130020		Blinds and Shades	Blinds, interior, horizontal, 1" aluminum slats, solid color, stock	SF	\$ 6.94	2,880	\$ 19,992.44	
25	12	Carpets					\$ -	
			NONE INCLUDED				\$ -	
26	13	Special Construction					\$ 305,684.02	
RS Means SF		Sprinklers- 1st floor	Wet pipe sprinkler systems, steel, light hazard, 4 floors, 10,000 sf	SF	\$ 2.40	20,855.0	\$ 50,052.00	
078413100250		Special Construction	Firestopping, metallic piping, insulated, through floors 4" diameter (2 per unit)	EA	\$ 26.15	28.0	\$ 732.08	
078413100210		Special Construction	Firestopping, metallic piping, insulated, through walls 4" diameter (2 per unit)	EA	\$ 52.15	28.0	\$ 1,460.33	
038213100500		Special Construction	Concrete core drilling, 4" diameter, up to 6" thick slab (2 per unit)	EA	\$ 80.40	56	\$ 4,502.16	
024113381000		Special Construction	Selective demo, sewer piping & fittings, ductile iron pipe, 8" diameter (Sewer lines)	LF	\$ 15.24	700	\$ 10,668.72	
024113381000		Demolition	Selective demo, sewer piping & fittings, ductile iron pipe, 4" diameter (Sewer lines)	LF	\$ 15.24	700	\$ 10,668.72	
Industry Average		Final Cleaning	Apartment punch-out, cleaning, prelease procedures - Industry Average	EA	\$ 450.00	28	\$ 12,600.00	
Industry Average		Special Construction	ADA A/V Upgrades for Hearing Impaired	EA	\$ 2,500.00	2	\$ 5,000.00	
Industry Average		Demolition	Bulk Hazardous Materials Removal (Asbestos, Lead, and Mold)	Apt	\$ 7,500.00	28	\$ 210,000.00	
27	14	Elevators					\$ -	
			NONE INCLUDED				\$ -	
28	15	Plumbing and Hot Water					\$ 480,941.32	
AEI estimate		MEP demolition	Make safe, cap, remove all MEP piping, devices, fixtures, cable, haul off and dispose	SF	\$ 2.75	20,855.0	\$ 57,351.25	
D2010 Sq. Ft. Est		Plumbing	Three fixture bathroom - lavatory, bathtub, & water closet - system includes rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$ 7.13	20,855.0	\$ 148,696.15	
D2010 Sq. Ft. Est		Plumbing	Kitchen sink system - Kitchen sink w/trim, countertop, 32"x21" double bowl - systems are complete w/trim and rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$ 2.35	20,855.0	\$ 49,009.25	
D2010 Sq. Ft. Est		Domestic Water Distribution	Electric/gas Water Heater, residential, 50-gallon tank	SF	\$ 8.59	20,855.0	\$ 179,144.45	
223430132900		Plumbing	Water heater, safety pan drain, 26" round	EA	\$ 55.12	28	\$ 1,543.23	
231123200130		Plumbing	Gas piping, flexible (CSST), tubing with lightning protection, 3/4" (Interior gas line replacement)	LF	\$ 16.25	1,400.0	\$ 22,753.14	
231123200260		Plumbing	Gas piping, flexible (CSST), tubing, for underground/under slab burial, 1-1/2" (Exterior gas line replacement)	LF	\$ 36.39	350.0	\$ 12,738.06	
231123104010		Plumbing	Gas meter, residential, 3/4" pipe size	EA	\$ 346.64	28.0	\$ 9,705.79	
29	15	Heat and Ventilation					\$ 140,523.04	
235416133564		HVAC	Furnace, gas fired furnace, horizontal flow, 1,200 CFM, 45 MBH, includes standard controls, excludes gas, oil or flue piping	EA	\$ 2,138.66	28	\$ 59,882.48	
233113130500		HVAC	Air Distribution Ductwork	LF	\$ 9.10	4,480	\$ 40,768.00	

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City, State:	Marin City, California			Labor Type (Standard or Union):	Union, DBWR		
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost
	233713100200	HVAC	Diffuser, aluminum, ceiling, also for sidewall, 8" wide, includes opposed blade damper	EA	\$ 65.14	196	\$ 12,766.75
	113013194150	Kitchen Ventilation	Range hood, residential appliances, vented, min, 2 speed, 30" wide, minimum	EA	\$ 484.37	28	\$ 13,562.36
	233423106670	Bathroom Ventilation	Fans, residential, bath exhaust, grille, back draft damper, 110 CFM	EA	\$ 247.29	28	\$ 6,924.12
	233423106946	Ventilation	Exhaust vent wall cap, 3" & 4" round duct - (Install bathroom exhaust)	EA	\$ 87.46	28	\$ 2,448.77
	233346101500	Ventilation	Exhaust vent duct - flexible, non-insulated, 3" diameter - (Install bathroom exhaust)	LF	\$ 4.29	280	\$ 1,201.43
	233113165410	Heat and Ventilation	Duct, round, spiral, galv., 4" dia., 26 ga. - (Replace exhaust vents unit water heaters)	LF	\$ 5.30	560	\$ 2,969.13
30	15	Air Conditioning					\$ -
			<i>NONE INCLUDED</i>				\$ -
31	16	Electrical					\$ 604,533.51
	D5010 Sq. Ft. Est	Electrical Service/Distribution	Electrical Service/Distribution - Underground service installation, includes excavation, backfill, and compaction, 100' length, 4' depth, 3 phase, 4 wire, 277/480 volts, 2000 A; Feeder installation 600 V, including RGS conduit and XHHW wire, 2000 A; Switchgear installation, incl switchboard, panels & circuit breaker, 120/208 V, 3 phase, 2000 A	SF	\$ 10.47	20,855	\$ 218,351.85
	D5020 Sq. Ft. Est	Lighting and Branch Wiring	Lighting and Branch Wiring - Receptacles incl plate, box, conduit, wire, 10 per 1000 SF, 1.2 watts per SF; Wall switches, 2.5 per 1000 SF; Miscellaneous power, 2 watts; HVAC power; Motor installation, three phase, 200 V, 15 HP motor size; Incandescent fixtures recess mounted, type A, 1 watt per SF, 8 FC, 6 fixtures per 1000 SF	SF	\$ 14.07	20,855	\$ 293,429.85
	D5030 Sq. Ft. Est	Communications and Security	Communications and Security - Communication and alarm systems, fire detection, includes outlets, boxes, conduit and wire	SF	\$ 2.08	20,855	\$ 43,378.40
	262416100300	Electrical Service/Distribution	Load centers, 1 phase, 3 wire, main lugs, indoor, 120/240 V, 100 amp, 12 circuits, incl 20 A 1 pole plug-in breakers	EA	\$ 1,411.69	28	\$ 39,527.32
	265623101160	Electrical	Exterior lighting - HPS fixture, exterior, wall pack, 70 watt, incl. lamps	EA	\$ 351.65	28	\$ 9,846.09
32	0	Subtotal (Structures)					\$ 4,040,863.63
33	0	Accessory Structures					\$ -
			<i>NONE INCLUDED</i>				\$ -
34	0	Total (Lines 33 and 34)					\$ 4,040,863.63
35	31	Earthwork					\$ 18,283.28
	329119131000	Building perimeter regrade/repair	Topsoil placement and grading, fine grading and seeding, with equipment	SY	\$ 4.75	1,960.0	\$ 9,310.00
	310513100800	Building perimeter regrade/repair	Soils for earthwork, topsoil, includes load and haul 2 miles	CY	\$ 32.20	217.8	\$ 7,013.28
	312323131100	Building perimeter regrade/repair	Backfill and compact, by hand, 12" layers, compaction in layers, vibrating plate, add to above	ECY	\$ 9.00	217.8	\$ 1,960.00

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City, State:	Marin City, California			Labor Type (Standard or Union):	Union, DBWR		
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost
36		Site Utilities					\$ 258,168.13
	333111252040	Sanitary Sewer VCP Replacement	Public sanitary utility sewerage piping, piping polyvinyl chloride pipe, B & S, 20' lengths, 6" diameter, SDR 35, excludes excavation or backfill	LF	\$ 13.04	700.0	\$ 9,128.00
	333111253080	Sanitary Sewer VCP Replacement	Public sanitary utility sewerage piping, piping polyvinyl chloride pipe, fittings, bends or elbows, 6" diameter, SDR 35, excludes excavation or backfill	EA	\$ 108.39	84.0	\$ 9,104.76
	333111253670	Sanitary Sewer VCP Replacement	Public sanitary utility sewerage piping, cap, polyvinyl chloride, 6", SDR 35	EA	\$ 211.00	56.0	\$ 11,816.00
	331413254120	Domestic Water	Water supply distribution piping, polyvinyl chloride pressure pipe, 2", ASTM D2241, class 200, SDR 21, includes trenching to 3' deep	LF	\$ 26.75	350.0	\$ 9,362.50
	221119421160	Domestic Water	Backflow preventer, double check principle, corrosion resistant, automatic operation, gate valves, threaded, 2" pipe size, includes valves and four test cocks	EA	\$ 2,481.59	7.0	\$ 17,371.13
	221119387300	Domestic Water	Water supply meter, turbine type, flanged, to 160 GPM, 2" diameter	EA	\$ 923.11	28.0	\$ 25,847.08
	221119381140	Fire Main- new	Water supply meter, detector, serves dual systems such as fire and domestic or process water, wide range capacity, 700 GPM, 4" mainline x 2" by-pass, UL and FM approved	EA	\$ 10,418.12	7.0	\$ 72,926.84
	221119421220	Fire Main- new	Backflow preventer, double check principle, corrosion resistant, automatic operation, gate valves, flanged, 4" pipe size, includes valves and four test cocks	EA	\$ 4,101.22	7.0	\$ 28,708.54
	331413152020	Fire Main- new	Water supply distribution piping, ductile iron pipe, cement lined, mechanical joint, no fittings, 18' lengths, 4" diameter, class 50, excludes excavation or backfill	LF	\$ 74.93	350.0	\$ 26,225.50
	312316130060	All Utilities	Excavating, trench or continuous footing, common earth, 1/2 C.Y. excavator, 1' to 4' deep, excludes sheeting or dewatering	BCY	\$ 8.47	311.1	\$ 2,635.11
	312316131352	All Utilities	Excavating, trench or continuous footing, common earth, 1/2 C.Y. excavator, 4' to 6' deep, includes trench box, excludes dewatering	BCY	\$ 13.94	466.7	\$ 6,505.33
	312316133020	All Utilities	Excavating, trench backfill, 1 C.Y. bucket, minimal haul, front end loader, wheel mounted, excludes dewatering	LCY	\$ 3.70	777.8	\$ 2,877.78
	024113233200		Utility removal, pipe, sewer/water, steel, welded connections, 4" diameter, remove, excludes excavation, hauling	LF	\$ 14.01	1,400.0	\$ 19,614.00
	312323160050	All Utilities	Fill by borrow and utility bedding, for pipe and conduit, crushed or screened bank run gravel, excludes compaction	LCY	\$ 58.15	155.6	\$ 9,045.56
	312323131100	All Utilities	Backfill and compact, by hand, 12" layers, compaction in layers, vibrating plate, add to above	ECY	\$ 9.00	777.8	\$ 7,000.00
37		Roads & Walks					\$ 41,876.43
	024113175010	Demolition Req'd for Utility Replacement	Demolish, remove pavement & curb, remove bituminous pavement, up to, 3" thick, excludes hauling and disposal fees	SY	\$ 7.12	350.0	\$ 2,492.00
	024113304100	Demolition Req'd for Utility Replacement	Minor site demolition, sidewalk, concrete, plain, 4" thick, remove, excludes hauling	SY	\$ 14.01	233.3	\$ 3,269.00
	024119193000	Demolition Req'd for Utility Replacement	Selective demolition, rubbish handling, loading & trucking, chute loaded, including 2 mile haul, cost to be added to demolition cost (Avg. 7 CY per unit)	C.Y.	\$ 55.80	17.3	\$ 963.46
	320610100100	Asphalt Patch for Utility Replacement	Sidewalks, driveways, and patios, side walks, asphaltic concrete, 2-1/2" thick, excludes base	SY	\$ 18.53	350.0	\$ 6,485.50
	320610100310	Concrete Patch for Utility Replacement	Sidewalks, driveways, and patios, sidewalk, concrete, cast-in-place with 6 x 6 - W1.4 x W1.4 mesh, broomed finish, 3,000 psi, 4" thick, excludes base	SF	\$ 6.39	2,100.0	\$ 13,419.00
	320610100450	Base for Asphalt and Concrete Patch	Sidewalks, driveways, and patios, sidewalks, concrete, excludes base, for 4" thick bank run gravel base, add	SF	\$ 1.74	2,100.0	\$ 3,654.00
	320610102160	Spread Base for Asphalt and Concrete Patch	Sidewalks, driveways, and patios, sidewalk, load, dump and spread stone, 100' haul, with skid steer, excludes base	CY	\$ 91.32	64.8	\$ 5,912.97
	321613130410	Concrete Curb Repair for Utility Replacement	Cast-in place concrete curbs & gutters, concrete, steel forms, straight, 6" x 18", includes concrete	LF	\$ 16.23	350.0	\$ 5,680.50
38		Exterior Improvements					\$ -
			NONE INCLUDED				\$ -
39		Lawns and Plantings					\$ 52,851.93
	329119131000	Perimeter Landscaping Restoration	Topsoil placement and grading, fine grading and seeding, with equipment	SY	\$ 3.74	1,960	\$ 7,338.65
	310513100800	Perimeter Landscaping Restoration	Soils for earthwork, topsoil, includes load and haul 2 miles	CY	\$ 32.20	218	\$ 7,013.28
	AEI allowance	Perimeter Landscaping Restoration	Restoration of foundation plantings for renovation work	EA	\$ 5,500.00	7.0	\$ 38,500.00
40		Unusual Site Conditions					\$ -
			NONE INCLUDED				\$ -
41		Total Land Improvements					\$ 371,179.77
		Combined Structure and Land Improvement Cost					\$ 4,412,043.40
		Soft Costs and Fees					
		PIH 2018-04 % allowed	Contingency	7.50%			\$ 330,903.25
		PIH 2018-04 % allowed	General Conditions	5.00%			\$ 220,602.17
		PIH 2018-04 % allowed	Builders Overhead	2.00%			\$ 88,240.87
		PIH 2018-04 % allowed	Builder's Profit	10.00%			\$ 441,204.34
		PIH 2018-04 % allowed	Architectural Design Fees	5.50%			\$ 242,662.39
		PIH 2018-04 % allowed	PHA Administration Fee	2.00%			\$ 88,240.87
		Subtotal Soft Costs and Fees		32.00%			\$ 1,411,853.89
		TOTAL REHABILITATION / RETROFIT CONSTRUCTION COST BUDGET:					\$ 5,823,897.29
		TOTAL DEVELOPMENT COST					\$ 9,569,346.00
		Rehabilitation Cost % (estimated cost of Rehabilitation/Total TDC) x 100 =					60.86%

Date:	03/02/2021	2-story Low Rise			Gross Square Feet:	108,160	
Project:	Golden Gate Village	Total for (13) Buildings			Number of Units:	104	
Address:	429 Drake Avenue				R.S. Means City Source:	San Francisco	
City, State:	Marin City, California				Labor Type (Standard or Union):	Union, DBWR	
Line	Div.	Trade Item	Trade Item Description	Unit	Unit Cost	Quantity	Total Cost
1	3	Concrete					\$ 40,807.00
	030130712010	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, clean/grind surface free of contaminants	LF	\$ 2.27	1,300.0	\$ 2,951.00
	030130712020	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, rout crack with v-notch crack chaser if needed	LF	\$ 3.24	1,300.0	\$ 4,212.00
	030130712030	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, blow out crack with oil-free dry compressed air (1 pass)	LF	\$ 0.31	1,300.0	\$ 403.00
	030130712040	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, cap crack with epoxy gel at underside of elevated slabs if needed	LF	\$ 3.19	1,300.0	\$ 4,147.00
	030130712050	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, insert backer rod in crack if needed	LF	\$ 2.31	1,300.0	\$ 3,003.00
	030130712060	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, partially fill crack with dry sand if needed	LF	\$ 1.15	1,300.0	\$ 1,495.00
	030130712070	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, apply 2 beads of sealant alongside crack to form a reservoir if needed	LF	\$ 2.62	1,300.0	\$ 3,406.00
	038113500300	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete slabs, plain, up to 3" deep, includes blade cost, layout and set up time	LF	\$ 3.12	2,600.0	\$ 8,112.00
	038113500320	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete, existing slab, plain, for each additional inch of depth over 3", includes blade cost, layout and set up time	LF	\$ 1.04	2,600.0	\$ 2,704.00
	033053405001	Concrete Floor Demo for MEP Repair	Structural concrete, in place, slab on grade (3000 psi), 4" thick, includes concrete (Portland cement Type I), placing and broom finish, excludes forms and reinforcing	SF	\$ 3.99	2,600.0	\$ 10,374.00
2	4	Masonry					\$ 50,012.26
	040120100520	CMU Repairs	Patching masonry, CMU patching, 1/4" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 20.75	425.6	\$ 8,831.20
	040120100540	CMU Repairs	Patching masonry, CMU patching, 3/8" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 28.28	425.6	\$ 12,035.97
	040120100580	CMU Repairs	Patching masonry, CMU patching, 1/2" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 36.11	425.6	\$ 15,368.42
	040120200600	CMU Repairs	Pointing masonry, tuck, cut and re-point, soft old mortar, running bond	SF	\$ 10.79	1,276.8	\$ 13,776.67
3	5	Metals					\$ 40,506.18
	AEI estimate	Utility Meter Enclosure Repairs	Repair/replace chain link fence style meter enclosures, gates, and locks	EA	\$ 750.00	13.0	\$ 9,750.00
	055213500905	Exterior Stairs	Railing, pipe, aluminum, wall rail, clear finish, 1-1/4" diameter, shop fabricated	LF	\$ 56.33	546.0	\$ 30,756.18
4	6	Rough Carpentry					\$ 1,511,989.91
	070505104970	Siding Demolition	Selective demolition, thermal and moisture protection, siding, horizontal clapboards	SF	\$ 2.17	23,790	\$ 51,624.30
	070505105670	Siding Demolition	Selective demolition, thermal and moisture protection, siding, textured plywood	SF	\$ 1.14	2,340	\$ 2,667.60
	060505103500	Selective Demolition- 35%	Selective demolition, wood framing, fascia boards, 2" x 8"	LF	\$ 2.32	4,108.0	\$ 9,530.56
	060505105684	Selective Demolition- 15%	Selective demolition, wood framing, rafters, 6/12 - 8/12 pitch, 2" x 8", 16" OC	SF	\$ 2.25	6,656.0	\$ 14,976.00
	060505106092	Selective Demolition- 25%	Selective demolition, wood framing, sheathing, 5/8", from roof	SF	\$ 1.53	12,156.3	\$ 18,599.14
	060505106720	Selective Demolition- 15%	Selective demolition, wood framing, wall framing, 2" x 4", includes studs, plates and blocking	SF	\$ 23.09	3,328.0	\$ 76,843.52
	090505204000	Selective Demolition- 15%	Flooring demolition, wood, subfloor, plywood, nailed	SF	\$ 1.81	8,112.0	\$ 14,682.72
	090505302350	Selective Demolition- 15%	Walls and partitions demolition, metal or wood studs, finish two sides, plywood	SF	\$ 5.96	2,448.0	\$ 14,590.08
	074629102800	Selective Demolition- 15%	Wood product siding, plywood, redwood textured panels, 5/8" thick	SF	\$ 5.73	27,358.5	\$ 156,764.21
	074629102200	Selective Demolition- 15%	Wood product siding, plywood, rough sawn cedar, natural, 3/8" thick	SF	\$ 4.67	2,340.0	\$ 10,927.80
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	231.6	\$ 18,758.95
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	51.6	\$ 41,274.84
	074623105250	Wood Siding Replacement, batten	Wood siding, boards, redwood, tongue & groove, "B" grade, 1" x 4"	SF	\$ 14.05	2,735.9	\$ 38,438.69
	074623105270	Wood Siding Replacement, board	Wood siding, boards, redwood, tongue & groove, "B" grade, 1" x 8"	SF	\$ 15.31	27,358.5	\$ 418,858.64
	074629102800	Wood Siding Replacement, plywood	Wood product siding, plywood, redwood textured panels, 5/8" thick	SF	\$ 5.73	2,340.0	\$ 13,408.20
	061516100650	Wood Roof T&G Replacement- 15%	Wood roof decking, douglas fir, 2" thick	SF	\$ 9.64	12,156.3	\$ 117,186.73
	061623100200	Unit Floor plywood decking- 15%	3/4" thick CDX plywood, subfloor	SF Flr	\$ 3.42	8,112.0	\$ 27,743.04
	061323102300	Heavy Timber Roof Joist replace- 10%	Wood framing, heavy mill timber, roof purlins, structural grade, 4" thick	LF	\$ 4.97	3,120.0	\$ 15,498.69
	061636100205	Roofing Lumber	Sheathing, plywood on roof, CDX, 5/8" thick, pneumatic nailed	SF	\$ 2.75	12,156.3	\$ 33,429.83
	061110022625	Attic Mic. Framing	2" x 4" miscellaneous wood blocking, to wood construction, pneumatic nailed, per M.B.F.	MBF	\$ 6,625.73	13.0	\$ 86,134.49
	061110022665	Attic Mic. Framing	2" x 8" miscellaneous wood blocking, to wood construction, pneumatic nailed	MBF	\$ 4,848.50	3.9	\$ 18,909.15
	061110060017	Attic Mic. Framing	1" x 3" wood bridging, for joists 16" OC, pneumatic nailed	PR	\$ 7.90	1,560.0	\$ 12,324.00
	061110305060	Roofing Lumber	Wood framing, roofs, rafters, ordinary, to 4 in 12 pitch, 2" x 8"	LF	\$ 4.26	3,328.0	\$ 14,177.28
	061110305880	Roofing Lumber	Wood framing, roofs, ridge boards, #2 or better, 2" x 8"	LF	\$ 6.91	1,690.0	\$ 11,677.90
	061110306070	Roofing Lumber	Wood framing, roofs, fascia boards, 2" x 8"	MBF	\$ 8,959.68	3.4	\$ 30,283.72
	AEI estimate	Meter Box Rebuild	3/4" plywood, 2" x 4" framing, mitered corners, hinges, screwed to block wall	EA	\$ 300.00	26.0	\$ 7,800.00
	AEI estimate	Exterior Wood Stairs	Repair exterior wood stairs, railings, decking, concrete treads	EA	\$ 1,500.00	39.0	\$ 58,500.00
	061110420800	Cabinetry blocking	Furring, wood, on walls, on CMU, 1" x 3"	LF	\$ 5.14	9,984.0	\$ 51,317.76
	061110420300	Rough Carpentry- walls	Furring, wood, on walls, masonry, 1x2, 24" O.C. (L of furring) - exterior and dividing masonry walls at all units, ceilings at select locations	LF	\$ 1.50	83,200	\$ 125,062.08
5	6	Finish Carpentry					\$ 523,402.10
	062213505950	Finish Carpentry	Units - Moldings, window & door, window trim sets, 2-1/2" wide, includes casings, header, stops, stool & apron, pine (13 window/door openings per unit avg.)	Opng.	\$ 97.93	1,768	\$ 173,144.66
	062516104300	Finish Carpentry	Plywood paneling, prefinished, architectural grade, custom, 3/4" thick	SF	\$ 16.14	6,656	\$ 107,427.84
	064313400790	Finish Carpentry	Wood stair parts, treads, oak, 1-1/32" x 11-1/2", 36" long, no returns	EA	\$ 86.99	624	\$ 54,281.76
	064316100300	Unit Stair Railings	Railings, stock interior railing, 4" long with spindles 4" OC	LF	\$ 78.74	832.0	\$ 65,511.68
	064316100400	Unit Stair Railings	Railings, stock interior railing, 8" long with spindles 4" OC	LF	\$ 73.94	1,664.0	\$ 123,036.16
6	7	Thermal and Moisture Protection					\$ 118,996.80
	079213200055	Exterior Window Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	15,184.0	\$ 53,144.00
	079213200060	Exterior Door Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 3/8", in place	LF	\$ 3.54	8,320.0	\$ 29,452.80
	079213200055	Interior Dissimilar Material Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	10,400.0	\$ 36,400.00
7	7	Insulation					\$ 42,359.72
	AEI allowance	Insulation	Window and Door chinking/grouting	EA	\$ 25.00	728.0	\$ 18,200.00
	072116102220	Insulation	Blanket insulation for 2nd Floor Overhang, 12" thick, R38 - attic	SF	\$ 2.32	10,400	\$ 24,159.72
8	7	Roofing					\$ 1,445,966.61
	070505101170	Roofing Demolition	Selective demolition, thermal and moisture protection, roof accessories, adjustable metal chimney flashing	EA	\$ 92.10	130	\$ 11,973.00
	070505101325	Roofing Demolition	Selective demolition, thermal and moisture protection, roof accessories, plumbing vent flashing	EA	\$ 25.83	130	\$ 3,357.90
	070505101375	Roofing Demolition	Selective demolition, thermal and moisture protection, roof accessories, ridge vent strip, aluminum	LF	\$ 2.67	3,380	\$ 9,024.60
	070505103125	Roofing Demolition	Selective demolition, thermal and moisture protection, roofing, roofing felt, #30	SQ	\$ 27.55	810	\$ 22,327.07
	070505103180	Roofing Demolition	Selective demolition, thermal and moisture protection, roofing, asphalt shingles, 2 layers	SF	\$ 2.39	81,042	\$ 193,690.38

	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	101.3	\$	8,205.50
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	30.0	\$	24,012.44
	075216101600	*Code 7A Fire Mineral Cap Sheet	SBS modified bituminous membrane, smooth surface cap sheet, 145 mils, mopped	SF	\$	4.42	81,042.0	\$	358,205.64
	079213203500	*Code 7A Fire Caulking Eaves/Soffits	Joint sealants, caulking and sealants, polyurethane, bulk, in place, 1 or 2 component, 1/4" x 1/4"	LF	\$	3.61	8,060.0	\$	29,096.60
	079213203510	*Code 7A Fire Caulking Eaves/Soffits	Joint sealants, caulking and sealants, polyurethane, bulk, in place, 1 or 2 component, 1/4" x 3/8"	LF	\$	3.78	12,090.0	\$	45,700.20
	073113100505	New Shingle Roofing	Asphalt shingles, premium, laminated multi-layered shingles, class A, 300-385 lb/sq, pneumatic nailed	SQ	\$	748.59	891	\$	667,339.54
	073113100825	New Shingle Roofing	Asphalt shingles, #30 felt underlayment	SQ	\$	29.41	891	\$	26,217.90
	073113100850	New Shingle Roofing	Asphalt shingles, self adhering polyethylene and rubberized asphalt underlayment	SQ	\$	134.34	223	\$	29,939.75
	073113100905	New Shingle Roofing	Asphalt shingles, ridge shingles, pneumatic nailed	LF	\$	5.56	1,690	\$	9,396.40
	077226100150	New Shingle Roofing	Ridge vents, aluminum strips, painted finish	LF	\$	10.57	208	\$	2,198.56
	077226100200	New Shingle Roofing	Ridge vents, aluminum strips, mill finish, connectors	EA	\$	27.15	104	\$	2,823.60
	077226100300	New Shingle Roofing	Ridge vents, aluminum strips, mill finish, end caps	EA	\$	23.63	104	\$	2,457.52
9	7	Sheet Metal							\$ 12,103.00
	076510100100	Roofing Sheet Metal Flashing	Sheet metal flashing, aluminum, flexible, mill finish, .032" thick, including up to 4 bends	SF	\$	9.31	1,300	\$	12,103.00
10	8	Doors							\$ 1,083,784.67
	080505100200	Selective Demolition	Door demolition, exterior door, single, 3' x 7' high, 1-3/4" thick, remove	EA	\$	53.53	104.0	\$	5,567.12
	080505101500	Selective Demolition	Door demolition, interior door, hollow core, remove	EA	\$	53.53	1,040.0	\$	55,671.20
	080505102200	Selective Demolition	Door demolition, door frames, wood, remove	EA	\$	66.50	1,144.0	\$	76,076.00
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	119.0	\$	9,637.06
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	84.7	\$	67,792.59
	081723101640	Unit Entry Door	Doors, prehung, exterior, entrance door, flush, birch, solid core, 4-5/8" solid jamb, 1-3/4" x 6'-8" x 3'-0" wide	EA	\$	559.76	104.0	\$	58,215.04
	081723105000	Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-6" wide	EA	\$	504.58	312.0	\$	157,428.96
	081723105020	Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-8" wide	EA	\$	349.22	520.0	\$	181,594.40
	081433204460	Unit Closet Door	Doors, wood, residential, interior, bi-passing closet, flush, luan, 6'-0" x 6'-8", incl. hardware and frame, excl. trim	EA	\$	389.92	208.0	\$	81,103.36
	087120401400	Entry Door Hardware	Door hardware, lockset, heavy duty, cylindrical, with sectional trim, residential, minimum	EA	\$	247.79	104.0	\$	25,770.37
	087120411000	Entry Door Hardware	Door hardware, deadlock, tubular, standard duty, outside key	EA	\$	110.69	104.0	\$	11,511.40
	087120452020	Entry Door Hardware	Peepholes, wide view	EA	\$	32.00	104.0	\$	3,328.00
	087120650800	Entry Door Hardware	Thresholds, rubber, 2-3/4" x 1/2"	EA	\$	79.26	104.0	\$	8,242.73
	087120401100	Interior Door Hardware	Door hardware, non-keyed, heavy duty, cylindrical, with sectional trim, residential, interior door, minimum	EA	\$	325.00	832.0	\$	270,400.00
	087120501300	Interior Door Hardware	Door stops, wall bumper, 4" dia., w/rubber pad	EA	\$	31.38	832.0	\$	26,111.45
	087120900012	All Door Hardware	Hinges, full mortise, steel base	SET	\$	39.63	1,144.0	\$	45,335.00
11	8	Windows							\$ 711,880.09
	080505200200	Window Demolition	Window demolition, aluminum, to 12 S.F.	EA	\$	53.53	208.0	\$	11,134.24
	080505200280	Window Demolition	Window demolition, aluminum, to 50 S.F.	EA	\$	171.93	416.0	\$	71,522.88
	024119192150	Window Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	32.4	\$	2,628.29
	024119195000	Window Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	11.6	\$	9,244.44
	085113204100	New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 3'-0" x 2'-0" opening, incl. frame and glazing	EA	\$	507.08	104.0	\$	52,736.32
	085113204400	New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 5'-0" x 3'-0" opening, incl. frame and glazing	EA	\$	746.37	104	\$	77,622.48
	085113204700	New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 8'-0" x 4'-0" opening, incl. frame and glazing	EA	\$	1,049.98	312.0	\$	327,593.76
	085113205100	New Unit Windows	Windows, aluminum, commercial grade, stock units, sliding, insulating glass, 9'-0" x 5'-0" opening, incl. frame and glazing	EA	\$	1,532.67	104	\$	159,397.68
12	8	Glass							\$ -
			NONE INCLUDED						\$ -
13	9	Lath and Plaster							\$ 13,821.60
	074646100030	Exterior Stucco Panel Repair	Repair and fill select areas of concrete stucco with textured finish	SF	\$	4.43	3,120	\$	13,821.60
14	9	Drywall							\$ 935,351.82
	090505100200	Drywall demolition	Ceiling demolition, gypsum wall board, furred and nailed, remove	SF	\$	1.48	108,160.0	\$	160,076.80
	090505301000	Drywall demolition	Walls and partitions demolition, gypsum wallboard, per s.f., nailed or screwed	SF	\$	0.60	106,496.0	\$	63,897.60
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	83.2	\$	6,739.20
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	123.3	\$	98,607.41
	092910302050	Unit Drywall	Gypsum wallboard, on walls, standard, taped & finished (level 4 finish), 5/8" thick	SF	\$	1.63	106,496.0	\$	173,661.96
	092910305350	Unit Drywall	Gypsum wallboard, for finishing corners, inside, add	LF	\$	2.54	16,640.0	\$	42,265.60
	092910305355	Unit Drywall	Gypsum wallboard, for finishing outer corners, add	LF	\$	2.11	4,160.0	\$	8,777.60
	092910303050	Unit Drywall	Gypsum wallboard, on ceilings, standard, taped & finished (level 4 finish), 5/8" thick	SF	\$	3.53	108,160	\$	381,325.65
15	9	Ceramic Tile							\$ 129,865.58
	090505303760	Ceramic tile demolition	Walls and partitions demolition, tile, ceramic, on walls, thin set	SF	\$	2.94	3,016	\$	8,867.04
	090505202000	Ceramic tile demolition	Flooring demolition, tile, ceramic, thin set	SF	\$	2.60	300	\$	780.00
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	113.1	\$	9,161.10
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	16.8	\$	13,404.44
	093113103300	Ceramic Tile Floors- ADA Bathrooms	Ceramic tile, floors, glazed, porcelain type, 1 color, color group 2, 1" x 1"	SF	\$	15.07	300.0	\$	4,521.00
	093113102100	Ceramic Tile Bath Surrounds	Ceramic tile, bathtub, adhesive set, 5' w x 7' h, with 4-1/4" x 4-1/4" tile wainscot	EA	\$	895.50	104	\$	93,132.00
16	9	Acoustical							\$ -
			NONE INCLUDED						\$ -
17	9	Wood Flooring							\$ -
			NONE INCLUDED						\$ -
18	9	Resilient Flooring							\$ 861,927.26
	090505200900	Selective demolition	Flooring demolition, vinyl composition tile, 12" x 12"	SF	\$	1.76	108,160.0	\$	190,361.60
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	270.4	\$	21,902.40
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	30.0	\$	24,035.56
	AEI estimate	Unit Floor Prep	Scrape, repair, level concrete floor to receive vct flooring	SF	\$	0.25	108,160.0	\$	27,040.00
	096519197400	Unit Resilient Flooring- 10% waste	Flooring, vinyl composition tile, solid, 12" x 12" x 1/8"	SF	\$	3.94	118,976.0	\$	468,765.44
	096513131100	Unit Resilient Flooring- 10% waste	Wall base, rubber, straight or cove, standard colors, 4" high, 1/8" thick	SF	\$	4.67	27,799.2	\$	129,822.26
19	9	Painting							\$ 532,945.13
	090190930810	Paint Preparation	Surface preparation, exterior, siding, masonry, brick & block, pressure wash, based on 2500 lb operating pressure	SF	\$	0.40	41,301.0	\$	16,520.40
	015423700090	Scaffolding for exterior access	Scaffolding, steel tubular, regular, labor only to erect & dismantle, building exterior, wall face, 6'-4" x 5' frames, 1 to 5 stories, excludes planks	C.S.F.	\$	389.55	78.8	\$	30,684.55
	015423702250	Scaffolding for exterior access	Scaffolding, steel tubular, regular, frame, rent/mo, 7'-6" high x 6' wide	Ea.	\$	11.73	472.6	\$	5,543.78
	015423702500	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, cross brace, rent/mo	Ea.	\$	3.97	945.2	\$	3,752.57
	015423702550	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, guardrail post, rent/mo	Ea.	\$	3.85	630.2	\$	2,426.09

	015423702600	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, guardrail section, rent/mo, 7' long	Ea.	\$	13.13	315.1	\$	4,136.96
	015423702650	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, screw jack & plate, rent/mo	Ea.	\$	5.15	1,260.3	\$	6,490.58
	015423702850	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, plank, rent/mo, 2" x 10" x 16' long	Ea.	\$	11.73	137.8	\$	1,616.94
	015423702900	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, stairway section, rent/mo	Ea.	\$	38.20	8.0	\$	305.60
	015423705700	Scaffolding for exterior access	Scaffolding, planks, labor only to install & remove, 2"x10"x16", up to 50' high	Ea.	\$	42.93	221.5	\$	9,510.65
	099113900410	Building Facade- First Floor	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, first coat, latex, roller	SF	\$	0.76	17,511.0	\$	13,308.36
	099113900420	Building Facade- First Floor	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, second coat, latex, roller	SF	\$	0.62	17,511.0	\$	10,856.82
	099113620530	Building Facade- Second Floor	Paints & coatings, siding, misc., smooth wood (butt, T&G, beveled, drop, or B&B siding), primer + 2 coats, exterior latex, roller	SF	\$	2.41	5,947.5	\$	14,333.48
	099113620570	Building Facade- Second Floor	Paints & coatings, siding, misc., smooth wood (butt, T&G, beveled, drop, or B&B siding), primer + 2 coats, exterior latex, spray	SF	\$	1.36	17,842.5	\$	24,265.80
	099113800150	Building Facade- Second Floor	Paints & coatings, trim, exterior, fascia, latex paint, 1 coat coverage, brushwork, 1" x 6" to 1" x 10"	LF	\$	1.61	8,216.0	\$	13,227.76
	099113800120	Building Facade- Second Floor	Paints & coatings, trim, exterior, fascia, latex paint, 1 coat coverage, brushwork, 1" x 4"	LF	\$	1.54	16,432.0	\$	25,305.28
	099113700170	Painting , exterior	Paints & coatings, exterior doors, flush, roll & brush, finish coat, exterior latex, incl. frame & trim	EA	\$	103.68	104.0	\$	10,782.72
	099113700120	Painting , exterior	Paints & coatings, exterior door frames & trim only, brushwork, finish coat, exterior latex	LF	\$	2.00	1,768.0	\$	3,536.00
	099123722110	Painting, Interior	Paints & coatings, walls & ceilings, interior, masonry or concrete block, latex paint, smooth finish, roller	SF	\$	0.99	70,720.0	\$	70,012.80
	099123720480	Painting, Interior	Paints & coatings, walls & ceilings, interior, concrete, drywall or plaster, latex paint, 1 coat, smooth finish, spray	SF	\$	0.50	106,496.0	\$	53,248.00
	099123350140	Painting, Interior	Paints & coatings, interior latex, doors, flush, both sides, roll & brush, primer + 2 coats, incl. frame & trim	EA	\$	213.08	1,000.0	\$	213,080.00
20	10	Specialties							\$ 144,597.41
	024116190370	Selective demolition - bathroom	Minor building deconstruction, salvage labor, toilet accessories (5% of line item cost)	EA	\$	20.40	728.0	\$	14,847.56
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	26.0	\$	2,106.00
	102813130200	Specialties	Toilet accessories, curtain rod, stainless steel, 1" diameter x 5' long	EA	\$	73.34	104.0	\$	7,626.89
	102813136500	Specialties	Toilet accessories, towel bar, stainless steel, 30" long	EA	\$	80.62	208.0	\$	16,769.99
	102813134300	Specialties	Toilet accessories, robe hook, regular, single	EA	\$	25.83	208.0	\$	5,371.98
	102813136100	Specialties	Toilet accessories, toilet tissue dispenser, stainless steel, surface mount, single roll	EA	\$	38.13	104.0	\$	3,965.04
	102816200020	Specialties	Bath accessories, medicine cabinet, with mirror, stainless steel frame, unlighted, 16" x 22"	EA	\$	142.12	104.0	\$	14,780.06
	Industry Average	Specialties	Range Queens, pair	EA	\$	91.10	104.0	\$	9,474.40
	Industry Average	Specialties	Stainless-steel splash guards @ ranges	EA	\$	68.33	104.0	\$	7,105.80
	105723190200	Specialties	Wood shelving, pine, clear grade, no edge band, 1x12 (Closet shelving, Avg. 40lf/unit)	LF	\$	10.98	4,160	\$	45,666.61
	105523100300	Specialties	Mail boxes, horizontal, key lock, 5"H x 6"W x 15"D, aluminum, front load	EA	\$	97.93	104.0	\$	10,184.98
	101423131050	Specialties	Signs, flexible door sign, adhesive back, w/Braille, 5/8" letters, 6" x 6"	EA	\$	64.41	104.0	\$	6,698.40
21	10	Special Equipment							\$ -
			NONE INCLUDED						\$ -
									\$ -
22	11	Cabinets							\$ 1,337,702.89
	060505201000	Selective demolition - cabinets	Selective demolition, millwork and trim, wood base cabinets	LF	\$	23.09	1,664.0	\$	38,421.76
	060505201020	Selective demolition - cabinets	Selective demolition, millwork and trim, wood wall cabinets	LF	\$	23.09	1,664.0	\$	38,421.76
	060505201510	Selective demolition - countertops	Selective demolition, millwork and trim, counter top, L, U or C shapes	LF	\$	15.43	1,664.0	\$	25,675.52
	024116190370	Selective demolition - bathroom	Minor building deconstruction, salvage labor, vanity (15% of line item cost)	EA	\$	61.19	104.0	\$	6,363.24
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$	81.00	132.6	\$	10,740.60
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$	800.00	30.5	\$	24,416.89
	123223109600	New cabinets- RS Means Rule of Thumb	Custom cabinets, rule of thumb: kitchen cabinets, excl. counters & appliances, maximum	LF	\$	562.57	1,664.0	\$	936,116.48
	123623301540	New Countertops	Countertops, plastic laminate, 24" wide, 1-1/2" thick edging, plastic laminate edging, maximum	LF	\$	50.68	1,664.0	\$	84,331.52
	123623302640	Add backsplashes to countertops	Countertops, plastic laminate, backsplash, add to above, maximum	LF	\$	29.41	1,664.0	\$	48,938.24
	123223308050	New Bathroom Vanity Cabinets	Wood casework vanities, base, 2 door, 30" h x 21" d x 30" w	EA	\$	615.05	104.0	\$	63,965.20
	224116131040	New Bathroom Vanity Tops	Lavatory, vanity top, cultured marble, white, single bowl, 25" x 19", includes trim	EA	\$	579.92	104.0	\$	60,311.68
23	11	Appliances							\$ -
			NONE INCLUDED						\$ -
24	12	Blinds and Shades, Artwork							\$ 132,747.24
	120505104920	Demolition blinds	Selective demolition, blinds, interior, horizontal or vertical	LF	\$	4.55	4,264	\$	19,401.20
	122113130020	Blinds and Shades	Blinds, interior, horizontal, 1" aluminum slats, solid color, stock	SF	\$	6.94	16,328	\$	113,346.04
25	12	Carpets							\$ -
			NONE INCLUDED						\$ -
26	13	Special Construction							\$ 1,221,345.26
	RS Means SF	Sprinklers- 1st floor	Wet pipe sprinkler systems, steel, light hazard, 4 floors, 10,000 sf	SF	\$	2.40	54,080.0	\$	129,792.00
	RS Means SF	Sprinklers- each additional floor	Wet pipe sprinkler systems, steel, light hazard, 4 floors, 10,000 sf	SF	\$	3.41	54,080.0	\$	184,412.80
	078413100250	Special Construction	Firestopping, metallic piping, insulated, through floors 4" diameter (2 per unit)	EA	\$	26.15	104.0	\$	2,719.15
	078413100210	Special Construction	Firestopping, metallic piping, insulated, through walls 4" diameter (2 per unit)	EA	\$	52.15	104.0	\$	5,424.09
	019313031039	Cleaning	Stair cleaning, mop or scrub (Dwelling unit stairways)	Flight	\$	94.93	104	\$	9,872.32
	038213100500	Special Construction	Concrete core drilling, 4" diameter, up to 6" thick slab (2 per unit)	EA	\$	80.40	208	\$	16,722.32
	024113381000	Special Construction	Selective demo, sewer piping & fittings, ductile iron pipe, 8" diameter (Sewer lines)	LF	\$	15.24	1,250	\$	19,051.29
	024113381000	Demolition	Selective demo, sewer piping & fittings, ductile iron pipe, 4" diameter (Sewer lines)	LF	\$	15.24	1,250	\$	19,051.29
	Industry Average	Final Cleaning	Apartment punch-out, cleaning, prelease procedures - Industry Average	EA	\$	450.00	104	\$	46,800.00
	Industry Average	Special Construction	ADA A/V Upgrades for Hearing Impaired	EA	\$	2,500.00	3	\$	7,500.00
	Industry Average	Demolition	Bulk Hazardous Materials Removal (Asbestos, Lead, and Mold)	Apt	\$	7,500.00	104	\$	780,000.00
27	14	Elevators							\$ -
			NONE INCLUDED						\$ -
28	15	Plumbing and Hot Water							\$ 2,401,841.34
	AEI estimate	MEP demoliton	Make safe, cap, remove all MEP piping, devices, fixtures, cable, haul off and dispose	SF	\$	2.75	108,160.0	\$	297,440.00
	D2010 Sq. Ft. Est	Plumbing	Three fixture bathroom - lavatory, bathtub, & water closet - system includes rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$	7.13	108,160.0	\$	771,180.80
	D2010 Sq. Ft. Est	Plumbing	Kitchen sink system - Kitchen sink w/trim, countertop, 32"x21" double bowl - systems are complete w/trim and rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$	2.35	108,160.0	\$	254,176.00
	D2010 Sq. Ft. Est	Domestic Water Distribution	Gas Water Heater, residential, 50-gallon tank	SF	\$	8.59	108,160.0	\$	929,094.40
	223430132900	Plumbing	Water heater, safety pan drain, 26" round	EA	\$	55.12	104	\$	5,732.01
	231123200130	Plumbing	Gas piping, flexible (CSST), tubing with lightning protection, 3/4" (Interior gas line replacement)	LF	\$	16.25	5,200.0	\$	84,511.65
	231123200260	Plumbing	Gas piping, flexible (CSST), tubing, for underground/under slab burial, 1-1/2" (Exterior gas line replacement)	LF	\$	36.39	650.0	\$	23,656.39
	231123104010	Plumbing	Gas meter, residential, 3/4" pipe size	EA	\$	346.64	104.0	\$	36,050.09
29	15	Heat and Ventilation							\$ 522,835.21
	235416133564	HVAC	Furnace, gas fired furnace, horizontal flow, 1,200 CFM, 45 MBH, includes standard controls, excludes gas, oil or flue piping	EA	\$	2,138.66	104	\$	222,420.64
	233113130500	HVAC	Air Distribution Ductwork	LF	\$	9.10	16,640	\$	151,424.00
	233713100200	HVAC	Diffuser, aluminum, ceiling, also for sidewall, 8" wide, includes opposed blade damper	EA	\$	65.14	728	\$	47,419.37
	113013194150	Kitchen Ventilation	Range hood, residential appliances, vented, min, 2 speed, 30" wide, minimum	EA	\$	484.37	104	\$	50,374.48
	233423106670	Bathroom Ventilation	Fans, residential, bath exhaust, grille, back draft damper, 110 CFM	EA	\$	247.29	104	\$	25,718.16
	233423106946	Ventilation	Exhaust vent wall cap, 3" & 4" round duct - (install bathroom exhaust)	EA	\$	87.46	104	\$	9,095.42
	233346101500	Ventilation	Exhaust vent duct - flexible, non-insulated, 3" diameter - (install bathroom exhaust)	LF	\$	4.29	1,248	\$	5,354.93
	233113165410	Heat and Ventilation	Duct, round, spiral, galv., 4" dia., 26 ga. - (Replace exhaust vents unit water heaters)	LF	\$	5.30	2,080	\$	11,028.20

Date:	03/02/2021	5-story High-Rise Buildings				Gross Square Feet:		134,120
Project:	Golden Gate Village	Total for (8) Buildings				Number of Units:		168
Address:	429 Drake Avenue					R.S. Means City Source:		San Francisco
City, State:	Marin City, California					Union, DBWR, Residential:		Union (US avg)
						DBWR, Building (High-rise) Labor Adjustment Factor:		1.323
						Unit	Unit Cost	Total Cost
Line	Div.	Trade Item	Trade Item Description	Unit	Unit cost - RS Means	Unit Cost- 2021 DBWR	Quantity	DBWR Adjusted Total Cost
1	3	Concrete						\$ 238,101.43
	030130622100	Unit Misc. Concrete Crack Repair	Patching concrete, walls, epoxy grout, 1/4" deep, including chipping, cleaning and epoxy grout	SF	\$ 22.62	\$ 26.27	840.0	\$ 22,069.43
	030130622150	Unit Misc. Concrete Crack Repair	Patching concrete, walls, epoxy grout, 1/2" deep, including chipping, cleaning and epoxy grout	SF	\$ 35.53	\$ 41.27	840.0	\$ 34,665.20
	030130712010	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, clean/grind surface free of contaminants	LF	\$ 2.27	\$ 2.64	1,680.0	\$ 4,429.50
	030130712020	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, rout crack with v-notch crack chaser if needed	LF	\$ 3.24	\$ 3.76	1,680.0	\$ 6,322.28
	030130712030	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, blow out crack with oil-free dry compressed air (1 pass)	LF	\$ 0.31	\$ 0.36	1,680.0	\$ 604.91
	030130712040	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, cap crack with epoxy gel at underside of elevated slabs if needed	LF	\$ 3.19	\$ 3.71	1,680.0	\$ 6,224.71
	030130712050	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, insert backer rod in crack if needed	LF	\$ 2.31	\$ 2.68	3,024.0	\$ 8,113.59
	030130712060	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, partially fill crack with dry sand if needed	LF	\$ 1.15	\$ 1.34	2,688.0	\$ 3,590.43
	030130712070	Unit Misc. Concrete Crack Repair	Concrete crack repair, non-structural by gravity-fed epoxy resin (ACI RAP-2), suitable for individual cracks in stable horizontal surfaces only, apply 2 beads of sealant alongside crack to form a reservoir if needed	LF	\$ 2.62	\$ 3.04	2,016.0	\$ 6,134.95
	030130620150	Misc. Concrete Floor/Wall/Ceiling Patch	Patching concrete, floors, small area, epoxy grout, 1/4" thick	SF	\$ 23.78	\$ 27.62	3,913.0	\$ 108,078.90
	030130723010	Misc. Concrete Floor/Wall/Ceiling Patch	Surface repairs using form-and-pour techniques (ACI RAP-5), sound the concrete surface to locate delaminated areas	SF	\$ 0.05	\$ 0.05	1,680.0	\$ 88.59
	030130723020	Misc. Concrete Floor/Wall/Ceiling Patch	Surface repairs using form-and-pour techniques (ACI RAP-5), remove concrete in repair areas to fully expose reinforcing bars	SF	\$ 10.85	\$ 12.60	840.0	\$ 10,585.91
	030130723030	Misc. Concrete Floor/Wall/Ceiling Patch	Surface repairs using form-and-pour techniques (ACI RAP-5), mark the perimeter of each repair area	SF	\$ 0.45	\$ 0.52	1,680.0	\$ 878.09
	030130723040	Misc. Concrete Floor/Wall/Ceiling Patch	Surface repairs using form-and-pour techniques (ACI RAP-5), saw cut the perimeter of each repair area down to reinforcing bars, approx. 1" deep, includes blade cost, layout and set up time	SF	\$ 6.16	\$ 7.15	840.0	\$ 6,010.07
	038113500300	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete slabs, plain, up to 3" deep, includes blade cost, layout and set up time	LF	\$ 3.12	\$ 3.62	1,440.0	\$ 5,218.39
	038113500320	Concrete Floor Demo for MEP Repair	Concrete sawing, concrete, existing slab, plain, for each additional inch of depth over 3", includes blade cost, layout and set up time	LF	\$ 1.04	\$ 1.21	1,440.0	\$ 1,739.46
	033053405001	Concrete Floor Demo for MEP Repair	Structural concrete, in place, slab on grade (3000 psi), 4" thick, includes concrete (Portland cement Type I), placing and broom finish, excludes forms and reinforcing	SF	\$ 3.99	\$ 4.63	2,880.0	\$ 13,347.03
2	4	Masonry						\$ 123,953.28
	040120100520	CMU Repairs	Patching masonry, CMU patching, 1/4" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 20.75	\$ 24.10	732.0	\$ 17,642.02
	040120100540	CMU Repairs	Patching masonry, CMU patching, 3/8" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 28.28	\$ 32.85	1,464.0	\$ 48,088.33
	040120100580	CMU Repairs	Patching masonry, CMU patching, 1/2" deep, includes cleaning, chipping and epoxy, excludes scaffolding	SF	\$ 36.11	\$ 41.94	732.0	\$ 30,701.37
	040120200600	CMU Repairs	Pointing masonry, tuck, cut and re-point, soft old mortar, running bond	SF	\$ 10.79	\$ 12.53	2,196.0	\$ 27,521.56
3	5	Metals						\$ 228,329.06
	055213500500	Metals- stairwell handrailing	Railing, pipe, steel, primed, 3'-6" high, posts @ 5' OC, 1-1/2" diameter, shop fabricated	LF	\$ 65.66	\$ 76.26	1,680.0	\$ 128,123.67
	055213500500	Metals- balcony support/railings	Railing, pipe, steel, primed, 3'-6" high, posts @ 5' OC, 1-1/2" diameter, shop fabricated	LF	\$ 65.66	\$ 76.26	1,140.0	\$ 86,941.06
	024210201020	Demolition	Deconstruction of roofing and accessories, fascia and rakes, up to 5 stories, excludes handling, packaging or disposal costs	LF	\$ 5.71	\$ 6.63	2,000.0	\$ 13,264.33
4	6	Rough Carpentry						\$ 441,827.15
	060505103500	Selective demolition- 35%	Selective demolition, wood framing, fascia boards, 2" x 8"	LF	\$ 2.32	\$ 2.69	711.2	\$ 1,916.46
	060505105684	Selective demolition- 15%	Selective demolition, wood framing, rafters, 6/12 - 8/12 pitch, 2" x 8", 16" OC	SF	\$ 2.25	\$ 2.61	8,985.6	\$ 23,482.74
	060505105894	Selective demolition- 100%	Selective demolition, wood framing, ridge board, 2" x 8"	LF	\$ 2.18	\$ 2.53	2,302.3	\$ 5,829.58
	060505106092	Selective demolition- 25%	Selective demolition, wood framing, sheathing, 5/8", from roof	SF	\$ 1.53	\$ 1.78	14,976.0	\$ 26,613.77
	060505106720	Selective demolition- 15%	Selective demolition, wood framing, wall framing, 2" x 4", includes studs, plates and blocking	SF	\$ 23.09	\$ 26.82	920.9	\$ 24,698.19
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	27.1	\$ 2,545.70
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	10.3	\$ 9,570.76
	061636100205	Roofing Lumber	Sheathing, plywood on roof, CDX, 5/8" thick, pneumatic nailed	SF	\$ 2.75	\$ 3.19	17,222.4	\$ 55,010.50
	061110022625	Roofing Lumber	2" x 4" miscellaneous wood blocking, to wood construction, pneumatic nailed, per M.B.F.	MBF	\$ 6,625.73	\$ 7,695.79	10.6	\$ 81,502.83
	061110022665	Roofing Lumber	2" x 8" miscellaneous wood blocking, to wood construction, pneumatic nailed	MBF	\$ 4,848.50	\$ 5,631.53	7.9	\$ 44,730.90
	061110060017	Roofing Lumber	1" x 3" wood bridging, for joists 16" OC, pneumatic nailed	PR	\$ 7.90	\$ 9.18	1,291.7	\$ 11,852.26
	061110305060	Roofing Lumber	Wood framing, roofs, rafters, ordinary, to 4 in 12 pitch, 2" x 8"	LF	\$ 4.26	\$ 4.95	7,948.8	\$ 39,330.58
	061110305880	Roofing Lumber	Wood framing, roofs, ridge boards, #2 or better, 2" x 8"	LF	\$ 6.91	\$ 8.03	2,647.6	\$ 21,249.91
	061110306070	Roofing Lumber	Wood framing, roofs, fascia boards, 2" x 8"	MBF	\$ 8,959.68	\$ 10,406.67	2.0	\$ 21,278.51
	061110420800	Cabinetry blocking	Furring, wood, on walls, on concrete, 1" x 3"	LF	\$ 5.14	\$ 5.97	12,096.0	\$ 72,214.45
5	6	Finish Carpentry						\$ 157,148.82
	062213505950	Finish Carpentry	Units - door trim sets, 2-1/2" wide, includes casings, header, pine, interior and entry	EA	\$ 97.93	\$ 113.75	840.0	\$ 95,548.82
	AEI estimate	Finish Carpentry	Storage Unit 3/4" plywood partitions and door repairs	EA	\$ 350.00	\$ 350.00	176.0	\$ 61,600.00
6	7	Thermal and Moisture Protection						\$ 585,909.32
	071353100400	Exterior wall below-grade waterproofing	Elastomeric sheet waterproofing, EPDM, plain, nylon reinforced sheets, 60 mils thick	SF	\$ 5.00	\$ 5.81	4,800.0	\$ 27,876.00
	090190930810	Paint Preparation	Surface preparation, exterior, siding, masonry, brick & block, pressure wash, based on 2500 lb operating pressure	SF	\$ 0.40	\$ 0.46	44,552.0	\$ 20,698.86
	099653100110	Exterior open walkways/balconies	Paints & coatings, elastomeric coatings, high build, water proof, two coat system, concrete, brush	SF	\$ 3.48	\$ 4.04	44,552.0	\$ 180,080.08
	079213200055	Exterior Window Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	\$ 4.07	19,194.0	\$ 78,028.41
	079213200060	Exterior Door Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 3/8", in place	LF	\$ 3.54	\$ 4.11	34,689.6	\$ 142,633.58
	079213200055	Interior Dissimilar Material Caulking	Joint sealants, caulking and sealants, bulk acrylic latex, 1/4" x 1/4", in place	LF	\$ 3.50	\$ 4.07	33,600.0	\$ 136,592.40
7	7	Insulation						\$ 93,800.00
	AEI allowance	Door and Window Gaps	Window and Door chinking/grouting	EA	\$ 25.00	\$ 25.00	3,752.0	\$ 93,800.00
8	7	Roofing						\$ 1,165,104.58
	070505104120	Selective demolition	Selective demolition, thermal and moisture protection, roofing, clay tile shingles, remove	SF	\$ 2.20	\$ 2.56	59,904.0	\$ 153,072.69

	070505104170	Selective demolition	Selective demolition, thermal and moisture protection, roofing, ridge shingles, clay or slate	LF	\$ 2.09	\$ 2.43	1,674.4	\$ 4,064.66
	070505103125	Selective demolition	Selective demolition, thermal and moisture protection, roofing, roofing felt, #30	SF	\$ 0.25	\$ 0.29	59,904.0	\$ 17,394.62
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	240.0	\$ 22,579.56
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	36.7	\$ 34,070.67
	073213101100	New Clay Tile roofing	Clay tile, barrel mission tile, fireflashed blend, 166 pieces per square, 18", incl. accessories	SQ	\$ 1,090.04	\$ 1,266.08	658.9	\$ 834,276.78
	073213103020	New Clay Tile roofing	Clay tile, #30 felt underlayment	SQ	\$ 29.41	\$ 34.16	658.9	\$ 22,509.34
	073213108950	New Clay Tile roofing	Clay tile, install cap	LF	\$ 11.49	\$ 13.35	2,302.3	\$ 30,725.66
	061110305880	New Clay Tile roofing	Wood framing, roofs, ridge boards, #2 or better, 2" x 8"	LF	\$ 6.91	\$ 8.03	2,302.3	\$ 18,478.18
	073213108960	New Clay Tile roofing	Clay tile, install ridge, hip, or verge	LF	\$ 11.49	\$ 13.35	2,093.0	\$ 27,932.41
9	7	Roof Accessories						\$ 58,400.00
	AEI Estimate	Dog House Repairs	Replace vent hood, repair plaster and wood framing	EA	\$ 2,800.00	\$ 2,800.00	8.0	\$ 22,400.00
	AEI Estimate	Concrete Stack repairs	Repair chimney and plaster	EA	\$ 4,500.00	\$ 4,500.00	8.0	\$ 36,000.00
								\$ -
10	7	Sheet Metal						\$ 17,405.76
	077143100020	Roof Flashing	Edge flashing, galvanized, mill finish, 5" wide	LF	\$ 2.09	\$ 2.42	2,400.0	\$ 5,815.46
	221316802060	Wall flashing - vents	Vent flashing, galvanized, 4" pipe, includes neoprene ring	EA	\$ 59.40	\$ 68.99	168.0	\$ 11,590.29
								\$ -
11	8	Doors						\$ 2,326,906.45
	080505100200	Selective Demolition	Door demolition, exterior door, single, 3' x 7' high, 1-3/4" thick, remove	EA	\$ 53.53	\$ 62.18	168.0	\$ 10,445.42
	080505101500	Selective Demolition	Door demolition, interior door, hollow core, remove	EA	\$ 53.53	\$ 62.18	1,008.0	\$ 62,672.50
	080505102200	Selective Demolition	Door demolition, door frames, wood, remove	EA	\$ 66.50	\$ 77.24	1,176.0	\$ 90,833.95
	080505103300	Selective Demolition	Door demolition, special doors, sliding glass, remove	EA	\$ 176.80	\$ 205.35	294.0	\$ 60,373.84
	024119192150	Selective Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	132.3	\$ 12,446.98
	024119195000	Selective Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	98.0	\$ 91,061.60
	083213100400	Unit Patio Doors	Doors, glass, sliding, aluminum, premium, 5/8" tempered insulated glass, 6'-0" x 6'-8"	EA	\$ 2,141.00	\$ 2,486.77	294.0	\$ 731,110.82
	AEI estimate	Unit Patio Doors	Add for sliding screens at select unit patio doors per column lines/level	EA	\$ 650.00	\$ 650.00	56.0	\$ 36,400.00
	AE estimate	Unit Patio Doors	Add for Hopper style transom windows above sliding patio doors	SF	\$ 35.00	\$ 35.00	2,646.0	\$ 92,610.00
	081723101640	Unit Entry Door	Doors, prehung, exterior, entrance door, flush, birch, solid core, 4-5/8" solid jamb, 1-3/4" x 6'-8" x 3'-0" wide	EA	\$ 559.76	\$ 650.16	168.0	\$ 109,227.09
	085113201000	New Windows- Concrete/CMU Installation	Windows, aluminum, commercial grade, stock units, incl. frame and glazing, for installation in concrete openings, add	ADD	8%	\$ 0.09	969,347.9	\$ 90,071.81
	081723105000	Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-6" wide	EA	\$ 504.58	\$ 586.07	504.0	\$ 295,379.11
	081723105020	Unit Interior Passage	Doors, prehung, interior, passage, birch, flush, solid core, 4-5/8" solid jamb, 1-3/8" x 6'-8" x 2'-8" wide	EA	\$ 349.22	\$ 405.62	168.0	\$ 68,144.00
	081433204460	Unit Closet Door	Doors, wood, residential, interior, bi-passing closet, flush, luan, 6'-0" x 6'-8", incl. hardware and frame, excl. trim	EA	\$ 389.92	\$ 452.89	336.0	\$ 152,171.74
	087120401400	Door Hardware	Door hardware, lockset, heavy duty, cylindrical, with sectional trim, residential, minimum	EA	\$ 247.79	\$ 287.81	168.0	\$ 48,352.15
	087120411000	Door Hardware	Door hardware, deadlock, tubular, standard duty, outside key	EA	\$ 110.69	\$ 128.56	168.0	\$ 21,598.48
	087120452020	Door Hardware	Peepholes, wide view	EA	\$ 32.00	\$ 37.17	168.0	\$ 6,244.22
	087120650800	Door Hardware	Thresholds, rubber, 2-3/4" x 1/2"	EA	\$ 79.26	\$ 92.06	168.0	\$ 15,465.58
	087120401100	Doors	Door hardware, non-keyed, heavy duty, cylindrical, with sectional trim, residential, interior door, minimum	EA	\$ 325.00	\$ 377.49	672.0	\$ 253,671.60
	087120501300	Doors	Door stops, wall bumper, 4" dia., w/rubber pad	EA	\$ 31.38	\$ 36.45	672.0	\$ 24,496.05
	087120900012	Doors	Hinges, full mortise, steel base	SET	\$ 39.63	\$ 46.03	1,176.0	\$ 54,129.52
12	8	Windows						\$ 660,554.59
	080505200200	Window Demolition	Window demolition, aluminum, to 12 S.F.	EA	\$ 53.53	\$ 62.18	294.0	\$ 18,279.48
	080505200280	Window Demolition	Window demolition, aluminum, to 50 S.F.	EA	\$ 171.93	\$ 199.70	294.0	\$ 58,710.83
	024119192150	Window Demolition	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	14.7	\$ 1,383.00
	024119195000	Window Demolition	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	32.7	\$ 30,353.87
	028213463500	Window Asbestos Panel	Decontamination of asbestos containment area, structural demolition, window manifolds, excl. window replacement	SF	\$ 2.26	\$ 2.62	2,352.0	\$ 6,173.98
	028213475020	Window Asbestos Panel	Asbestos waste packaging, handling & disposal, disposal charges, excl. haul, max	CY	\$ 512.71	\$ 595.51	43.6	\$ 25,937.88
	085113201000	New Windows	Windows, aluminum, commercial grade, stock units, casement, 3'-1" x 3'-2" opening, incl. frame and glazing	EA	\$ 684.01	\$ 794.48	147.0	\$ 116,788.21
	085113203000	New Windows	Windows, aluminum, commercial grade, stock units, single-hung, standard glazed, 2'-0" x 3'-0" opening, incl. frame and glazing	EA	\$ 488.19	\$ 567.03	147.0	\$ 83,353.80
	085113204600	New Windows	Windows, aluminum, commercial grade, stock units, sliding, standard glass, 8'-0" x 4'-0" opening, incl. frame and glazing	EA	\$ 806.45	\$ 936.69	294.0	\$ 275,387.35
	085113201000	New Windows- Concrete/CMU Installation	Windows, aluminum, commercial grade, stock units, incl. frame and glazing, for installation in concrete openings, add	ADD	8.0%	9.3%	475,529.4	\$ 44,186.19
13	8	Glass						\$ -
			<i>Included in Windows</i>		\$ -		-	\$ -
14	9	Lath and Plaster						\$ 405,032.40
	090190940735	Clean/prep concrete walls to remain	Surface preparation, interior, walls, wash, concrete, heavy	SF	\$ 0.36	\$ 0.42	391,104.0	\$ 163,536.23
	090190940775	Clean/prep concrete ceilings to remain	Surface preparation, interior, ceiling, wash, heavy	SF	\$ 0.91	\$ 1.06	167,650.0	\$ 177,200.18
	090505303500	Remove damaged plaster wall/ceiling areas	Walls and ceilings demolition, plaster, on masonry (10%)	SF	\$ 6.07	\$ 7.05	933.3	\$ 6,580.28
	092320100300	New Plaster wall patch - interior partitions	Gypsum plaster, 2 coats, on walls, lath excluded (50 sq ft per unit)	SY	\$ 53.24	\$ 61.84	933.3	\$ 57,715.71
15	9	Drywall						\$ 138,500.51
	090505301000	Drywall demolition	Walls and partitions demolition, gypsum wallboard, per s.f., nailed or screwed	SF	\$ 0.60	\$ 0.70	39,200.0	\$ 27,318.48
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	45.9	\$ 4,321.87
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	14.5	\$ 13,490.61
	092910302050	Unit Drywall	Gypsum wallboard, on walls, standard, taped & finished (level 4 finish), 5/8" thick	SF	\$ 1.63	\$ 1.89	39,200.0	\$ 74,246.62
	092910501010	Drywall	Gypsum board, distribution cost, for 3 stories and above, add per story	SF	\$ 0.42	\$ 0.49	39,200.0	\$ 19,122.94

16	9	Ceramic Tile								\$ 309,403.35
	090505303760	Selective demolition	Walls and partitions demolition, tile, ceramic, on walls, thin set	SF	\$ 2.94	\$ 3.41	10,920.0	\$	\$ 37,289.73	
	090505202000	Selective demolition	Flooring demolition, tile, ceramic, thin set	SF	\$ 2.60	\$ 3.02	7,560.0	\$	\$ 22,830.44	
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	462.0	\$	\$ 43,465.65	
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	51.3	\$	\$ 47,698.93	
	093113101900	Ceramic Tile	Ceramic tile, bathtub, adhesive set, 5' w x 6' h, with 4-1/4" x 4-1/4" tile wainscot	EA	\$ 769.95	\$ 894.30	168.0	\$	\$ 150,241.88	
	093113103300	Ceramic Tile	Ceramic tile, floors, glazed, porcelain type, 1 color, color group 2, 1" x 1"	SF	\$ 15.07	\$ 17.50	450.0	\$	\$ 7,876.71	
17	9	Acoustical	NONE INCLUDED						\$ -	
					\$ -				\$ -	
18	9	Wood Flooring	NONE INCLUDED						\$ -	
					\$ -				\$ -	
19	9	Resilient Flooring	NONE INCLUDED						\$ -	
					\$ -				\$ -	
19	9	Resilient Flooring							\$ 992,547.85	
	090505200900	Selective demolition	Flooring demolition, vinyl composition tile, 12" x 12"	SF	\$ 1.76	\$ 2.04	104,832.0	\$	\$ 214,301.77	
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	524.2	\$	\$ 49,313.76	
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	29.1	\$	\$ 27,058.30	
	Industry Average	Unit Floor Prep	Scrape, repair, level concrete floor to receive vct flooring	SF	\$ 0.25	\$ 0.25	104,832.0	\$	\$ 26,208.00	
	096519197400	Unit Resilient Flooring	Flooring, vinyl composition tile, solid, 12" x 12" x 1/8"	SF	\$ 3.94	\$ 4.58	104,832.0	\$	\$ 479,743.73	
	096513131100	Unit Resilient Flooring	Wall base, rubber, straight or cove, standard colors, 4" high, 1/8" thick	SF	\$ 4.67	\$ 5.42	36,120.0	\$	\$ 195,922.28	
20	9	Painting							\$ 1,453,601.17	
	090190930810	Paint Preparation	Surface preparation, exterior, siding, masonry, brick & block, pressure wash, based on 2500 lb operating pressure	SF	\$ 0.40	\$ 0.46	346,896.0	\$	\$ 161,167.88	
	015423700090	Scaffolding for exterior access	Scaffolding, steel tubular, regular, labor only to erect & dismantle, building exterior, wall face, 6'-4" x 5' frames, 1 to 5 stories, excludes planks	C.S.F.	\$ 389.55	\$ 452.46	45.0	\$	\$ 20,360.80	
	015423702250	Scaffolding for exterior access	Scaffolding, steel tubular, regular, frame, rent/mo, 7'-6" high x 6' wide	Ea.	\$ 11.73	\$ 13.62	600.0	\$	\$ 8,174.64	
	015423702500	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, cross brace, rent/mo	Ea.	\$ 3.97	\$ 4.61	1,200.0	\$	\$ 5,533.39	
	015423702550	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, guardrail post, rent/mo	Ea.	\$ 3.85	\$ 4.47	1,200.0	\$	\$ 5,366.13	
	015423702600	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, guardrail section, rent/mo, 7' long	Ea.	\$ 13.13	\$ 15.25	270.0	\$	\$ 4,117.63	
	015423702650	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, screw jack & plate, rent/mo	Ea.	\$ 5.15	\$ 5.98	900.0	\$	\$ 5,383.55	
	015423702850	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, plank, rent/mo, 2" x 10" x 16' long	Ea.	\$ 11.73	\$ 13.62	1,350.0	\$	\$ 18,392.93	
	015423702900	Scaffolding for exterior access	Scaffolding, steel tubular, regular, accessory, stairway section, rent/mo	Ea.	\$ 38.20	\$ 44.37	36.0	\$	\$ 1,597.29	
	015423705700	Scaffolding for exterior access	Scaffolding, planks, labor only to install & remove, 2"x10"x16', up to 50' high	Ea.	\$ 42.93	\$ 49.86	225.0	\$	\$ 11,219.22	
	099113900410	Building Facade	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, first coat, latex, roller	SF	\$ 0.76	\$ 0.88	133,608.0	\$	\$ 117,941.13	
	099113900420	Building Facade	Paints & coatings, walls, concrete masonry units (CMU), smooth surface, second coat, latex, roller	SF	\$ 0.62	\$ 0.72	133,608.0	\$	\$ 96,215.13	
	099113900500	Stairwells	Paints & coatings, walls, concrete masonry units (CMU), porous, first coat, latex	SF	\$ 0.76	\$ 0.88	14,400.0	\$	\$ 12,711.46	
	099113900510	Stairwells	Paints & coatings, walls, concrete masonry units (CMU), porous, second coat, latex	SF	\$ 0.62	\$ 0.72	14,400.0	\$	\$ 10,369.87	
	099113900500	Walkway Screen Panels	Paints & coatings, walls, concrete masonry units (CMU), porous, first coat, latex, brushwork	SF	\$ 1.66	\$ 1.93	36,480.0	\$	\$ 70,336.72	
	099113900510	Walkway Screen Panels	Paints & coatings, walls, concrete masonry units (CMU), porous, second coat, latex, brushwork	SF	\$ 1.09	\$ 1.27	36,480.0	\$	\$ 46,184.96	
	099113420140	Painting, exterior	Paints & coatings, misc. exterior, railings, metal, brushwork, epoxy paint, second coat	LF	\$ 9.17	\$ 10.65	5,124.0	\$	\$ 54,575.49	
	099113700170	Painting, exterior	Paints & coatings, exterior doors, flush, roll & brush, finish coat, exterior latex, incl. frame & trim	EA	\$ 103.68	\$ 120.42	168.0	\$	\$ 20,231.29	
	099113700120	Painting, exterior	Paints & coatings, exterior door frames & trim only, brushwork, finish coat, exterior latex	LF	\$ 2.00	\$ 2.32	2,856.0	\$	\$ 6,634.49	
	099123722110	Painting, Interior	Paints & coatings, walls & ceilings, interior, masonry or concrete block, latex paint, smooth finish, roller	SF	\$ 0.99	\$ 1.15	391,104.0	\$	\$ 449,724.62	
	099123720480	Painting, Interior	Paints & coatings, walls & ceilings, interior, concrete, drywall or plaster, latex paint, 1 coat, smooth finish, spray	SF	\$ 0.50	\$ 0.58	134,120.0	\$	\$ 77,890.19	
	099123350140	Painting, Interior	Paints & coatings, interior latex, doors, flush, both sides, roll & brush, primer + 2 coats, incl. frame & trim	EA	\$ 213.08	\$ 247.49	1,008.0	\$	\$ 249,472.36	
									\$ -	
21	10	Specialties							\$ 269,900.96	
	102813130200	Specialties	Toilet accessories, curtain rod, stainless steel, 1" diameter x 5' long	EA	\$ 73.00	\$ 84.79	168.0	\$	\$ 14,244.64	
	102813136500	Specialties	Toilet accessories, towel bar, stainless steel, 30" long	EA	\$ 80.00	\$ 92.92	336.0	\$	\$ 31,221.12	
	102813134300	Specialties	Toilet accessories, robe hook, regular, single	EA	\$ 25.83	\$ 30.00	336.0	\$	\$ 10,079.29	
	102813136100	Specialties	Toilet accessories, toilet tissue dispenser, stainless steel, surface mount, single roll	EA	\$ 38.13	\$ 44.28	168.0	\$	\$ 7,439.48	
	102816200020	Specialties	Bath accessories, medicine cabinet, with mirror, stainless steel frame, unlighted, 16" x 22"	EA	\$ 142.12	\$ 165.07	168.0	\$	\$ 27,731.38	
	Industry Average	Specialties	Range Queens, pair	EA	\$ 91.10	\$ 91.10	336.0	\$	\$ 30,609.60	
	102623131775	Specialties	Wall protection, stainless steel sheet, screwed to studs, 16 ga., 48" x 36" tall	SF	\$ 12.64	\$ 14.68	2,016.0	\$	\$ 29,597.62	
	105723190200	Specialties	Wood shelving, pine, clear grade, no edge band, 1x12 (Closet shelving, Avg. 40lf/unit)	LF	\$ 10.75	\$ 12.49	6,720.0	\$	\$ 83,906.76	
	105523100300	Specialties	Mail boxes, horizontal, key lock, aluminum, front loading, double, 5" h x 12" w x 15" deep	EA	\$ 117.73	\$ 136.74	168.0	\$	\$ 22,972.89	
	101423131050	Specialties	Signs, flexible door sign, adhesive back, w/Braille, 5/8" letters, 6" x 6"	EA	\$ 62.00	\$ 72.01	168.0	\$	\$ 12,098.18	
22	10	Special Equipment							\$ -	
									\$ -	
23	11	Cabinets							\$ 1,904,233.61	
	060505201000	Selective demolition - cabinets	Selective demolition, millwork and trim, wood base cabinets	LF	\$ 23.09	\$ 26.82	2,016.0	\$	\$ 54,067.17	
	060505201020	Selective demolition - cabinets	Selective demolition, millwork and trim, wood wall cabinets	LF	\$ 23.09	\$ 26.82	2,016.0	\$	\$ 54,067.17	
	060505201510	Selective demolition - countertops	Selective demolition, millwork and trim, counter top, L, U or C shapes	LF	\$ 15.43	\$ 17.92	2,016.0	\$	\$ 36,130.64	
	024119192150	Demo to truck/dumpster	Selective demolition, rubbish handling, 0'-50' haul, load, haul, dump and return, hand carried, including 11-21 riser stairs, cost to be added to demolition cost	TON	\$ 81.00	\$ 94.08	302.4	\$	\$ 28,450.25	
	024119195000	Haul off, dispose	Selective demolition, rubbish handling, up to 8 C.Y. truck, loading & trucking, haul, per mile, includes 2 mile haul, cost to be added to demolition cost	CY	\$ 800.00	\$ 929.20	56.0	\$	\$ 52,035.20	
	123223109600	New cabinets- RS Means Rule of Thumb	Custom cabinets, rule of thumb: kitchen cabinets, excl. counters & appliances, maximum	LF	\$ 562.57	\$ 653.43	2,016.0	\$	\$ 1,317,304.91	
	123623301540	New Countertops	Countertops, plastic laminate, 24" wide, 1-1/2" thick edging, plastic laminate edging, maximum	LF	\$ 50.68	\$ 58.86	2,016.0	\$	\$ 118,671.48	
	123623302640	Add backsplashes to countertops	Countertops, plastic laminate, back splash, add to above, maximum	LF	\$ 29.41	\$ 34.16	302.4	\$	\$ 10,329.90	
	123223308050	New Bathroom Vanity Cabinets	Wood casework vanities, base, 2 door, 30" h x 21" d x 30" w	EA	\$ 615.05	\$ 714.38	168.0	\$	\$ 120,015.94	
	224116131040	New Bathroom Vanity Tops	Lavatory, vanity top, cultured marble, white, single bowl, 25" x 19", includes trim	EA	\$ 579.92	\$ 673.58	168.0	\$	\$ 113,160.95	
24	11	Appliances							\$ -	
			NONE INCLUDED- Owned by PHA		\$ -	\$ -			\$ -	
25	12	Blinds and Shades, Artwork							\$ 126,001.37	
	120505104920	Selective demolition- blinds	Selective demolition, blinds, interior, horizontal or vertical	LF	\$ 4.55	\$ 5.28	4,368.0	\$	\$ 23,084.12	
	122113130020	New blinds	Blinds, interior, horizontal, solid color, stock, 1" aluminum slats	SF	\$ 7.63	\$ 8.86	11,613.0	\$	\$ 102,917.25	
26	12	Carpets							\$ -	
			NONE INCLUDED		\$ -				\$ -	
27	13	Special Construction							\$ 1,963,234.76	
	RS Means SF	Sprinklers- 1st floor	Wet pipe sprinkler systems, steel, light hazard, 4 floors, 10,000 sf	SF	\$ 0.90	\$ 1.05	11,880.0	\$	\$ 12,418.76	
	RS Means SF	Sprinklers- each additional floor	Wet pipe sprinkler systems, steel, light hazard, 4 floors, 10,000 sf	SF	\$ 3.92	\$ 4.55	122,240.0	\$	\$ 556,568.50	
	038213100500	Special Construction	Concrete core drilling, 4" diameter, up to 6" thick slab (2 per unit)	EA	\$ 80.40	\$ 93.38	168.0	\$	\$ 15,687.78	
	078413100250	Special Construction	Firestopping, metallic piping, insulated, through floors 4" diameter (2 per unit)	EA	\$ 26.15	\$ 30.37	168.0	\$	\$ 5,101.86	
	078413100210	Special Construction	Firestopping, metallic piping, insulated, through walls 4" diameter (2 per unit)	EA	\$ 52.15	\$ 60.58	168.0	\$	\$ 10,177.06	
	024113381000	Special Construction	Selective demo, sewer piping & fittings, ductile iron pipe, 8" diameter (Sewer lines)	LF	\$ 15.24	\$ 17.70	400.0	\$	\$ 7,080.98	
	024113381000	Demolition	Selective demo, sewer piping & fittings, ductile iron pipe, 4" diameter (Sewer lines)	LF	\$ 15.24	\$ 17.70	740.0	\$	\$ 13,099.82	
	Industry Average	Final Cleaning	Apartment punch-out, cleaning, prelease procedures - Industry Average	EA	\$ 450.00	\$ 450.00	168.0	\$	\$ 75,600.00	

	Industry Average	Special Construction	ADA A/V Upgrades for Hearing Impaired	EA	\$ 2,500.00	\$ 2,500.00	3.0	\$ 7,500.00
	AEI estimate	Demolition	Bulk Hazardous Materials Removal/Biohazard Abatement (Asbestos, Lead, & Mold)	Apt	\$ 7,500.00	\$ 7,500.00	168.0	\$ 1,260,000.00
28	14	Elevators	NONE INCLUDED		\$ -			\$ -
								\$ -
29	15	Plumbing and Hot Water						\$ 5,974,910.42
	AEI estimate	MEP demolition	Make safe, cap, remove all MEP piping, devices, fixtures, cable, haul off and dispose	SF	\$ 3.13	\$ 3.13	134,120.0	\$ 419,795.60
	D2010 Sq. Ft. Est	Plumbing	Three fixture bathroom - lavatory, bathtub, & water closet - system includes rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$ 7.17	\$ 8.33	134,120.0	\$ 1,116,945.32
	D2010 Sq. Ft. Est	Plumbing	Kitchen sink system - Kitchen sink w/trim, countertop, 32"x21" double bowl - systems are complete w/trim and rough-in (supply, waste, and vent) to connect to supply branches and waste mains	SF	\$ 2.07	\$ 2.40	134,120.0	\$ 322,465.39
	D2010 Sq. Ft. Est	Domestic Water Distribution	Domestic water supply piping and water heater	SF	\$ 8.65	\$ 10.05	134,120.0	\$ 1,347,500.29
	231123200130	Plumbing	Gas piping, flexible (CSST), tubing with lightning protection, 3/4" (Interior gas line replacement)	LF	\$ 16.25	\$ 18.88	33,600.0	\$ 634,266.42
	231123200260	Plumbing	Gas piping, flexible (CSST), tubing, for underground/under slab burial, 1-1/2" (Exterior gas line replacement)	LF	\$ 36.39	\$ 42.27	1,600.0	\$ 67,635.45
	231123104010	Plumbing	Gas meter, residential, 3/4" pipe size	EA	\$ 346.64	\$ 402.62	168.0	\$ 67,639.68
	D310 Sq. Ft. Est	Energy Supply	Apartment Building Heating System- boiler, pumps, convectors	SF	\$ 12.83	\$ 14.90	134,120.0	\$ 1,998,662.28
30	15	Heat and Ventilation						\$ 180,918.70
	233713100200	Kitchen Ventilation	Diffuser, aluminum, ceiling, also for sidewall, 8" wide, includes opposed blade damper	EA	\$ 65.14	\$ 75.66	168.0	\$ 12,710.22
	113013194150	Kitchen Ventilation	Range hood, residential appliances, vented, min, 2 speed, 30" wide, minimum	EA	\$ 484.37	\$ 562.60	168.0	\$ 94,516.09
	233423106670	Bathroom Ventilation	Fans, residential, bath exhaust, grille, back draft damper, 110 CFM	EA	\$ 247.29	\$ 287.23	168.0	\$ 48,254.19
	233423106946	Bathroom Ventilation	Exhaust vent wall cap, 3" & 4" round duct	EA	\$ 87.46	\$ 101.58	168.0	\$ 17,065.46
	233346101500	Bathroom Ventilation	Exhaust vent duct - flexible, non-insulated, 3" diameter	LF	\$ 4.29	\$ 4.98	1,680.0	\$ 8,372.74
31	15	Air Conditioning						\$ -
			NONE INCLUDED		\$ -	\$ -	-	\$ -
32	16	Electrical						\$ 5,175,578.40
	D5010 Sq. Ft. Est	Electrical Service/Distribution	Electrical Service/Distribution - Underground service installation, includes excavation, backfill, and compaction, 100' length, 4' depth, 3 phase, 4 wire, 277/480 volts, 2000 A; Feeder installation 600 V, including RGS conduit and XHHW wire, 2000 A; Switchgear installation, incl switchboard, panels & circuit breaker, 120/208 V, 3 phase, 2000 A	SF	\$ 14.88	\$ 17.28	134,120.0	\$ 2,318,012.05
	D5020 Sq. Ft. Est	Lighting and Branch Wiring	Lighting and Branch Wiring - Receptacles incl plate, box, conduit, wire, 10 per 1000 SF, 1.2 watts per SF; Wall switches, 2.5 per 1000 SF; Miscellaneous power, 2 watts; HVAC power; Motor installation, three phase, 200 V, 15 HP motor size; Incandescent fixtures recess mounted, type A, 1 watt per SF, 8 FC, 6 fixtures per 1000 SF	SF	\$ 14.06	\$ 16.33	134,120.0	\$ 2,190,272.14
	D5030 Sq. Ft. Est	Communications and Security	Communications and Security - Communication and alarm systems, fire detection, includes outlets, boxes, conduit and wire	SF	\$ 2.39	\$ 2.78	134,120.0	\$ 372,315.11

	262416100300	Electrical Service/Distribution	Load centers, 1 phase, 3 wire, main lugs, indoor, 120/240 V, 100 amp, 12 circuits, incl 20 A 1 pole plug-in breakers	EA	\$ 1,411.69	\$ 1,639.68	168.0	\$ 275,465.89
	265623101160	Electrical	Exterior lighting - HPS fixture, exterior, wall pack, 70 watt, incl. lamps	EA	\$ 350.00	\$ 406.53	48.0	\$ 19,513.20
33	0	Subtotal (Structures)						\$ 24,991,303.93
34	0	Accessory Structures						\$ -
35	0	Total (Lines 33 and 34)	Not included per PIH 2018-04		\$ -	\$ -	-	\$ -
								\$ 24,991,303.93
36	31	Earthwork						\$ 108,394.87
	329119131000	Earthwork- Grading for positive flow	Topsoil placement and grading, fine grading and seeding, with equipment	SY	\$ 4.75	\$ 5.52	2,488.9	\$ 13,731.51
	310513100800	Earthwork- Grading for positive flow	Soils for earthwork, topsoil, includes load and haul 2 miles	CY	\$ 32.20	\$ 37.40	276.5	\$ 10,344.04
	312316130060	Foundation Repair- bituminous coating	Excavating, trench or continuous footing, common earth, 1/2 C.Y. excavator, 1' to 4' deep, excludes sheeting or dewatering	BCY	\$ 8.47	\$ 9.84	960.0	\$ 9,444.39
	312323160050	Foundation Repair- bituminous coating	Fill by borrow and utility bedding, for pipe and conduit, crushed or screened bank run gravel, excludes compaction	LCY	\$ 58.15	\$ 67.54	960.0	\$ 64,839.58
	312323131100	Foundation Repair- bituminous coating	Backfill and compact, by hand, 12" layers, compaction in layers, vibrating plate, add to above	ECY	\$ 9.00	\$ 10.45	960.0	\$ 10,035.36
37		Site Utilities- PCNA Required replacement						\$ 898,634.77
	333111252040	Sanitary Sewer VCP Replacment	Public sanitary utility sewerage piping, piping polyvinyl chloride pipe, B & S, 20' lengths, 6" diameter, SDR 35, excludes excavation or backfill	LF	\$ 13.04	\$ 15.15	3,360.0	\$ 50,890.43
	333111253080	Sanitary Sewer VCP Replacment	Public sanitary utility sewerage piping, piping polyvinyl chloride pipe, fittings, bends or elbows, 6" diameter, SDR 35, excludes excavation or backfill	EA	\$ 108.39	\$ 125.89	96.0	\$ 12,085.92
	333111253670	Sanitary Sewer VCP Replacment	Public sanitary utility sewerage piping, cap, polyvinyl chloride, 6", SDR 35	EA	\$ 211.00	\$ 245.08	64.0	\$ 15,684.90
	331413254120	Domestic Water	Water supply distribution piping, polyvinyl chloride pressure pipe, 2", ASTM D2241, class 200, SDR 21, includes trenching to 3' deep	LF	\$ 26.75	\$ 31.07	800.0	\$ 24,856.10
	221119421160	Domestic Water	Backflow preventer, double check principle, corrosion resistant, automatic operation, gate valves, threaded, 2" pipe size, includes valves and four test cocks	EA	\$ 2,481.59	\$ 2,882.37	8.0	\$ 23,058.93
	221119387300	Domestic Water	Water supply meter, turbine type, flanged, to 160 GPM, 2" diameter	EA	\$ 923.11	\$ 1,072.19	168.0	\$ 180,128.30
	221119381140	Fire Main- new	Water supply meter, detector, serves dual systems such as fire and domestic or process water, wide range capacity, 700 GPM, 4" mainline x 2" by-pass, UL and FM approved	EA	\$ 10,418.12	\$ 12,100.65	8.0	\$ 96,805.17
	221119421220	Fire Main- new	Backflow preventer, double check principle, corrosion resistant, automatic operation, gate valves, flanged, 4" pipe size, includes valves and four test cocks	EA	\$ 4,101.22	\$ 4,763.57	8.0	\$ 38,108.54
	331413152020	Fire Main- new	Water supply distribution piping, ductile iron pipe, cement lined, mechanical joint, no fittings, 18' lengths, 4" diameter, class 50, excludes excavation or backfill	LF	\$ 74.93	\$ 87.03	800.0	\$ 69,624.96
	221426196820	Foundation Repair- water diversion	Drain, trench, fiberglass for cement concrete encasement, 8" internal width, with medium duty galvanized grate, not including trenching or concrete	LF	\$ 147.99	\$ 171.89	960.0	\$ 165,014.77
	333111252080	Foundation Repair- water diversion	Public sanitary utility sewerage piping, piping polyvinyl chloride pipe, B & S, 13' lengths, 8" diameter, SDR 35, excludes excavation or backfill	LF	\$ 18.99	\$ 22.06	800.0	\$ 17,645.51
	312316130060	All Utilities	Excavating, trench or continuous footing, common earth, 1/2 C.Y. excavator, 1' to 4' deep, excludes sheeting or dewatering	BCY	\$ 8.47	\$ 9.84	711.1	\$ 6,995.84
	312316131352	All Utilities	Excavating, trench or continuous footing, common earth, 1/2 C.Y. excavator, 4' to 6' deep, includes trench box, excludes dewatering	BCY	\$ 13.94	\$ 16.19	2,240.0	\$ 36,268.53
	312316133020	All Utilities	Excavating, trench backfill, 1 C.Y. bucket, minimal haul, front end loader, wheel mounted, excludes dewatering	LCY	\$ 3.70	\$ 4.30	2,951.1	\$ 12,682.55
	024113233200	All Utilities	Utility removal, pipe, sewer/water, steel, welded connections, 4" diameter, remove, excludes excavation, hauling	LF	\$ 14.01	\$ 16.27	4,960.0	\$ 80,712.17
	312323160050	All Utilities	Fill by borrow and utility bedding, for pipe and conduit, crushed or screened bank run gravel, excludes compaction	LCY	\$ 58.15	\$ 67.54	551.1	\$ 37,222.72
	312323131100	All Utilities	Backfill and compact, by hand, 12" layers, compaction in layers, vibrating plate, add to above	ECY	\$ 9.00	\$ 10.45	2,951.1	\$ 30,849.44
								\$ -
38		Roads & Walks						\$ 242,933.84
	024113175010	Demolition Req'd for Utility Replacement	Demolish, remove pavement & curb, remove bituminous pavement, up to, 3" thick, excludes hauling and disposal fees	SY	\$ 7.12	\$ 8.27	2,480.0	\$ 20,509.30
	024113304100	Demolition Req'd for Utility Replacement	Minor site demolition, sidewalk, concrete, plain, 4" thick, remove, excludes hauling	SY	\$ 14.01	\$ 16.27	826.7	\$ 13,452.03
	024119193000	Demolition Req'd for Utility Replacement	Selective demolition, rubbish handling, loading & trucking, chute loaded, including 2 mile haul, cost to be added to demolition cost (Avg. 7 CY per unit)	C.Y.	\$ 55.80	\$ 64.81	367.0	\$ 23,787.95
	320610100100	Asphalt Patch for Utility Replacement	Sidewalks, driveways, and patios, side walks, asphaltic concrete, 2-1/2" thick, excludes base	SY	\$ 18.53	\$ 21.52	2,480.0	\$ 53,376.04
	320610100310	Concrete Patch for Utility Replacement	Sidewalks, driveways, and patios, sidewalk, concrete, cast-in-place with 6 x 6 - W1.4 x W1.4 mesh, broomed finish, 3,000 psi, 4" thick, excludes base	SF	\$ 6.39	\$ 7.42	7,440.0	\$ 55,219.57
	320610100450	Base for Asphalt and Concrete Patch	Sidewalks, driveways, and patios, sidewalks, concrete, excludes base, for 4" thick bank run gravel base, add	SF	\$ 1.74	\$ 2.02	7,440.0	\$ 15,036.31
	320610102160	Spread Base for Asphalt and Concrete Patch	Sidewalks, driveways, and patios, sidewalk, load, dump and spread stone, 100' haul, with skid steer, excludes base	CY	\$ 91.32	\$ 106.07	367.0	\$ 38,931.26
	321613130410	Concrete Curb Repair for Utility Replacement	Cast-in place concrete curbs & gutters, concrete, steel forms, straight, 6" x 18", includes concrete	LF	\$ 16.23	\$ 18.85	1,200.0	\$ 22,621.37
39		Exterior Improvements						\$ -
			Not included per PIH 2018-04		\$ -	\$ -		\$ -
40		Lawns and Plantings						\$ 93,437.48
	329119131000	Perimeter Landscaping Restoration	Topsoil placement and grading, fine grading and seeding, with equipment	SY	\$ 3.74	\$ 4.35	2,464.0	\$ 10,715.69
	310513100800	Perimeter Landscaping Restoration	Soils for earthwork, topsoil, includes load and haul 2 miles	CY	\$ 32.20	\$ 37.40	821.3	\$ 30,721.79
	AEI allowance	Perimeter Landscaping Restoration	Restoration of foundation plantings for renovation work	EA	\$ 6,500.00	\$ 6,500.00	8.0	\$ 52,000.00
41		Unusual Site Conditions						\$ -
			Not included per PIH 2018-04		\$ -	\$ -		\$ -
42		Total Land Improvements						\$ 1,343,400.96
		Combined Structure and Land Improvement Cost						\$ 26,334,704.89
		Soft Costs and Fees (per PIH 2018-04 Notice)						
		PIH 2018-04 % allowed	Hard Cost Contingency	7.50%				\$ 1,975,102.87
		PIH 2018-04 % allowed	General Conditions	5.00%				\$ 1,316,735.24
		PIH 2018-04 % allowed	Builders Overhead	2.00%				\$ 526,694.10
		PIH 2018-04 % allowed	Builder's/Subcontractor's Profit	10.00%				\$ 2,633,470.49
		PIH 2018-04 % allowed	Architectural Design Fees	5.50%				\$ 1,448,408.77
		PIH 2018-04 % allowed	PHA Fee	2.00%				\$ 526,694.10
		Subtotal Soft Costs and Fees		32.00%				\$ 8,427,105.56
			TOTAL CONSTRUCTION RENOVATION COST BUDGET:					\$ 34,761,810.45
			TOTAL HUD NEW DEVELOPMENT COST					\$ 51,189,259.00
			Rehabilitation Cost % (estimated cost of Rehabilitation/Total TDC) x 100 =					67.91%

APPENDIX I

Property Evaluator Qualifications

Douglas A. Olson, PE – Vice President

EDUCATION

BS, Civil Engineering – Virginia Military Institute

REGISTRATIONS AND CERTIFICATIONS

Licensed Professional Engineer – District of Columbia #10974

HUD MAP Certification – “PCNA Boot Camp” – Midwest Lender’s Association – May 2009

HUD LEAN Training - December 2008 & January 2009

HUD Green Physical Needs Assessment Tool – Webinar Training – January 2014

EPA/AHERA Asbestos Building Inspector Training

EPA Lead Based Paint Inspector Training

SUMMARY OF EXPERIENCE

As a licensed Professional Engineer, Mr. Olson has over 20 years of experience within the engineering and environmental due-diligence field. Formerly a Principal at a national consulting firm, Mr. Olson was responsible for quality control and technical review of due-diligence products. His responsibilities also included managing assessment work on portfolios ranging in size of up to 1,400 assets. Additionally, Mr. Olson developed his former firm’s consulting program for FHA/HUD insured mortgages and the National Environmental Policy Act (NEPA) consulting group for the wireless telecommunications industry. Throughout his career, Mr. Olson has completed over 1,000 Phase I Environmental Site Assessments and Property Condition Surveys/Physical Needs Assessments throughout North America. His technical experience also includes Green Physical Needs Assessments, Phase II subsurface investigations, site remediation, construction consulting, UFAS & ADA Surveys, NEPA consulting, asbestos and lead-based paint surveys, and mold investigations.

REPRESENTATIVE EXPERIENCE

Physical Needs Assessment Due-Diligence:

Woonsocket Housing Authority Portfolio, Woonsocket, RI – Completed 6 Green Physical Needs Assessments (GPNAs) on the Housing Authority’s inventory of 1,212 units spread between 4 high rise towers and 2 low-rise communities. The Scope of work also included a level II ASHRAE Energy Audit and incorporating data into HUD’s Green PCNA Tool.

Greater Marlborough Program A&B, Marlborough, MA – 28 Unit Group Home for handicapped adults. Physical Needs Assessment was conducted to HUD guidelines for mortgage underwriting/insurance purposes through HUD’s 207/223(f) program.

Harbor House Apartments, Bal Harbor, FL – Completed Property Condition Assessments (PCAs) on two adjoining oceanfront apartment buildings totaling 500 units. The scope of work also included a thorough structural assessment of deficiencies associated with parking, pool decks and deteriorated concrete balconies. The report was completed to ASTM Guidelines for mortgage underwriting purposes.

Carriage Hills Apartments, Pensacola, FL – 260-unit, multi-building garden apartment complex. Report was completed to ASTM Guidelines for mortgage financing purposes.

General Motors Building, 767 Fifth Avenue, New York, NY – 1.75M SF, 50-story (705') office tower. Report was completed to ASTM Standards for mortgage financing purposes.

Roslyn Plaza, Arlington, VA – Mixed use complex consisting of 3 office towers and 2 residential apartment buildings constructed over a 3 level parking deck. The buildings were all of concrete construction and totaled 600K SF of office space and 230 apartment units. The report was completed to S&P Guidelines for an insurance company's equity investment on same.

Myrtle Beach Mall, Myrtle Beach, SC – 522K SF regional mall set on a 61 acre parcel. The report was completed to S&P Guidelines for an insurance company's equity investment on same.

Extended Stay Hotel Portfolio (Canada) – Completed PCAs on three hotels located in Toronto, Ottawa and St. John, New Foundland. Hotels ranged in size from 90-205 rooms. Reports were conducted to ASTM Standards and were completed for mortgage financing purposes.

Sun Trust Branch Portfolio – Completed PCAs, ESAs and project management for a portfolio of 260 bank branches and office buildings throughout the Southeast United States.

Food Lion, Lynchburg, VA – 56,000 SF free-standing grocery store along with some in-line retail space. The report was completed to S&P Guidelines for an insurance company's equity investment on same.

Construction Consulting: Completed field inspections on construction projects in order to approve funding based upon the amount of work completed-to-date as well as stored materials. Reviewed (and adjusted) contractors' applications for payment and monitored construction schedule progress. Also opined on sub-contractor lien waivers and change orders. Representative projects are listed below:

Greenbrier Senior Apartments, Chesapeake, VA – 95,577 SF, 92 Unit, Senior Apartment Building. Wood frame construction - \$4.8M construction budget over a 15 month schedule.

Hampton Inn, Alexandria, VA – Gut renovation of a 6-story hotel structure into a 150 room/suite limited service hotel – concrete construction, \$3.7M construction budget over a 10 month schedule.

Taj International Hotels, Washington, DC – Fire suppression sprinkler installation of four downtown hotels. Concrete construction – \$2.2M construction budget over an 8 month schedule.

Lee Hall Apartments, Portsmouth, VA – Gut Renovation of 36 building, 2-3 story garden apartment complex. Wood frame construction - \$4.1M construction budget over a 12 month schedule.

Ocean Air Apartments, Norfolk, VA – Gut Renovation of a 71 building, 434 Unit, 2-story garden apartment complex. Wood frame construction - \$16.4M construction budget over a 38 month schedule.

Environmental & NEPA Consulting:

Orchard Hills Landings, Newburgh, NY – Phase I ESA and NEPA (HUD Section 4128). Consulting on a 50-acre parcel that was to be developed with a 260-unit apartment complex. Work was completed to ASTM and HUD Guidelines for mortgage underwriting/insurance through HUD's 221(d)4 program.

Bedford Avenue Apartments, Brooklyn, NY – Phase I ESA and NEPA (HUD Section 4128). Consulting, Phase II Sub-Slab, Soil Vapor Investigation on an 8-unit apartment building with street level retail space. Work was completed to ASTM and HUD Guidelines for mortgage underwriting/insurance through HUD's 223(f) program.

North Little Rock Housing Authority Portfolio, North Little Rock, AR – Completed Phase I Environmental Site Assessments, inclusive of asbestos surveys and Part 58 Environmental Reviews for a portfolio of 940 units spread throughout 8 apartment communities. Work was completed in accordance with ASTM and HUD Guidelines.

MacArthur Boulevard Apartments, Washington, DC – Completed a Lead Based Paint (LBP) Survey & Risk Assessment utilizing X-Ray Fluorescence (XRF) analysis and the collection of dust wipe sample and soil samples. Work was completed to HUD and District of Columbia specifications.

East Harlem Portfolio, New York, NY – Performed a City Environmental Quality Review (CEQR) associated with the development of 7 apartment buildings. This NEPA assessment work was completed to New York City Department of Environmental Protection (NYCDEP) Guidelines and New State Department of Environmental Conservation (NYSDEC) SEQR Guidelines.

277 Park Avenue, New York, NY – 1.7M SF, 50-story office tower - completed asbestos abatement project monitoring as part of a \$100M gut renovation project. Scope of work consisted of project management oversight and the approval of loan funding of abatement activities on behalf of the construction lender.

Fresh Meadows Development, Queens, NY – Completed a Phase I ESA, LBP and Asbestos Survey on a 150+ building, 3,258-unit, mixed-use development comprising over 147 acres on numerous city blocks. The complex also included a mechanical heating plant, several schools, a police precinct, a movie theater, parking garages and numerous retail buildings.

Melrose Credit Union, Queens, NY – Project Management for the demolition of the former Melrose Credit Union headquarters building. This project included the completion of a Phase I ESA, Asbestos Survey & Abatement, Phase II sub-surface investigation, Underground Storage Tank (UST), and contaminated soil removal.

Chemetals – New Johnsonville, TN & Baltimore, MD – Completed Environmental Liability Audits (ELAs) on 2 manganese ore processing facilities. The ELAs included a comprehensive review of all plant processes, hazardous material and waste storage procedures, Spill Prevention Control and Countermeasure (SPCC) plans as well as contamination assessment reports for environmental insurance underwriting.

BMW of Westchester, Elmsford, NY – Completed a Mold Investigation inclusive of bulk material and air sampling on an automotive service center formerly impacted by a flood.

Gateway Center, White Plains, NY - completed a Phase I ESA & Phase II Sub-surface investigation on a 500,000 SF office tower, associated parking lots and garages. The Phase II investigation was warranted due to historical gas stations and dry cleaning plants occupying the parcels. Soil and groundwater sampling was completed via hollow stem auger equipment and the installation of permanent groundwater monitoring wells. Groundwater modeling was also included within the scope of the investigation.

Roosevelt Hotel, Washington, DC – Served as the Engineer of Record for the removal of an Underground Storage Tank (UST) and associated petroleum impacted soil.

101 Constitution Avenue, Washington, DC – Project Engineer for the removal of petroleum impacted soils discovered during the excavation of an office building's foundation. Worked with the construction general contractor and health and safety personnel to efficiently remove environmental hazards.

Jeb Bonnett – Director of Building Assessments - HUD

Education:

B.B.A - Finance, James Madison University
Principles of Real Estate Program, James Madison University

Training/Licenses/Registrations:

HUD Multi-Family Accelerated Processing (MAP) Cost/A&E Seminar – New York City
HUD Multi-Family Accelerated Processing (MAP) PCNA Workshop – Columbus
Virginia Housing Development Authority – Universal Design Training
Fair Housing Act Accessibility Training Course– Phillip Zook
Fair Housing Act Accessibility Training Seminar– Fair Housing Act First
Elevator Training Courses – Sanjay Kamani, QEI, KP Property Advisors LLC
Building Performance Institute – Training Services
Building Specs Training Institute, Building/Design Inspection Courses

Experience:

Mr. Bonnett has worked exclusively in the niche HUD real estate due diligence consulting industry since 2005. He has performed and directed thousands of building assessment projects for HUD MAP, HUD LEAN, and Public Housing Authority clients. He has expert knowledge of HUD's Capital Needs Assessment guidelines and software reporting requirements. In addition, he has extensive experience and training on numerous accessibility standards, including, UFAS, ADA, ANSI, and the Fair Housing Act Guidelines.

As Director of Building Assessments - HUD, Mr. Bonnett is responsible for providing direction for the development of HUD Building Assessment services throughout AEI. Day to day responsibilities include, creating organizational process assets, training internal and external stakeholders, identifying and understanding industry guidelines for HUD Building Assessment services, senior reviewing, project oversight, business development and client management.

Mr. Bonnett's HUD's industry experience includes:

- Performing and directing the successful completion of over 3,000 HUD MAP and HUD LEAN compliant Capital Needs Assessments.
- Performing and directing the successful completion of RAD and GPNA projects for over 100 HUD Public Housing Authority AMPs.
- Leading the creation of software reporting platforms to efficiently populate HUD's CNA E-Tool, RAD Tool, and GPNA Tool software systems.
- Creating and performing HUD E-Tool training seminars for HUD MAP lenders and internal staff.

REPRESENTATIVE EXPERIENCE

Physical Needs Assessments & Property Condition Assessments

Richmond Redevelopment & Housing Authority, Richmond, VA – HUD RAD Physical Condition Assessments (RPCAs) and HUD Green Physical Needs Assessments (GPNA Tool) – Acted as the overall project lead organizing the field and report writing efforts of three different engineering teams and one team of energy auditors. This role required extensive collaboration with RRHA personnel to organize the PIC data, the addresses to be inspected, and the site documents to evaluate. The project efforts simultaneously created HUD compliant RAD and PHA GPNA Tool reports for the entire 4,000 unit RRHA housing portfolio. The simultaneous RAD/GPNA reporting process provided insight into the Immediate Repairs, deferred maintenance issues, and general capital needs for each address at the site. The reporting efforts created an RS MEANS based pricing library for nearly every construction component at the sites. The reports also fulfilled RRHAs mandatory 5-year capital planning requirement for HUD Public Housing, while providing flexibility and documentation for future RAD transactions and Choice Neighborhood Planning Grants applications.

Metropolitan Development & Housing Agency, Nashville, TN – HUD RAD Physical Condition Assessments (RPCAs) and ASHRAE Level Two Energy Audits – Acted as the overall project lead organizing the field and report writing efforts of three different engineering teams and one team of energy auditors. This role required extensive collaboration with MDHA personnel to organize the inspection logistics, the site documents to evaluate, and the presentation and acceptance of the final deliverable. The project efforts created HUD compliant RAD due diligence reporting for the majority of the 5,500 unit MDHA housing portfolio. The HUD RAD reporting assisted MDHAs application in earning the Choice Neighborhood Planning Grant award from HUD and provided MDHA the flexibility to convert its entire housing stock from public housing to Project Based Section 8 housing. The Section 8 housing conversion provided MDHA the financial flexibility to obtain much needed collateral to revitalize the housing assets.

Rockford Housing Authority, Rockford, IL – Data driven Physical Needs Assessments (PNAs) – Acted as the lead software project manager and overall project lead, developing a custom inspection application that was utilized to collect detailed field data from over 310 different residential sites that spanned the city of Rockford, Illinois. My responsibilities included coordinating the development of the field application, testing the application, training the engineering inspectors on use of the application, and inspecting the properties as an additional engineering inspector. Upon completion of the field survey I managed the efforts of the internal development team to create summary findings from the field data that were clear and meaningful to the leadership of the property management firm. The data reports provided insight into the Immediate Repairs, deferred maintenance issues, and general capital needs for each address at the site. The data reports grouped addresses with similar capital needs, which allowed the property management group to simulate different rehabilitation and preservation scenarios.

Prepared Project Capital Needs Assessments in compliance with the HUD Multifamily Accelerated Processing (MAP) Guide and the HUD LEAN Statement of Work on thousands of properties located throughout the United States. Representative Projects are listed below:

Facility Name	HUD Program	City	State
Arnold Gardens Apartments	HUD MAP Section 207/223(f)	Suitland	Maryland
Carmel Knoll	HUD MAP Section 207/223(f)	Indianapolis	Indiana
Ingleside Retirement Apartments	HUD MAP Section 207/223(f)	Wilmington	Delaware
Echo Ridge Apartments	HUD MAP Section 207/223(f)	Indianapolis	Indiana
Emerson Village Lakes	HUD MAP Section 207/223(f)	Indianapolis	Indiana
Northpoint Apartments	HUD MAP Section 207/223(f)	Spring Lake	North Carolina
Lake Broadway Townhomes	HUD MAP Section 207/223(f)	Columbia	Missouri
Bradley Royale Health Care Center	HUD LEAN Section 232/223(f)	Bradley	Illinois
Brentwood Place	HUD LEAN Section 232/223(f)	Denison	Texas
Cardinal Hill Healthcare	HUD LEAN Section 232/223(f)	Greenville	Illinois
Community's Hearth & Home	HUD LEAN Section 232/223(f)	Urbana	Ohio
Eden Heights of Olean	HUD LEAN Section 232/223(f)	Olean	New York
Colonial Manor	HUD LEAN Section 232/223(f)	York	Pennsylvania
Atlanta NAPFE Elderly Towers	HUD MAP Section 202/223(f)	Atlanta	Georgia
Casa Miguel Apartments	HUD MAP Section 202/223(f)	Clearwater	Florida
Columbia Hills Retirement Center	HUD MAP Section 202/223(f)	St. Helens	Oregon
Lindenwold Towers	HUD MAP Section 202/223(f)	Lindenwold	New Jersey
La Colonia	HUD MAP Section 202/223(f)	Topeka	Kansas

Kevin Pressey – Associate Consultant

Education:

BA Architecture, University of California Berkeley, Berkeley, CA

Training/Licenses/Registrations:

Registered Architect, State of California, C25741

Summary of Professional Experience:

Mr. Pressey has worked in the field of Architecture since 1986, and has been performing Property Condition Assessments (PCAs) since 2001. As an architect, Mr. Pressey has been responsible for programming, schematic design, design development, construction documents and construction administration. His due diligence experience includes the performance and management of dozens of Property Condition Assessments for properties including multifamily, retail, and office developments as well as providing Construction Progress Monitoring reports throughout California since 2001.

Select project experience for Mr. Pressey includes:

- **Property Condition Assessments** – Mr. Pressey has performed PCAs for both financial institutions and equity positions, including manufacturing and industrial properties, office buildings from one story to multiple stories, hotels, strip malls, shopping centers, and multi-family housing properties since 2001.
- **Document and Cost Reviews** – Mr. Pressey has performed these services for industrial developments, hotel developments, and multi-family developments. The projects included both new construction and major renovation.
- **Construction Progress Monitoring** – Mr. Pressey has conducted construction progress monitoring of office/industrial, office, hotel, and multi-family residential properties.
- **Traditional Architectural Practice** – Mr. Pressey has performed as a registered architect in California whose projects included higher education buildings, medical facilities including clinics, hospitals and research facilities, historic buildings, retail centers and individual facilities, office buildings and multi-family projects.

Mr. Pressey actively pursues continuing education to improve his knowledge and skills.

Scott Moyer – Construction Cost Estimator/HUD Cost Analyst

Education:

BS, Civil and Building Design Engineering - Old Dominion University

Certifications:

HUD MAP Certified

Summary of Experience:

Mr. Moyer brings over 20 years' experience and has extensive experience as a Senior Estimator/Cost Analyst working with General Contractors primarily in the multi-family, commercial and industrial construction.

As a Construction Cost Estimator and a Senior HUD Cost Analyst, Mr. Moyers responsibilities consist of developing Independent Cost Estimates for project economic cost comparison analysis and risk identification, then authoring Conceptual Budget Reviews (CBR), Construction Risk Analysis (CRA), and Cost to Complete (CTC) reports for the Construction Risk Management (CRM) division of AEI Consultants. Responsible for coordination, planning, and oversight efforts for assigned FHA Cost Reviews in accordance with directives as set forth in the HUD MAP Guide. Duties include review of project documents for completeness and coordination, and to determine discrepancies or conflicts in the documents which may lead to adverse cost impacts to the project, advising the MAP Team members in proper resolution of issues and HUD MAP cost reporting procedures, and final approval to FHA of proposed project costs submitted by the project General Contractor. Cost Review involves a fully independent project cost estimate to be developed for comparison analysis, schedules to be reviewed for adequate duration and monthly draw amounts, addendum letters for updates to projects at firm application, and any required resolution of HUD/FHA review produced comments. All produced cost review estimates assembled into an in-house database for future work cost approvals. Non-HUD roles taken on involved production of Cost to Complete Reports, Insurable Replacement Valuations, and cross-training for Construction Loan Monitoring (CLM). Additional responsibilities include cost reviews for HUD financed projects utilizing either the FHA 223(f), 221(d)(4) or 232 Lean Loan Program.

Select project experience for Mr. Moyer includes:

- Cedar Grove Portfolio – 4 -property multifamily dwelling with 1,125 unit for veterans. Mr. Moyer developed an Independent Cost Estimate, for this project economic cost comparison analysis and risk identification, then authorized Conceptual Budget Review.
 - Frontenac, MO – Is a Hospitality building with 253 rooms. Mr. Moyer prepared a Conceptual Budget Review on this property. Costing was based on R.S. Means building construction cost data and R.S. Means Square Foot Cost Reports along with internal data to provide a cost comparison of the proposed budget with typical industry costs.
- Mr. Moyers' insight and array of professional experiences enables him to quickly adapt to new job requirements and environments.

A list of HUD compliant cost estimating project Mr. Moyer completed are summarized below:

HUD MAP 221 (d)(4) Multifamily New Construction (NC) & Sub-Rehabilitation (SR) Program

- The Station at Gardner Mill, West Jordan City, Utah
- Cedar Court Apts. and Site Ren, Norwalk, Ct.
- Meadow Cliff Apartments, Oklahoma City, Oklahoma
- Walker Court North & South, Jonesboro, Arkansas
- Cameron Creek Apartments, Tempe., Arizona
- Elevate as Southwest Station, Eden Prairie, MN
- The Elliot, Little Rock, Arkansas
- The Commodore Place Apartments, Cleveland, Ohio
- River Run Apartments, North Bend, Washington
- RAD Lofts, Asheville, NC
- Midlothian Town Center Apartments, Midlothian, Virginia
- Gateway at Carolina Forest, Myrtle Beach, SC
- Midtown Pointe, Royal Oak, Michigan
- Lakehouse Commons,
- Buffalo Sunset Apartments, Las Vegas, NV
- Gateway at Carolina Forest, Myrtle Beach, SC
- Dwell @ 2nd, Philadelphia, PA
- Brennan Point Apartments, Newport News, VA

HUD MAP 232 Lean, Healthcare, Assisted Living, and Skilled Nursing Facilities

- The Guilford House, Guilford, Connecticut
- Congress Oaks, Palm Springs, Florida
- Abbingdon Crossing of Wilson, Wilson, North Carolina
- Grand View Place, Grand Rapids, Michigan
- The Highland Club, Baton Rouge, Louisiana
- The Park at Sydney Drive, Birmingham, Alabama
- Hinds County Nursing and Rehabilitation Center, Byram, Mississippi
- Brandermill Assisted Living, Chesterfield, Virginia
- Jasper Senior Living, Jasper, Indiana
- Nevins Nursing and Rehab Center, Methuen, MA
- Parkhaven Retirement & Assisted Living, Manhattan, Montana

HUD MAP 223 Heavy-f, Multifamily Refinance with Heavy Renovation

- Pecan Place
- Euclid Hills Villa