

**Homewood Board of Zoning Adjustments**  
**Agenda**  
**Thursday, March 5, 2026, 6:00 P.M.**  
**City Council Chamber**  
**2850 19<sup>th</sup> Street South, 2<sup>nd</sup> Floor**  
**Homewood, Alabama 35209**

*\*NOTE: Prior to the scheduled public hearing, a brief work session will be held for Board members beginning at 5:30 p.m. in the City Council's Committee Workroom located on the 2<sup>nd</sup> floor behind the Council Chambers. Members of the public are welcome to attend and observe the work session; however, questions and/or comments from the public will only be considered during the scheduled public hearing.*

While the scheduled hearing is available for live-stream viewing here: <https://www.cityofhomewood.com/live-stream>, persons who wish to comment during the meeting may only do so in person. Comments in support or opposition, may be submitted via email to the Department of Engineering & Zoning by clicking the following link: [www.cityofhomewood.com/engineering-zoning](http://www.cityofhomewood.com/engineering-zoning) or to the Secretary to the Board of Zoning Adjustments at [fred.goodwin@homewoodal.org](mailto:fred.goodwin@homewoodal.org). Comments may also be hand-delivered to the Department of Engineering & Zoning, located on the 4<sup>th</sup> floor of Homewood City Hall. Please include the address or case number and submit them no later than 24 hours prior to the meeting.

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**Board Members**

Chair, Michael Pirkle, Ward 3 | Vice-Chair, Mario Neavez, Ward 2

Vacant, Ward 1 | Megan Hand, Ward 4 | William Johnson, Ward 5

**Supernumeraries**

John Geer

Keith Young

**Order of Business**

**I. Call to Order**

**II. Roll Call**

**III. Minutes Approval– February 5, 2026**

**IV. Communications/Reports from Chair & Vice Chair**

**V. Old Business**

**1) BZA-26-0017, 320 La Prado Circle, Parcel ID No. 2800074009009000, Applicant: John Fagan / Property Owner: Millard Williamson**

*a) A request for a variance to Article IV. District Uses, Sec. A Neighborhood Preservation District, (3) Development regulations, (d) setbacks, (ii) side, to reduce the required setback along the right property line from 10-ft to 6-ft, 7-inches, for a total reduction of 3-ft, 5-inches.*

*b) A request for a variance to Article IV. District Uses, Sec. A. Neighborhood Preservation District, (3) Development Regulations (h) to increase the permitted maximum impervious surface coverage from 45 percent to 53 percent for a total increase of 8 percent.*

**2) Board Administration: Review and approve revisions to the Board of Zoning Adjustments Bylaws and Rules of Procedure.**

**VI. New Business**

**1) BZA-26-0016, 504 Hampton Drive, Parcel ID No. 2800181007017000,**

The Agenda of the Board of Zoning Adjustments is subject to change prior to the scheduled meeting. The Board Chair reserves the right to vary the order of the meeting, if warranted. Questions regarding the agenda and meeting may be directed to the Department of Engineering and Zoning at (205) 332-6854.

***Applicant: Elton Douthit / Property Owners: Britney and Judson Spooner***

- a) *A request for a variance to Article IV. District Uses, Sec. A, Neighborhood Preservation District, (3) Development Regulations, (d) Setbacks, (ii) side, to reduce the required setback along the right-side property line from 10-feet to 8-feet for a total reduction of 2-feet to construct an addition to the existing primary structure.*
- 2) ***BZA-26-0018, 251 Lakeshore Parkway, Parcel ID No. 2900262000001001, Applicant: Meighan Ellis / Property Owner: 5RiversCRE***
  - a) *A variance to Article X. Signs, Table 2, General Sign Restrictions, Planned Non-Residential District, Max Copy Height (consistently enforced as 36-inches) to permit the installation of an attached wall sign with a height of 10-feet, 2-inches and width of 28-feet.*
- 3) ***BZA-26-0023, 301 Ascott Road, Parcel ID. No. 2800083005001000, Applicant: Twin Construction / Property Owners: Collier and Patrick Peavy***
  - a) *A request for a variance to Article IV. District Uses, Sec. A, Neighborhood Preservation District, (3) Development Regulations, (d) Setbacks, (ii) side to reduce the required setback along the right-side property line from 10-feet to 6.2-feet for a total reduction of 3.8-feet to construct an addition to an existing, nonconforming primary structure.*
- 4) ***BZA-26-0024, 422 Woodland Drive, Parcel ID No. 2900133003033000, Applicant: Twin Construction / Property Owners: Brooke and Michael Rebarchak***
  - a) *A request for a variance to Article IV. District Uses, Sec. A, Neighborhood Preservation District, (3) Development Regulations, (d) Setbacks, (ii) side to reduce the required setback along the left-side property line from 10-feet to 7.9-feet for a total reduction of 2.1-feet in order to construct a second story addition to the existing, nonconforming primary structure.*
- 5) ***BZA-26-0025, 837 Forrest Drive, Parcel ID No. 2900133010039000, Applicants / Property Owners: Jill and Mark Pettus***
  - a) *A request for a variance to Article IV. District Uses. Sec. A, Neighborhood Preservation District, (3) Development Regulations, (h) to increase the permitted total lot impervious coverage from 45 percent to 50.49 percent for the construction of an addition.*

**VII. Communications from Staff**

**VIII. Adjournment**



## Planning and Zoning General Application

(Page 1 of 2 – see page 2 for submittal requirements)

Property Address: 320 LA PRADO CIR HOMEWOOD 35209

Parcel ID: \_\_\_\_\_ Current Zoning: \_\_\_\_\_

Acreage: 9369.1 Proposed Land Use: \_\_\_\_\_

Applicant: JOHN BRANDON FAGAN Property Interest of Applicant: \_\_\_\_\_

E-mail: \_\_\_\_\_ Applicant Phone #: \_\_\_\_\_

Mailing Address: 3200 OVERTON MANOR DR VESTAVIA AL 35243

City State Zip

Property Owner: Millard Williamson

E-mail: \_\_\_\_\_ Phone #: \_\_\_\_\_

Mailing Address: 320 La Prado Cir Homewood 35209

City State Zip

### Request (check all applicable items):

- |  |  |   |
|--|--|---|
| <input checked="" type="checkbox"/> Variance Request | <input type="checkbox"/> Rezoning              | <input type="checkbox"/> Development Plan |
| <input type="checkbox"/> Other BZA Request: _____    | <input type="checkbox"/> Zoning Text Amendment | <input type="checkbox"/> Final            |
|  | <input type="checkbox"/> Resurvey              | <input type="checkbox"/> Amended          |

### Signatures of Property Owner and Applicant:

I, Millard Williamson (Print Property Owner) am the property owner of the subject property and have read and understood all statements including the filing requirements. I hereby affirm that this application may be denied, modified, or approved with modifications and/or contingencies and that such modifications and/or contingencies must be complied with prior to issuance of building permits.

I authorize JOHN B FAGAN (Print Applicant) to act as representative in all matters concerning this application.

\_\_\_\_\_  
 Signature of Property Owner

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Signature of Applicant

\_\_\_\_\_  
 Date

### For office use only:

<input type="checkbox"/> Completed Application form with signatures	Current Zoning District: _____
<input type="checkbox"/> Project Narrative	Proposed Zoning District: _____
<input type="checkbox"/> 2 Hard Copies of Site Plan, Site Photographs, Survey, Mylar, etc.	Special Flood Hazard Area (Y/N): _____
<input type="checkbox"/> Digital Copies of Site Plans, Site Photographs, Survey, Mylar etc.	
<input type="checkbox"/> Application Fee	
<input type="checkbox"/> Other Required Documents: _____	
Date Received in Office: _____	Time Received: _____
Received By: _____	Case Number(s): _____



# Planning and Zoning General Application

(Page 2 of 2)

**All General Applications shall include the following at the time of submittal:**

- One copy of the completed application form, with the original signature of the property owner or his/her authorized agent.
- Application fee
- Project narrative including the following as appropriate: proposed use, detailed project description, reason for request, conditions that the applicant will be willing to proffer
- Current Property Boundary Survey
- Hard copy and pdf copy of all site plans and building elevations. *(Plans and associated documents that are too large to email can be provided on a flash drive.)*
- Restrictive Covenants *(if applicable)*
- Photographs of the site and all existing buildings and structures.
- Proof of Ownership (if property has been purchased within the last 12 months)
- Any variances previously granted by the Board of Zoning Adjustments

***The following additional items will be required based on the nature of the application request and must also be submitted at the time of initial application submittal:***

**Variance Application Requirements**

- Completed Variance Request Chart
- Hardship Statement signed by Property Owner and Applicant
- Hardship Criteria Evaluation Form (initialed and signed)

**Final and Amended Development Plan Requirements**

- 2 full sized copies, 2 11X17 copies, and a digital copy of the proposed development plan
- Complete legal description
- Other additional information as listed in Article VII. Required Development Plan

**Resurvey Application Requirements**

- 2 full sized copies of the resurvey drawing
- 1 full size mylar copy of the resurvey drawing
- Digital copy of the resurvey drawing
- Complete legal description

**Rezoning Application Requirements**

- Complete legal description
- Current Zoning District \_\_\_\_\_
- Proposed Zoning District \_\_\_\_\_
- Conditions that the applicant will be willing to proffer. (If applicable, please include in the detailed project narrative)

*By signing below, I acknowledge that all required documents are included in the application package. Additionally, I understand that all applications must be complete by the final application deadline in order to be processed by staff and considered by the Board of Zoning Adjustments or Planning Commission.*

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date



### Variance Request Charts

*Please complete only the charts relevant to the proposed variance request project. The information in these charts should reflect the information on the proposed site plans.*

PRIMARY STRUCTURE SETBACKS				
	Existing Setback Dimensions	Setback Dimensions Required by Zoning Regulations	Proposed Setback Dimensions	Total Variance Requested
Front Setback	40' 9"	25'	40' 9"	
Secondary Front Setback				
Right Setback	8' 7"	10'	6' 2"	3' 5"
Left Setback	5'	10'	5'	
Rear Setback	57'	20'	57'	

ACCESSORY STRUCTURE SETBACKS				
<b>Please provide the following information regarding the proposed accessory structure:</b>				
<b>Proposed Height:</b> _____		<b>Proposed Size (in sq ft):</b> _____		
	Existing Setback Dimensions	Setback Dimensions Required by Zoning Regulations	Proposed Setback Dimensions	Total Variance Requested
Right Setback				
Left Setback				
Rear Setback				
Other:				

FENCES AND WALLS (NOT RETAINING)		
Proposed Height:	Proposed Setback:	Location of Fence:
Description of Fence (dimensions, materials, etc.): _____		
_____		

PARKING		STRUCTURE HEIGHT	
Required Parking Ratio		Existing Height	
Total Spaces Required		Maximum Height Permitted	
Total Spaces Provided		Proposed Height	
Total Variance Requested		Total Variance Requested	



**SIGNS**

**Please provide the following information regarding the proposed sign(s):**

Sign Type: \_\_\_\_\_ Sign District: \_\_\_\_\_

	Existing	Permitted by Zoning Regulations	Proposed	Variance Requested
Number of Signs				
Max Area				
Max Height				
Max Copy Height				
Setback				

**TREE PROTECTION AND LANDSCAPING**

	Existing	Required by Zoning Regulations	Proposed	Variance Requested
<b>Perimeter Vehicular Access Landscaping</b>				
Width				
Number of Trees or Shrubs				
<b>Interior Landscape Islands</b>				
<b>Foundation Landscaping</b>				
Linear Feet				
Area				
Number of Shrubs				
<b>Other</b>				



**City of Homewood Board of Zoning Adjustments Applications**

***General Information for Applicant***

The Homewood Board of Adjustment was established pursuant to section 11-52-80, Code of Alabama 1975 and shall have all powers and duties delegated to boards of adjustment by said code, which generally are:

- 1) *Appeal a decision of the administrative official:* To hear and decide appeals where it is alleged there is error in any order, requirement, decision, or determination made by an administrative official in the enforcement of this ordinance.
- 2) *Special Exception to allow a Home Occupation or other use requiring BZA approval:* To hear and decide special exceptions to the terms of this ordinance upon which the board is required to pass under this ordinance.
- 3) *To authorize upon appeal in specific cases such variance from the terms of the zoning ordinance* as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the provisions of this ordinance will result in unnecessary hardship, and so that the spirit of this ordinance shall be observed and substantial justice done.

The following pages include necessary information and requirements for applications to the Board of Zoning Adjustments. Please review closely and provide initials and/or signatures to indicate your understanding of the information.

***The Purpose of a Variance***

A variance is an allowance, which permits minor deviation from the zoning ordinance district requirements where individual properties are both harshly and uniquely burdened by the strict application of the law. The power to vary is restricted and the degree of variation is limited to the minimum change necessary to overcome the inequality inherent in the property. Use Variances are specifically prohibited. "Variance" means the modification of the requirements of a zoning district and does not include the substitution of uses assigned to other districts.

- 1) A variance recognizes that the same district requirements do not affect all properties equally; it was devised to permit minor changes to allow hardship properties to enjoy equal opportunities with properties similarly zoned. The applicant must prove that special circumstances or unusual conditions affect the subject property. These must result in uncommon hardship and unequal treatment under the strict application of the Zoning Ordinance. Where some general hardship conditions extend to other properties, a variance cannot be granted. The remedy for general hardship is a change of the map or the text of the Zoning Ordinance.
- 2) The applicant must prove that the combination of the Zoning Ordinance and the uncommon conditions of your property prevent them from making any reasonable use of the land as permitted by the present zoning district. Since zoning regulates land and not people, the following conditions **cannot** be considered pertinent to the application for a variance:
  - a. Proof that a variance would increase the financial return from the land
  - b. personal hardship
  - c. self-imposed hardship

In the case of a self-imposed hardship, the recognition of conditions created after the enactment of the Zoning Ordinance would encourage and condone violation of the law.

- 3) No variance may be granted which would adversely affect surrounding property or the general neighborhood. All variances must be in harmony with the intent and purposes of the Zoning Ordinance.

\_\_\_\_\_  
**Applicant Signature**

1/3/25  
\_\_\_\_\_  
**Date**



**Hardship Criteria Evaluation Form**

Prior to granting a variance, the Board of Zoning Adjustment must *examine* and *validate* that the following criteria apply to the request. Please examine the following criteria and initial to indicate their applicability to the variance request. (*The following criteria can be found in Article XI. Administration and Review Procedures, Section B. Variances, (3) Conditions*)

- a) There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to other lands or structures in the same district.

Applicable:  97

- b) Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the district in which the property is located.

Applicable:  97

- c) All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other owners of property in the district in which the property is located.

Applicable:  97

- d) The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.

Applicable:  97

- e) The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship)

Applicable:  97

- f) The variance requested is the minimum variance that will make possible the legal use of the land, building or structure.

Applicable:  97

- g) That no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

Applicable:  97

- h) That the variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

Applicable:  97

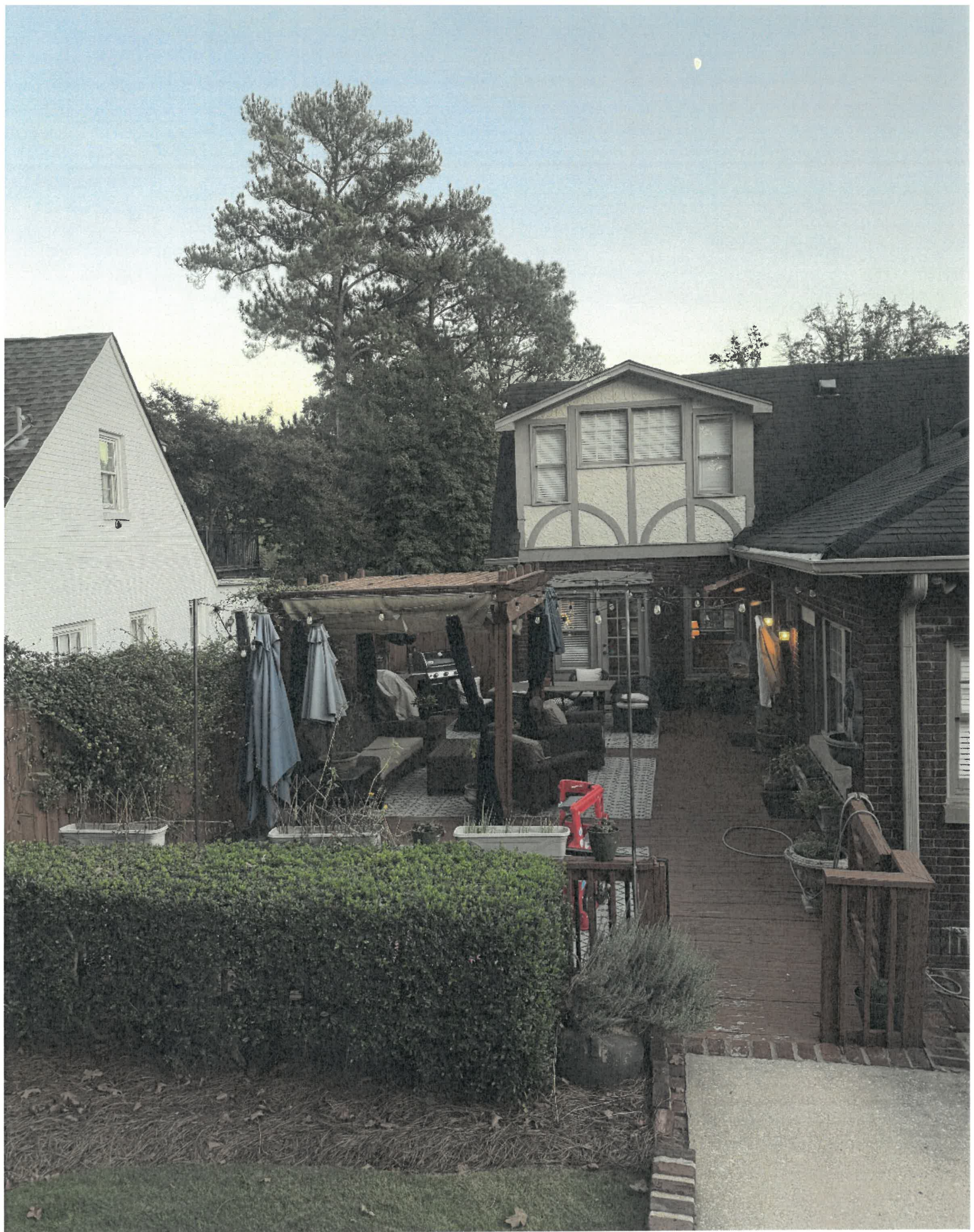
*By signing below, I acknowledge that I have reviewed and evaluated the criteria, and the application and documents submitted for the requested variance will provide evidence of their applicability to the proposed request.*

Signature of Applicant 

Date  1/31/25

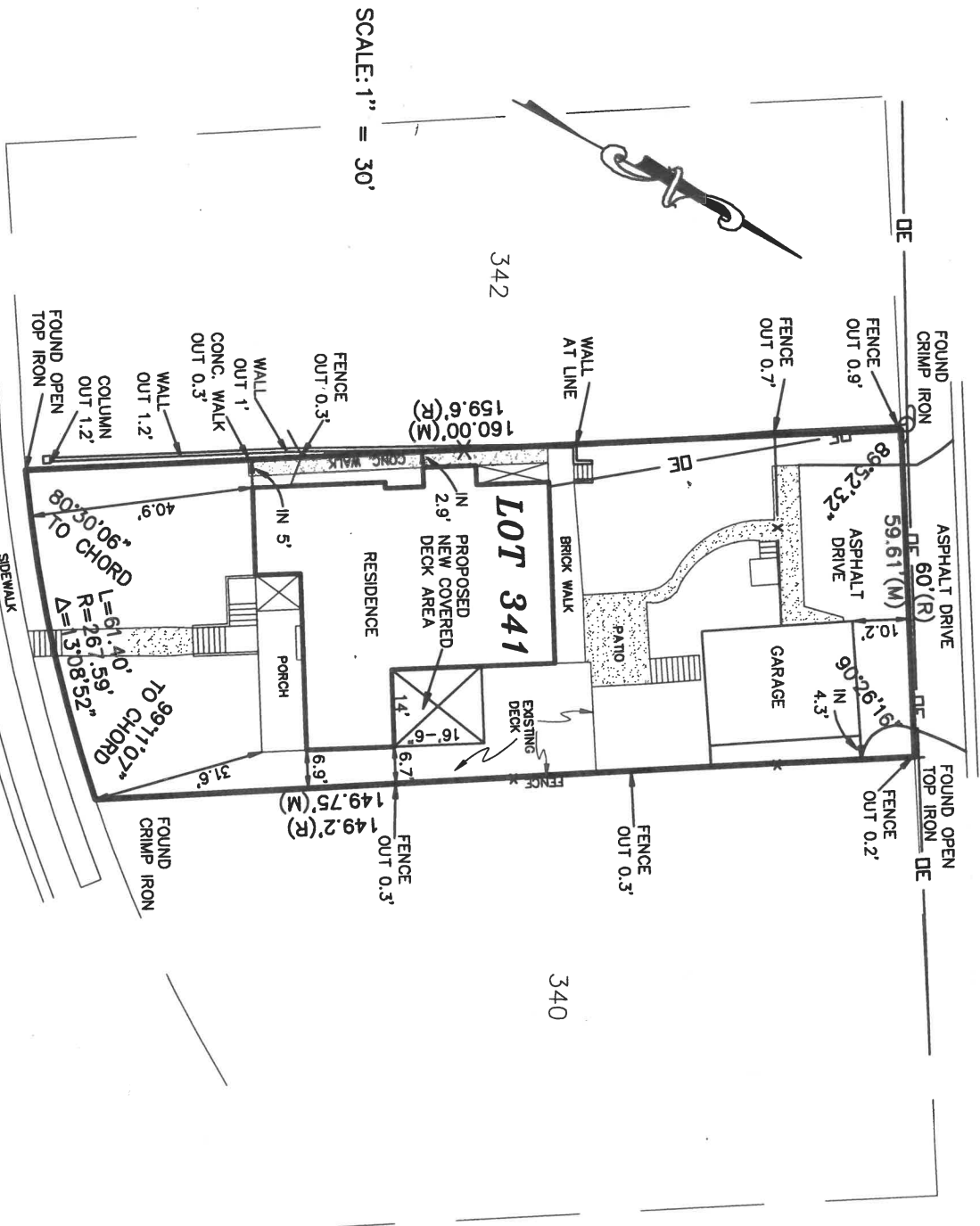
Proposed covered section of deck inline with existing structure as shown in survey. Owners request shaded space to enjoy the outdoors. Their access to the backyard is located on this side of house as shown in elevation drawing.

Proposed covered section of deck inline with existing structure as shown in survey. Owners request shaded space to enjoy the outdoors. Their access to the backyard is located on this side of house as shown in elevation drawing.





HOLLYWOOD BLVD.  
 80' R.O.W.



- UTILITY POLE
- > GUY WIRE
- RETAINING WALL
- CONCRETE
- X- FENCE
- OVERHEAD ELECTRICAL
- IPF IRON PIN FOUND
- IPB IRON PIN SET
- (M) MEASURED
- (R) RECORD MAP

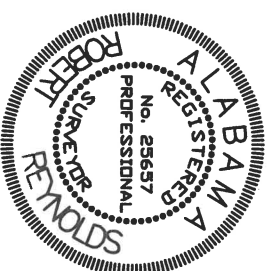
STATE OF ALABAMA  
 JEFFERSON COUNTY

"PROPERTY & DECK PLOT PLAN SURVEY"



NOTE: LOT AREA=9369.1 SQ.FT.  
 EXISTING IMPERVIOUS AREA=4757.6 SQ.FT. OR  
 50% OF LOT AREA.

POST CONSTRUCTION IMPERVIOUS AREA  
 =4988.6 SQ.FT. OR 53% OF LOT AREA.



I, **Robert Reynolds**, a Registered Surveyor, do here by state that this is a true and correct plat or map of Lot 341, Block       , of HOLLYWOOD THIRD SECTOR

Book 17, Page 26 in the Office of the Judge Of Probate in Jefferson County, Alabama. All parts of this survey and drawing have been completed in accordance with the State requirements of the Standards of Practice of Surveying in the State of Alabama to the best of my knowledge, information and belief. The improvements on said premises are as shown. There are no visible encroachments on over or across said lands except as shown. According to my survey this the 1st day of December, 2025, as recorded in Map

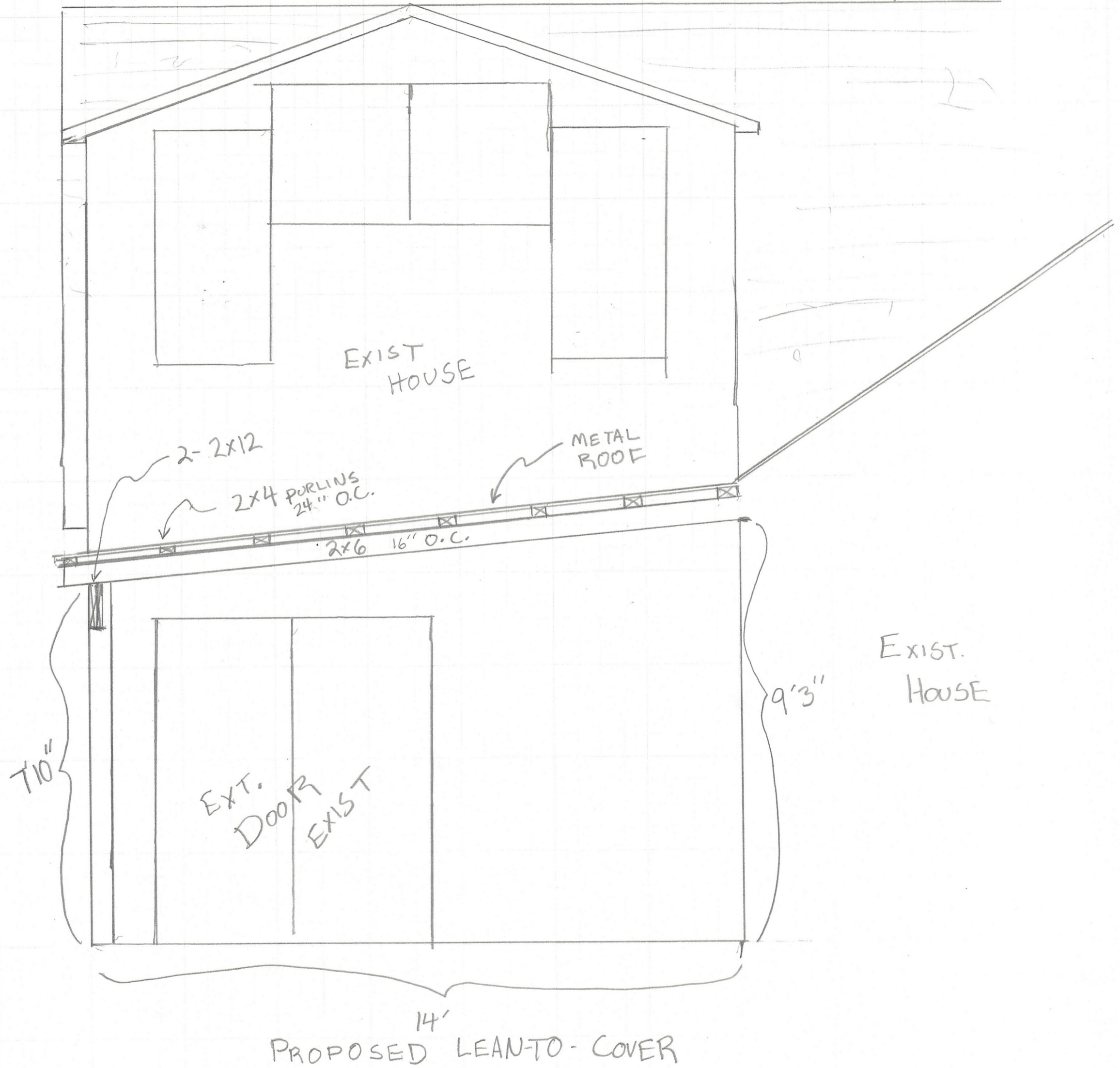
NOTE: This survey is not transferable to any additional institutions or subsequent owners.

Owner: Williamson

Address: 320 La Prado Circle

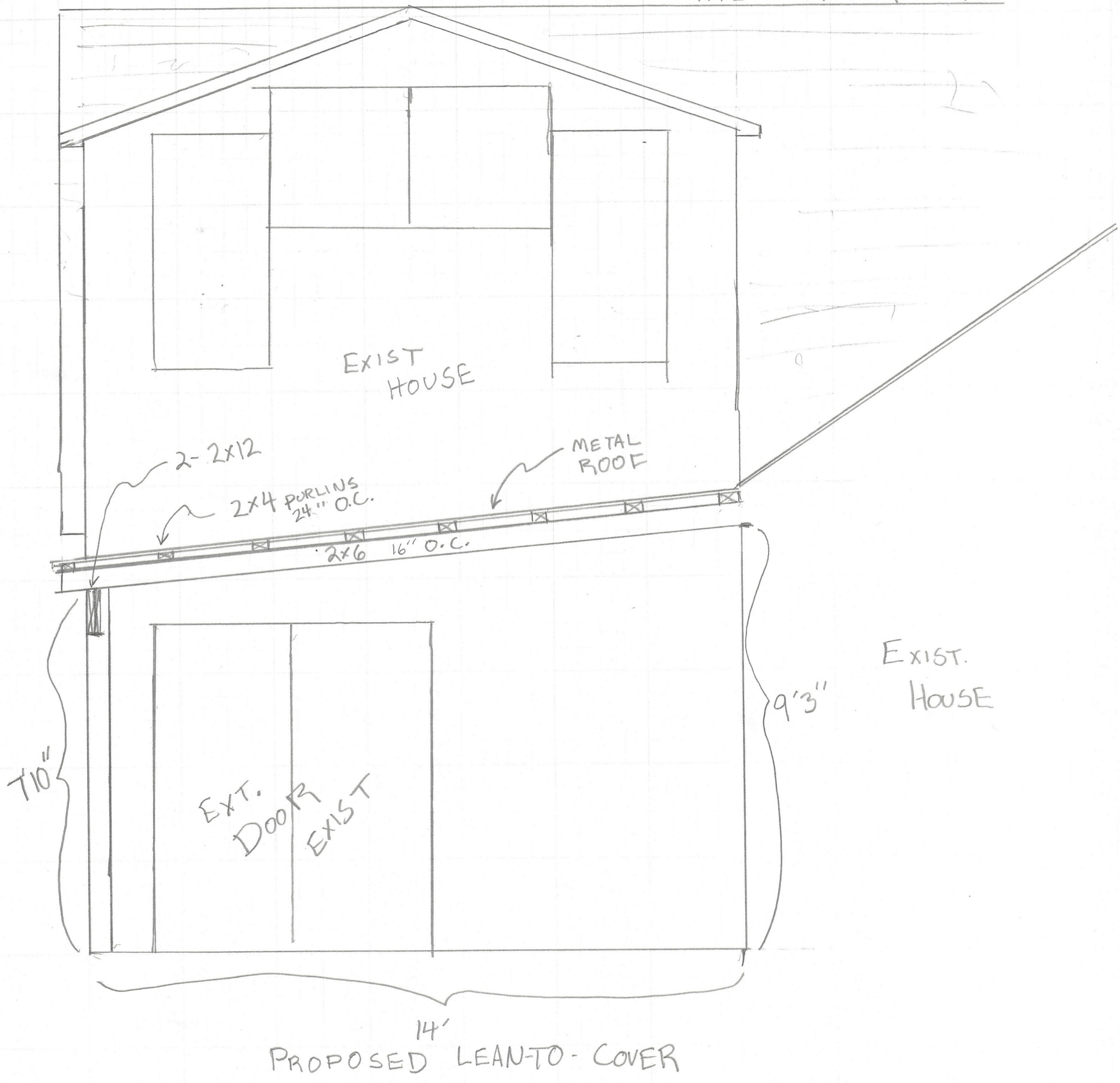
Robert Reynolds  
 Reg. No. 25657 B154/61-62

HOUSE EXIST. REAR ELY.



1/2" = 1' SCALE

HOUSE EXIST. REAR ELY.



**CITY OF HOMEWOOD  
DEPARTMENT OF ENGINEERING & ZONING**

2850 19th Street South - 4<sup>th</sup> Floor  
Homewood, Alabama 35209  
Phone 205-332-6800

**Cale Smith, PE, City Manager**

**Wyatt Pugh, Director**

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January 21, 2026

*Subject Property: 320 La Prado Circle*

Dear Property Owner:

This letter shall serve as a public hearing notice to the parties in interest and to all adjacent property owners. The Homewood Board of Zoning Adjustments has been petitioned to modify the zoning regulations, as they apply to the above referenced property. Please see below for hearing details:

**Hearing Date & Time:** February 5, 2026, at 6:00 PM

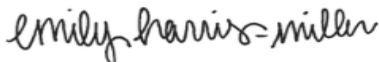
**Hearing Location:** Homewood City Hall Council Chambers, 2850 19<sup>th</sup> Street South

**Applicant:** John Fagan **Property Owner:** Millard Williamson

**Nature of Request:** Side Setback; Impervious Coverage

The applicant or their agent must attend the public hearing to present the request to the Board. Public comments in support or opposition to the petition shall also be heard by the Board at this time. Interested individuals can submit questions or comments to the Department of Engineering and Zoning by contacting Emily Harris-Miller at [emily.harrismiller@homewoodal.org](mailto:emily.harrismiller@homewoodal.org), or (205) 332-6800. Information regarding live stream viewing, electronic submittal of comments, and publication of case documents are provided on the reverse side of this notice.

Best,



Emily Harris-Miller  
*Senior Planning Technician*

cc: Applicant  
Property owner  
Adjacent property owners

**Information and Instructions:** The public hearing will be preceded by a brief work session between Board Members and city staff beginning at 5:30 p.m. in the City Council's Committee Workroom located on the 2<sup>nd</sup> floor behind the Council Chambers.

If you wish to view the live stream for this meeting, the "Live Stream" link is available on the home page the city's website at [www.cityofhomewood.com](http://www.cityofhomewood.com). **Although Board of Zoning Adjustments meetings may be viewed through the live streaming service, individuals wishing to participate in the public hearing, by speaking in support or opposition to a particular case, must attend the meeting in person.**

Comments in support or opposition may also be submitted via email to the Board Secretary at [fred.goodwin@homewoodal.org](mailto:fred.goodwin@homewoodal.org) or [emily.harrismiller@homewoodal.org](mailto:emily.harrismiller@homewoodal.org). Comments should be submitted no later than 24-hours prior to the meeting and will be provided to Board Members for their consideration. Please reference the case number or the address of the subject property in your comments.

A copy of the meeting agenda packet, which includes the file for this case, will be available for viewing and downloading the Friday before the scheduled public hearing. You may access the agenda packet on the home page of the city's website at [www.cityofhomewood.com](http://www.cityofhomewood.com) by clicking on the "Upcoming Meetings/BZA" tab.

For further information or to review any files or drawings pertaining to this application you may contact our office at (205) 332-6800 or visit between 7:30 a.m. and 4:30 p.m. Monday-Friday.




# City of Homewood BZA Case Map

320 La Prado Cir

BZA 26-0017

Aerial Photo Map



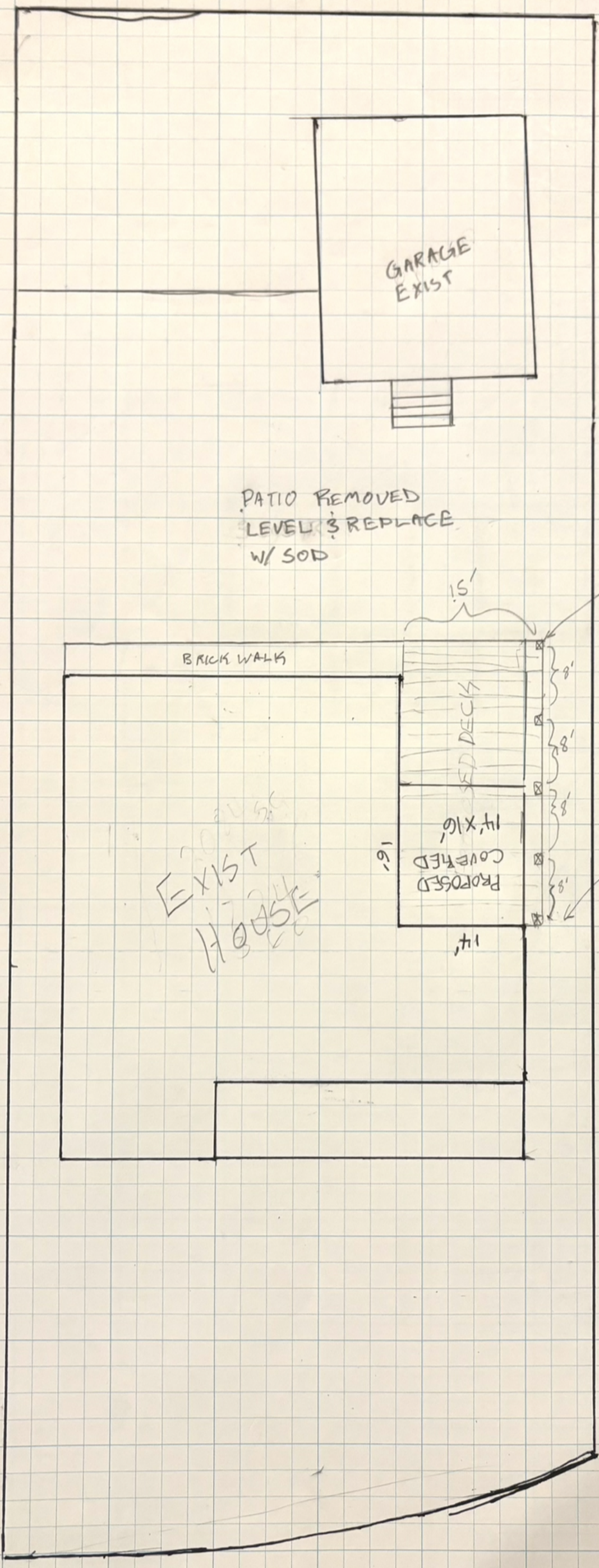
-  Subject Property
-  Roadway
-  Parcels



THE INFORMATION ON THIS DRAWING WAS COMPILED FROM SEVERAL SOURCES AND SHOULD ONLY BE USED FOR GEREAL INFORMATION AND ORIENTATION. THIS DRAWING IS THE PROPERTY OF THE CITY OF HOMEWOOD AND ITS USE BY ANYONE FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY AUTHORIZED BY THE CITY OF HOMEWOOD IS PROHIBITED.

ZONING IS SUBJECT TO CHANGE. PLEASE CALL ZONING OFFICE TO CONFIRM ZONING. 332-6828

REVISED SITE PLAN  
SUBMITTED BY APPLICANT  
ON 02/26/2026



GARAGE  
EXIST

PATIO REMOVED  
LEVEL & REPLACE  
W/ SOD

BRICK WALK

EXIST  
HOUSE

WOOD DECK

PROPOSED  
COVERED  
14' X 16'

5'6" SETBACK

DECK HT. 3'8"

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**City of Homewood  
Board of Zoning Adjustment  
Rules of Procedure & By-Laws**

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Revised and Distributed by:  
City of Homewood  
Department of Engineering & Zoning  
2850 19<sup>th</sup> Street South, 4<sup>th</sup> Floor  
Homewood, Alabama 35209

Revised: 03-09-1978  
Amended: 01-05-1989  
Retyped: 05-25-1995  
Revised: 03-03-2011  
Revised: 04-02-2015  
Revised: 10-07-2021  
Revised: 02-03-2022

Revised (Draft): 01/26/2026

**Preamble:**

Pursuant to Alabama Code Sec.~~tion~~ 11-52-80, as amended, there has been established a Board of Zoning Adjustment, hereafter referred to as "the Board", establishing procedures for the conduction of meetings and rules for the transaction of business by said Board.

**Section 1: Rules of Procedure**

The Homewood Board of Zoning Adjustment ~~\_(the "Board")~~ shall adopt Rules of Procedure necessary to its governance and the conduct of its affairs, in keeping with the applicable provisions of the Code of Alabama Sec. 11-52-80. Such Rules of Procedure shall be in written form available to persons appearing before the board and to the public.

**Section 2: Membership**

The Board shall consist of seven (7) members, as follows:

A. ~~Five-Four (45)~~ regular members, who shall be appointed by the City Council member representing the Ward in which that member resides, as approved by the City Council.

A.B. ~~One (1) at-large member who shall be appointed and approved by the City Council and can reside in any Ward.~~

B.C. ~~Two (2) supernumeraries who shall be appointed by the City Council and can reside in any Ward.~~

C.D. ~~If a position for a regular member is vacated due to term expiration, resignation, or any other reason, a supernumerary who resides in the same Ward as the position vacated, may request that the City Council consider his/her application in order to fill the vacated position. If a qualifying supernumerary chooses not to apply, or the City Council does not wish to consider his/her application, the normal selection process for regular ~~members, members~~~~ shall be followed.

**Section 3: Qualifications**

All members of the Board shall serve as such without compensation, and the members shall hold no more than one (1) additional municipal office. All Board members shall be bona fide residents and qualified electors of the City of Homewood.

**Section 4: Terms**

The term of each ~~appointed-regular- and at-large~~ member shall be three (3) years. ~~A member and~~ may serve two (2) or more terms but must re-apply for a second or subsequent term by way of resume submitted to the City Clerk's office for ~~presentation to consideration by~~ the City Council ~~for consideration~~. Supernumerary members shall be appointed to serve for three-year terms and shall be eligible for reappointment in the same manner as regular members.

Any Board member can be removed by the City Council for inefficiency, neglect of duty or malfeasance in office.

Attendance at all scheduled meetings of the Board shall be deemed mandatory. Failure to attend six (6) meetings in any one (1) calendar year may result in removal.

**Section 5: Meetings**

The Board shall hold regular meetings on the 1<sup>st</sup> Thursday of each month at 6:00 P.M., in the Council Chamber of City Hall, or at some other agreed upon and advertised location and/or by electronic communication, such as *Zoom*, should Council Chambers be unavailable or other conditions exist making the Council Chambers ill-advised. The first meeting held of each calendar year in January shall constitute the annual organizational meeting of the Board.

Special meetings ~~ss~~ may be called by the Chairperson; ~~or shall be held~~ at such other times as the Board may ~~determined~~ determine, or upon a written request of two (2) members ~~of the Board~~.

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The Chairperson shall notify Board members, including supernumeraries, at least forty-eight (48) hours prior to any special meeting.

It shall be within the authority of the Chairperson to dispense with the regular meeting when there are no appeals or applications pending, and no other important business matters to be considered. The Chairperson shall notify Board members and supernumeraries of said cancellation at least forty-eight (48) hours prior to the regular meeting date.

Regular meetings may also be canceled or continued by the Mayor or City Council due to inclement weather or other conditions which make it hazardous for the meeting to be held. In such ~~event~~an event the Board shall continue the regular meeting to the Thursday of the following week, or as soon as practicable.

**Section 6: Quorum**

There shall be no transaction conducted by the Board unless there shall be at least four (4) members, or supernumeraries, present. This shall not apply to committees of the Board.

**Section 7: Officers**

The Board, at their annual organizational meeting, shall elect a Chairperson and a Vice-Chairperson. These officers will serve for the ensuing year.

The Secretary of the Board as designated by the Board shall keep, or cause to be kept, all minutes, proceedings and records, shall receive and conduct all correspondence on behalf of the Board, and shall give and publish all notices required. Requisitions against appropriate items shall be signed by the Secretary of the Board, or in his/her absence by the Chairperson.

**Section 8: Supernumerary Members (Amended 03-09-78)**

Supernumerary members of the Board will attend all regular and specially called meetings and sit with the Board in all hearings before the Board. They will have full rights to raise questions relative to the cases being heard. However, voting rights of supernumerary members will occur only when called upon to fill in for an absent Board member. The Chairperson will call on the supernumeraries to serve on an alternating case basis when both are present.

**Section 9: Duties of the Chairperson**

The Chairperson shall preside over all meetings of the Board. In the absence of the Chairperson, the Vice-Chairperson shall preside over the meeting. The presiding officer shall preserve order and decorum; state every question before the Board; announce the decision of the Board on all subjects and decide all questions of order. However, any member of the Board may appeal any ruling of the presiding officer, in which event, a majority vote of the Board shall govern and conclusively determine the ruling from which an appeal has been taken. The presiding officer may vote on all questions.

**Section 10: Order of Business**

All meetings of the Board shall be open to the public, in accordance with the Alabama Open Meetings Act. The business of the Board shall be taken up for consideration and disposition, in the following order, unless order be suspended by unanimous decision of the Board.

1. Roll Call
2. Approval of the Minutes of the Previous Meeting
3. Communications from the Chairperson, or Vice-Chairperson
4. Reports from Committees
5. Unfinished Business
6. New Business
7. Presentations or other communications to the Board
8. Adjournment

**Section 11: Motions**

- A. No motion shall be debated or put to a vote unless seconded; the movant shall be entitled to speak first on the motion.
- B. Motions shall be reduced to writing by the movant, when required to do so by the presiding officer or by any member of the board.
- C. When a question is under debate, the following motions shall be in order and shall have precedence over each other in the order stated:

1. To adjourn to a day certain
2. To adjourn
3. To take a recess
4. To lay on the table
5. To consider the previous question
6. To refer to a committee
7. To amend

**Section 12: Rules of Debate**

- A. The presiding officer may move, second and debate from the chair, and shall not be deprived of any of the rights and privileges of a member by reason of his acting as the presiding officer.
- B. A member, once recognized, shall not be interrupted when speaking except on a point of order. If a point of order is raised while a member is speaking, said member shall cease speaking until the question of order is determined. If the point of order is determined in favor of the member, the member shall be permitted to continue. If the point of order is determined not in favor of the member, the member shall not continue speaking on that subject.
- C. On any rule of order not specifically covered in the rules of the Board, the final decision thereof shall be governed by Robert's Rules of Order, Revised.

**Section 13: Fees**

The Board has the authority and power to set its own application fees. The application fees for variances, special exceptions, and appeals shall accompany each application before the application is considered for a hearing.

These fees shall be reviewed as needed by the Board on motion of any member of the Board, seconded by another member, and will be used only to defray costs of processing applications, not as a profit revenue source.

**Section 14: Committees**

The presiding officer shall appoint such special committees as the Board deems necessary in order to expedite and further the purposes for which the Board was established and created. All special committees shall be composed of at least three (3) members, (including supernumeraries) of the Board. In cases where additional expertise is required, upon a motion, duly seconded, and approved by majority vote, the City Attorney, City Engineer, Chief Building Official, Fire Marshal or any others deemed necessary may be included as consultants to the committee, but they have no vote.

**Section 15: Oaths**

The presiding officer may administer oaths and compel attendance of witnesses.

**Section 16: Hearings**

A. All hearings shall be open to the public. All owners of properties adjacent to, or adjoining, or of any parcel of property involved in an application for a variance or exception or appeal, shall be notified by United States First Class Mail, not less than ~~five-fifteen~~ (15) days prior to the hearing. This notice shall be in the standard form designated by the Board and shall include the time and place of the hearing, the locations of the building or lot, and the general nature of the question involved.

A sign advertising the hearing date, time and place is to be posted on the property within ten (10) days prior to the meeting.

**B. Conduct of Hearings**

1. Appearances: Any person may appear in person, or by agent or attorney, at the hearing.
2. Order of Business
  - a. Statement of Case by presiding Officer.
  - b. Ascertainment that all procedural requirements have been met or complied with by the applicant.

- c. The Zoning Official, or his/her designated representative, to present facts of the case being heard.
- d. Hearing of evidence and examination of witnesses.

### 3. Hearing and Decisions

The first hearing shall be a complete fact-finding public hearing, all interested parties must present their case in full at that time. If there are any diagrams, documents or legal briefs to be presented, eight (8) copies must be provided to the five (5) regular Board members, the two (2) supernumerary Board members and one for the case file.

*(As Amended 01-05-89)* The agenda, along with information pertinent to each scheduled public hearing case and other business matters, shall be delivered to each member of the Board no less than seven (7) days prior to the meeting, allowing sufficient opportunity for the member to visit sites and review case files.

All public hearing cases shall be acted upon by the Board at the first scheduled public hearing, unless the Board finds that continuance of the hearing would require additional information or study on some aspects of the case.

### 4. Rehearing

Where a substantial change in facts, evidence or conditions has been determined to exist in a case previously heard, the Board may accept a request for a rehearing on the initial proposal.

An application for the decision to rehear a case based on such conditions shall be made upon a motion unanimously approved by the vote of all members present; said rehearing to be scheduled in accordance with the Board's established procedures. Any matter not previously reheard by the Board may be heard again on a motion adopted by unanimous vote of all members. Any matter previously reheard by the Board may not be heard again for a period of not less than twelve (12) months.

**Section 17: *Ground for Hearings before the Board***

The Board can act on the following questions:

1. Interpretation of an ordinance
2. Special exception to the ordinance, specifically mentioned in the ordinance, or of a nature similar to those in the ordinance.
3. Variances
4. Interpret the boundaries of the Flood Hazard District, on an appeal from the decision of the Zoning Official.

**Section 18: *Persons who may appeal or make application***

Appeals to the Board may be taken by any person aggrieved by a decision of the Zoning Official, or by an officer, department, board or bureau of the City of Homewood affected by the decision of the Zoning Official. Applications for appeal may be made by any person in interest.

**Section 19: *Manner of filing appeals or making application***

An appeal of a decision of the Zoning Official must be made within thirty (30) days after the date of decision of the Zoning Official. An application for a variance or a special exception may be made at any time.

**Section 20: Application submittal for placement on agenda**

Applications may be placed on the agenda for the Board's consideration up until the application submittal deadline, but no less than ~~fifteen-thirty~~ (1530) days before the next regularly scheduled meeting. Any application submitted after ~~that~~ the application submittal deadline shall be placed on the next regularly scheduled monthly meeting one month hence.

**Section 21: Filing of appeal or application**

Notices of appeal and applications for special exceptions or variances, or requests for interpretation of ordinances or Flood Hazard District Boundaries, shall be made on forms furnished for that purpose and shall be signed by the appellant or applicant. Applications to affect private property shall be signed by the property owner. Any application deemed to be incomplete by the Zoning Official shall be placed on the next regularly scheduled monthly meeting one month hence.

**Section 22: Determinations**

The Board shall make a decision on any appeal, or application for a special exception, variance, interpretation of ordinance, or interpretation of boundaries of Flood Hazard District within thirty (30) days after any hearing, or continuation thereof. In passing upon an appeal, the Board may reverse, or affirm, wholly or in part, or modify the order, requirement, decision, or determination appeal from the applicant. The decision shall be in writing and shall set forth the findings of fact and rationale of the Board.

In granting special exceptions or variances, the Board may attach appropriate conditions and safeguards necessary for the compliance with existing ordinance. Violations of such conditions and safeguards shall be deemed violations and punishable under Article 13 or Ordinance No. 1320, dated May 23, 1977. Any conditions or safeguards imposed by the Board must be stated on the permit issued by the Building ~~Inspector~~Official. Such permit shall remain valid only as long as the conditions and safeguards are adhered to by the applicant, or any successor in interest.

The Board of Zoning Adjustment shall under no circumstances grant a Variance to allow a use not permissible under the applicable terms of this Ordinance or other general ordinance of the City of Homewood with respect to the use district concerned, nor shall the Board of Zoning Adjustment hear or decide upon any matters that could be determined by regular zoning procedures before the Planning Commission or any other board of the City of Homewood; nor grant any Variance by reason of the existence of non-conforming uses in the district concerned or in adjoining districts.

**Section 23: Time Limit on Obtaining Permit**

~~Unless otherwise specified by the Board, a special exception or variance authorized by the Board shall expire if the applicant fails to obtain a building permit pursuant thereto within six (6) months from the date of approval by the Board; provided, however, that the applicant may make a written request to the Board by letter to the Secretary of the Board for one (1) extension of six (6) months, which extension will be automatically granted by the Board without hearing or further action, unless a variance is requested or has been granted on property adjacent to or adjoining the applicant's property during the time after the expiration of the first six (6) month period but before a written request for an extension is made by the applicant. In such case, the applicant must resubmit the request for variance to the Board.~~

~~If the variance obtained is for a new subdivision, the 6-month time limitation will not apply. Rather the time for which the permit must be pulled shall be such time as requested by the applicant, but in no event shall such time be for more than three (3) years.~~

~~Variance granted by the Board of Zoning Adjustment shall lapse and be of no effect if, after the expiration of one (1) year from the date of such action by the Board of Zoning Adjustment, no construction pursuant to such Variance has taken place, provided that the Board of Zoning Adjustment may, for good cause shown, specify a longer period of time in conjunction with its action to grant the Variance.~~

The applicant shall be made aware of the time limitations set forth in this section during the variance hearing after approval is given by the Board from either the Chairperson or Vice Chairperson.

**Section 24. Restraining Orders**

An appeal to the Board stays all proceedings in the furtherance of the action appealed from, unless the officer from whom the appeal is taken certifies to the Board, after the notice of appeal shall have been filed with him, that, by reason of facts stated in the certificate, a stay would, in his opinion, cause imminent peril to life and property. Such proceedings shall not be stayed otherwise than by a restraining order which may be granted by the Board.

**Section 25: General Rules**

*A. Amendment or Revocation*

These rules of the Board may be amended, altered, repealed or revoked at any regular meeting by the affirmative vote of not less than four (4) members of the Board. Prior notice of intention to amend, alter, repeal or revoke the rules must be given by the Chairperson to all members prior to the meeting at which same is to be considered. These rules shall be filed in the office of the Board and shall be public record.

*B. Voting*

On any motion to approve or deny any appeal or application for special exceptions, variances, interpretation of ordinances or Flood Hazard District Boundaries, the concurring vote of four (4) members shall be necessary for the motion to carry.

No member, or supernumerary, shall sit in hearing or vote in passing upon any case in which he/she shall be personally interested financially or otherwise. A member, or supernumerary, who was not present at the hearing of the case shall not vote on such case, and an absent member shall not record his/her vote in any case.

*C. Disqualification of Members*

If any member of the Board shall find that his/her private or personal interests are involved in the matter coming before the Board, he/she shall disqualify himself from all participation in that case; or he/she may be disqualified by the votes of four (4) members of the Board, not including the member about whom the question of disqualification has been raised. No member of the Board shall appear before the Board of Zoning Adjustment, Planning Commission or City Council serving as agent or attorney for any person or applicant.

*D. Records and Decision Public*

Every decision and all minutes, proceeding, and others of the Board shall be filed by the Secretary for the Board and shall be public records.

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City of Homewood  
Department of Engineering & Zoning  
2850 19<sup>th</sup> Street South, Homewood, AL 35209  
cityofhomewood.com

# Planning and Zoning General Application

(Page 1 of 2 - see page 2 for submittal requirements)

Property Address: 504 HAMPTON DRIVE

Parcel ID: \_\_\_\_\_ Current Zoning: MP6

Acreage: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

Applicant: ELTON DOUTHIT Property Interest of Applicant: builder

E-mail: \_\_\_\_\_ Applicant Phone #: \_\_\_\_\_

Mailing Address: 617 MARSH LANE, HOOVER AL 35226

City State Zip

Property Owner: Judson R & Brittany Spooner

E-mail: \_\_\_\_\_

Mailing Address: 504 Hampton Drive

City State Zip

### Request (check all applicable items):

- Variance Request
- Rezoning
- Development Plan
- Other BZA Request: \_\_\_\_\_
- Zoning Text Amendment
- Final
- Resurvey
- Amended

### Signatures of Property Owner and Applicant:

I, Brittany Spooner (Print Property Owner) am the property owner of the subject property and have read and understood all statements including the filing requirements. I hereby affirm that this application may be denied, modified, or approved with modifications and/or contingencies and that such modifications and/or contingencies must be complied with prior to issuance of building permits.

I authorize Elton Douthit (Print Applicant) to act as representative in all matters concerning this application.

Signed by: Brittany Spooner  
4A208EB658584F7...

1/20/2026

[Signature]  
1/20/26

Signature of Property Owner

Date

Signature of Applicant

Date

### For office use only:

- Completed Application form with signatures
- Project Narrative
- 2 Hard Copies of Site Plan, Site Photographs, Survey, Mylar, etc.
- Digital Copies of Site Plans, Site Photographs, Survey, Mylar etc.
- Application Fee
- Other Required Documents: \_\_\_\_\_

Current Zoning District: \_\_\_\_\_

Proposed Zoning District: \_\_\_\_\_

Special Flood Hazard Area (Y/N): \_\_\_\_\_

Date Received in Office: \_\_\_\_\_

Time Received: \_\_\_\_\_

Received By: \_\_\_\_\_

Case Number(s): \_\_\_\_\_



City of Homewood  
Department of Engineering & Zoning  
2850 19<sup>th</sup> Street South, Homewood, AL 35209  
cityofhomewood.com

# Planning and Zoning General Application

(Page 2 of 2)

**All General Applications shall include the following at the time of submittal:**

- One copy of the completed application form, with the original signature of the property owner or his/her authorized agent.
- Application fee
- Project narrative including the following as appropriate: proposed use, detailed project description, reason for request, conditions that the applicant will be willing to proffer.
- Current Property Boundary Survey
- Hard copy and pdf copy of all site plans and building elevations. *(Plans and associated documents that are too large to email can be provided on a flash drive.)*
- Restrictive Covenants *(if applicable)*
- Photographs of the site and all existing buildings and structures.
- Proof of Ownership *(if property has been purchased within the last 12 months)*
- Any variances previously granted by the Board of Zoning Adjustments

***The following additional items will be required based on the nature of the application request and must also be submitted at the time of initial application submittal:***

**Variance Application Requirements**

- Completed Variance Request Chart
- Hardship Statement signed by Property Owner and Applicant
- Hardship Criteria Evaluation Form (initialed and signed)

**Final and Amended Development Plan Requirements**

- 2 full sized copies, 2 11X17 copies, and a digital copy of the proposed development plan
- Complete legal description
- Other additional information as listed in Article VII. Required Development Plan

**Resurvey Application Requirements**

- 2 full sized copies of the resurvey drawing
- 1 full size mylar copy of the resurvey drawing
- Digital copy of the resurvey drawing
- Complete legal description

**Rezoning Application Requirements**

- Complete legal description
- Current Zoning District \_\_\_\_\_
- Proposed Zoning District \_\_\_\_\_
- Conditions that the applicant will be willing to proffer. *(If applicable, please include in the detailed project narrative)*

*By signing below, I acknowledge that all required documents are included in the application package. Additionally, I understand that all applications must be complete by the final application deadline in order to be processed by staff and considered by the Board of Zoning Adjustments or Planning Commission.*

\_\_\_\_\_  
Signature of Applicant

01/20/2020  
\_\_\_\_\_  
Date



City of Homewood  
Department of Engineering & Zoning  
2850 19<sup>th</sup> Street South, Homewood, AL 35209  
cityofhomewood.com

**City of Homewood Board of Zoning Adjustments Applications**

***General Information for Applicant***

The Homewood Board of Adjustment was established pursuant to section 11-52-80, Code of Alabama 1975 and shall have all powers and duties delegated to boards of adjustment by said code, which generally are:

- 1) *Appeal a decision of the administrative official:* To hear and decide appeals where it is alleged there is error in any order, requirement, decision, or determination made by an administrative official in the enforcement of this ordinance.
- 2) *Special Exception to allow a Home Occupation or other use requiring BZA approval:* To hear and decide special exceptions to the terms of this ordinance upon which the board is required to pass under this ordinance.
- 3) *To authorize upon appeal in specific cases such variance from the terms of the zoning ordinance* as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the provisions of this ordinance will result in unnecessary hardship, and so that the spirit of this ordinance shall be observed and substantial justice done.

The following pages include necessary information and requirements for applications to the Board of Zoning Adjustments. Please review closely and provide initials and/or signatures to indicate your understanding of the information.

***The Purpose of a Variance***

A variance is an allowance, which permits minor deviation from the zoning ordinance district requirements where individual properties are both harshly and uniquely burdened by the strict application of the law. The power to vary is restricted and the degree of variation is limited to the minimum change necessary to overcome the inequality inherent in the property. Use Variances are specifically prohibited. "Variance" means the modification of the requirements of a zoning district and does not include the substitution of uses assigned to other districts.

- 1) A variance recognizes that the same district requirements do not affect all properties equally; it was devised to permit minor changes to allow hardship properties to enjoy equal opportunities with properties similarly zoned. The applicant must prove that special circumstances or unusual conditions affect the subject property. These must result in uncommon hardship and unequal treatment under the strict application of the Zoning Ordinance. Where some general hardship conditions extend to other properties, a variance cannot be granted. The remedy for general hardship is a change of the map or the text of the Zoning Ordinance.
- 2) The applicant must prove that the combination of the Zoning Ordinance and the uncommon conditions of your property prevent them from making any reasonable use of the land as permitted by the present zoning district. Since zoning regulates land and not people, the following conditions **cannot** be considered pertinent to the application for a variance:
  - a. Proof that a variance would increase the financial return from the land
  - b. personal hardship
  - c. self-imposed hardship

In the case of a self-imposed hardship, the recognition of conditions created after the enactment of the Zoning Ordinance would encourage and condone violation of the law.

- 3) No variance may be granted which would adversely affect surrounding property or the general neighborhood. All variances must be in harmony with the intent and purposes of the Zoning Ordinance.

\_\_\_\_\_  
Applicant Signature

01/20/2026  
\_\_\_\_\_  
Date



### Variance Request Charts

Please complete only the charts relevant to the proposed variance request project. The information in these charts should reflect the information on the proposed site plans.

PRIMARY STRUCTURE SETBACKS				
	Existing Setback Dimensions	Setback Dimensions Required by Zoning Regulations	Proposed Setback Dimensions	Total Variance Requested
Front Setback	24.9'			—
Secondary Front Setback	—	—		
Right Setback	10.7'	10'.0	8.0'	2.0'
Left Setback	11.2'	10.0'		—
Rear Setback	54.0 +/-'	20.0'		—

ACCESSORY STRUCTURE SETBACKS				
<b>Please provide the following information regarding the proposed accessory structure:</b>				
<b>Proposed Height:</b> _____ <b>Proposed Size (in sq ft):</b> _____				
	Existing Setback Dimensions	Setback Dimensions Required by Zoning Regulations	Proposed Setback Dimensions	Total Variance Requested
Right Setback				
Left Setback				
Rear Setback				
Other:				

FENCES AND WALLS (NOT RETAINING)		
Proposed Height:	Proposed Setback:	Location of Fence:
Description of Fence (dimensions, materials, etc.): _____		
_____		

PARKING		STRUCTURE HEIGHT	
Required Parking Ratio		Existing Height	
Total Spaces Required		Maximum Height Permitted	
Total Spaces Provided		Proposed Height	
Total Variance Requested		Total Variance Requested	



**Hardship Criteria Evaluation Form**

Prior to granting a variance, the Board of Zoning Adjustment must *examine* and *validate* that the following criteria apply to the request. Please examine the following criteria and initial to indicate their applicability to the variance request. (The following criteria can be found in Article XI. Administration and Review Procedures, Section B. Variances, (3) Conditions)

- a) There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to other lands or structures in the same district.

Applicable: aw

- b) Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the district in which the property is located.

Applicable: sc

- c) All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other owners of property in the district in which the property is located.

Applicable: sr

- d) The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.

Applicable: sr

- e) The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship)

Applicable: sr

- f) The variance requested is the minimum variance that will make possible the legal use of the land, building or structure.

Applicable: sr

- g) That no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

Applicable: sr

- h) That the variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

Applicable: sr

By signing below, I acknowledge that I have reviewed and evaluated the criteria, and the application and documents submitted for the requested variance will provide evidence of their applicability to the proposed request.

[Signature]  
Signature of Applicant

01/20/2026  
Date



504 Hampton Drive Hardship statement

The residents of 504 Hampton drive are requesting a variance to frame on top of an existing stoop to accomodate a side entry way/ small mudroom off of their kitchen. The hardships include the facts that the existing house sits skewed on the lot so that the existing stoop impedes on the 10 side setback required and the house had a newly renovated kitchen when the homeowner bought the house. The homeowner would prefer not to tear out the new kitchen to create a mudroom space. Neither of these hardships any fault of the applicant in any way. It also needs to be noted that we are requesting to frame on the existing stoop instead of building new foundations/altering the layout of the stoop to keep within the character of both the house and the neighborhood.

Signed by:  
*Brittany Spooner*  
4A208EB658584F7...

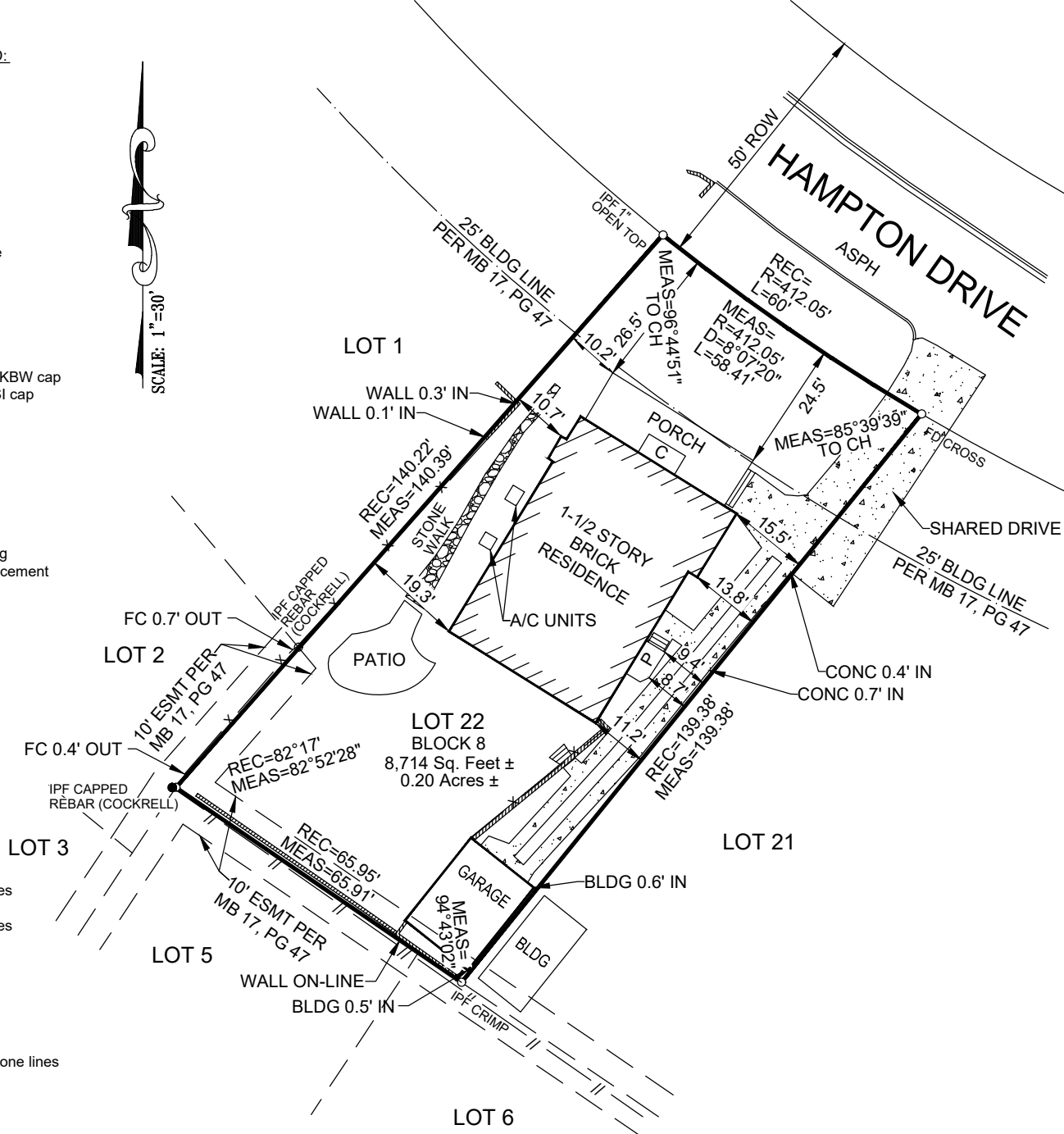
1/20/2026

DocuSigned by:  
*Elton Douthit*  
C9C65F2E800046C...

1/20/2026

**ABBREVIATIONS/LEGEND:**

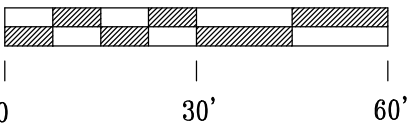
- ASPH = asphalt
- BRG = bearing
- BLDG = building
- CALC = calculated
- CAP = capped iron
- CL = centerline
- CH = chord
- CONC = concrete
- C = covered
- d = deflection
- D = curve delta angle
- E = east
- ESMT = easement
- FC = fence
- FD = found
- HW = headwall
- IPF = iron pin found
- IPF\* = iron pin found w/KBW cap
- IPS = iron pin set w/SSI cap
- L = length
- MEAS = measured
- MIN = minimum
- MH = manhole
- N = north
- OH = overhang
- P = porch
- PC = point of curve
- POB = point of beginning
- POC = point of commencement
- PT = point of tangent
- PVMT = pavement
- R = radius
- REC = recorded
- RES = residence
- ROW = right of way
- S = south
- SAN = sanitary
- STM = storm
- SWR = sewer
- SYN = synthetic
- UTIL = utility
- U = uncovered
- W = west
- YI = yard inlet
- ° = degrees
- ' = minutes, in
- " = bearings or angles seconds, in
- ' = bearings or angles feet, in distance
- AC = acres
- ± = more or less, or plus or minus
- = power pole
- X = fence
- // = power & telephone lines
- ▨ = wall
- ▨▨ = curb & gutter



**STATE OF ALABAMA  
JEFFERSON COUNTY**

I, Jason B. Rogers, a registered Land Surveyor, certify that I have surveyed Lot 22, BLOCK 8, FOURTH ADDITION TO HOLLYWOOD, as recorded in Map Book 17, Page 47 in the Office of the Judge of Probate, Jefferson County, Alabama; that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

GRAPHIC SCALE: 1" = 30'



SURVEYING SOLUTIONS, INC.  
2232 CAHABA VALLEY DRIVE SUITE M  
BIRMINGHAM, AL 35242  
PHONE: 205-991-8965

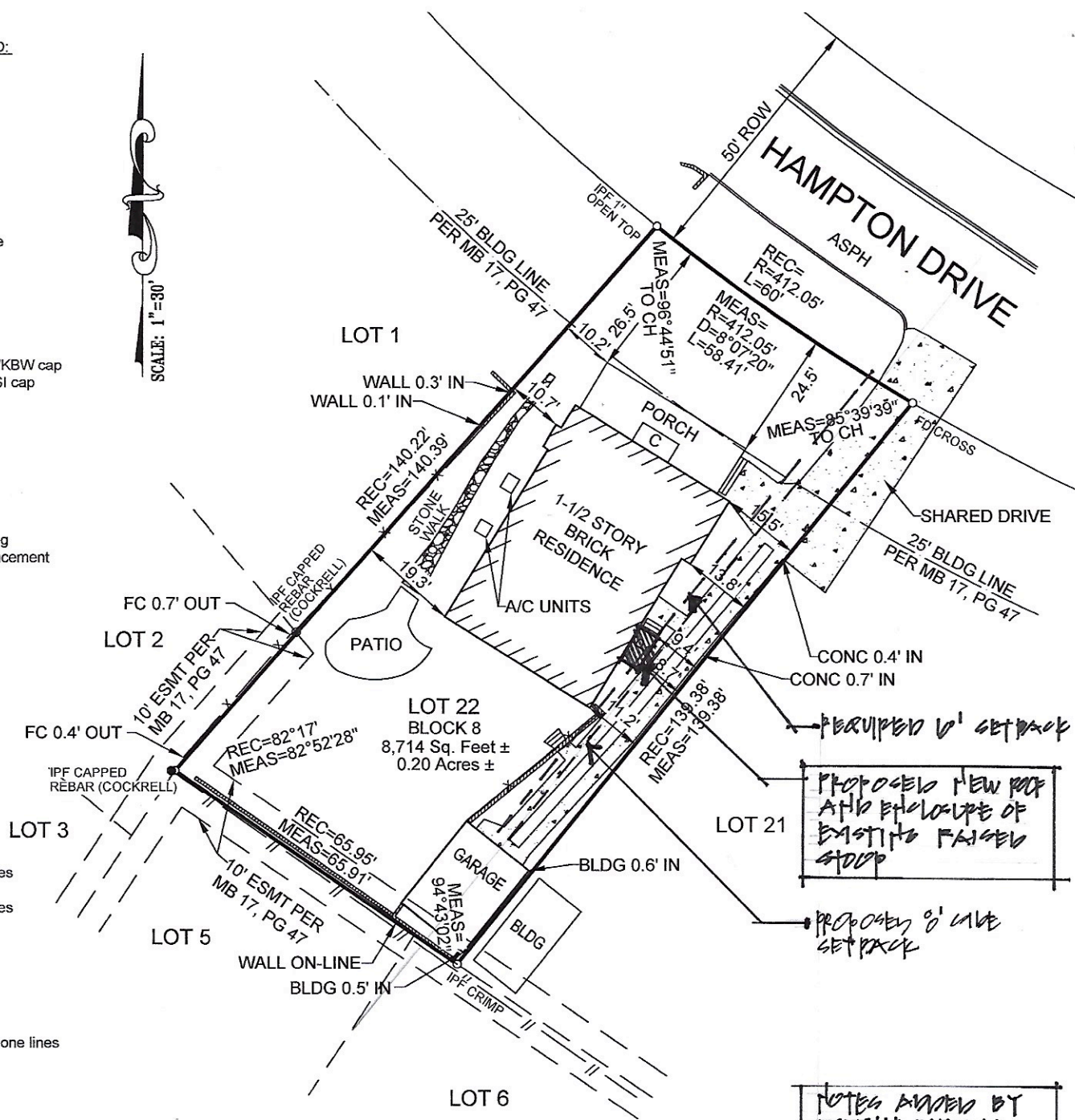


Order No. 872931  
Client: Spooner  
Type of Survey: Property Boundary  
Field Date: 7-31-2025  
North arrow is based on the Easterly line of Lot 22, Blk 8, MB 17, PG 47

*Jason B. Rogers*  
Jason B. Rogers, AL. Reg. L.S. #26626  
8-04-2025  
Date of Signature

**ABBREVIATIONS/LEGEND:**

- ASPH = asphalt
- BRG = bearing
- BLDG = building
- CALC = calculated
- CAP = capped iron
- CL = centerline
- CH = chord
- CONC = concrete
- C = covered
- d = deflection
- D = curve delta angle
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- POC = point of commencement
- PT = point of tangent
- PVMT = pavement
- R = radius
- REC = recorded
- RES = residence
- ROW = right of way
- S = south
- SAN = sanitary
- STM = storm
- SWR = sewer
- SYN = synthetic
- UTIL = utility
- U = uncovered
- W = west
- YI = yard inlet
- ° = degrees
- ' = minutes, in
- " = bearings or angles seconds, in
- ' = bearings or angles feet, in distance
- AC = acres
- ± = more or less, or plus or minus
- = power pole
- X- = fence
- // - = power & telephone lines
- /// - = wall
- ||| - = curb & gutter



PROPOSED NEW PORCH AND ENVELOPE OF EXISTING PAISED STOOD

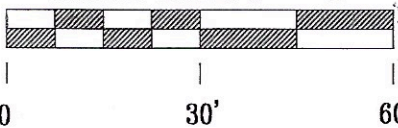
PROPOSED 8' LIVE SETBACK

NOTES ADDED BY DOUTHETT BUILDERS ON 1.15.26

STATE OF ALABAMA  
JEFFERSON COUNTY

I, Jason B. Rogers, a registered Land Surveyor, certify that I have surveyed Lot 22, BLOCK 8, FOURTH ADDITION TO HOLLYWOOD, as recorded in Map Book 17, Page 47 in the Office of the Judge of Probate, Jefferson County, Alabama; that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

GRAPHIC SCALE: 1" = 30'



SURVEYING SOLUTIONS, INC.  
2232 CAHABA VALLEY DRIVE SUITE M  
BIRMINGHAM, AL 35242  
PHONE: 205-991-8965



Order No. 872931  
Client: Spooner  
Type of Survey: Property Boundary  
Field Date: 7-31-2025  
North arrow is based on the Easterly line of Lot 22, Blk 8, MB 17, PG 47

Jason B. Rogers, AL. Reg. L.S. #26626

8-04-2025

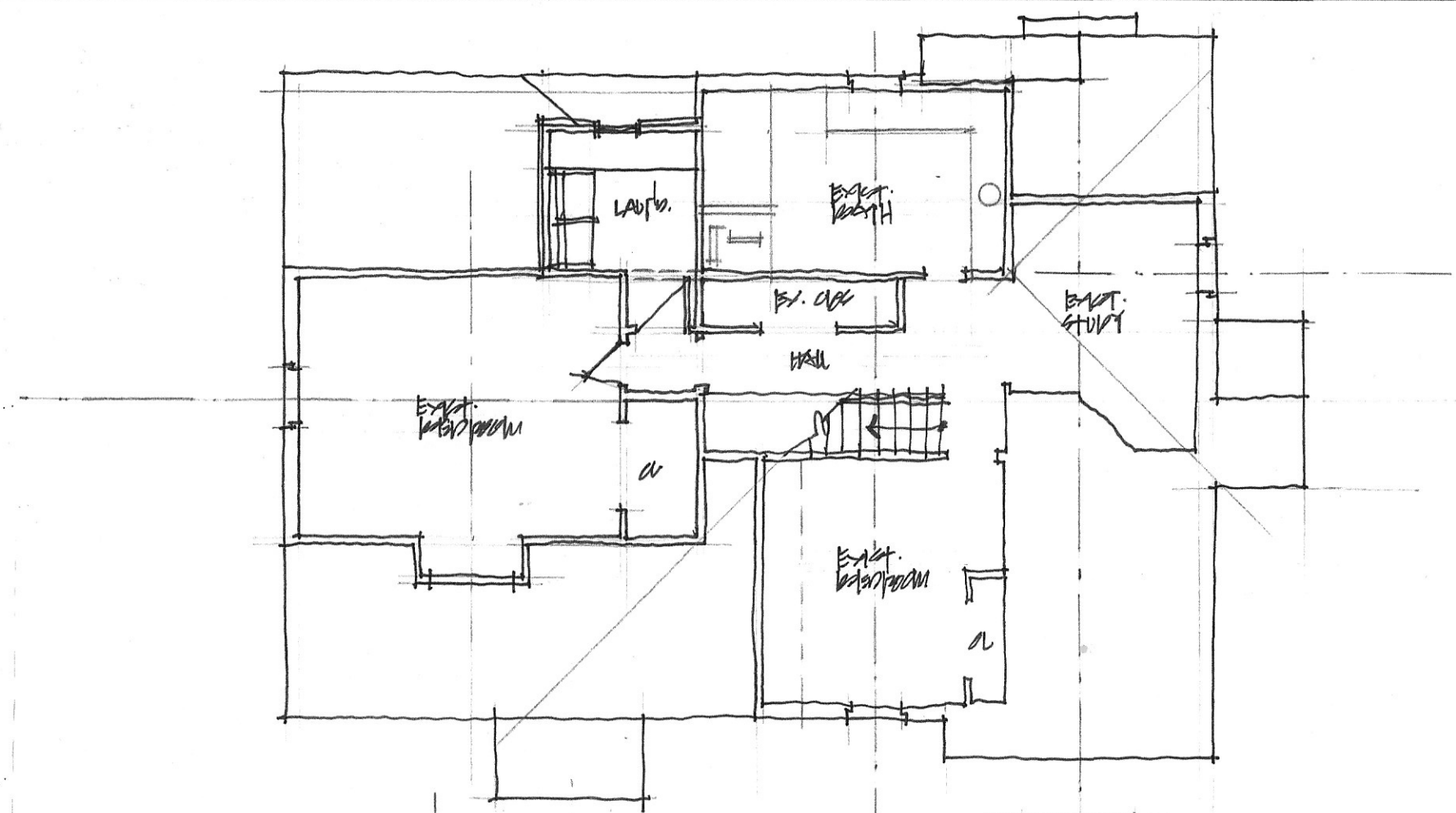
Date of Signature

# Spencer Residence

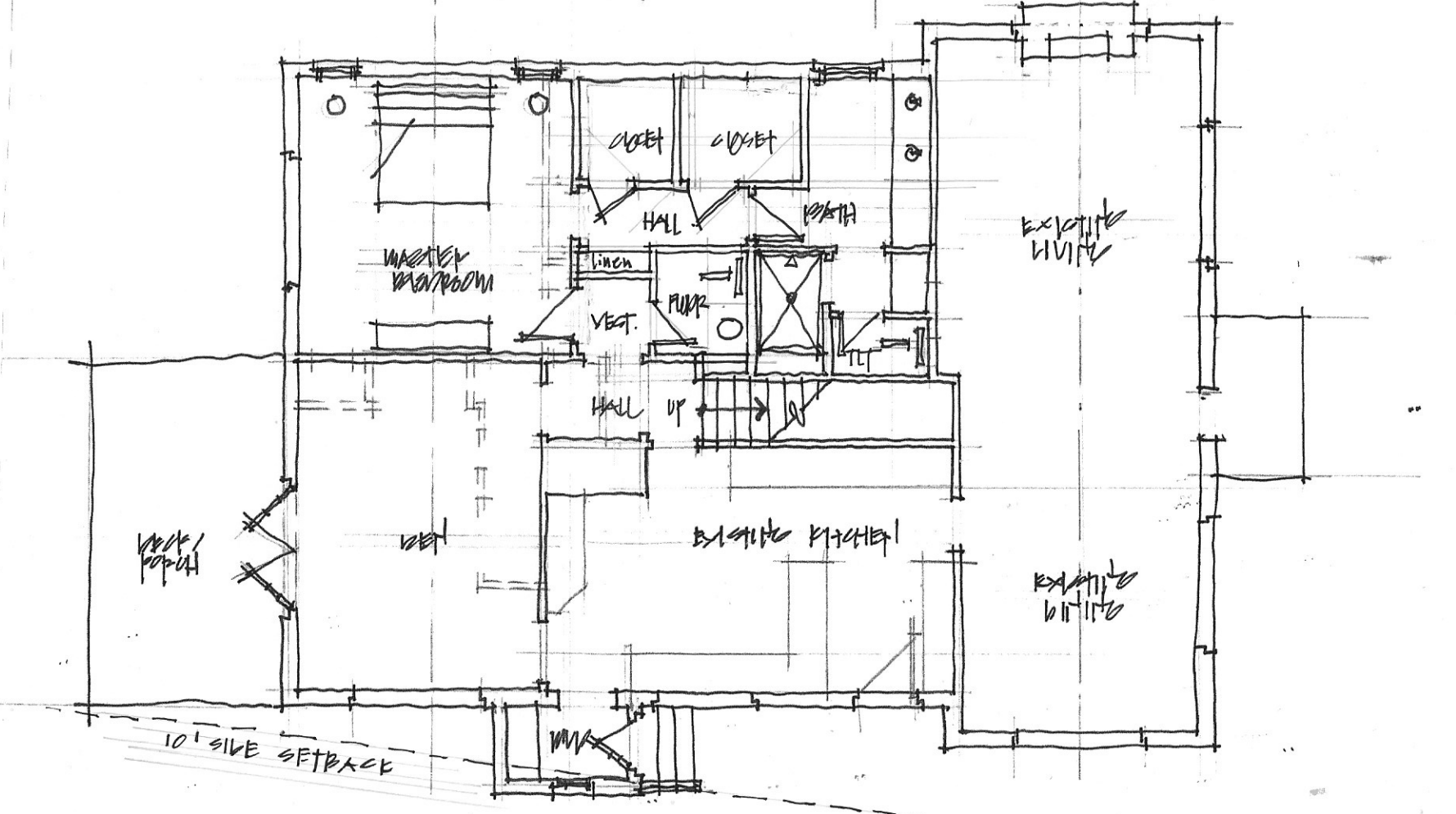
504 Hampton Drive  
Homewood

1/8" = 1'-0"

2



Proposed Upper Level Plan



Proposed Entry Level Plan

**CITY OF HOMEWOOD  
DEPARTMENT OF ENGINEERING & ZONING**

2850 19th Street South - 4<sup>th</sup> Floor  
Homewood, Alabama 35209  
Phone 205-332-6800

**Cale Smith, PE, City Manager**

**Wyatt Pugh, Director**

---

February 18, 2026

*Subject Property: 504 Hampton Drive*

Dear Property Owner:

This letter shall serve as a public hearing notice to the parties in interest and to all adjacent property owners. The Homewood Board of Zoning Adjustments has been petitioned to modify the zoning regulations, as they apply to the above referenced property. Please see below for hearing details:

**Hearing Date & Time:** March 5, 2026, at 6:00 PM

**Hearing Location:** Homewood City Hall Council Chambers, 2850 19<sup>th</sup> Street South

**Applicant:** Elton Douthit **Property Owners:** Britney and Judson Spooner

**Nature of Request:** Side Setback

The applicant or their agent must attend the public hearing to present the request to the Board. Public comments in support or opposition to the petition shall also be heard by the Board at this time. Interested individuals can submit questions or comments to the Department of Engineering and Zoning by contacting Emily Harris-Miller at [emily.harrismiller@homewoodal.org](mailto:emily.harrismiller@homewoodal.org), or (205) 332-6800. Information regarding live stream viewing, electronic submittal of comments, and publication of case documents are provided on the reverse side of this notice.

Best,



Emily Harris-Miller  
*Senior Planning Technician*

cc: Applicant  
Property owner  
Adjacent property owners

**Information and Instructions:** The public hearing will be preceded by a brief work session between Board Members and city staff beginning at 5:30 p.m. in the City Council's Committee Workroom located on the 2<sup>nd</sup> floor behind the Council Chambers.

If you wish to view the live stream for this meeting, the "Live Stream" link is available on the home page the city's website at [www.cityofhomewood.com](http://www.cityofhomewood.com). **Although Board of Zoning Adjustments meetings may be viewed through the live streaming service, individuals wishing to participate in the public hearing, by speaking in support or opposition to a particular case, must attend the meeting in person.**

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A copy of the meeting agenda packet, which includes the file for this case, will be available for viewing and downloading the Friday before the scheduled public hearing. You may access the agenda packet on the home page of the city's website at [www.cityofhomewood.com](http://www.cityofhomewood.com) by clicking on the "Upcoming Meetings/BZA" tab.

For further information or to review any files or drawings pertaining to this application you may contact our office at (205) 332-6800 or visit between 7:30 a.m. and 4:30 p.m. Monday-Friday.




# City of Homewood BZA Case Map

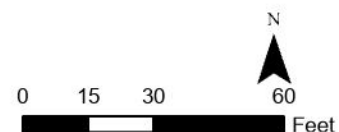
504 Hampton Dr

BZA 26-0016

Aerial Photo Map



-  Subject Property
-  Roadway
-  Parcels



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ZONING IS SUBJECT TO CHANGE. PLEASE CALL ZONING OFFICE TO CONFIRM ZONING. 332-6828



# Planning and Zoning General Application

(Page 1 of 2 – see page 2 for submittal requirements)

**Property Address:** 251 Lakeshore Pkwy

Parcel ID: 29-00-26-2-000-001.001 Current Zoning: PMUD

Acreage: \_\_\_\_\_ Proposed Land Use: Commercial

**Applicant:** Meighan Ellis Property Interest of Applicant: \_\_\_\_\_



Mailing Address: PO Box 128 Gardendale AL 35071

*City State Zip*

**Property Owner:** 5RiversCRE

E-mail: \_\_\_\_\_ Phone #: \_\_\_\_\_

Mailing Address: 945 Heights Blvd Houston TX 77008

*City State Zip*

**Request (check all applicable items):**

- Variance Request
- Other BZA Request: \_\_\_\_\_
- Rezoning
- Zoning Text Amendment
- Resurvey
- Development Plan
- Final
- Amended

**Signatures of Property Owner and Applicant:**

I (LETTER OF AUTHORIZATION ATTACHED) (Print Property Owner) am the property owner of the subject property and have read and understood all statements including the filing requirements. I hereby affirm that this application may be denied, modified, or approved with modifications and/or contingencies and that such modifications and/or contingencies must be complied with prior to issuance of building permits.

I authorize \_\_\_\_\_ (Print Applicant) to act as representative in all matters concerning this application.

<u>(LETTER OF AUTHORIZATION ATTACHED)</u>	<u>Meighan Ellis</u>		<u>02.04.26</u>
Signature of Property Owner	Date	Signature of Applicant	Date

**For office use only:**

- \_ Completed Application form with signatures
  - \_ Project Narrative
  - \_ 2 Hard Copies of Site Plan, Site Photographs, Survey, Mylar, etc.
  - \_ Digital Copies of Site Plans, Site Photographs, Survey, Mylar etc.
  - \_ Application Fee
  - \_ Other Required Documents: \_\_\_\_\_
- Current Zoning District: \_\_\_\_\_  
 Proposed Zoning District: \_\_\_\_\_  
 Special Flood Hazard Area (Y/N): \_\_\_\_\_
- Date Received in Office: \_\_\_\_\_ Time Received: \_\_\_\_\_  
 Received By: \_\_\_\_\_ Case Number(s): \_\_\_\_\_



# Planning and Zoning General Application

(Page 2 of 2)

**All General Applications shall include the following at the time of submittal:**

- One copy of the completed application form, with the original signature of the property owner or his/her authorized agent.
- Application fee
- Project narrative including the following as appropriate: proposed use, detailed project description, reason for request, conditions that the applicant will be willing to proffer
- Current Property Boundary Survey
- Hard copy and pdf copy of all site plans and building elevations. *(Plans and associated documents that are too large to email can be provided on a flash drive.)*
- Restrictive Covenants *(if applicable)*
- Photographs of the site and all existing buildings and structures.
- Proof of Ownership (if property has been purchased within the last 12 months)
- Any variances previously granted by the Board of Zoning Adjustments

***The following additional items will be required based on the nature of the application request and must also be submitted at the time of initial application submittal:***

**Variance Application Requirements**

- Completed Variance Request Chart
- Hardship Statement signed by Property Owner and Applicant
- Hardship Criteria Evaluation Form (initialed and signed)

**Final and Amended Development Plan Requirements**

- 2 full sized copies, 2 11X17 copies, and a digital copy of the proposed development plan
- Complete legal description
- Other additional information as listed in Article VII. Required Development Plan

**Resurvey Application Requirements**

- 2 full sized copies of the resurvey drawing
- 1 full size mylar copy of the resurvey drawing
- Digital copy of the resurvey drawing
- Complete legal description

**Rezoning Application Requirements**

- Complete legal description
- Current Zoning District \_\_\_\_\_
- Proposed Zoning District \_\_\_\_\_
- Conditions that the applicant will be willing to proffer. (If applicable, please include in the detailed project narrative)

*By signing below, I acknowledge that all required documents are included in the application package. Additionally, I understand that all applications must be complete by the final application deadline in order to be processed by staff and considered by the Board of Zoning Adjustments or Planning Commission.*

\_\_\_\_\_

2.4.26  
\_\_\_\_\_  
Date



**Hardship Criteria Evaluation Form**

Prior to granting a variance, the Board of Zoning Adjustment must *examine* and *validate* that the following criteria apply to the request. Please examine the following criteria and initial to indicate their applicability to the variance request. *(The following criteria can be found in Article XI. Administration and Review Procedures, Section B. Variances, (3) Conditions)*

- a) There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to other lands or structures in the same district.

**Applicable:** ME

- b) Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the district in which the property is located.

**Applicable:** ME

- c) All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other owners of property in the district in which the property is located.

**Applicable:** ME

- d) The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.

**Applicable:** ME

- e) The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship)

**Applicable:** ME

- f) The variance requested is the minimum variance that will make possible the legal use of the land, building or structure.

**Applicable:** ME

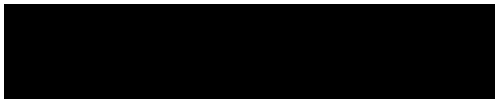
- g) That no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

**Applicable:** ME

- h) That the variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

**Applicable:** ME

*By signing below, I acknowledge that I have reviewed and evaluated the criteria, and the application and documents submitted for the requested variance will provide evidence of their applicability to the proposed request.*

 \_\_\_\_\_

**Signature of Applicant**

02.04.26

**Date**



**SIGNS**

**Please provide the following information regarding the proposed sign(s):**

Sign Type: Wall (Flush mounted channel letters) Sign District: \_\_\_\_\_

	Existing	Permitted by Zoning Regulations	Proposed	Variance Requested
Number of Signs	0	0	2	1
Max Area			285	285
Max Height			10' 2"	10'2"
Max Copy Height			5'1"	5'1"
Setback				

**TREE PROTECTION AND LANDSCAPING**

	Existing	Required by Zoning Regulations	Proposed	Variance Requested
<b>Perimeter Vehicular Access Landscaping</b>				
Width				
Number of Trees or Shrubs				
<b>Interior Landscape Islands</b>				
<b>Foundation Landscaping</b>				
Linear Feet				
Area				
Number of Shrubs				
<b>Other</b>				



January 16, 2026

To Whom it May Concern,

PickleBall Kingdom, located at 251 Lakeshore Parkway, submitted a sign for approval. Said sign has been approved. Atlantic Sign Company and its subcontractors have permission from 5RiversCRE and Wildwood Center to permit and install signs.

[REDACTED]

Sonya Goodin  
Property Administrator  
Wildwood Center  
5RiversCRE  
945 Heights Blvd  
Houston, Texas 77008



(205) **631-5207**

**CITY OF HOMEWOOD PROJECT NARRATIVE  
FOR PURPOSE OF SIGN VARIANCE**

PROJECT: **Pickleball Kingdom**

PROPERTY ADDRESS: **251 Lakeshore Parkway  
Homewood AL 35209**

**PROJECT SUMMARY:**

We are proposing new signage for a business that is coming soon to the city of Homewood. If approved, Pickleball Kingdom will have internally illuminated LED channel letters mounted flush to the storefront of their building. The letters reading "PICKLEBALL" will be 47" tall stacked on top of "KINGDOM" measuring 61" tall. To the left of the stacked business name will be their 122" logo, squaring in their advertising space of signage to 284.6 square feet. Pickleball Kingdom's signage holds less than 5% of the approximate 5800 square feet of store frontage facing their parking lot. There is an existing multi-tenant pylon sign that has space for the shopping center's tenants. Pickleball Kingdom would be replacing "Conn" tenant panels only; not changing the structure of the existing pylon whatsoever.

**SPECIFICATIONS:**

Building Height: 29' (to shorter part of building)  
Building Width: 200'  
Building Frontage: 5800 square feet

Building Sign Height: 10'2" (or 122")  
Building Sign Width: 28' (or 336")  
Building Sign area: 284.6 square feet

Percentage of building frontage that signage holds: < 5%

Channel letters have an aluminum back, framing, and retainer, with translucent lexan faces that are topped with colored translucent vinyl. (Visual graphic attached in drawings that were submitted)

Channel letters are internally illuminated with white LED's. Electrical is ran through back side of the letter and through the wall sealed with latex calk to prevent moisture penetration. Primary electrical fed in 1/2" flex UL conduit and UL junction box. Power supplies within UL enclosure (removable lid).

Disconnect switch with UL outdoor rated toggle type with neoprene boot.

Sign anchored to wall with 1/4" threaded rod with silicone adhesive.



(205) **631-5207**

**CITY OF HOMEWOOD HARDSHIP STATEMENT  
FOR PURPOSE OF SIGN VARIANCE**

**PROJECT: Pickleball Kingdom**

**PROPERTY ADDRESS: 251 Lakeshore Parkway  
Homewood AL 35209**

**PHYSICAL CHARACTERISTICS OF PROPERTY:**

Pickleball Kingdom is part of a large shopping center located approximately 500 feet off Lakeshore Parkway in Homewood (See Visual #1). The shopping center is tucked below street level and behind a few freestanding buildings and a line of trees. When traveling Northeast on Lakeshore Parkway, Pickleball Kingdom is on the right side of the road (Visual #2). When traveling Southwest on Lakeshore Parkway, Pickleball Kingdom is located on the left side of the road (Visual #3).

**HARDSHIP EXPLANATION:**

Pickleball Kingdom wants to abide by the city of Homewood's Sign Ordinance, but there are unique characteristics of their property placement that changes their signage needs compared to normal circumstances. As you can see in all attached examples, there are visual obstacles that prevent Pickleball Kingdom from being easily seen by motorists. From both directions traveling on Lakeshore Parkway, trees, freestanding buildings, and other vehicles block and/or distract the view of anyone looking in their direction. There is a stretch of roadway where Pickleball Kingdom's signage will not be visible at all, because of Aspen Dental's building blocking their storefront (Visual #4). Pickleball Kingdom is requesting more square feet of signage than is allowed, but it still only takes up less than 5% of the area of the storefront.

**HARDSHIP NOT SELF-IMPOSED:**

Pickleball Kingdom's tenant space is not owned by them and is currently existing. They will be replacing a previous tenant. In order to have visible signage, given all the listed obstacles, Pickleball Kingdom cannot abide by the ordinance of maximum copy height of 36" (Visual #5 & #6)

**NO INJURY TO NEIGHBORING PROPERTIES:**

Pickleball Kingdom proposed signage will not lower the property value of neighboring businesses or impair motorists from being able to see neighboring businesses or their existing signage.



**2328 Florence Avenue**  
**Cincinnati, OH 45206**  
**(513) 241-6775 | FAX (513) 241-5060**  
**atlanticsigncompany.com**

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APPROVED  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CUSTOMER	PICKLEBALL KINGDOM
LOCATION	251 LAKESHORE PKWY, HOMEWOOD, AL, 35209
SALES REP	DAVID ESTEP
PROJECT MGR.	JESSICA REYNOLDS
DRAWN BY	NATALIE LUKEN
DATE	10-7-2025
FILE NAME:	110451_PICKLEBALL KINGDOM_HOMEWOOD_AL_EXTERIOR_R2



← 200' STOREFRONT →



**FRONT NORTH-WEST ELEVATION:**

3/32" SCALE



**2328 Florence Avenue  
Cincinnati, OH 45206**  
**(513) 241-6775 | FAX (513) 241-5060**  
**atlanticsigncompany.com**

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**PAGE  
2**

APPROVED

SIGNATURE

DATE

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LOCATION	251 LAKESHORE PKWY, HOMEWOOD, AL, 35209
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PROJECT MGR.	JESSICA REYNOLDS
DRAWN BY	NATALIE LUKEN
DATE	10-7-2025
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SEE NEXT PAGE FOR  
 PADDLE FABRICATION  
 \*LED COMPONENT IS THE  
 SAME AS THE LETTERS



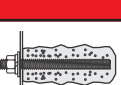
**Full Logo: QUANTITY 1**  
 3/16" SCALE

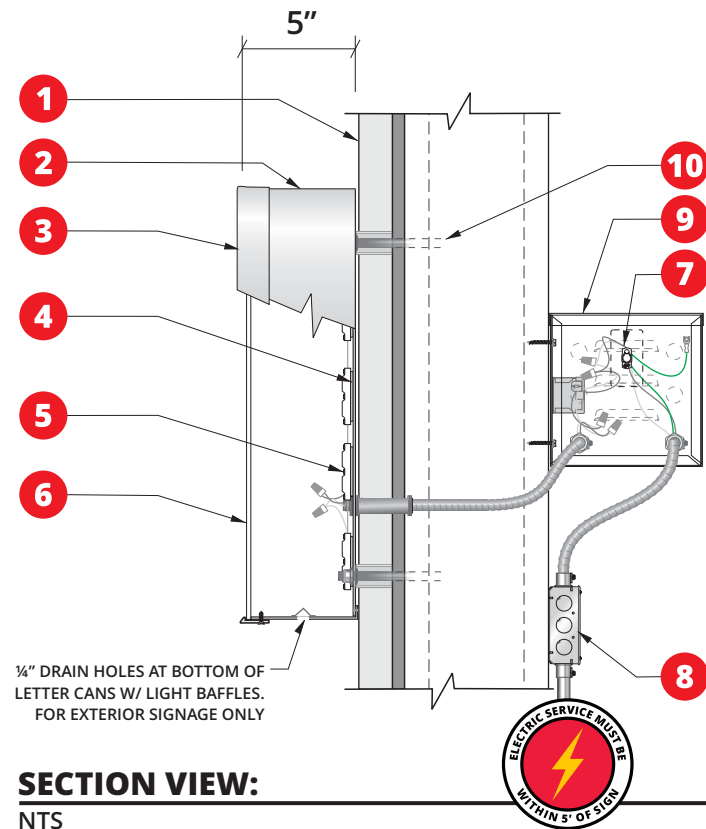
ALL SIGNS HAVE WHITE RETURNS, TRIM, AND RETAINERS  
 1/2" BORDER ON CHANNEL LETTERS TALLER THAN 25"

PADDLE  
 WIDER THAN 60" = TRIM CAP WITH RETAINER, HANGING BAR, AND LEXAN FACES

**SPECIFICATIONS: CHANNEL LETTERS (PADDLE FABRICATION ON NEXT PAGE)**

- 1 EXISTING FACADE
- 2 ALUMINUM LETTER RETURNS
- 3 1" TRIMCAP BONDED TO FACE, #8 PAN HEAD SCREWS TO RETURNS  
NOTE: 2" TRIMCAPS FOR LETTERS 54" AND LARGER
- 4 .125" ACM BACKS (PRE-FINISHED WHITE) FASTENED TO RETURNS.  
SEAL W/ VOC COMPLIANT 360 WHITE LATEX CAULK TO PREVENT MOISTURE PENETRATION.
- 5 WHITE LED MODULES
- 6 WHITE LEXAN FACES
- 7 DISCONNECT SWITCH UL OUTDOOR RATED TOGGLE TYPE W/ NEOPRENE BOOT PER NEC 600-6
- 8 PRIMARY ELECTRICAL FEED IN 1/2" FLEX UL CONDUIT / CUSTOMER SUPPLIED UL JUNCTION BOX
- 9 POWER SUPPLIES WITHIN UL ENCLOSURE (REMOVABLE LID), 1/4" X 1" MIN SCREWS

	TYPE	DIA.	SHEAR LBS.	EMBED	SPACING	FOR USE WITH
10	 THREADED ROD WITH SILICONE ADHESIVE	1/4"	900	4"-6"	16" *MINIMUM OF 2 FASTENRS PER UNIT	CONCRETE, BRICK, CONCRETE BLOCK, OR EIFS



FACES	RETURNS	TRIM
WHITE ACRYLIC  PANTONE 2728 C  PANTONE 107 C	WHITE	WHITE

- GENERAL NOTES:**
- THIS SIGN IS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF 2023 NATIONAL ELECTRICAL CODE (NEC)
  - GROUNDED AND BONDED PER 2023 NATIONAL ELECTRICAL CODE (NEC)
  - EXISTING BRANCH CIRCUIT IN COMPLIANCE WITH NEC 600.5, NOT TO EXCEED 20 AMPS
  - SIGN IS TO BE UL LISTED PER 2023 NATIONAL ELECTRICAL CODE (NEC)
  - UL DISCONNECT SWITCH PER 2023 NATIONAL ELECTRICAL CODE (NEC) COMPONENT BEFORE LEAVING MANUFACTURER. FOR MULTIPLE SIGNS, A DISCONNECT IS PERMITTED BUT NOT REQUIRED FOR EACH SECTION
  - THE LOCATION OF THE DISCONNECT SWITCH AFTER INSTALLATION



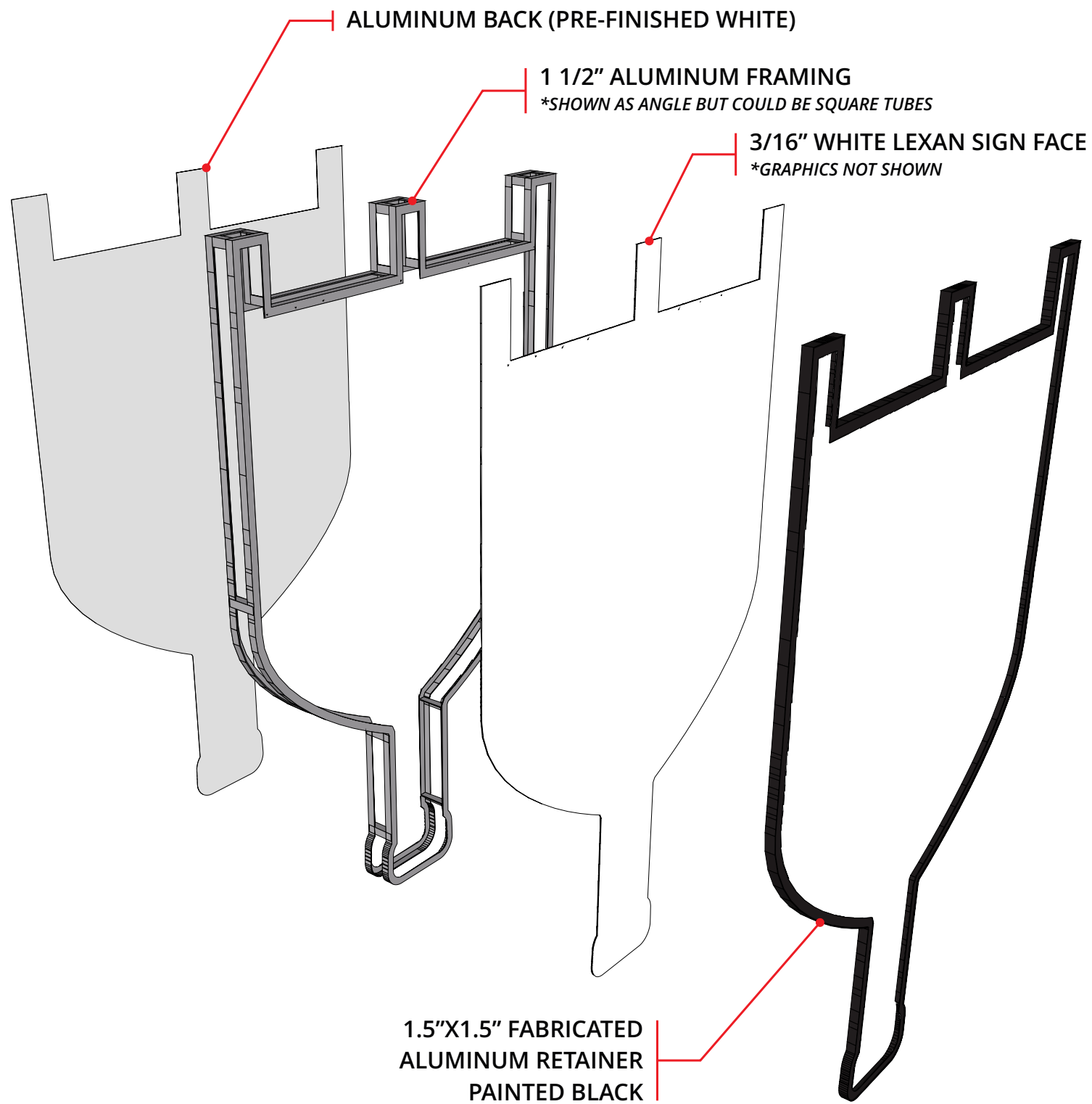
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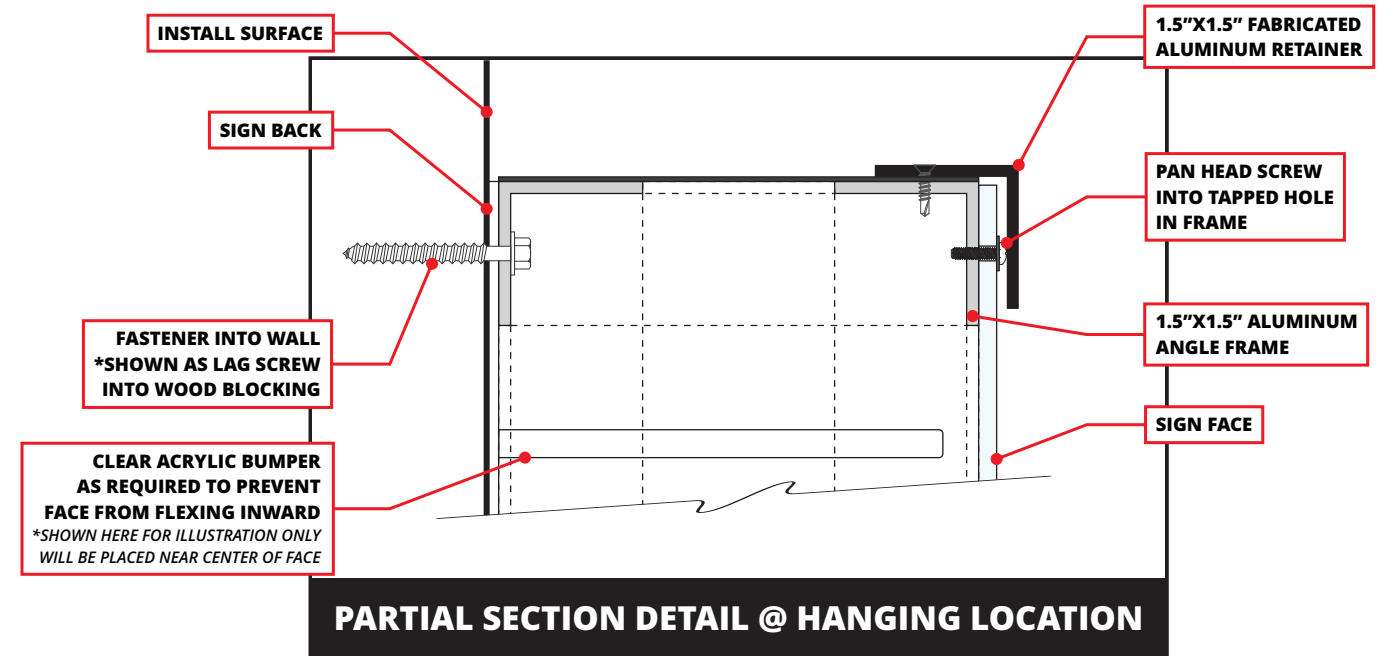
APPROVED  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CUSTOMER	PICKLEBALL KINGDOM
LOCATION	251 LAKESHORE PKWY, HOMEWOOD, AL, 35209
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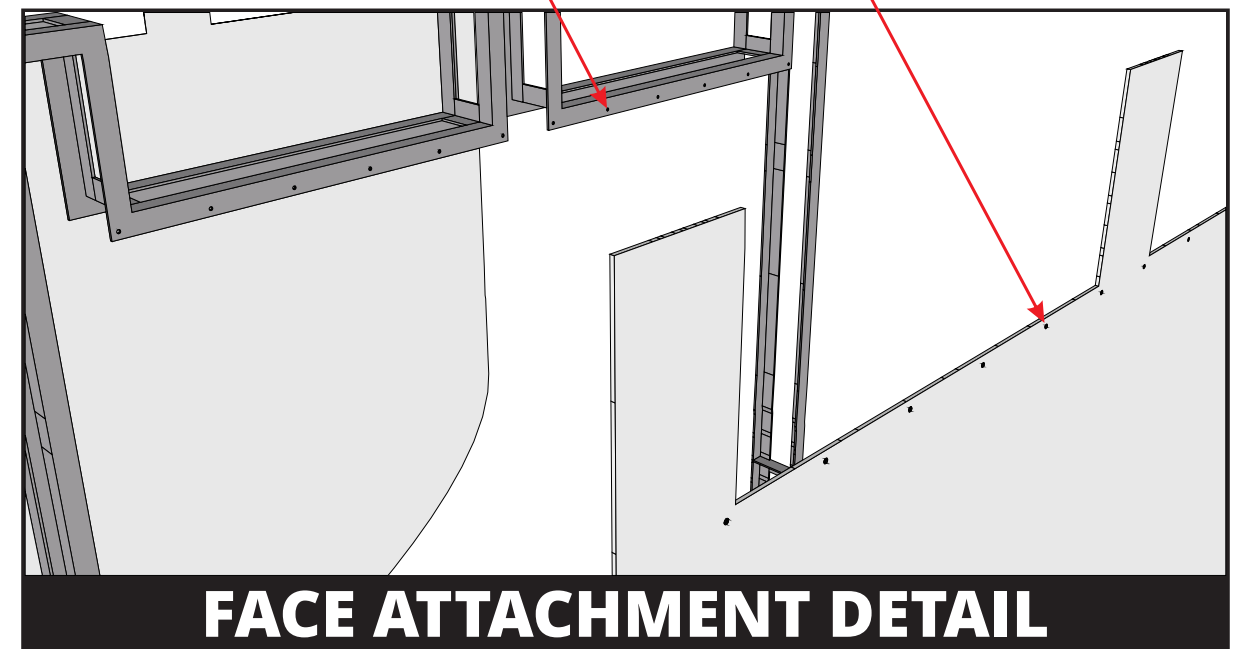
**EXPLODED VIEW OF STRUCTURAL COMPONENTS IN PADDLE LOGO**

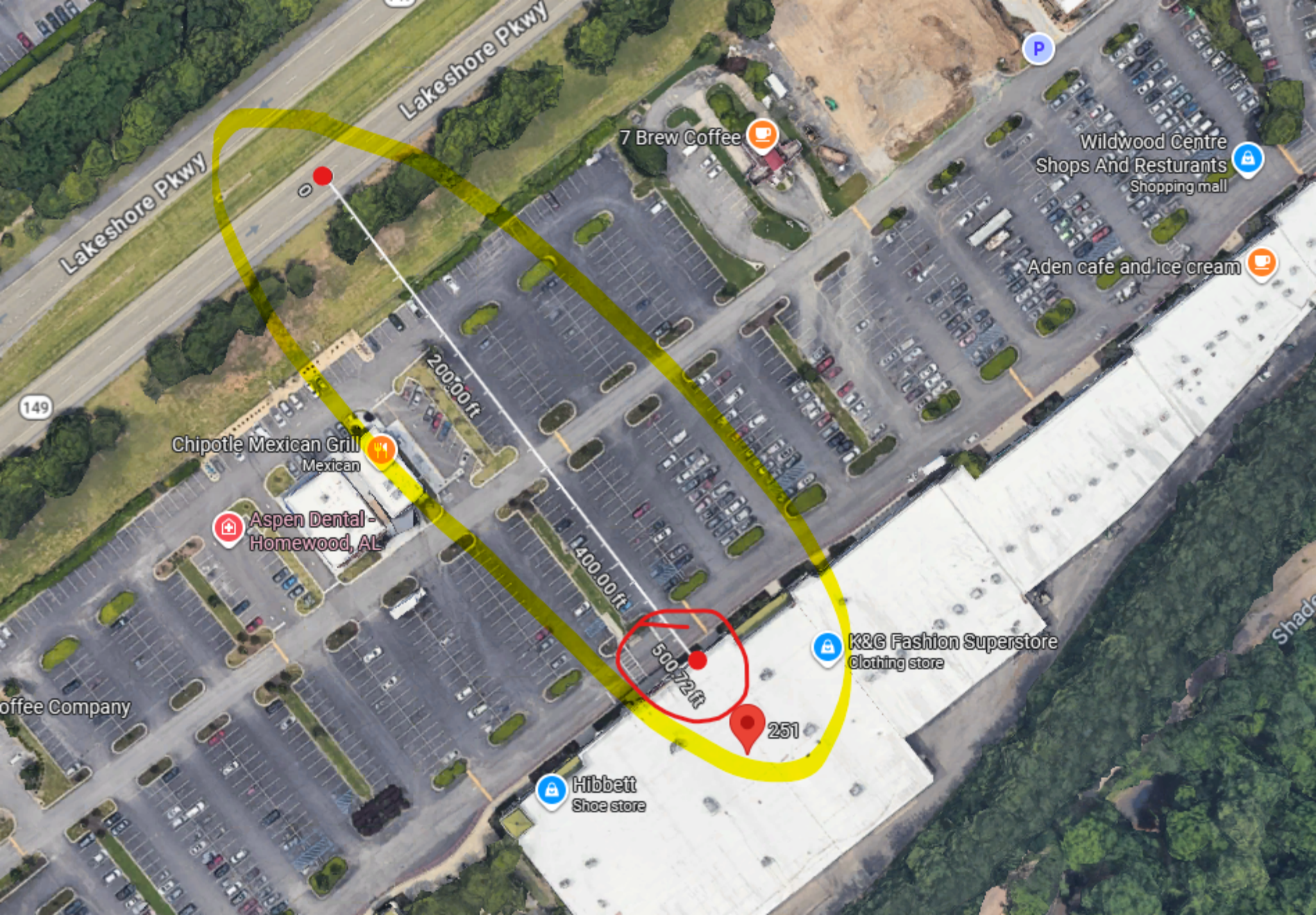
\*NOT SHOWN - ALUMINUM CLADDING ON SIDES



CORRESPONDING HOLES DRILLED IN FACE  
\*HOLES ARE OBLONG TO ALLOW FOR EXPANSION AND CONTRACTION  
\*FACE IS DESIGNED TO HANG STRAIGHT FROM HORIZONTAL PORTION OF FRAME

HOLES DRILLED IN ANGLE TO HANG FACE  
\*USE LOCKNUTS WELDED TO BACKSIDE OF FRAME WITH PAN HEAD BOLTS LOOSE ENOUGH TO ALLOW FOR MOVEMENT





Lakeshore Pkwy

149

P

7 Brew Coffee

Wildwood Centre  
Shops And Resturants  
Shopping mall

Aden cafe and ice cream

Chipotle Mexican Grill  
Mexican

Aspen Dental -  
Homewood, AL

K&G Fashion Superstore  
Clothing store

Hibbett  
Shoe store

offee Company

200.00 ft

1400.00 ft

500.72 ft

251

Shade



© 2025 Google

© 2025 Google



Lakeshore Pkwy

P.K. ↓





← 200' STOREFRONT →



**FRONT NORTH-WEST ELEVATION:**

3/32" SCALE



**CITY OF HOMEWOOD  
DEPARTMENT OF ENGINEERING & ZONING**

2850 19th Street South - 4<sup>th</sup> Floor  
Homewood, Alabama 35209  
Phone 205-332-6800

**Cale Smith, PE, City Manager**

**Wyatt Pugh, Director**

---

February 18, 2026

*Subject Property: 251 Lakeshore Parkway*

Dear Property Owner:

This letter shall serve as a public hearing notice to the parties in interest and to all adjacent property owners. The Homewood Board of Zoning Adjustments has been petitioned to modify the zoning regulations, as they apply to the above referenced property. Please see below for hearing details:

**Hearing Date & Time:** March 5, 2026, at 6:00 PM

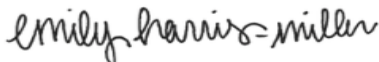
**Hearing Location:** Homewood City Hall Council Chambers, 2850 19<sup>th</sup> Street South

**Applicant:** Meighan Ellis **Property Owners:** 5RiversCRE

**Nature of Request:** Sign Variance

The applicant or their agent must attend the public hearing to present the request to the Board. Public comments in support or opposition to the petition shall also be heard by the Board at this time. Interested individuals can submit questions or comments to the Department of Engineering and Zoning by contacting Emily Harris-Miller at [emily.harrismiller@homewoodal.org](mailto:emily.harrismiller@homewoodal.org), or (205) 332-6800. Information regarding live stream viewing, electronic submittal of comments, and publication of case documents are provided on the reverse side of this notice.

Best,



Emily Harris-Miller  
*Senior Planning Technician*

cc: Applicant  
Property owner  
Adjacent property owners

**Information and Instructions:** The public hearing will be preceded by a brief work session between Board Members and city staff beginning at 5:30 p.m. in the City Council's Committee Workroom located on the 2<sup>nd</sup> floor behind the Council Chambers.

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A copy of the meeting agenda packet, which includes the file for this case, will be available for viewing and downloading the Friday before the scheduled public hearing. You may access the agenda packet on the home page of the city's website at [www.cityofhomewood.com](http://www.cityofhomewood.com) by clicking on the "Upcoming Meetings/BZA" tab.

For further information or to review any files or drawings pertaining to this application you may contact our office at (205) 332-6800 or visit between 7:30 a.m. and 4:30 p.m. Monday-Friday.

# City of Homewood BZA Case Map

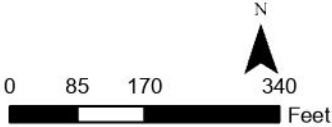
251 Lakeshore Pkwy

BZA 26-0018

Aerial Photo Map



-  Subject Property
-  Roadway
-  Parcels



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ZONING IS SUBJECT TO CHANGE. PLEASE CALL ZONING OFFICE TO CONFIRM ZONING. 332-6828



City of Homewood  
Department of Engineering & Zoning  
2850 19<sup>th</sup> Street South, Homewood, AL 35209  
cityofhomewood.com

# Planning and Zoning General Application

(Page 1 of 2 – see page 2 for submittal requirements)

Property Address: 301 Ascott Rd, Homewood, AL 35209

Parcel ID: 2800083005001000

Current Zoning: NPD

Acreage: \_\_\_\_\_

Proposed Land Use: \_\_\_\_\_

Twin Construction, Inc

contractor

Mailing Address: 2907 Central Ave, Ste 105, Homewood, AL 35209

City

State

Zip

Property Owner: Patrick and Collier Peavy

Phone #: \_\_\_\_\_

Mailing Address: same as property address

City

State

Zip

### Request (check all applicable items):

- Variance Request
- Rezoning
- Development Plan
- Other BZA Request: \_\_\_\_\_
- Zoning Text Amendment
- Final
- Resurvey
- Amended

### Signatures of Property Owner and Applicant:

I, Patrick and Collier Peavy (Print Property Owner) am the property owner of the subject property and have read and understood all statements including the filing requirements. I hereby affirm that this application may be denied, modified, or approved with modifications and/or contingencies and that such modifications and/or contingencies must be complied with prior to issuance of building permits.

I authorize Twin Construction, Inc (Print Applicant) to act as representative in all matters concerning this application.

1/20/2026 | 12:47 PM EST

Stephanie Palmer

1/20/2026 | 11:47 AM C

Signature of Property Owner

Date

Signature of Applicant

Date

### For office use only:

- Completed Application form with signatures
- Project Narrative
- 2 Hard Copies of Site Plan, Site Photographs, Survey, Mylar, etc.
- Digital Copies of Site Plans, Site Photographs, Survey, Mylar etc.
- Application Fee
- Other Required Documents: \_\_\_\_\_

Current Zoning District: \_\_\_\_\_  
 Proposed Zoning District: \_\_\_\_\_  
 Special Flood Hazard Area (Y/N): \_\_\_\_\_

Date Received in Office: \_\_\_\_\_

Time Received: \_\_\_\_\_

Received By: \_\_\_\_\_

Case Number(s): \_\_\_\_\_



# Planning and Zoning General Application

(Page 2 of 2)

**All General Applications shall include the following at the time of submittal:**

- One copy of the completed application form, with the original signature of the property owner or his/her authorized agent.
- Application fee
- Project narrative including the following as appropriate: proposed use, detailed project description, reason for request, conditions that the applicant will be willing to proffer
- Current Property Boundary Survey
- Hard copy and pdf copy of all site plans and building elevations. *(Plans and associated documents that are too large to email can be provided on a flash drive.)*
- Restrictive Covenants *(if applicable)*
- Photographs of the site and all existing buildings and structures.
- Proof of Ownership (if property has been purchased within the last 12 months)
- Any variances previously granted by the Board of Zoning Adjustments

***The following additional items will be required based on the nature of the application request and must also be submitted at the time of initial application submittal:***

**Variance Application Requirements**

- Completed Variance Request Chart
- Hardship Statement signed by Property Owner and Applicant
- Hardship Criteria Evaluation Form (initialed and signed)

**Final and Amended Development Plan Requirements**

- 2 full sized copies, 2 11X17 copies, and a digital copy of the proposed development plan
- Complete legal description
- Other additional information as listed in Article VII. Required Development Plan

**Resurvey Application Requirements**

- 2 full sized copies of the resurvey drawing
- 1 full size mylar copy of the resurvey drawing
- Digital copy of the resurvey drawing
- Complete legal description

**Rezoning Application Requirements**

- Complete legal description
- Current Zoning District \_\_\_\_\_
- Proposed Zoning District \_\_\_\_\_
- Conditions that the applicant will be willing to proffer. (If applicable, please include in the detailed project narrative)

*By signing below, I acknowledge that all required documents are included in the application package. Additionally, I understand that all applications must be complete by the final application deadline in order to be processed by staff and considered by the Board of Zoning Adjustments or Planning Commission.*

\_\_\_\_\_

Signature of Applicant

1/20/2026 | 11:47 AM CST

\_\_\_\_\_

Date



**City of Homewood Board of Zoning Adjustments Applications**

***General Information for Applicant***

The Homewood Board of Adjustment was established pursuant to section 11-52-80, Code of Alabama 1975 and shall have all powers and duties delegated to boards of adjustment by said code, which generally are:

- 1) *Appeal a decision of the administrative official:* To hear and decide appeals where it is alleged there is error in any order, requirement, decision, or determination made by an administrative official in the enforcement of this ordinance.
- 2) *Special Exception to allow a Home Occupation or other use requiring BZA approval:* To hear and decide special exceptions to the terms of this ordinance upon which the board is required to pass under this ordinance.
- 3) *To authorize upon appeal in specific cases such variance from the terms of the zoning ordinance* as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the provisions of this ordinance will result in unnecessary hardship, and so that the spirit of this ordinance shall be observed and substantial justice done.

The following pages include necessary information and requirements for applications to the Board of Zoning Adjustments. Please review closely and provide initials and/or signatures to indicate your understanding of the information.

***The Purpose of a Variance***

A variance is an allowance, which permits minor deviation from the zoning ordinance district requirements where individual properties are both harshly and uniquely burdened by the strict application of the law. The power to vary is restricted and the degree of variation is limited to the minimum change necessary to overcome the inequality inherent in the property. Use Variances are specifically prohibited. "Variance" means the modification of the requirements of a zoning district and does not include the substitution of uses assigned to other districts.

- 1) A variance recognizes that the same district requirements do not affect all properties equally; it was devised to permit minor changes to allow hardship properties to enjoy equal opportunities with properties similarly zoned. The applicant must prove that special circumstances or unusual conditions affect the subject property. These must result in uncommon hardship and unequal treatment under the strict application of the Zoning Ordinance. Where some general hardship conditions extend to other properties, a variance cannot be granted. The remedy for general hardship is a change of the map or the text of the Zoning Ordinance.
- 2) The applicant must prove that the combination of the Zoning Ordinance and the uncommon conditions of your property prevent them from making any reasonable use of the land as permitted by the present zoning district. Since zoning regulates land and not people, the following conditions **cannot** be considered pertinent to the application for a variance:
  - a. Proof that a variance would increase the financial return from the land
  - b. personal hardship
  - c. self-imposed hardship

In the case of a self-imposed hardship, the recognition of conditions created after the enactment of the Zoning Ordinance would encourage and condone violation of the law.

- 3) No variance may be granted which would adversely affect surrounding property or the general neighborhood. All variances must be in harmony with the intent and purposes of the Zoning Ordinance.

[Redacted Signature Area]

**Applicant Signature**

1/20/2026 | 11:47 AM CST

**Date**



City of Homewood  
Department of Engineering & Zoning  
2850 19<sup>th</sup> Street South, Homewood, AL 35209  
cityofhomewood.com

**Hardship Criteria Evaluation Form**

Prior to granting a variance, the Board of Zoning Adjustment must *examine* and *validate* that the following criteria apply to the request. Please examine the following criteria and initial to indicate their applicability to the variance request. *(The following criteria can be found in Article XI. Administration and Review Procedures, Section B. Variances, (3) Conditions)*

- a) There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to other lands or structures in the same district.

**Applicable:** \_\_\_\_\_

- b) Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the district in which the property is located.

**Applicable:** \_\_\_\_\_

- c) All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other owners of property in the district in which the property is located.

**Applicable:** \_\_\_\_\_

- d) The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.

**Applicable:** \_\_\_\_\_

- e) The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship)

**Applicable:** \_\_\_\_\_

- f) The variance requested is the minimum variance that will make possible the legal use of the land, building or structure.

**Applicable:** \_\_\_\_\_

- g) That no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

**Applicable:** \_\_\_\_\_

- h) That the variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

**Applicable:** \_\_\_\_\_

*By signing below, I acknowledge that I have reviewed and evaluated the criteria, and the application and documents submitted for the requested variance will provide evidence of their applicability to the proposed request.*

\_\_\_\_\_

**Signature of Applicant**

1/20/2026 | 11:47 AM CST

**Date**



### Variance Request Charts

Please complete only the charts relevant to the proposed variance request project. The information in these charts should reflect the information on the proposed site plans.

PRIMARY STRUCTURE SETBACKS				
	Existing Setback Dimensions	Setback Dimensions Required by Zoning Regulations	Proposed Setback Dimensions	Total Variance Requested
Front Setback				
Secondary Front Setback				
Right Setback	10 ft	7.1 ft	6.2 ft	3.8 ft
Left Setback				
Rear Setback				

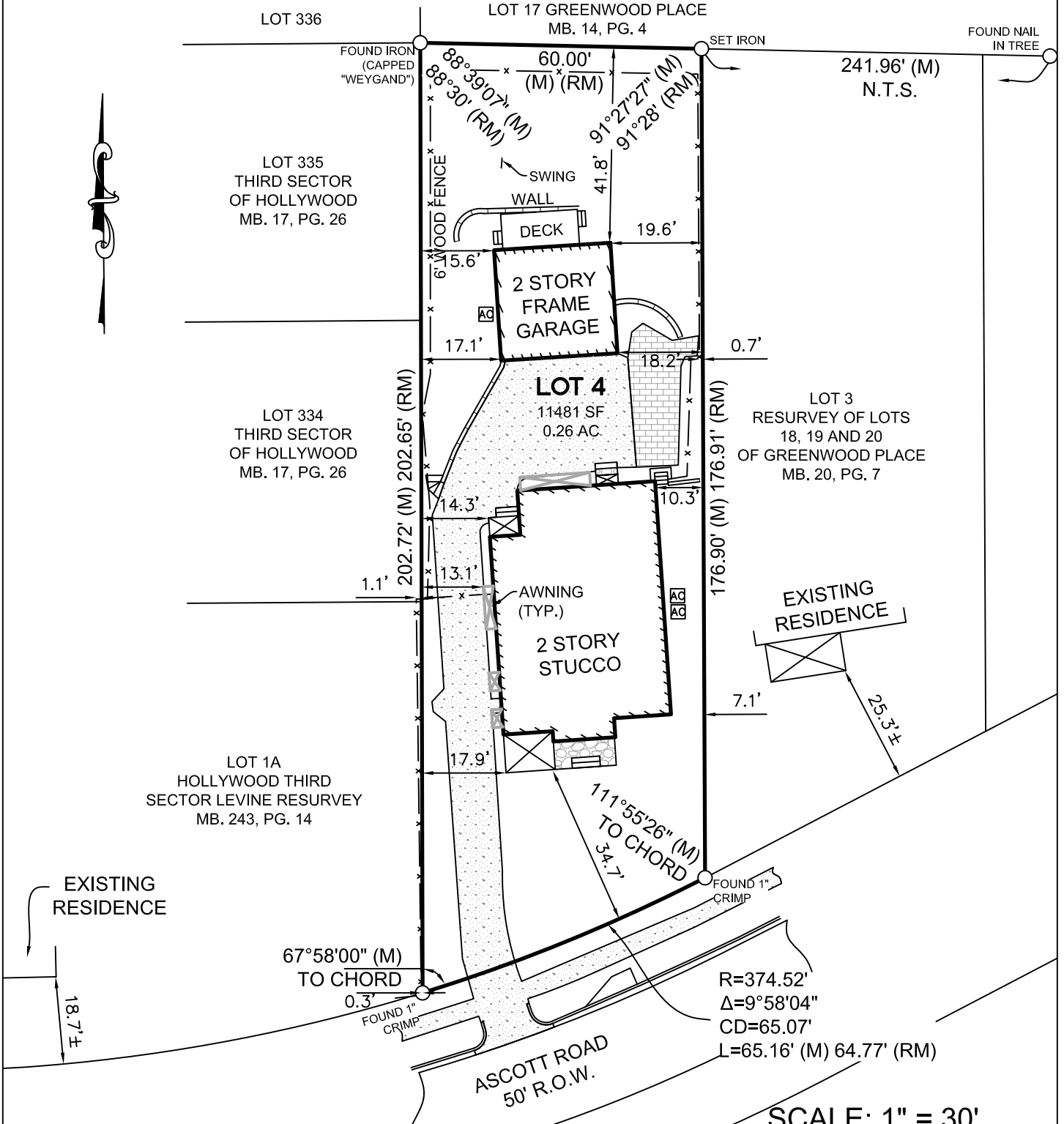
ACCESSORY STRUCTURE SETBACKS				
<b>Please provide the following information regarding the proposed accessory structure:</b>				
<b>Proposed Height:</b> _____ <b>Proposed Size (in sq ft):</b> _____				
	Existing Setback Dimensions	Setback Dimensions Required by Zoning Regulations	Proposed Setback Dimensions	Total Variance Requested
Right Setback				
Left Setback				
Rear Setback				
Other:				

FENCES AND WALLS (NOT RETAINING)		
Proposed Height:	Proposed Setback:	Location of Fence:
Description of Fence (dimensions, materials, etc.): _____		
_____		

PARKING		STRUCTURE HEIGHT	
Required Parking Ratio		Existing Height	
Total Spaces Required		Maximum Height Permitted	
Total Spaces Provided		Proposed Height	
Total Variance Requested		Total Variance Requested	



**BOUNDARY SURVEY LOT 4**  
**RESURVEY OF LOTS 18, 19 AND 20 OF GREENWOOD PLACE**  
**MAP BOOK 20, PAGE 7**  
**JEFFERSON COUNTY, ALABAMA**



**DESCRIPTION**

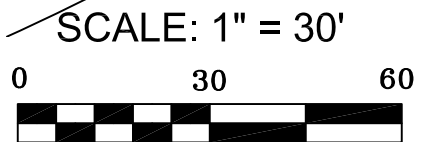
Lot 4 of RESURVEY OF LOTS 18, 19 AND 20 OF GREENWOOD PLACE as recorded in Map Book 20 Page 7 in the Office of the Judge of Probate in JEFFERSON County, Alabama.

I hereby certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

Surveyor's Signature: *Rodney Keith Cunningham*  
 Alabama License Number 26013, Date: April 3, 2025

- NOTE:**
1. North arrow based on PLAT.
  2. Survey not valid without original signature.

Address: 301 ASCOTT RD  
 Date of Fieldwork: 2025-04-02  
 Date of Survey: 2025-04-03  
 Job Number: TWIN0195  
 Drawn By: MBA  
 Survey For: TWIN COMPANIES  
 Type of Survey: BOUNDARY SURVEY  
 Field Book, Page: FB\_370, PG 7



120 BISHOP CIRCLE, SUITE 300  
 PELHAM, AL 35124



**PEAVY**

PROJECT ADDRESS

301 Ascott Rd.  
Homewood, AL 35209



# PEAVY

## General Construction Notes

- All framing dimensions are to outside face of stud on exterior walls & interior walls, & center line of windows and doors, unless noted otherwise.
- All slab dimensions are to outside edge of slab (not brick pocket) or to centerline of footing, plumbing or electrical, unless noted otherwise.
- Stair riser heights shall not exceed 7-3/4".
- Return air and attic access locations to be verified in field.
- Double up floor joists under walls that run parallel floor joists.
- All wood framing in contact with concrete or masonry shall be pressure-treated.
- Install insulation baffles at eave vents between rafters.
- All shingled roofs with a pitch of less than 4:12 shall be installed with ice & water barrier.
- Exterior sill plates to be anchored to foundation @ 6' o.c. And within 1'-0" of ends and corners.
- Provide floored pathway in attic to HVAC unit & Water Heater.
- See builder for any deck stair location & design if applicable.
- Slope shower floor 1/2" per foot.
- Verify final location of mechanical equipment.
- Dimensions shall take precedent over scale drawings.

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## Common Abbreviations

±	approximately	NTS	not to scale
@	at	OC	on center
AFF	above finished floor	PH	telephone jack
B.O.	bottom of...	PT	pressure treated
bd.	board	R/A	return air
CL	centerline	REF.	refrigerator
CMU	concrete masonry unit	req'd	required
D/W	dishwasher	SD	smoke detector
dbl	double	sim.	similar
eq.	equal	sqft	square feet
FC	flex conduit	T&G	tounge and groove
HB	hose bibb	T.O.	top of...
K/S	knee space	TV	cable television
KP	keypad	typ.	typical
M/W	microwave oven	w/	with
max.	maximum	W/C	wine cooler
min.	minimum	WH	water heater
N/A	not applicable	WP	waterproof

CHANGE LOG :

Date:	Description:	Permit Set				
01/07/2026			x	x	x	x

PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.6592

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## SHEET NUMBER

**T1.0**

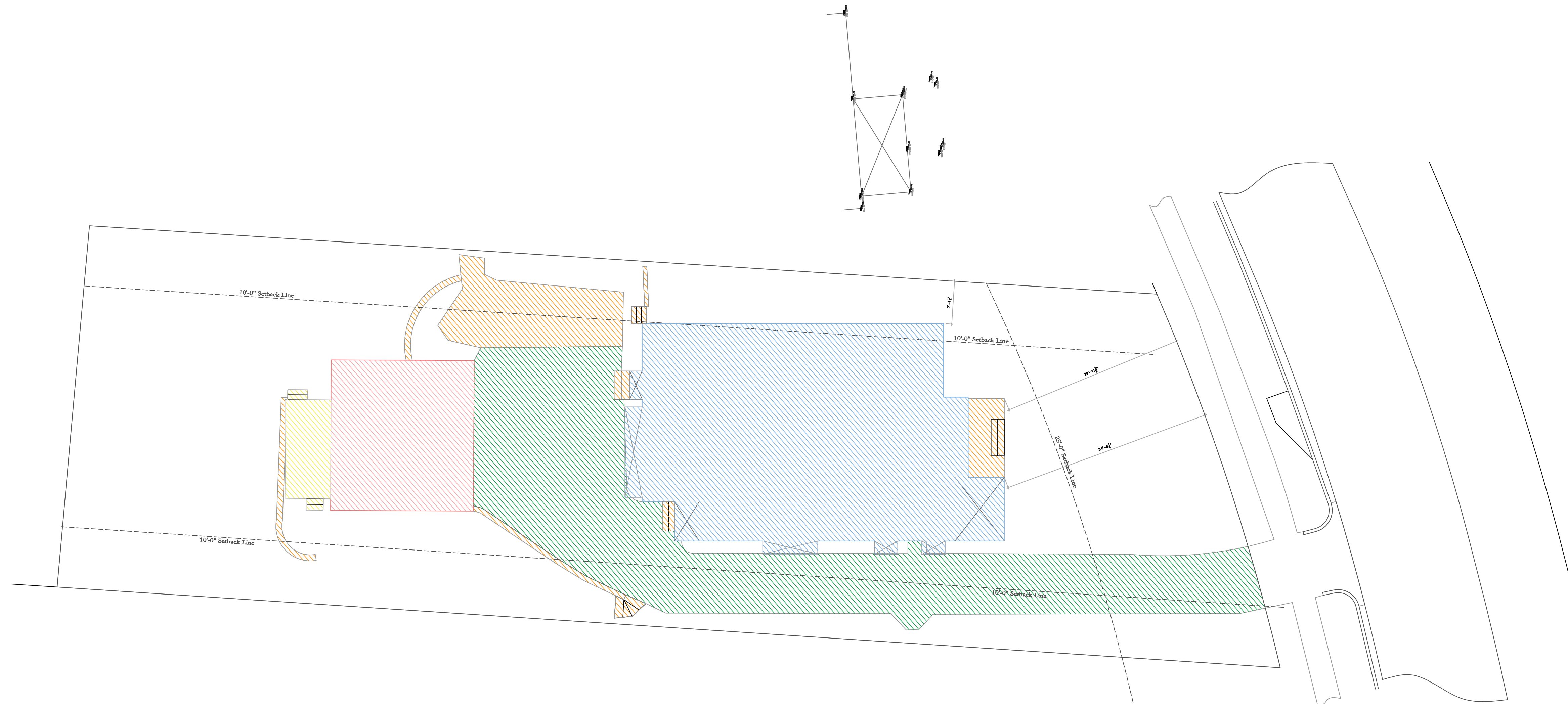
**PEAVY**

PROJECT ADDRESS

301 Ascott Rd.  
Homewood, AL 35209

House (under roof)	2006	
Stone Patios/Ret. Walls	505	
Driveway	1945	
Accessory Structure	588	
<b>TOTAL</b>	<b>5044</b>	<b>44%</b>

Wood Deck 134  
*\*Not calculated since permeable*



CHANGE LOG :

Date:	Description:	Permit Set
01.07.2026		X
		X
		X
		X

PLAN CONTACT : Crystal Tucker  
PHONE : 205.318.692

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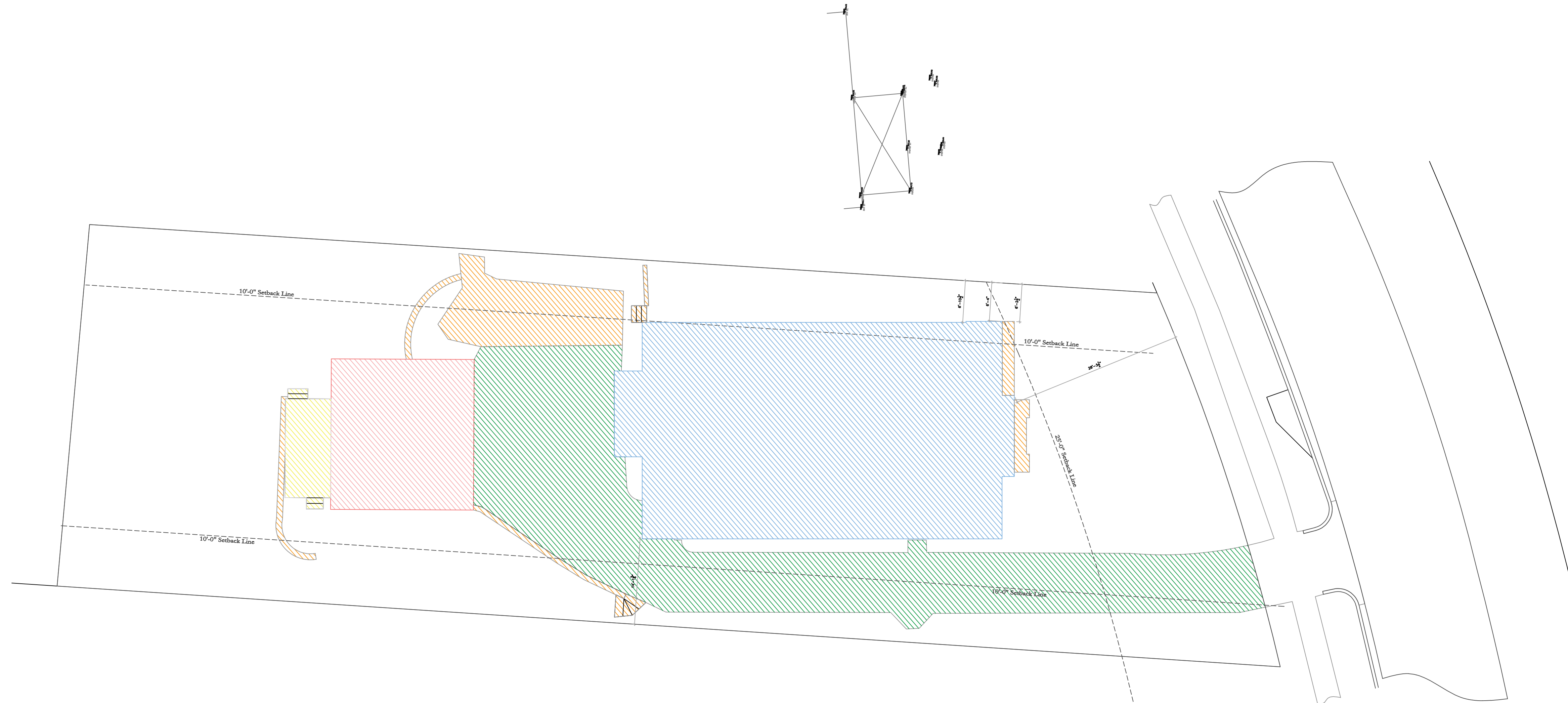
**S1.0**

**Site Plan - Existing**

Scale : 3/32 = 1'-0"

House (under roof)	2223	
Stone Patios/Ret. Walls	456	
Driveway	1906	
Accessory Structure	588	
<b>TOTAL</b>	<b>5173</b>	<b>45%</b>

Wood Deck 134  
*\*Not calculated since permeable*



**PEAVY**

PROJECT ADDRESS

301 Ascott Rd.  
 Homewood, AL 35209

CHANGE LOG :

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		X
		X
		X

PLAN CONTACT : Crystal Tucker  
 PHONE : 205.218.692

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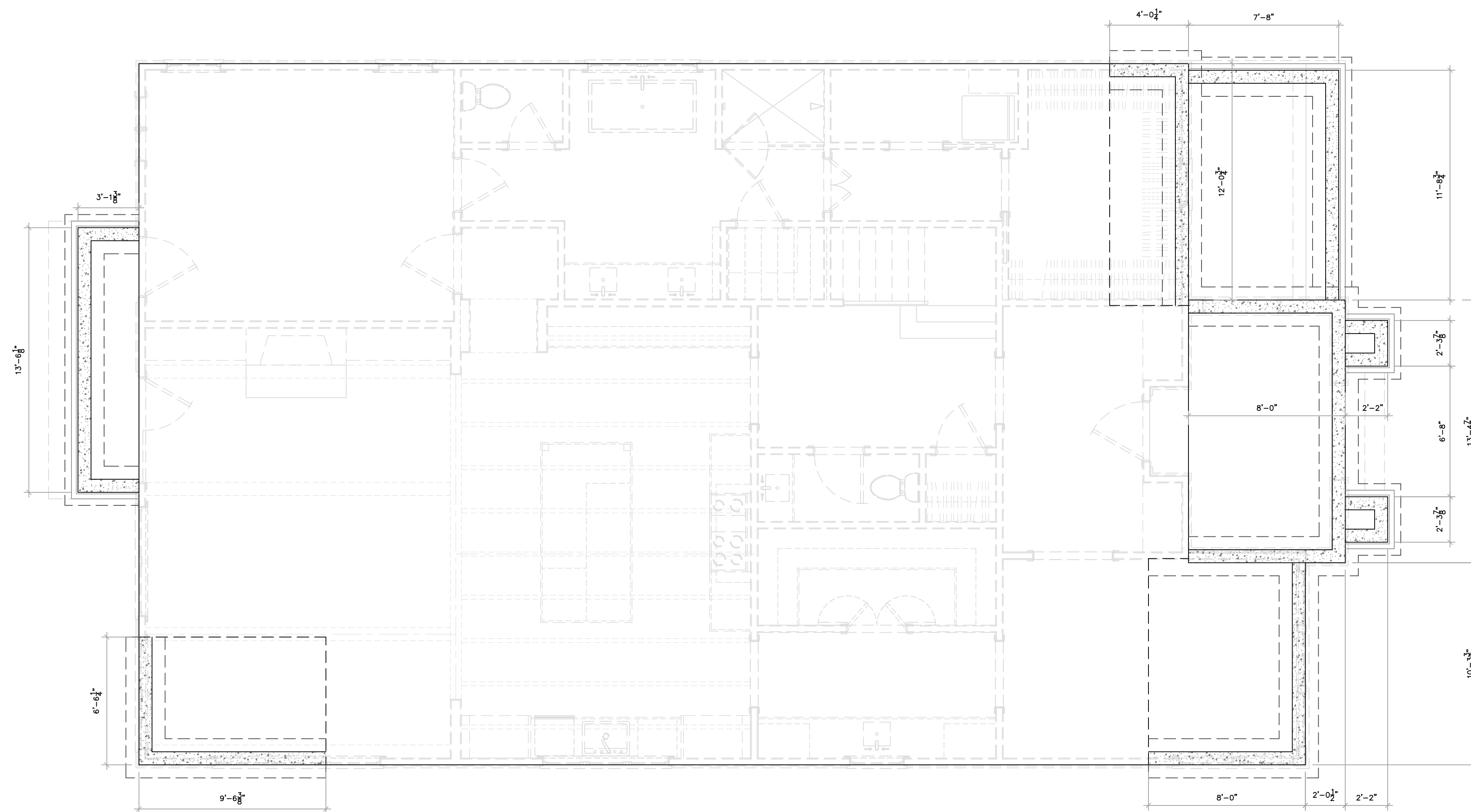
**Site Plan - Proposed**

SCALE : 3/32 = 1'-0"

**PEAVY**

PROJECT ADDRESS

301 Ascott Rd.  
Homewood, AL 35209



# Foundation Plan

Scale : 1/4" = 1'-0"

CHANGE LOG :

Date:	Description:
01.07.2026	Permit Set
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X	X
X	X
X	X

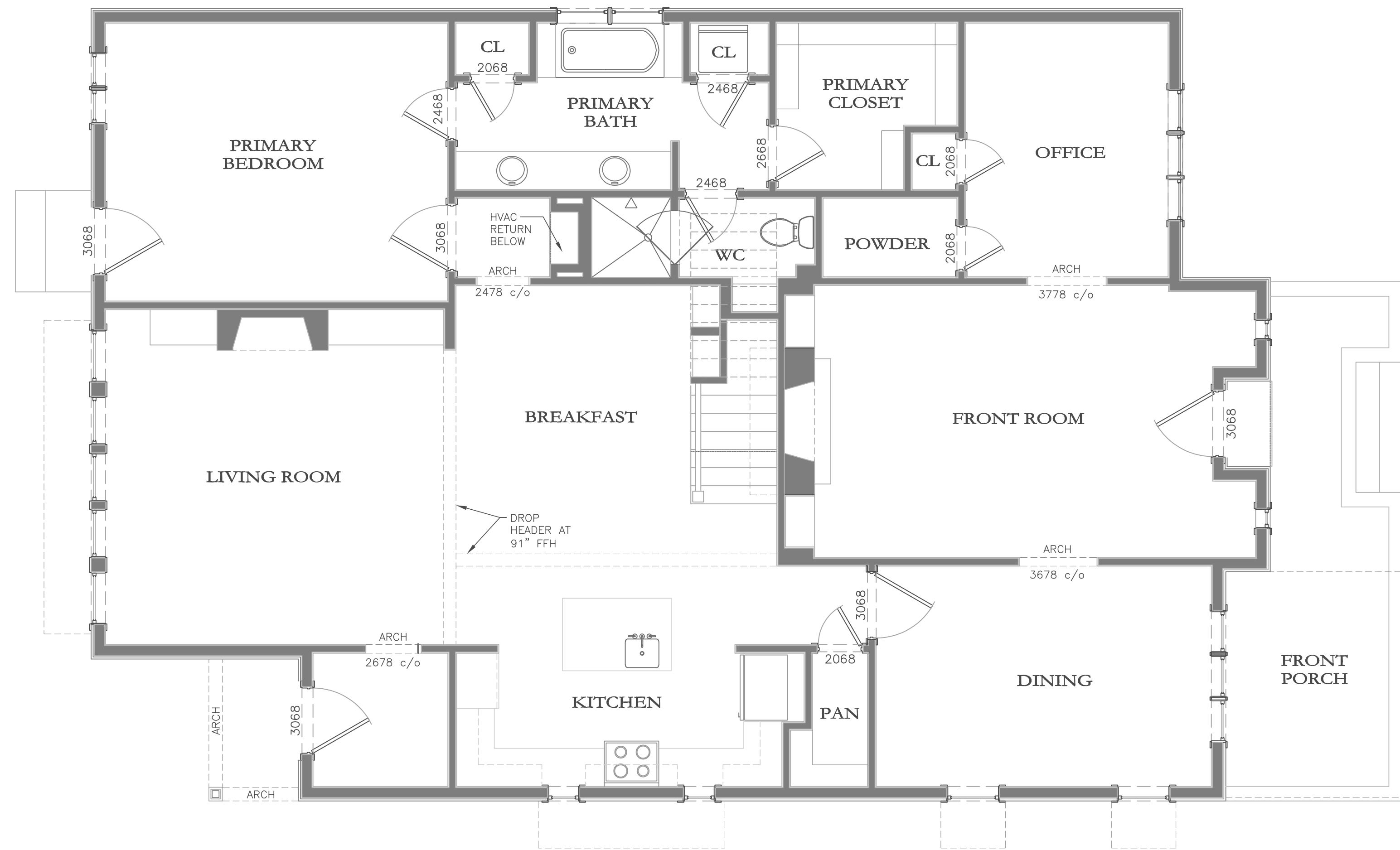
PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.692

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SHEET NUMBER

**A1.0**



# Main Level Floor Plan - Existing

Scale : 1/4" = 1'-0"

CHANGE LOG :

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x	x
x	x
x	x

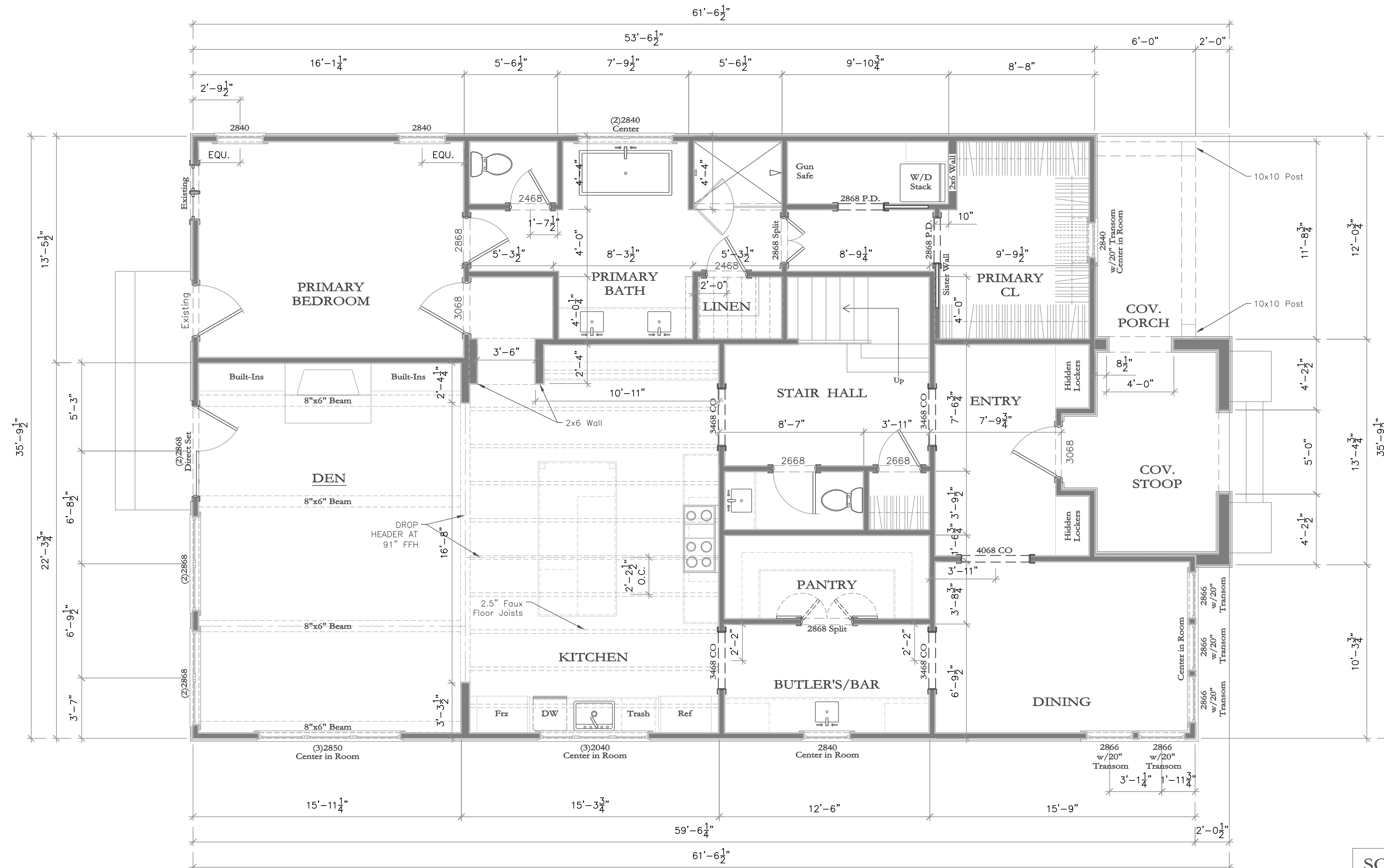
PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.692

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**A2.0**



# Main Level Floor Plan - Proposed

Scale : 1/4" = 1'-0"

## SQUARE FOOTAGES

<u>Main Level</u>		
Finished	=	1,971 sf
Front Porch	=	186 sf
Rear Cov. Porch	=	49 sf
<u>Second Level</u>		
Finished	=	1,979 sf
<u>Third Level</u>		
Finished	=	1,071 sf

## CHANGE LOG :

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X	X
X	X
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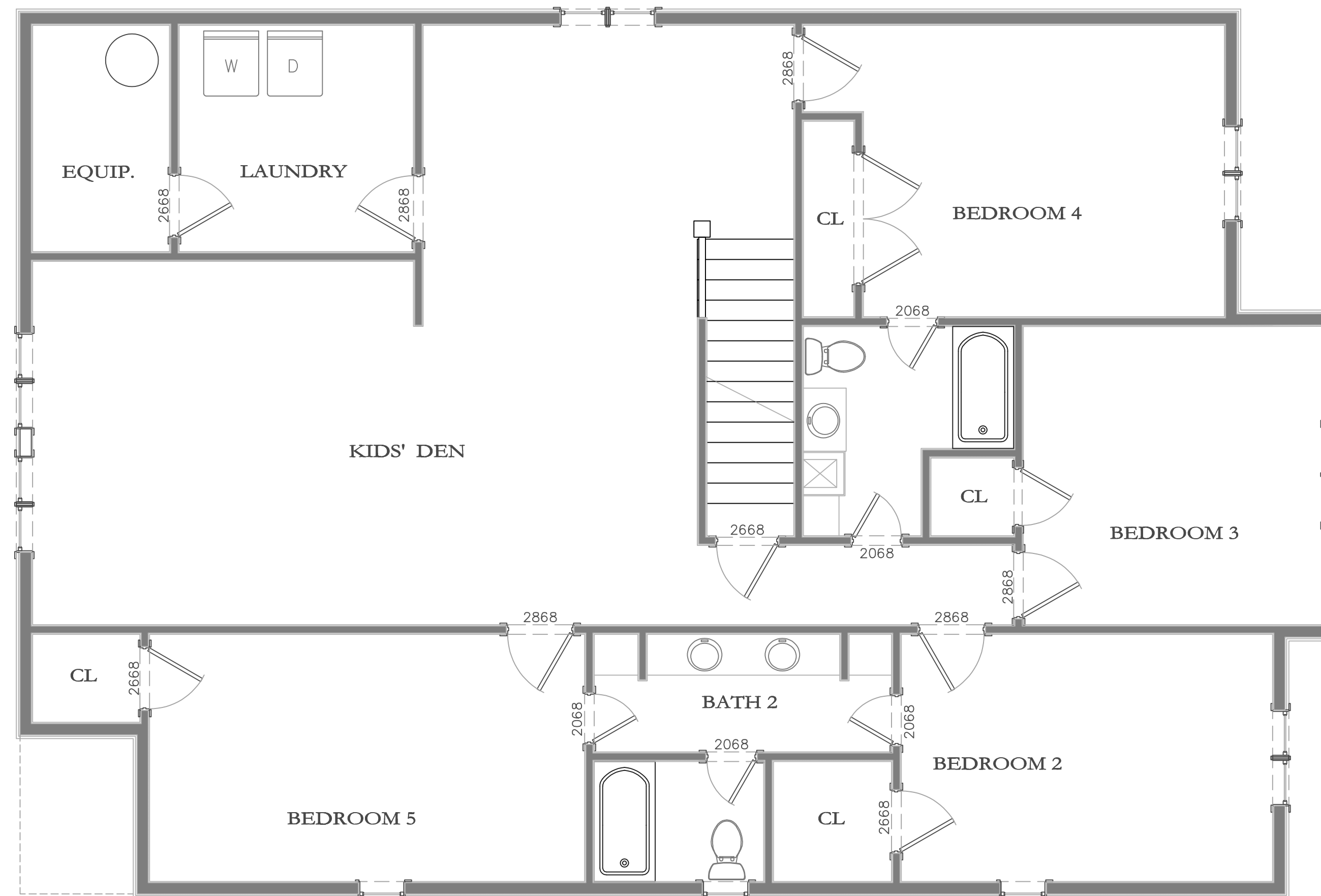
## SHEET NUMBER

# A2.1

**PEAVY**

PROJECT ADDRESS

301 Ascott Rd.  
Homewood, AL 35209



# 2nd Level Floor Plan - Existing

Scale : 1/4" = 1'-0"

**CHANGE LOG :**

Date:	Description:
01.07.2026	Permit Set
x	x
x	x
x	x
x	x

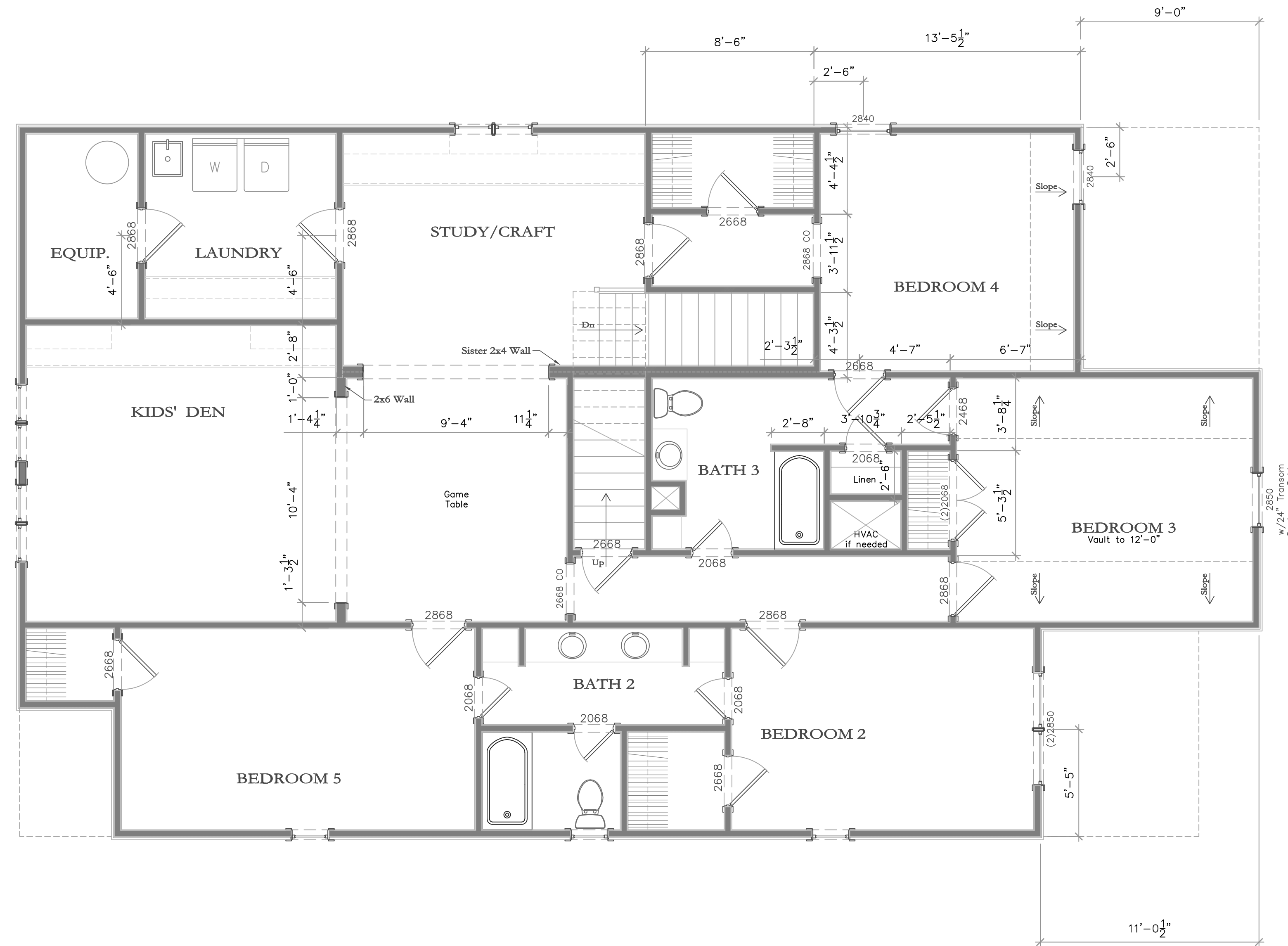
PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.692

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SHEET NUMBER

**A2.2**



# 2nd Level Floor Plan - Proposed

Scale : 1/4" = 1'-0"

### SQUARE FOOTAGES

<u>Main Level</u>		
Finished	=	1,971 sf
Front Porch	=	186 sf
Rear Cov. Porch	=	49 sf
<u>Second Level</u>		
Finished	=	1,979 sf
<u>Third Level</u>		
Finished	=	1,071 sf

CHANGE LOG :

Date:	Description:
01.07.2026	Permit Set
X	X
X	X
X	X
X	X

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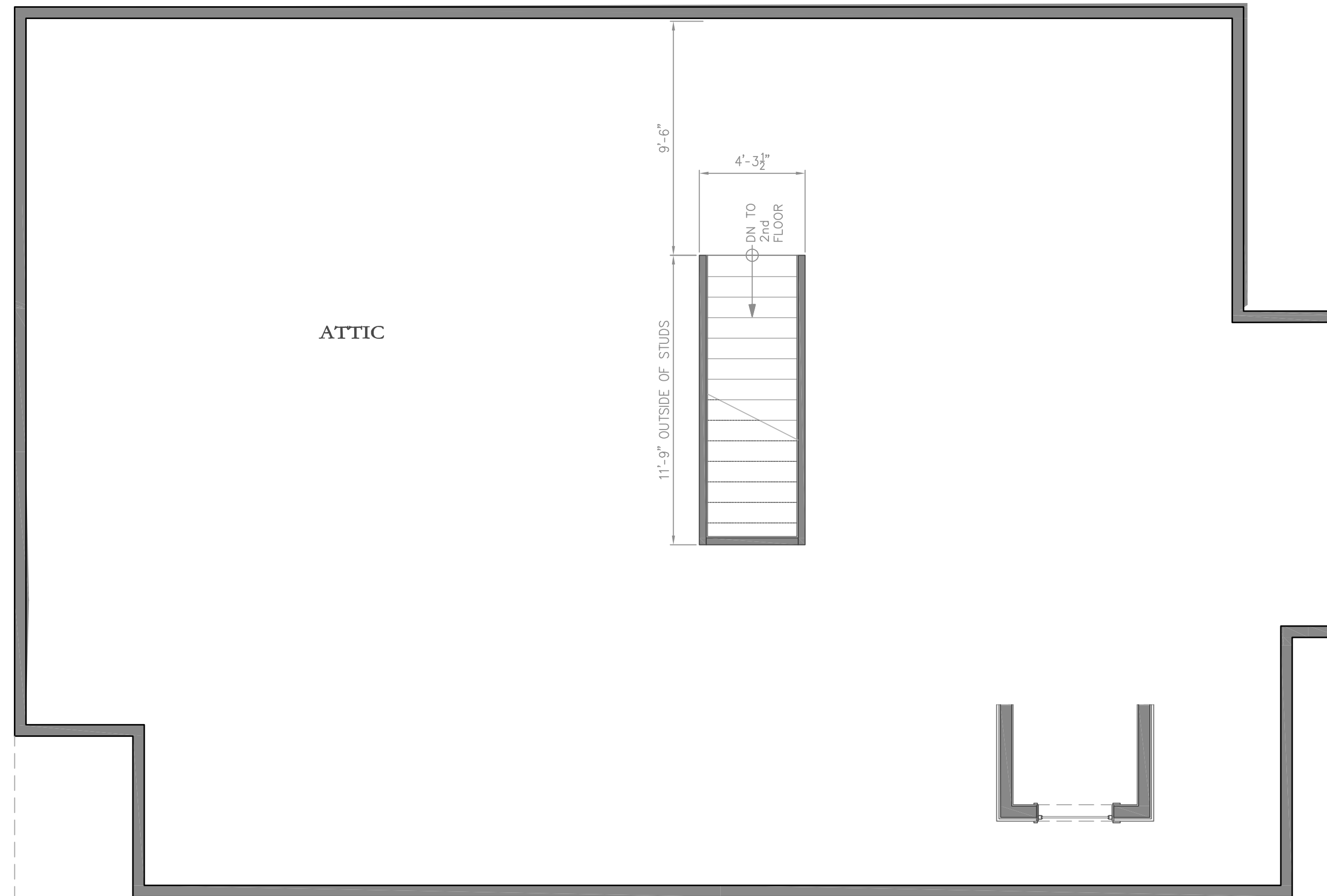
SHEET NUMBER

**A2.3**

**PEAVY**

PROJECT ADDRESS

301 Ascott Rd.  
Homewood, AL 35209



# 3rd Level Floor Plan - Existing

Scale : 1/4" = 1'-0"

CHANGE LOG :

Date:	Description:	Permit Set
01.07.2026		x
x		x
x		x
x		x
x		x

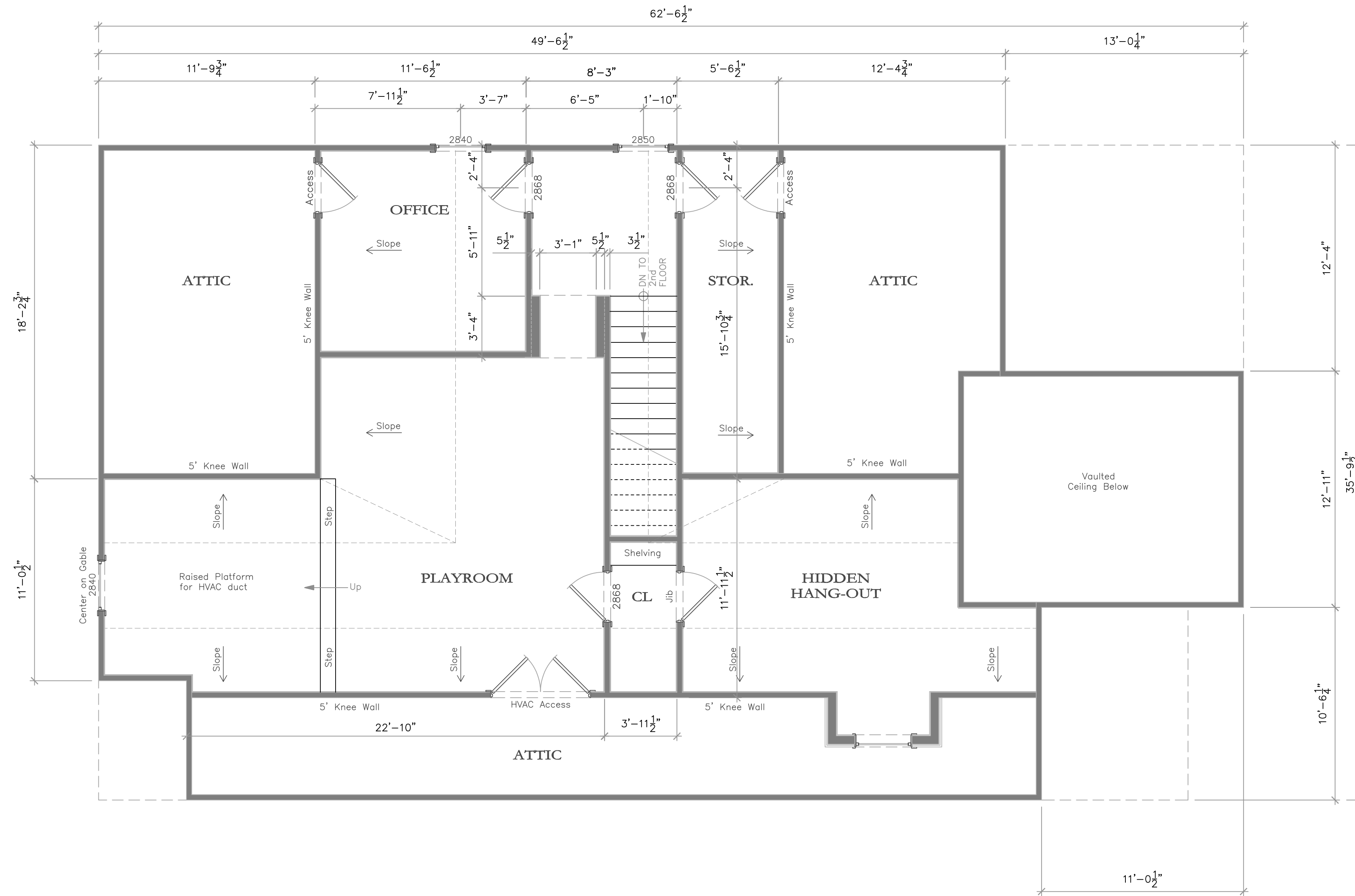
PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.692

SHEET INDEX

T1.0	Title Sheet
S1.0	Site Plan - Existing
S1.1	Site Plan - Proposed
A1.0	Foundation Plan
A2.0	Main Level Floor Plan - Existing
A2.1	Main Level Floor Plan - Proposed
A2.2	2nd Level Floor Plan - Existing
A2.3	2nd Level Floor Plan - Proposed
A2.4	3rd Level Floor Plan - Existing
A2.5	3rd Level Floor Plan - Proposed
A2.6	Roof Plan - Existing
A2.7	Roof Plan - Proposed
A3.0	Exterior Elevations 1 of 2
A3.1	Exterior Elevations 2 of 2
A4.0	Details
E1.0	Main Level Electrical Plan
E1.1	2nd Level Electrical Plan
E1.2	3rd Level Electrical Plan

SHEET NUMBER

# A2.4



# 3rd Level Floor Plan - Proposed

Scale : 1/4" = 1'-0"

### SQUARE FOOTAGES

<u>Main Level</u>		
Finished	=	1,971 sf
Front Porch	=	186 sf
Rear Cov. Porch	=	49 sf
<u>Second Level</u>		
Finished	=	1,979 sf
<u>Third Level</u>		
Finished	=	1,071 sf

CHANGE LOG :

Date:	Description:	Permit Set
01.07.2026		X
		X
		X
		X

PLAN CONTACT : Crystal Tucker  
PHONE : 205.318.692

SHEET INDEX

T1.0	Title Sheet
S1.0	Site Plan - Existing
S1.1	Site Plan - Proposed
A1.0	Foundation Plan
A2.0	Main Level Floor Plan - Existing
A2.1	Main Level Floor Plan - Proposed
A2.2	2nd Level Floor Plan - Existing
A2.3	2nd Level Floor Plan - Proposed
A2.4	3rd Level Floor Plan - Existing
A2.5	3rd Level Floor Plan - Proposed
A2.6	Roof Plan - Existing
A2.7	Roof Plan - Proposed
A3.0	Exterior Elevations 1 of 2
A3.1	Exterior Elevations 2 of 2
A4.0	Details
E1.0	Main Level Electrical Plan
E1.1	2nd Level Electrical Plan
E1.2	3rd Level Electrical Plan

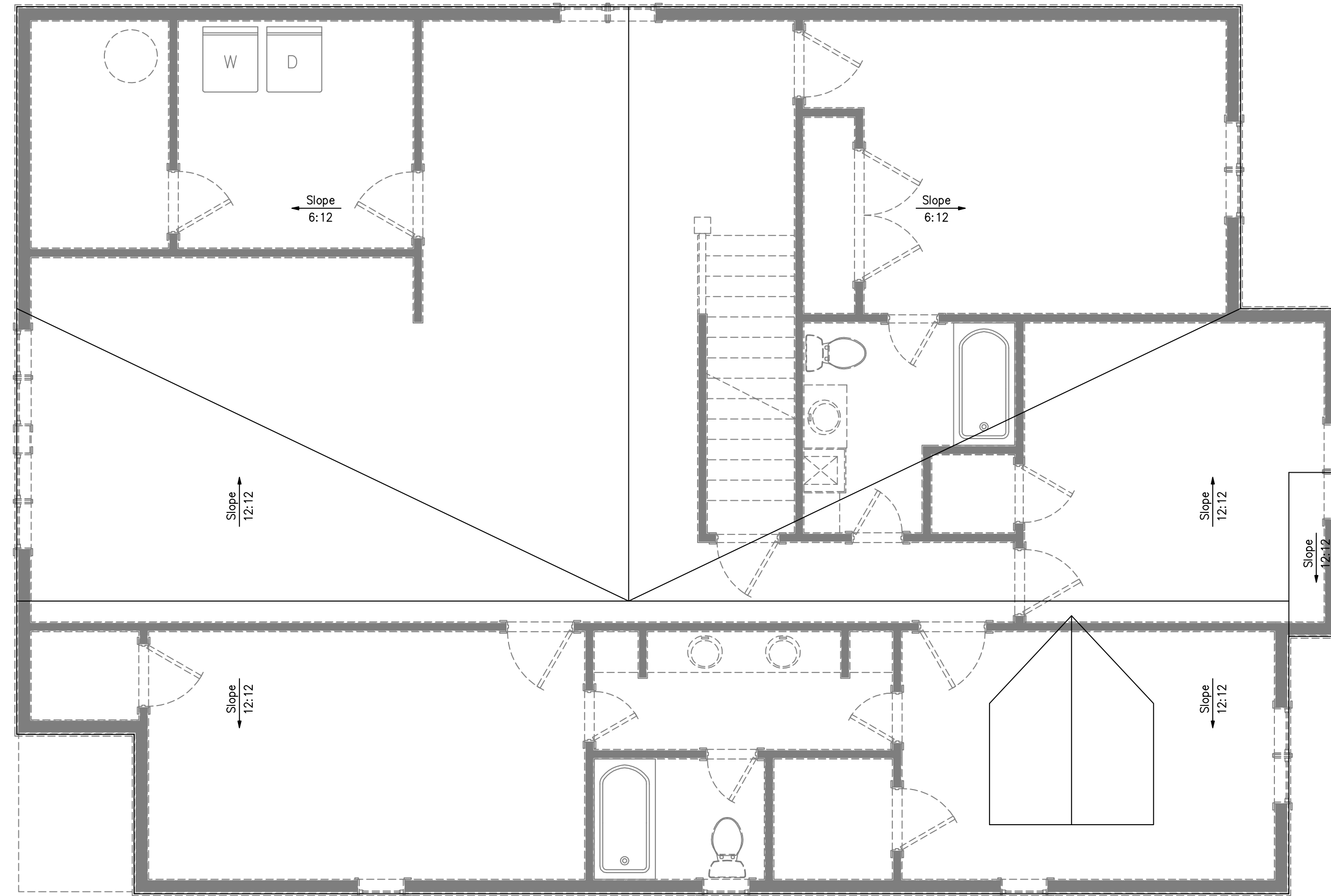
SHEET NUMBER

**A2.5**

**PEAVY**

PROJECT ADDRESS

301 Ascott Rd.  
Homewood, AL 35209



# Roof Plan - Existing

Scale : 1/4" = 1'-0"

**CHANGE LOG :**

Date:	Description:
01.07.2026	Permit Set
x	x
x	x
x	x
x	x

PLAN CONTACT : Crystal Tucker  
PHONE : 205.318.692

**SHEET INDEX**

T1.0	Title Sheet
S1.0	Site Plan - Existing
S1.1	Site Plan - Proposed
A1.0	Foundation Plan
A2.0	Main Level Floor Plan - Existing
A2.1	Main Level Floor Plan - Proposed
A2.2	2nd Level Floor Plan - Existing
A2.3	2nd Level Floor Plan - Proposed
A2.4	3rd Level Floor Plan - Existing
A2.5	3rd Level Floor Plan - Proposed
A2.6	Roof Plan - Existing
A2.7	Roof Plan - Proposed
A3.0	Exterior Elevations 1 of 2
A3.1	Exterior Elevations 2 of 2
A4.0	Details
E1.0	Main Level Electrical Plan
E1.1	2nd Level Electrical Plan
E1.2	3rd Level Electrical Plan

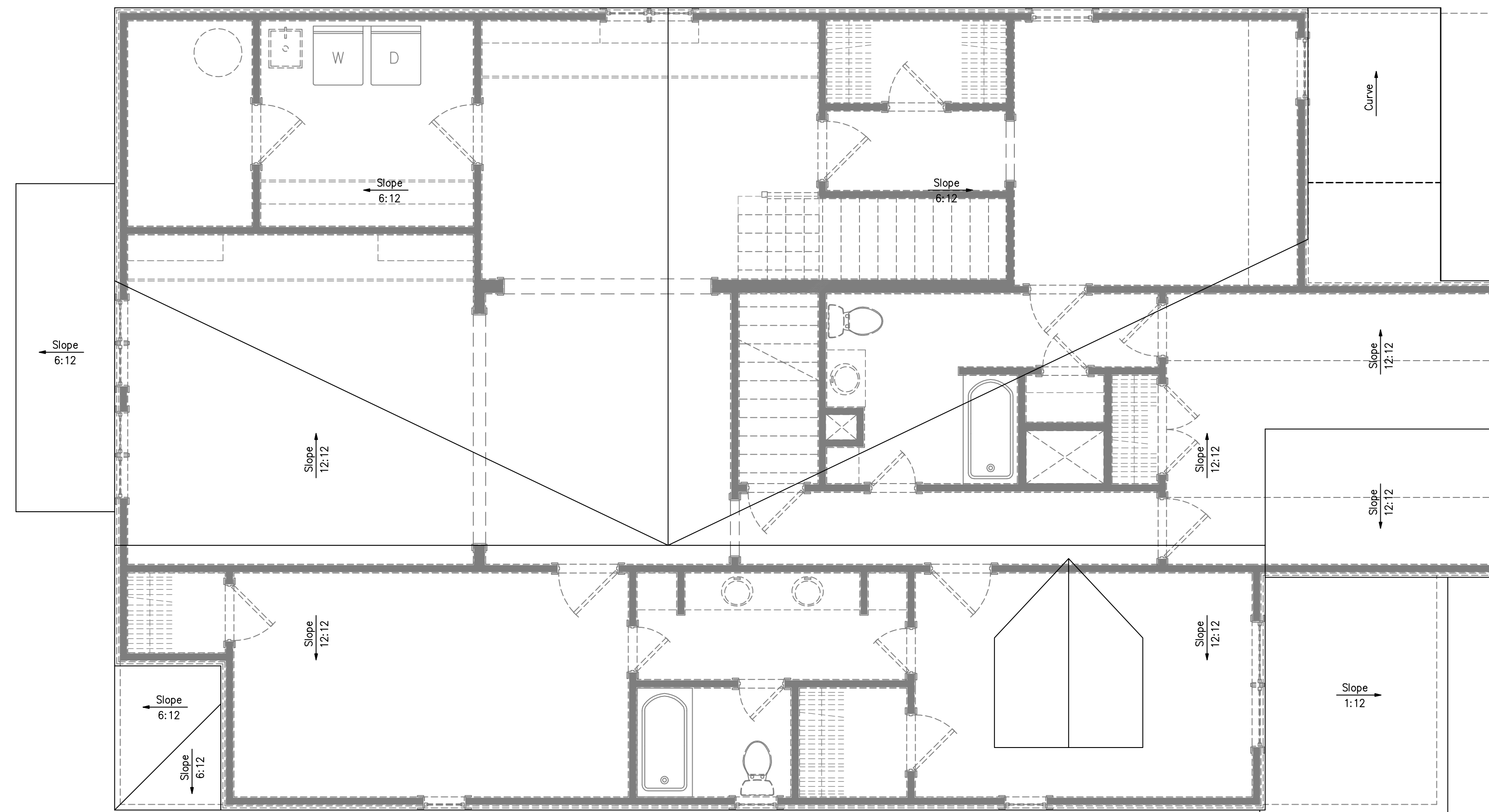
**SHEET NUMBER**

**A2.6**

**PEAVY**

PROJECT ADDRESS

301 Ascott Rd.  
Homewood, AL 35209



# Roof Plan - Proposed

Scale : 1/4" = 1'-0"

### CHANGE LOG :

Date:	Description:	Permit Set
01.07.2026		X
		X
		X
		X

PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.692

### SHEET INDEX

T1.0	Title Sheet
S1.0	Site Plan - Existing
S1.1	Site Plan - Proposed
A1.0	Foundation Plan
A2.0	Main Level Floor Plan - Existing
A2.1	Main Level Floor Plan - Proposed
A2.2	2nd Level Floor Plan - Existing
A2.3	2nd Level Floor Plan - Proposed
A2.4	3rd Level Floor Plan - Existing
A2.5	3rd Level Floor Plan - Proposed
A2.6	Roof Plan - Existing
A2.7	Roof Plan - Proposed
A3.0	Exterior Elevations 1 of 2
A3.1	Exterior Elevations 2 of 2
A4.0	Details
E1.0	Main Level Electrical Plan
E1.1	2nd Level Electrical Plan
E1.2	3rd Level Electrical Plan

SHEET NUMBER

**A2.7**

**PEAVY**

PROJECT ADDRESS

301 Ascott Rd.  
Homewood, AL 35209

MATERIALS LEGEND	
①	Stucco
②	Architectural Asphalt Shingle
③	Brick
④	Wavy Edge Cedar Siding
⑤	Metal Roofing
⑥	Brick veneer laid in basketweave pattern
⑦	Cedar



**Front**



**Right**

# Exterior Elevations

Scale : 1/4" = 1'-0"

**CHANGE LOG :**

Date:	Description:	Permit Set
01.07.2026		x
		x
		x
		x

PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.6592

**SHEET INDEX**

T1.0	Title Sheet
S1.0	Site Plan - Existing
S1.1	Site Plan - Proposed
A1.0	Foundation Plan
A2.0	Main Level Floor Plan - Existing
A2.1	Main Level Floor Plan - Proposed
A2.2	2nd Level Floor Plan - Existing
A2.3	2nd Level Floor Plan - Proposed
A2.4	3rd Level Floor Plan - Existing
A2.5	3rd Level Floor Plan - Proposed
A2.6	Roof Plan - Existing
A2.7	Roof Plan - Proposed
A3.0	Exterior Elevations 1 of 2
A3.1	Exterior Elevations 2 of 2
A4.0	Details
E1.0	Main Level Electrical Plan
E1.1	2nd Level Electrical Plan
E1.2	3rd Level Electrical Plan

SHEET NUMBER

**A3.0**

**PEAVY**

PROJECT ADDRESS

301 Ascott Rd.  
Homewood, AL 35209

MATERIALS LEGEND	
①	Stucco
②	Architectural Asphalt Shingle
③	Brick
④	Wavy Edge Cedar Siding
⑤	Metal Roofing
⑥	Brick veneer laid in basketweave pattern
⑦	Cedar



**Rear**



**Left**

# Exterior Elevations

Scale : 1/4" = 1'-0"

CHANGE LOG :

Date:	Description:	Permit Set
01.07.2026		x
		x
		x
		x

PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.692

SHEET INDEX

T1.0	Title Sheet
S1.0	Site Plan - Existing
S1.1	Site Plan - Proposed
A1.0	Foundation Plan
A2.0	Main Level Floor Plan - Existing
A2.1	Main Level Floor Plan - Proposed
A2.2	2nd Level Floor Plan - Existing
A2.3	2nd Level Floor Plan - Proposed
A2.4	3rd Level Floor Plan - Existing
A2.5	3rd Level Floor Plan - Proposed
A2.6	Roof Plan - Existing
A2.7	Roof Plan - Proposed
A3.0	Exterior Elevations 1 of 2
A3.1	Exterior Elevations 2 of 2
A4.0	Details
E1.0	Main Level Electrical Plan
E1.1	2nd Level Electrical Plan
E1.2	3rd Level Electrical Plan

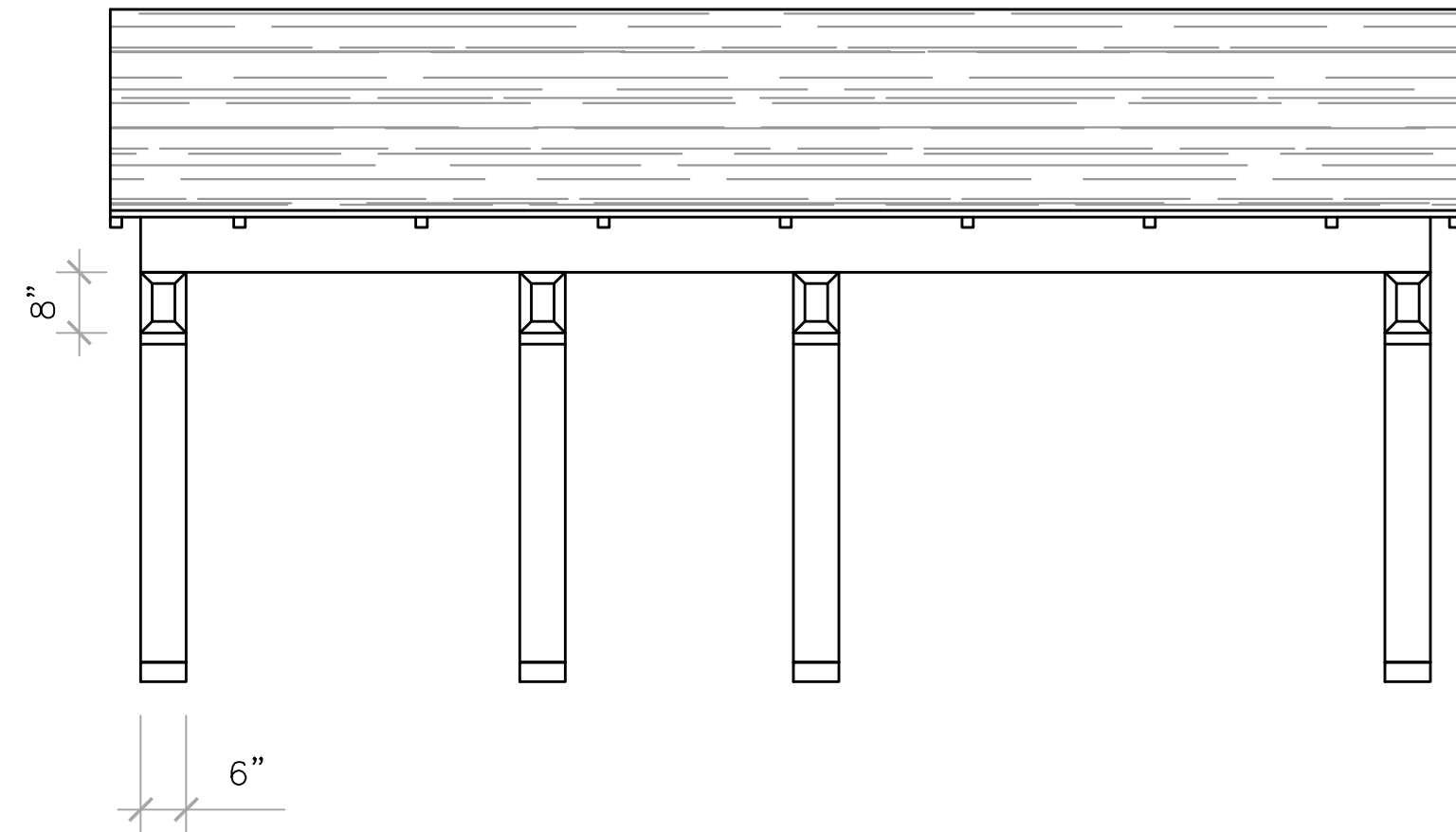
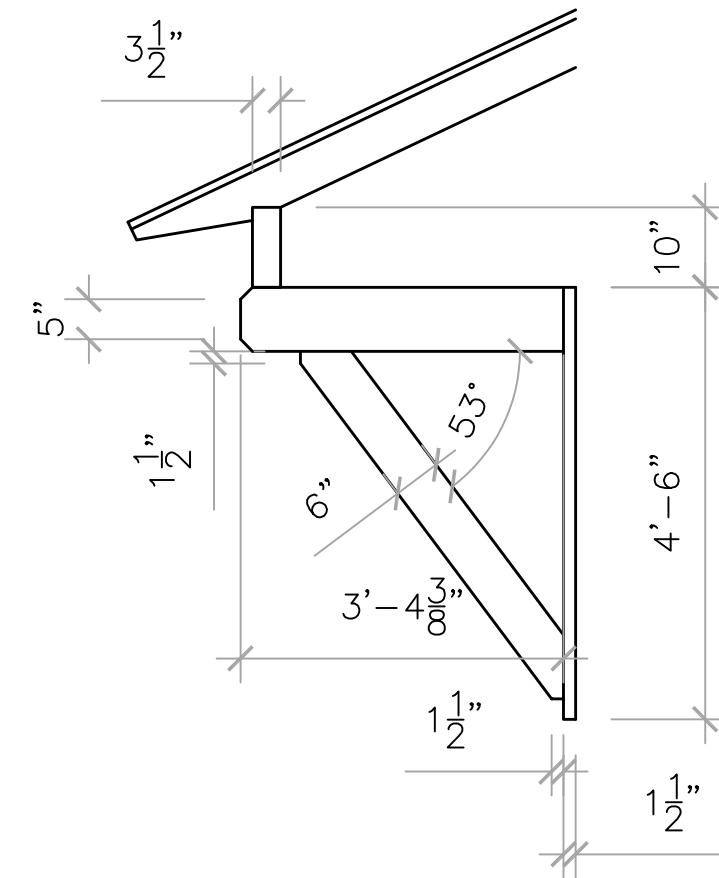
SHEET NUMBER

**A3.1**

**PEAVY**

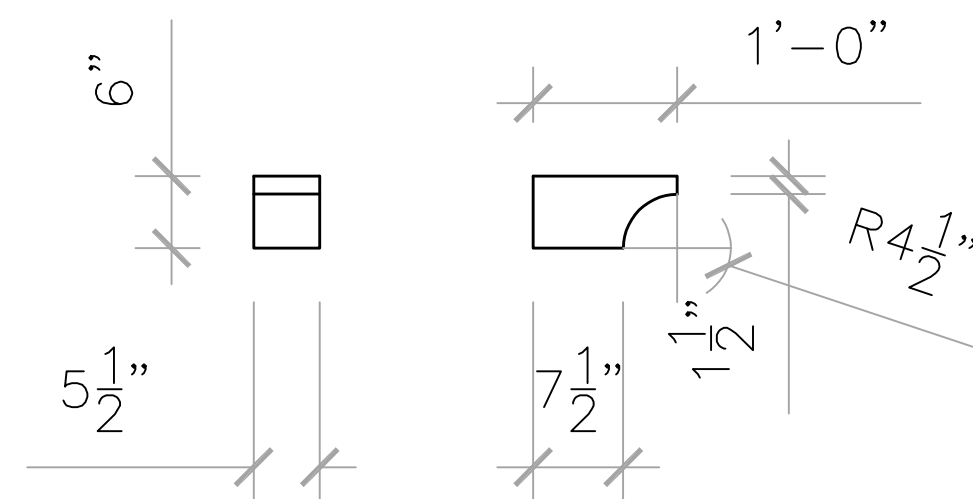
PROJECT ADDRESS

301 Ascott Rd.  
Homewood, AL 35209



### Roof @ Rear Doors

Scale : 1/2" = 1'-0"



### Corbels @ Entry

Scale : 3/4" = 1'-0"

## Details

CHANGE LOG :

Date:	Description:
01.07.2026	Permit Set
x	x
x	x
x	x
x	x

PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.6592

#### SHEET INDEX

T1.0	Title Sheet
S1.0	Site Plan - Existing
S1.1	Site Plan - Proposed
A1.0	Foundation Plan
A2.0	Main Level Floor Plan - Existing
A2.1	Main Level Floor Plan - Proposed
A2.2	2nd Level Floor Plan - Existing
A2.3	2nd Level Floor Plan - Proposed
A2.4	3rd Level Floor Plan - Existing
A2.5	3rd Level Floor Plan - Proposed
A2.6	Roof Plan - Existing
A2.7	Roof Plan - Proposed
A3.0	Exterior Elevations 1 of 2
A3.1	Exterior Elevations 2 of 2
A4.0	Details
E1.0	Main Level Electrical Plan
E1.1	2nd Level Electrical Plan
E1.2	3rd Level Electrical Plan

SHEET NUMBER

**A4.0**



Electrical and Lighting Legend	
	Light / Fan Box
	Exhaust Fan
	Light Fixture
	4" Recessed Can Fixture
	Mini Recessed Can Fixture
	Moisture Resistant Can Fixture
	Ceiling Mounted Pendant Fixture
	Wall Mounted Sconce
	Exterior Flood Light
	Duplex Receptacle Floor Outlet
	Switched Duplex Receptacle Outlet
	Under-Cabinet Mounted Fixture
	2' Florescent Fixture
	Large LED Light
	Ceiling Fan Fixture

# Main Level Electrical Plan

SCALE : 1/4" = 1'-0"

**CHANGE LOG :**

Date:	Description:	Permit Set
01.07.2026		x
		x
		x
		x

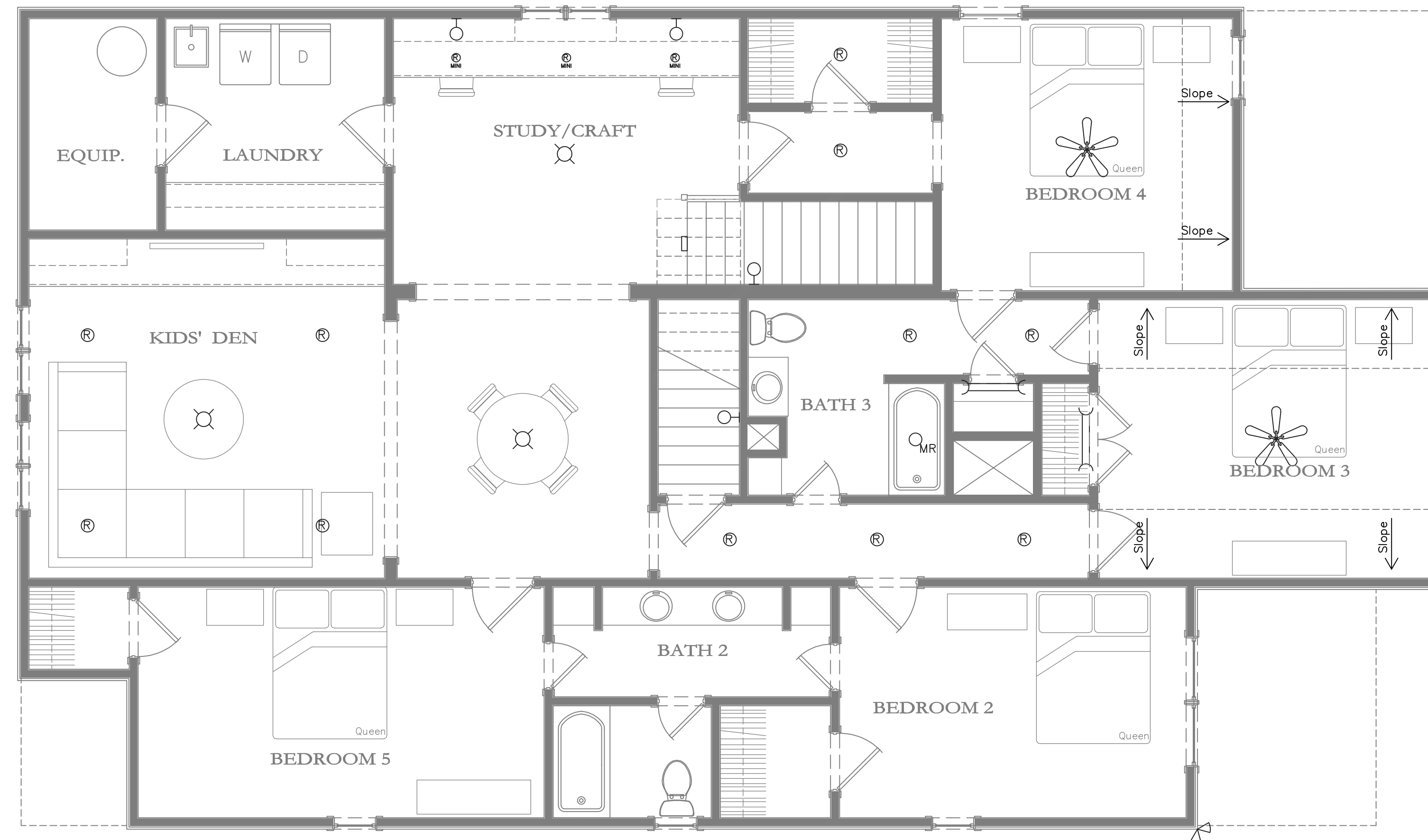
PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.692

**SHEET INDEX**

T1.0	Title Sheet
S1.0	Site Plan - Existing
S1.1	Site Plan - Proposed
A1.0	Foundation Plan
A2.0	Main Level Floor Plan - Existing
A2.1	Main Level Floor Plan - Proposed
A2.2	2nd Level Floor Plan - Existing
A2.3	2nd Level Floor Plan - Proposed
A2.4	3rd Level Floor Plan - Existing
A2.5	3rd Level Floor Plan - Proposed
A2.6	Roof Plan - Existing
A2.7	Roof Plan - Proposed
A3.0	Exterior Elevations 1 of 2
A3.1	Exterior Elevations 2 of 2
A4.0	Details
E1.0	Main Level Electrical Plan
E1.1	2nd Level Electrical Plan
E1.2	3rd Level Electrical Plan

**SHEET NUMBER**

**E1.0**



# 2nd Level Electrical Plan

SCALE : 1/4" = 1'-0"

Electrical and Lighting Legend	
	Light / Fan Box
	Exhaust Fan
	Light Fixture
	4" Recessed Can Fixture
	Mini Recessed Can Fixture
	Moisture Resistant Can Fixture
	Ceiling Mounted Pendant Fixture
	Wall Mounted Sconce
	Exterior Flood Light
	Duplex Receptacle Floor Outlet
	Switched Duplex Receptacle Outlet
	Under-Cabinet Mounted Fixture
	2' Florescent Fixture
	Large LED Light
	Ceiling Fan Fixture

**CHANGE LOG :**

Date:	Description:	Permit Set
01.07.2026		x
		x
		x
		x

PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.692

**SHEET INDEX**

T1.0	Title Sheet
S1.0	Site Plan - Existing
S1.1	Site Plan - Proposed
A1.0	Foundation Plan
A2.0	Main Level Floor Plan - Existing
A2.1	Main Level Floor Plan - Proposed
A2.2	2nd Level Floor Plan - Existing
A2.3	2nd Level Floor Plan - Proposed
A2.4	3rd Level Floor Plan - Existing
A2.5	3rd Level Floor Plan - Proposed
A2.6	Roof Plan - Existing
A2.7	Roof Plan - Proposed
A3.0	Exterior Elevations 1 of 2
A3.1	Exterior Elevations 2 of 2
A4.0	Details
E1.0	Main Level Electrical Plan
E1.1	2nd Level Electrical Plan
E1.2	3rd Level Electrical Plan

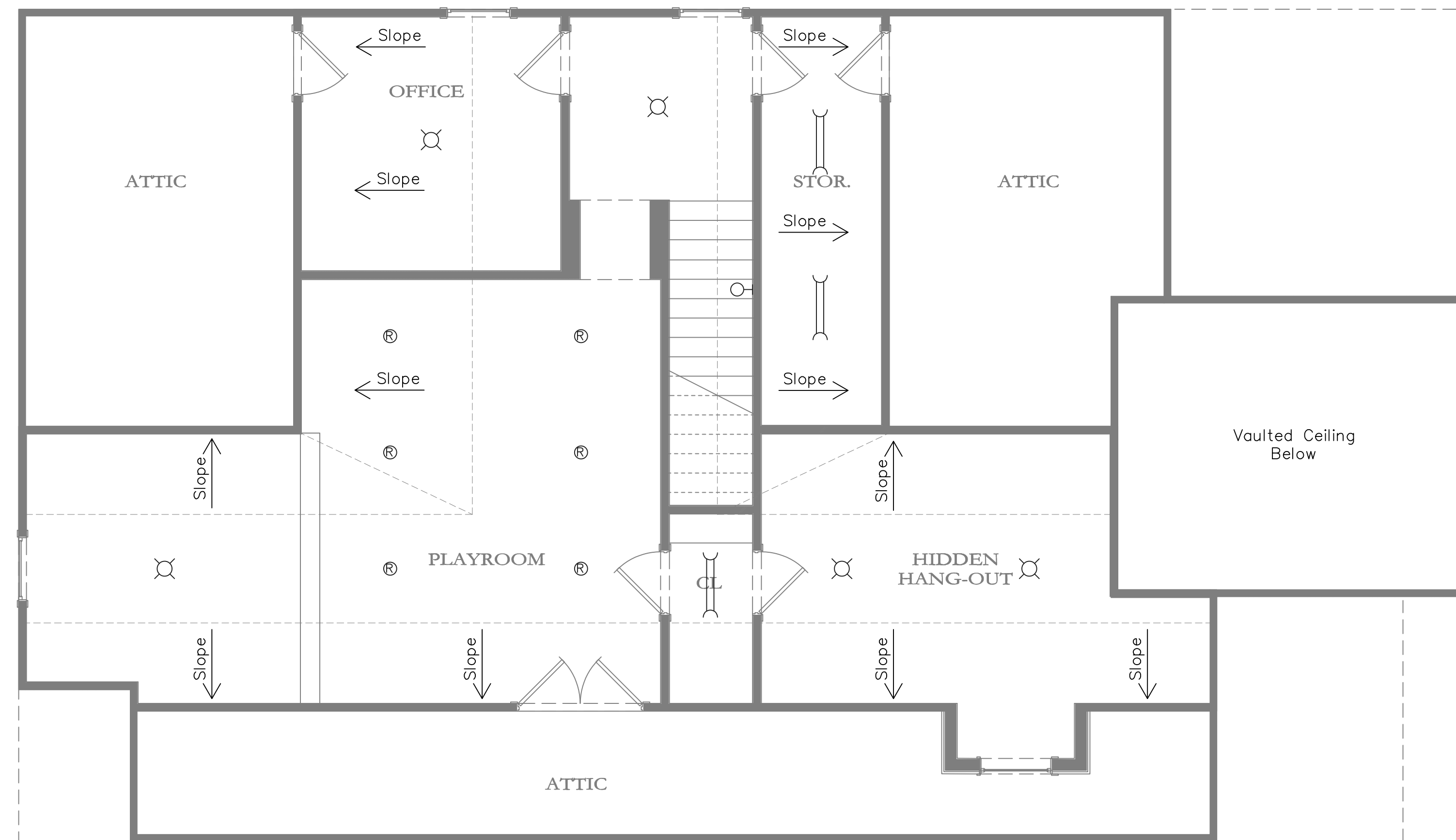
**SHEET NUMBER**

**E1.1**

**PEAVY**

PROJECT ADDRESS

301 Ascott Rd.  
Homewood, AL 35209



Electrical and Lighting Legend	
	Light / Fan Box
	Exhaust Fan
	Light Fixture
	4" Recessed Can Fixture
	Mini Recessed Can Fixture
	Moisture Resistant Can Fixture
	Ceiling Mounted Pendant Fixture
	Wall Mounted Sconce
	Exterior Flood Light
	Duplex Receptacle Floor Outlet
	Switched Duplex Receptacle Outlet
	Under-Cabinet Mounted Fixture
	2' Florescent Fixture
	Large LED Light
	Ceiling Fan Fixture

### 3rd Level Electrical Plan

SCALE : 1/4" = 1'-0"

CHANGE LOG :

Date:	Description:	Permit Set
01.07.2026		x
		x
		x
		x

PLAN CONTACT : Crystal Tucker  
PHONE : 205.218.6992

SHEET INDEX

T1.0	Title Sheet
S1.0	Site Plan - Existing
S1.1	Site Plan - Proposed
A1.0	Foundation Plan
A2.0	Main Level Floor Plan - Existing
A2.1	Main Level Floor Plan - Proposed
A2.2	2nd Level Floor Plan - Existing
A2.3	2nd Level Floor Plan - Proposed
A2.4	3rd Level Floor Plan - Existing
A2.5	3rd Level Floor Plan - Proposed
A2.6	Roof Plan - Existing
A2.7	Roof Plan - Proposed
A3.0	Exterior Elevations 1 of 2
A3.1	Exterior Elevations 2 of 2
A4.0	Details
E1.0	Main Level Electrical Plan
E1.1	2nd Level Electrical Plan
E1.2	3rd Level Electrical Plan

SHEET NUMBER

**E1.2**









**CITY OF HOMEWOOD  
DEPARTMENT OF ENGINEERING & ZONING**

2850 19th Street South - 4<sup>th</sup> Floor  
Homewood, Alabama 35209  
Phone 205-332-6800

**Cale Smith, PE, City Manager**

**Wyatt Pugh, Director**

---

February 18, 2026

*Subject Property: 301 Ascott Road*

Dear Property Owner:

This letter shall serve as a public hearing notice to the parties in interest and to all adjacent property owners. The Homewood Board of Zoning Adjustments has been petitioned to modify the zoning regulations, as they apply to the above referenced property. Please see below for hearing details:

**Hearing Date & Time:** March 5, 2026, at 6:00 PM

**Hearing Location:** Homewood City Hall Council Chambers, 2850 19<sup>th</sup> Street South

**Applicant:** Twin Construction **Property Owners:** Collier and Patrick Peavy

**Nature of Request:** Side Setback

The applicant or their agent must attend the public hearing to present the request to the Board. Public comments in support or opposition to the petition shall also be heard by the Board at this time. Interested individuals can submit questions or comments to the Department of Engineering and Zoning by contacting Emily Harris-Miller at [emily.harrismiller@homewoodal.org](mailto:emily.harrismiller@homewoodal.org), or (205) 332-6800. Information regarding live stream viewing, electronic submittal of comments, and publication of case documents are provided on the reverse side of this notice.

Best,



Emily Harris-Miller  
*Senior Planning Technician*

cc: Applicant  
Property owner  
Adjacent property owners

**Information and Instructions:** The public hearing will be preceded by a brief work session between Board Members and city staff beginning at 5:30 p.m. in the City Council's Committee Workroom located on the 2<sup>nd</sup> floor behind the Council Chambers.

If you wish to view the live stream for this meeting, the "Live Stream" link is available on the home page the city's website at [www.cityofhomewood.com](http://www.cityofhomewood.com). **Although Board of Zoning Adjustments meetings may be viewed through the live streaming service, individuals wishing to participate in the public hearing, by speaking in support or opposition to a particular case, must attend the meeting in person.**

Comments in support or opposition may also be submitted via email to the Board Secretary at [fred.goodwin@homewoodal.org](mailto:fred.goodwin@homewoodal.org) or [emily.harrismiller@homewoodal.org](mailto:emily.harrismiller@homewoodal.org). Comments should be submitted no later than 24-hours prior to the meeting and will be provided to Board Members for their consideration. Please reference the case number or the address of the subject property in your comments.

A copy of the meeting agenda packet, which includes the file for this case, will be available for viewing and downloading the Friday before the scheduled public hearing. You may access the agenda packet on the home page of the city's website at [www.cityofhomewood.com](http://www.cityofhomewood.com) by clicking on the "Upcoming Meetings/BZA" tab.

For further information or to review any files or drawings pertaining to this application you may contact our office at (205) 332-6800 or visit between 7:30 a.m. and 4:30 p.m. Monday-Friday.

# City of Homewood BZA Case Map

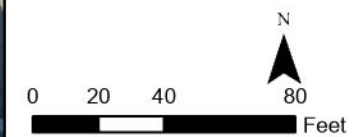
301 Ascott Rd

BZA 26-0023

Aerial Photo Map



-  Subject Property
-  Roadway
-  Parcels



THE INFORMATION ON THIS DRAWING WAS COMPILED FROM SEVERAL SOURCES AND SHOULD ONLY BE USED FOR GEREAL INFORMATION AND ORIENTATION. THIS DRAWING IS THE PROPERTY OF THE CITY OF HOMEWOOD AND ITS USE BY ANYONE FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY AUTHORIZED BY THE CITY OF HOMEWOOD IS PROHIBITED.

ZONING IS SUBJECT TO CHANGE. PLEASE CALL ZONING OFFICE TO CONFIRM ZONING. 332-6828



City of Homewood  
Department of Engineering & Zoning  
2850 19<sup>th</sup> Street South, Homewood, AL 35209  
cityofhomewood.com

# Planning and Zoning General Application

(Page 1 of 2 – see page 2 for submittal requirements)

**Property Address:** 422 Woodland Dr, Homewood, AL 35209

Parcel ID: 2900133003033000 Current Zoning: NPD

Acreage: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

**Applicant:** Twin Construction, Inc Property Interest of Applicant: contractor

Mailing Address: 2907 Central Ave, Ste 105, Homewood, AL 35209

City State Zip

**Property Owner:** Michael and Brooke Rebarchak

Phone #: \_\_\_\_\_

Mailing Address: same as property address

City State Zip

**Request (check all applicable items):**

- Variance Request
- Other BZA Request: \_\_\_\_\_
- Rezoning
- Zoning Text Amendment
- Resurvey
- Development Plan
- Final
- Amended

**Signatures of Property Owner and Applicant:**

I, Michael and Brook Rebarchak (Print Property Owner) am the property owner of the subject property and have read and understood all statements including the filing requirements. I hereby affirm that this application may be denied, modified, or approved with modifications and/or contingencies and that such modifications and/or contingencies must be complied with prior to issuance of building permits.

I authorize Twin Construction, Inc. (Print Applicant) to act as representative in all matters concerning this application.

1/20/2026 | 11:59 AM

Signature of Property Owner Date Signature of Applicant Date

**For office use only:**

- \_ Completed Application form with signatures
  - \_ Project Narrative
  - \_ 2 Hard Copies of Site Plan, Site Photographs, Survey, Mylar, etc.
  - \_ Digital Copies of Site Plans, Site Photographs, Survey, Mylar etc.
  - \_ Application Fee
  - \_ Other Required Documents: \_\_\_\_\_
- Current Zoning District: \_\_\_\_\_  
Proposed Zoning District: \_\_\_\_\_  
Special Flood Hazard Area (Y/N): \_\_\_\_\_
- Date Received in Office: \_\_\_\_\_ Time Received: \_\_\_\_\_  
Received By: \_\_\_\_\_ Case Number(s): \_\_\_\_\_



# Planning and Zoning General Application

(Page 2 of 2)

**All General Applications shall include the following at the time of submittal:**

- One copy of the completed application form, with the original signature of the property owner or his/her authorized agent.
- Application fee
- Project narrative including the following as appropriate: proposed use, detailed project description, reason for request, conditions that the applicant will be willing to proffer
- Current Property Boundary Survey
- Hard copy and pdf copy of all site plans and building elevations. *(Plans and associated documents that are too large to email can be provided on a flash drive.)*
- Restrictive Covenants *(if applicable)*
- Photographs of the site and all existing buildings and structures.
- Proof of Ownership (if property has been purchased within the last 12 months)
- Any variances previously granted by the Board of Zoning Adjustments

***The following additional items will be required based on the nature of the application request and must also be submitted at the time of initial application submittal:***

**Variance Application Requirements**

- Completed Variance Request Chart
- Hardship Statement signed by Property Owner and Applicant
- Hardship Criteria Evaluation Form (initialed and signed)

**Final and Amended Development Plan Requirements**

- 2 full sized copies, 2 11X17 copies, and a digital copy of the proposed development plan
- Complete legal description
- Other additional information as listed in Article VII. Required Development Plan

**Resurvey Application Requirements**

- 2 full sized copies of the resurvey drawing
- 1 full size mylar copy of the resurvey drawing
- Digital copy of the resurvey drawing
- Complete legal description

**Rezoning Application Requirements**

- Complete legal description
- Current Zoning District \_\_\_\_\_
- Proposed Zoning District \_\_\_\_\_
- Conditions that the applicant will be willing to proffer. (If applicable, please include in the detailed project narrative)

*By signing below, I acknowledge that all required documents are included in the application package. Additionally, I understand that all applications must be complete by the final application deadline in order to be processed by staff and considered by the Board of Zoning Adjustments or Planning Commission.*

Signature of Applicant

1/20/2026 | 11:59 AM CST

Date



City of Homewood  
Department of Engineering & Zoning  
2850 19<sup>th</sup> Street South, Homewood, AL 35209  
cityofhomewood.com

**City of Homewood Board of Zoning Adjustments Applications**

***General Information for Applicant***

The Homewood Board of Adjustment was established pursuant to section 11-52-80, Code of Alabama 1975 and shall have all powers and duties delegated to boards of adjustment by said code, which generally are:

- 1) *Appeal a decision of the administrative official:* To hear and decide appeals where it is alleged there is error in any order, requirement, decision, or determination made by an administrative official in the enforcement of this ordinance.
- 2) *Special Exception to allow a Home Occupation or other use requiring BZA approval:* To hear and decide special exceptions to the terms of this ordinance upon which the board is required to pass under this ordinance.
- 3) *To authorize upon appeal in specific cases such variance from the terms of the zoning ordinance* as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the provisions of this ordinance will result in unnecessary hardship, and so that the spirit of this ordinance shall be observed and substantial justice done.

The following pages include necessary information and requirements for applications to the Board of Zoning Adjustments. Please review closely and provide initials and/or signatures to indicate your understanding of the information.

***The Purpose of a Variance***

A variance is an allowance, which permits minor deviation from the zoning ordinance district requirements where individual properties are both harshly and uniquely burdened by the strict application of the law. The power to vary is restricted and the degree of variation is limited to the minimum change necessary to overcome the inequality inherent in the property. Use Variances are specifically prohibited. "Variance" means the modification of the requirements of a zoning district and does not include the substitution of uses assigned to other districts.

- 1) A variance recognizes that the same district requirements do not affect all properties equally; it was devised to permit minor changes to allow hardship properties to enjoy equal opportunities with properties similarly zoned. The applicant must prove that special circumstances or unusual conditions affect the subject property. These must result in uncommon hardship and unequal treatment under the strict application of the Zoning Ordinance. Where some general hardship conditions extend to other properties, a variance cannot be granted. The remedy for general hardship is a change of the map or the text of the Zoning Ordinance.
- 2) The applicant must prove that the combination of the Zoning Ordinance and the uncommon conditions of your property prevent them from making any reasonable use of the land as permitted by the present zoning district. Since zoning regulates land and not people, the following conditions **cannot** be considered pertinent to the application for a variance:
  - a. Proof that a variance would increase the financial return from the land
  - b. personal hardship
  - c. self-imposed hardship

In the case of a self-imposed hardship, the recognition of conditions created after the enactment of the Zoning Ordinance would encourage and condone violation of the law.

- 3) No variance may be granted which would adversely affect surrounding property or the general neighborhood. All variances must be in harmony with the intent and purposes of the Zoning Ordinance.

[Redacted Signature]

**Applicant Signature**

1/20/2026 | 11:59 AM CST

**Date**



City of Homewood  
Department of Engineering & Zoning  
2850 19<sup>th</sup> Street South, Homewood, AL 35209  
cityofhomewood.com

**Hardship Criteria Evaluation Form**

Prior to granting a variance, the Board of Zoning Adjustment must *examine* and *validate* that the following criteria apply to the request. Please examine the following criteria and initial to indicate their applicability to the variance request. *(The following criteria can be found in Article XI. Administration and Review Procedures, Section B. Variances, (3) Conditions)*

- a) There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to other lands or structures in the same district.

**Applicable:** \_\_\_\_\_

- b) Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the district in which the property is located.

**Applicable:** \_\_\_\_\_

- c) All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other owners of property in the district in which the property is located.

**Applicable:** \_\_\_\_\_

- d) The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.

**Applicable:** \_\_\_\_\_

- e) The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship)

**Applicable:** \_\_\_\_\_

- f) The variance requested is the minimum variance that will make possible the legal use of the land, building or structure.

**Applicable:** \_\_\_\_\_

- g) That no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

**Applicable:** \_\_\_\_\_

- h) That the variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

**Applicable:** \_\_\_\_\_

*By signing below, I acknowledge that I have reviewed and evaluated the criteria, and the application and documents submitted for the requested variance will provide evidence of their applicability to the proposed request.*

\_\_\_\_\_

**Signature of Applicant**

1/20/2026 | 11:59 AM CST

**Date**



### Variance Request Charts

Please complete only the charts relevant to the proposed variance request project. The information in these charts should reflect the information on the proposed site plans.

PRIMARY STRUCTURE SETBACKS				
	Existing Setback Dimensions	Setback Dimensions Required by Zoning Regulations	Proposed Setback Dimensions	Total Variance Requested
Front Setback				
Secondary Front Setback				
Right Setback				
Left Setback	10 ft	7.9 ft	7.9 ft	2.1 ft
Rear Setback				

ACCESSORY STRUCTURE SETBACKS				
<b>Please provide the following information regarding the proposed accessory structure:</b>				
<b>Proposed Height:</b> _____ <b>Proposed Size (in sq ft):</b> _____				
	Existing Setback Dimensions	Setback Dimensions Required by Zoning Regulations	Proposed Setback Dimensions	Total Variance Requested
Right Setback				
Left Setback				
Rear Setback				
Other:				

FENCES AND WALLS (NOT RETAINING)		
Proposed Height:	Proposed Setback:	Location of Fence:
Description of Fence (dimensions, materials, etc.): _____		
_____		

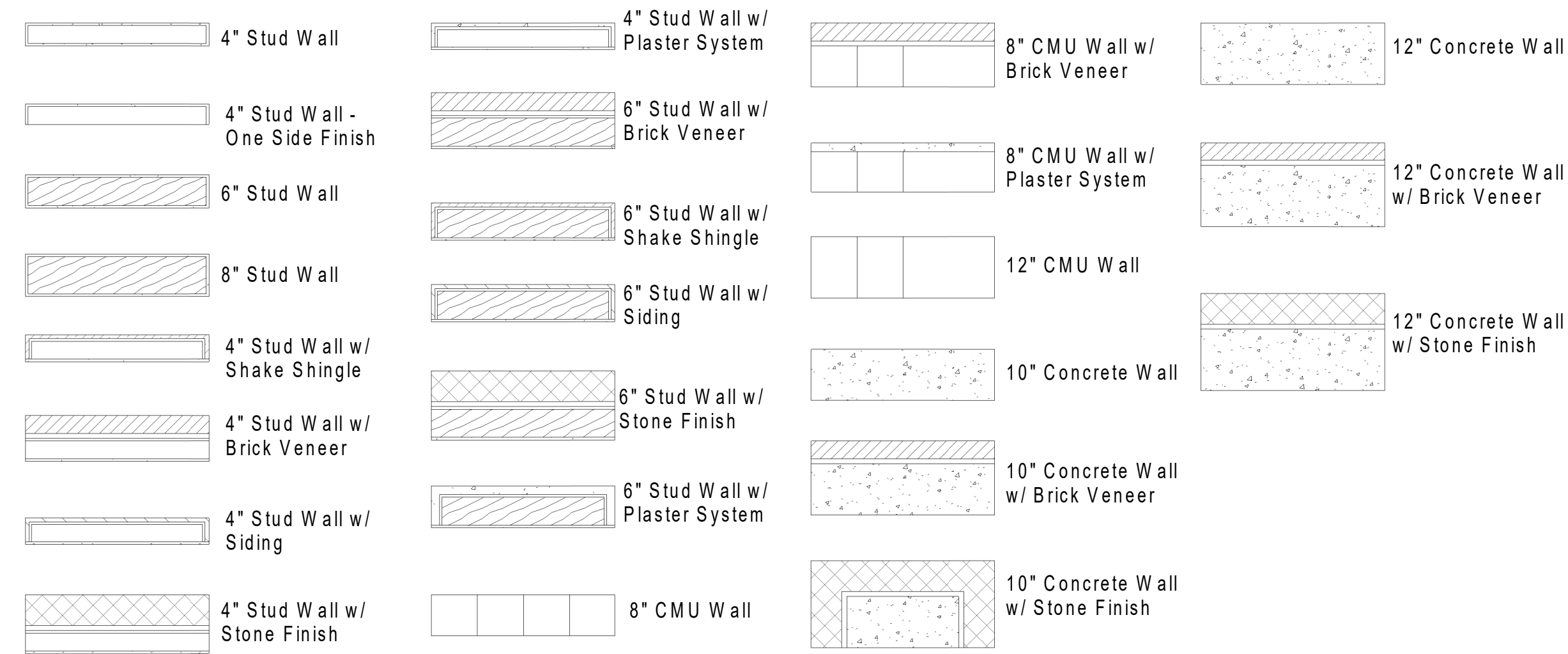
PARKING		STRUCTURE HEIGHT	
Required Parking Ratio		Existing Height	
Total Spaces Required		Maximum Height Permitted	
Total Spaces Provided		Proposed Height	
Total Variance Requested		Total Variance Requested	



**General Construction Notes**

1. All framing dimensions are to outside face of stud on exterior walls & Interior walls, & center line of windows and doors, unless noted otherwise.
2. All slab dimensions are to outside edge of slab (not brick pocket) or to centerline of footing, plumbing or electrical, unless noted otherwise.
3. Stair riser heights shall not exceed 7-3/4".
4. Return air and attic access locations to be verified in field.
5. Double up floor joists under walls that run parallel floor joists.
6. All wood framing in contact with concrete or masonry shall be pressure-treated.
7. Install insulation baffles at eave vents between rafters.
8. All shingled roofs with a pitch of less than 4:12 shall be installed with ice & water barrier.
9. Exterior sill plates to be anchored to foundation @ 6' o.c. And within 1'-0" of ends and corners.
10. Provide floored pathway in attic to HVAC unit & Water Heater.
11. See builder for any deck stair location & design if applicable.
12. Slope shower floor 1/4" per foot.
13. Verify final location of mechanical equipment.
14. Dimensions shall take precedent over scale drawings.

**Wall Material Key**



**Drawing List**

S1.0	Site Plan - Existing
S2.0	Site Plan - Proposed
A2.0	1st Floor Plan
A2.1	2nd Floor Plan
A2.2	Roof Plan
A3.1	Exterior Elevations
A3.2	Exterior Elevations
A3.3	Exterior Elevations
A3.4	Exterior Elevations

Rebarchak

PROJECT ADDRESS

422 Woodland Drive  
Birmingham, AL 35209

Twin Companies

2907 Central Ave.  
Suite 105  
Homewood, AL 35209

**Common Abbreviations**

±	approximately
@	at
AFF	above finished floor
B.O.	bottom of...
bd.	board
CL	centerline
CMU	concrete masonry unit
D/W	dishwasher
dbl	double
eq.	equal
FC	flex conduit
HB	hose bibb
K/S	knee space
KP	keypad
M/W	microwave oven
max.	maximum
min.	minimum
N/A	not applicable
NTS	not to scale
OC	on center
PH	telephone jack
PT	pressure treated
R/A	return air
REF.	refrigerator
req'd	required
SD	smoke detector
sim.	similar
sqft	square feet
T&G	tounge and groove
T.O.	top of...
TV	cable television
typ.	typical
w/	with
W/C	wine cooler
WH	water heater
WP	waterproof



Rebarchak



**Revision Log**

Date	Description	Int.
--	Prelim. Set	
--	Pricing Set	
--	Contract	
01/14/26	Misc. Changes	
01/15/26	ISR Calc.	

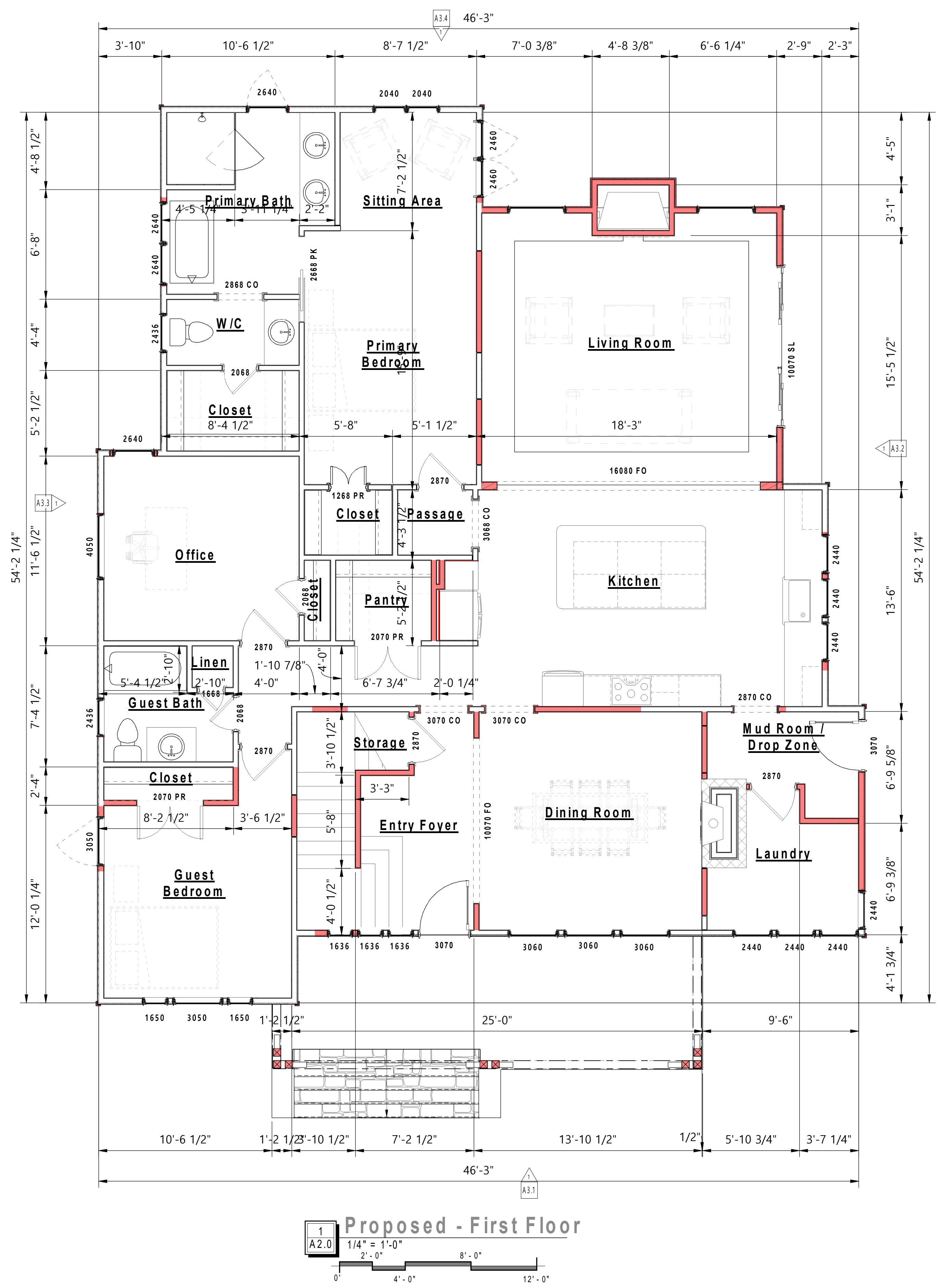
**Sheet Information**

A0.0  
Title Sheet









**1**  
**A2.0**  
**Proposed - First Floor**

1/4" = 1'-0"  
2'-0" 8'-0" 12'-0"

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PROJECT ADDRESS

422 Woodland Drive  
Birmingham, AL 35209

Twin Companies

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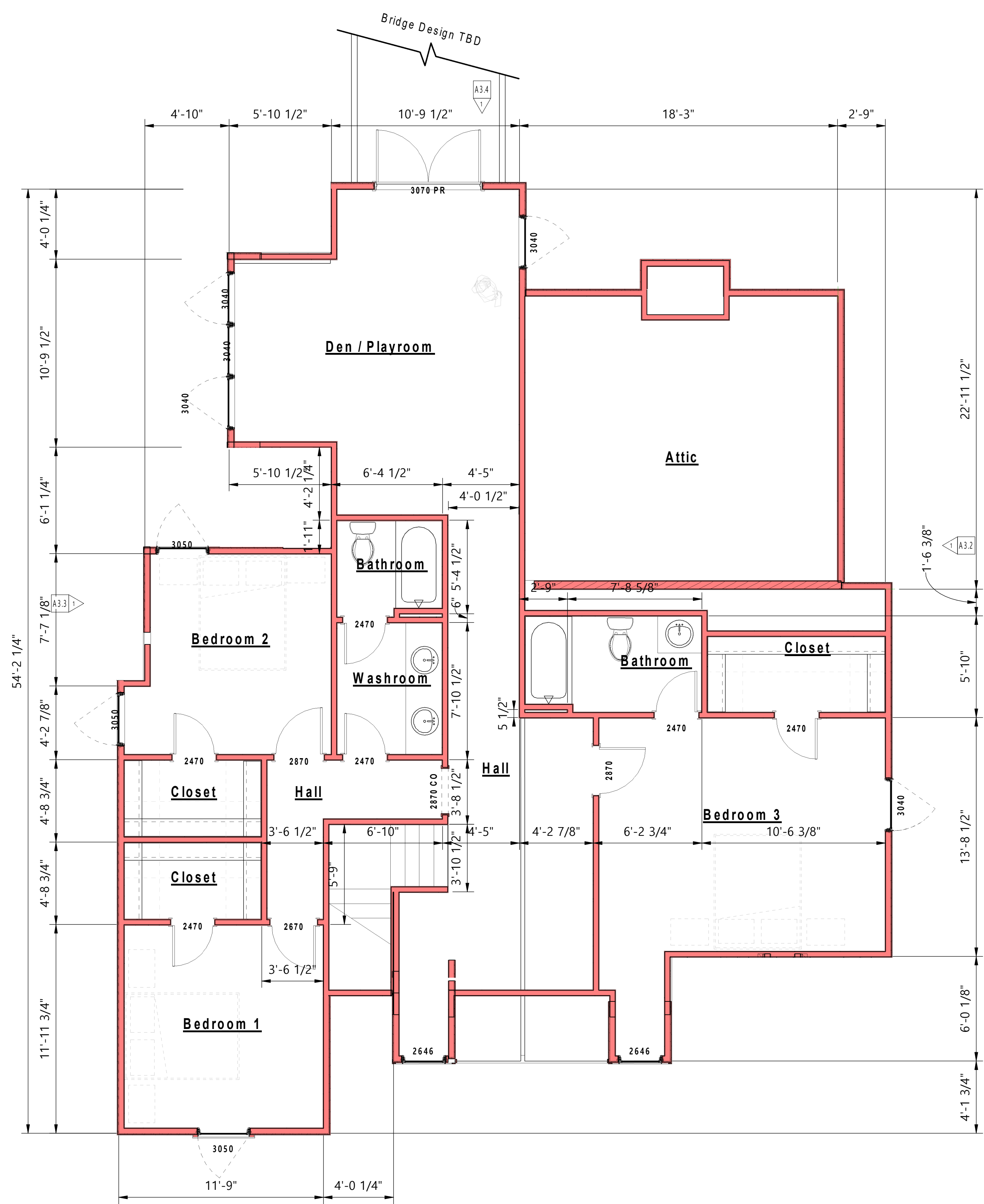


Revision Log

Date	Description	Int.
--	Prelim. Set	
--	Pricing Set	
--	Contract	
01/14/26	Misc. Changes	
01/15/26	ISR Calc.	

Sheet Information

**A2.0**  
1st Floor Plan



1  
A2.1  
Proposed - Second Floor  
1/4" = 1'-0"  
0' 8'-0" 16'-0" 24'-0"

Rebarchak

PROJECT ADDRESS

422 Woodland Drive  
Birmingham, AL 35209

Twin Companies

2907 Central Ave.  
Suite 105  
Homewood, AL 35209

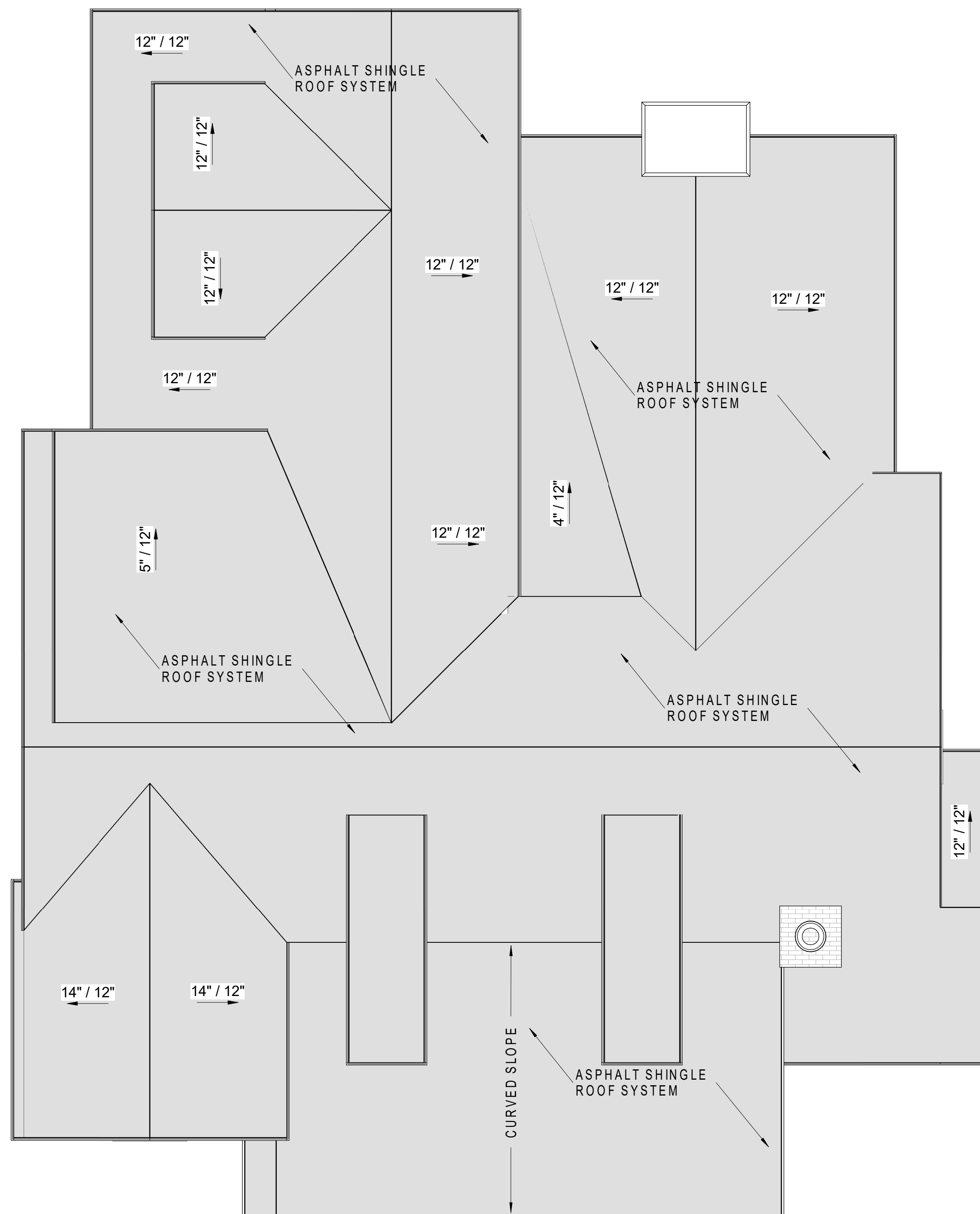


Revision Log

Date	Description	Int.
--	Prelim. Set	
--	Pricing Set	
--	Contract	
01/14/26	Misc. Changes	
01/15/26	ISR Calc.	

Sheet Information

A2.1  
2nd Floor Plan



1  
A2.2  
Roof Plan  
1/4" = 1'-0"  
0' 2'-0" 4'-0" 8'-0" 12'-0"

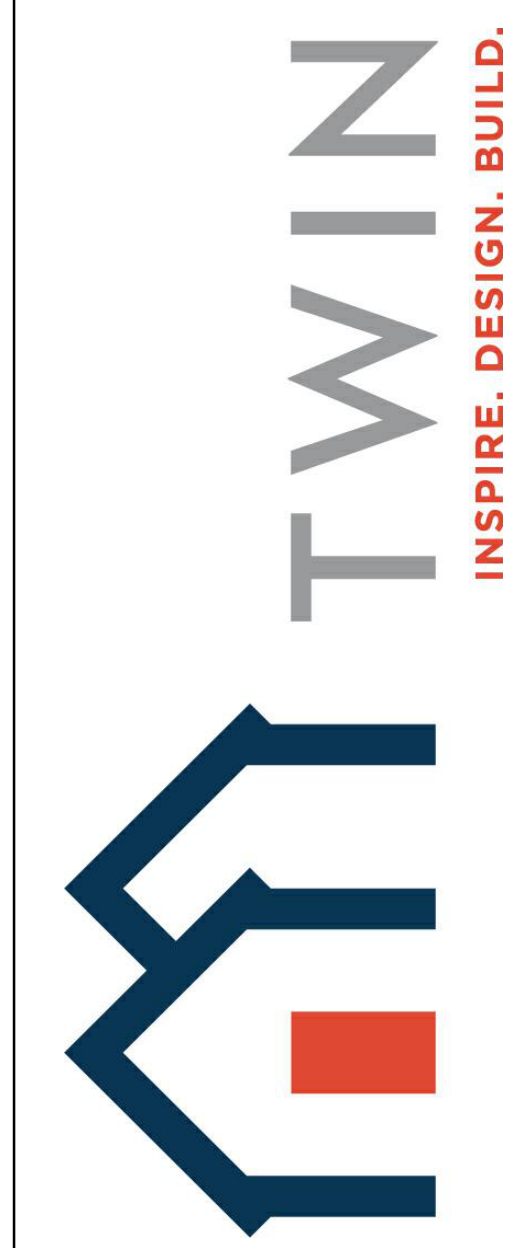
Rebarchak

PROJECT ADDRESS

422 Woodland Drive  
Birmingham, AL 35209

Twin Companies

2907 Central Ave.  
Suite 105  
Homewood, AL 35209



Revision Log

Date	Description	Int.
--	Prelim. Set	
--	Pricing Set	
--	Contract	
01/14/26	Misc. Changes	
01/15/26	ISR Calc.	

Sheet Information

A2.2  
Roof Plan

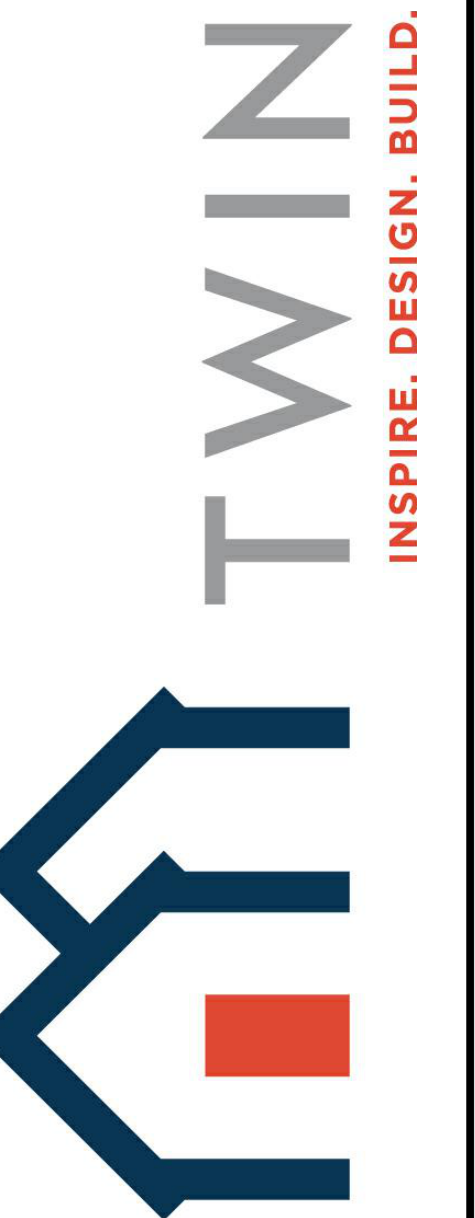
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PROJECT ADDRESS

422 Woodland Drive  
Birmingham, AL 35209

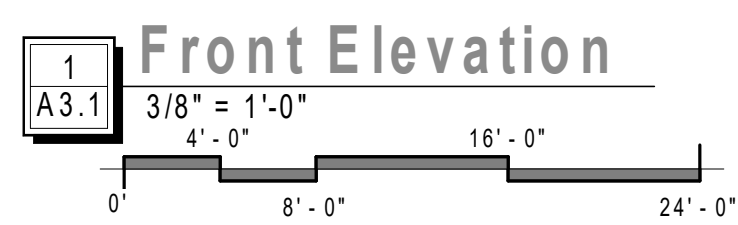
Twin Companies

2907 Central Ave.  
Suite 105  
Homewood, AL 35209



Revision Log

Date	Description	Int.
--	Prelim. Set	
--	Pricing Set	
--	Contract	
01/14/26	Misc. Changes	
01/15/26	ISR Calc.	



Sheet Information

A3.1  
Exterior Elevations

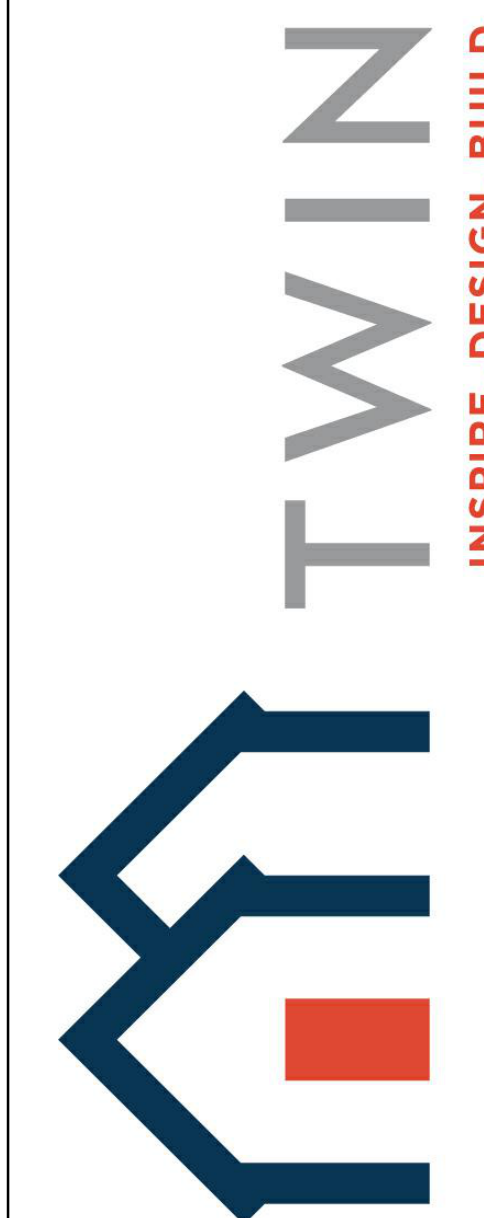
Rebarchak

PROJECT ADDRESS

422 Woodland Drive  
Birmingham, AL 35209

Twin Companies

2907 Central Ave.  
Suite 105  
Homewood, AL 35209

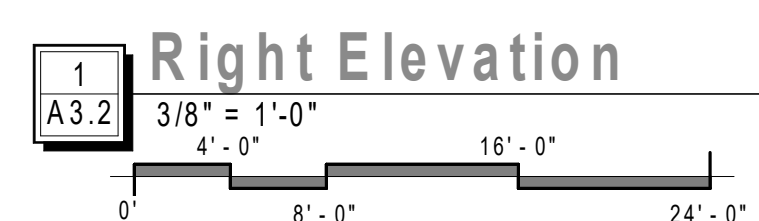


Revision Log

Date	Description	Int.
--	Prelim. Set	
--	Pricing Set	
--	Contract	
01/14/26	Misc. Changes	
01/15/26	ISR Calc.	

Sheet Information

**A3.2**  
Exterior Elevations



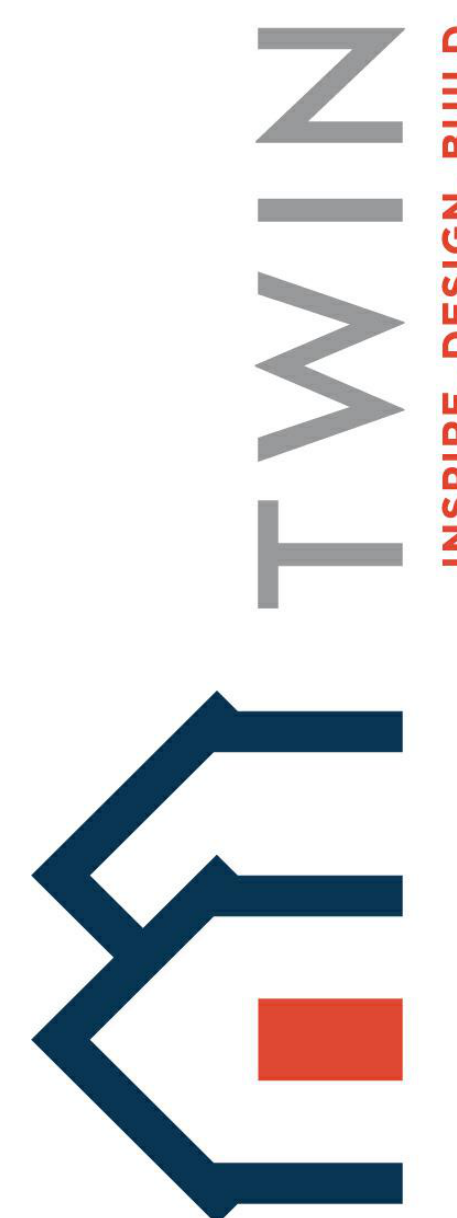
Rebarchak

PROJECT ADDRESS

422 Woodland Drive  
Birmingham, AL 35209

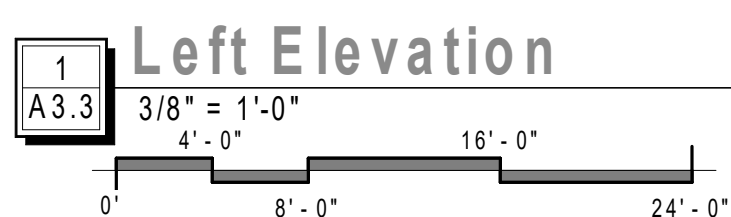
Twin Companies

2907 Central Ave.  
Suite 105  
Homewood, AL 35209



Revision Log

Date	Description	Int.
--	Prelim. Set	
--	Pricing Set	
--	Contract	
01/14/26	Misc. Changes	
01/15/26	ISR Calc.	



Sheet Information

A3.3  
Exterior Elevations

Rebarchak

PROJECT ADDRESS

422 Woodland Drive  
Birmingham, AL 35209

Twin Companies

2907 Central Ave.  
Suite 105  
Homewood, AL 35209



1  
A3.4 Rear Elevation  
3/8" = 1'-0"  
4'-0" 16'-0" 24'-0"  
0' 8'-0"

Revision Log

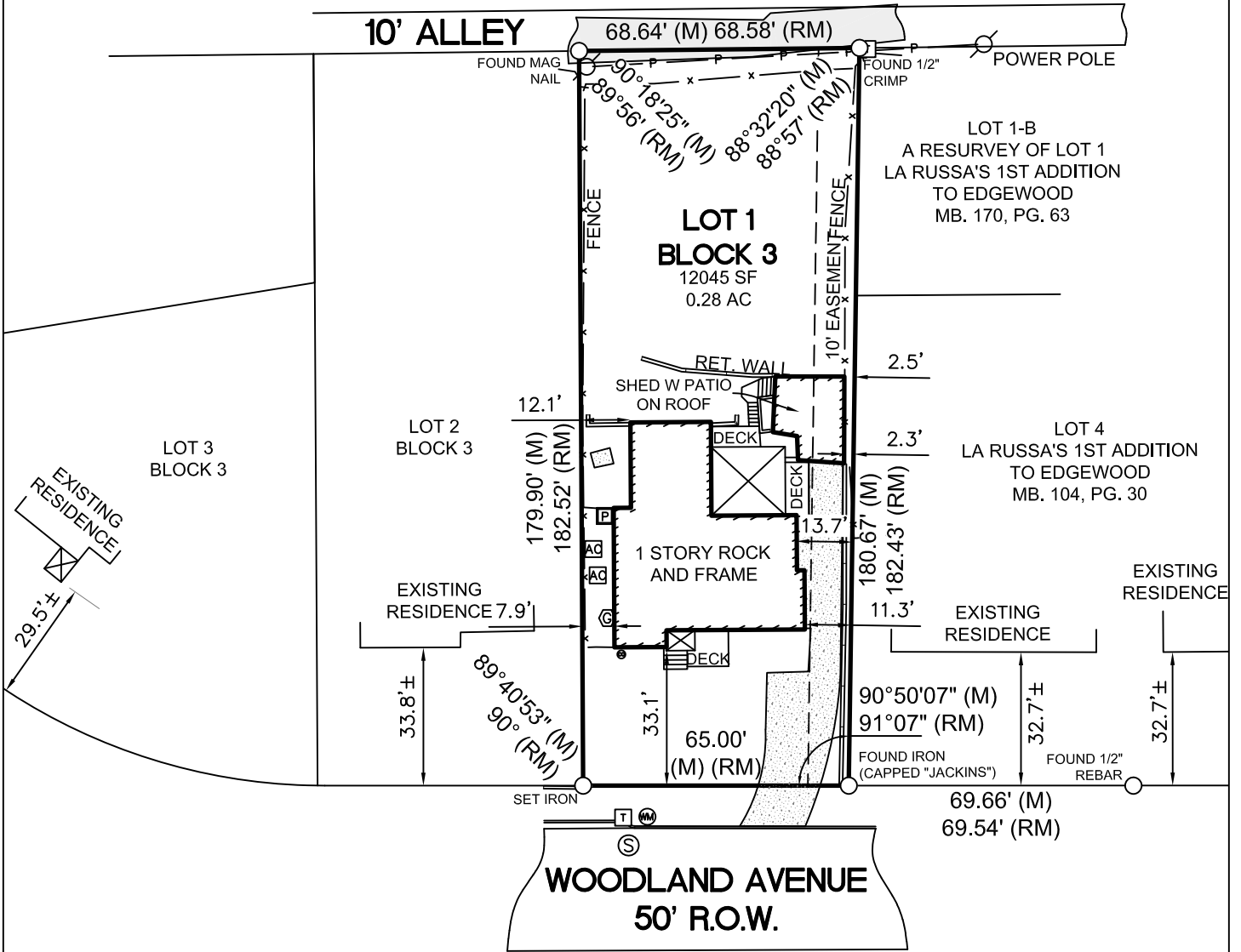
Date	Description	Int.
--	Prelim. Set	
--	Pricing Set	
--	Contract	
01/14/26	Misc. Changes	
01/15/26	ISR Calc.	

Sheet Information

A3.4  
Exterior Elevations

# BOUNDARY SURVEY LOT 1, BLOCK 3

WOODLAND ESTATES  
 MAP BOOK 30, PAGE 79  
 JEFFERSON COUNTY, ALABAMA



**LEGEND**

- POWER METER
- AC PAD
- WATER METER
- CLEANOUT
- TELEPHONE PEDESTAL
- SANITARY MANHOLE
- GAS METER

**SCALE: 1" = 40'**

**DESCRIPTION**

Lot 1, BLOCK 3 of WOODLAND ESTATES as recorded in Map Book 30 Page 79 in the Office of the Judge of Probate in JEFFERSON County, Alabama.

I hereby certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

Surveyor's Signature: \_\_\_\_\_  
 Alabama License Number 26013, Date: January 16, 2026



- NOTE:**
1. North arrow based on PLAT.
  2. Survey not valid without original signature.

Address: 422 WOODLAND DR  
 Date of Fieldwork: 2025-09-11  
 Date of Survey: 2025-09-12  
 Job Number: TWIN0201  
 Drawn By: MBA  
 Survey For: TWIN COMPANIES  
 Type of Survey: BOUNDARY SURVEY  
 Field Book, Page: FB 377, PG 45

120 BISHOP CIRCLE, SUITE 300  
 PELHAM, AL 35124















**CITY OF HOMEWOOD  
DEPARTMENT OF ENGINEERING & ZONING**

2850 19th Street South - 4<sup>th</sup> Floor  
Homewood, Alabama 35209  
Phone 205-332-6800

**Cale Smith, PE, City Manager**

**Wyatt Pugh, Director**

---

February 18, 2026

*Subject Property: 422 Woodland Drive*

Dear Property Owner:

This letter shall serve as a public hearing notice to the parties in interest and to all adjacent property owners. The Homewood Board of Zoning Adjustments has been petitioned to modify the zoning regulations, as they apply to the above referenced property. Please see below for hearing details:

**Hearing Date & Time:** March 5, 2026, at 6:00 PM

**Hearing Location:** Homewood City Hall Council Chambers, 2850 19<sup>th</sup> Street South

**Applicant:** Twin Construction **Property Owners:** Brooke and Michael Rebarchak

**Nature of Request:** Side Setback

The applicant or their agent must attend the public hearing to present the request to the Board. Public comments in support or opposition to the petition shall also be heard by the Board at this time. Interested individuals can submit questions or comments to the Department of Engineering and Zoning by contacting Emily Harris-Miller at [emily.harrismiller@homewoodal.org](mailto:emily.harrismiller@homewoodal.org), or (205) 332-6800. Information regarding live stream viewing, electronic submittal of comments, and publication of case documents are provided on the reverse side of this notice.

Best,



Emily Harris-Miller  
*Senior Planning Technician*

cc: Applicant  
Property owner  
Adjacent property owners

**Information and Instructions:** The public hearing will be preceded by a brief work session between Board Members and city staff beginning at 5:30 p.m. in the City Council's Committee Workroom located on the 2<sup>nd</sup> floor behind the Council Chambers.

If you wish to view the live stream for this meeting, the "Live Stream" link is available on the home page the city's website at [www.cityofhomewood.com](http://www.cityofhomewood.com). **Although Board of Zoning Adjustments meetings may be viewed through the live streaming service, individuals wishing to participate in the public hearing, by speaking in support or opposition to a particular case, must attend the meeting in person.**

Comments in support or opposition may also be submitted via email to the Board Secretary at [fred.goodwin@homewoodal.org](mailto:fred.goodwin@homewoodal.org) or [emily.harrismiller@homewoodal.org](mailto:emily.harrismiller@homewoodal.org). Comments should be submitted no later than 24-hours prior to the meeting and will be provided to Board Members for their consideration. Please reference the case number or the address of the subject property in your comments.

A copy of the meeting agenda packet, which includes the file for this case, will be available for viewing and downloading the Friday before the scheduled public hearing. You may access the agenda packet on the home page of the city's website at [www.cityofhomewood.com](http://www.cityofhomewood.com) by clicking on the "Upcoming Meetings/BZA" tab.

For further information or to review any files or drawings pertaining to this application you may contact our office at (205) 332-6800 or visit between 7:30 a.m. and 4:30 p.m. Monday-Friday.




# City of Homewood BZA Case Map

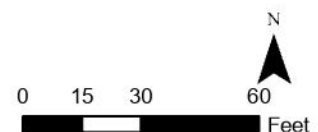
422 Woodland Dr.

BZA 26-0024

Aerial Photo Map



-  Subject Property
-  Roadway
-  Parcels



THE INFORMATION ON THIS DRAWING WAS COMPILED FROM SEVERAL SOURCES AND SHOULD ONLY BE USED FOR GEREAL INFORMATION AND ORIENTATION. THIS DRAWING IS THE PROPERTY OF THE CITY OF HOMEWOOD AND ITS USE BY ANYONE FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY AUTHORIZED BY THE CITY OF HOMEWOOD IS PROHIBITED.

ZONING IS SUBJECT TO CHANGE. PLEASE CALL ZONING OFFICE TO CONFIRM ZONING. 332-6828



# Planning and Zoning General Application

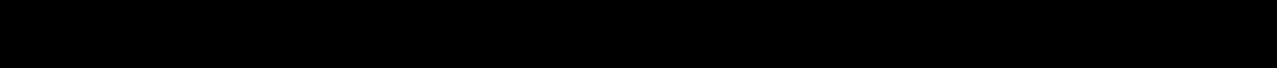
(Page 1 of 2 – see page 2 for submittal requirements)

**Property Address:** 837 Forrest Drive

Parcel ID: 29 00 13 3 010 039.00 Current Zoning: Residential

Acreage: .18 Acres Proposed Land Use: Residential

**Applicant:** Mark & Jill Pettus Property Interest of Applicant: Owner



Mailing Address: 837 Forrest Drive Homewood Alabama 35209  
*City State Zip*

**Property Owner:** Mark & Jill Pettus



Mailing Address: 837 Forrest Drive Homewood Alabama 35209  
*City State Zip*

**Request (check all applicable items):**

- Variance Request
- Rezoning
- Development Plan
- Other BZA Request: \_\_\_\_\_
- Zoning Text Amendment
- Final
- Resurvey
- Amended

**Signatures of Property Owner and Applicant:**



\_\_\_\_\_ (Print Property Owner) am the property owner of the subject property and have read and understood all statements including the filing requirements. I hereby affirm that this application may be denied, modified, or approved with modifications and/or contingencies and that such modifications and/or contingencies must be complied with prior to issuance of building permits.



\_\_\_\_\_ (Print Applicant) to act as representative in all matters concerning this application.

\_\_\_\_\_  
 Signature of Property Owner Date Signature of Applicant Date

**For office use only:**

- Completed Application form with signatures
- Project Narrative
- 2 Hard Copies of Site Plan, Site Photographs, Survey, Mylar, etc.
- Digital Copies of Site Plans, Site Photographs, Survey, Mylar etc.
- Application Fee
- Other Required Documents: \_\_\_\_\_
- Date Received in Office: \_\_\_\_\_
- Received By: \_\_\_\_\_
- Current Zoning District: \_\_\_\_\_
- Proposed Zoning District: \_\_\_\_\_
- Special Flood Hazard Area (Y/N): \_\_\_\_\_
- Time Received: \_\_\_\_\_
- Case Number(s): \_\_\_\_\_



# Planning and Zoning General Application

(Page 2 of 2)

**All General Applications shall include the following at the time of submittal:**

- One copy of the completed application form, with the original signature of the property owner or his/her authorized agent.
- Application fee
- Project narrative including the following as appropriate: proposed use, detailed project description, reason for request, conditions that the applicant will be willing to proffer.
- Current Property Boundary Survey
- Hard copy and pdf copy of all site plans and building elevations. *(Plans and associated documents that are too large to email can be provided on a flash drive.)*
- Restrictive Covenants *(if applicable)*
- Photographs of the site and all existing buildings and structures.
- Proof of Ownership (if property has been purchased within the last 12 months)
- Any variances previously granted by the Board of Zoning Adjustments

***The following additional items will be required based on the nature of the application request and must also be submitted at the time of initial application submittal:***

### **Variance Application Requirements**

- Completed Variance Request Chart
- Hardship Statement signed by Property Owner and Applicant
- Hardship Criteria Evaluation Form (initialed and signed)

### **Final and Amended Development Plan Requirements**

- 2 full sized copies, 2 11X17 copies, and a digital copy of the proposed development plan
- Complete legal description
- Other additional information as listed in Article VII. Required Development Plan

### **Resurvey Application Requirements**

- 2 full sized copies of the resurvey drawing
- 1 full size mylar copy of the resurvey drawing
- Digital copy of the resurvey drawing
- Complete legal description

### **Rezoning Application Requirements**

- Complete legal description
- Current Zoning District \_\_\_\_\_
- Proposed Zoning District \_\_\_\_\_
- Conditions that the applicant will be willing to proffer. (If applicable, please include in the detailed project narrative)

*By signing below, I acknowledge that all required documents are included in the application package. Additionally, I understand that all applications must be complete by the final application deadline in order to be processed by staff and considered by the Board of Zoning Adjustments or Planning Commission.*

Signature of Applicant

Date



**City of Homewood Board of Zoning Adjustments Applications**

***General Information for Applicant***

The Homewood Board of Adjustment was established pursuant to section 11-52-80, Code of Alabama 1975 and shall have all powers and duties delegated to boards of adjustment by said code, which generally are:

- 1) *Appeal a decision of the administrative official:* To hear and decide appeals where it is alleged there is error in any order, requirement, decision, or determination made by an administrative official in the enforcement of this ordinance.
- 2) *Special Exception to allow a Home Occupation or other use requiring BZA approval:* To hear and decide special exceptions to the terms of this ordinance upon which the board is required to pass under this ordinance.
- 3) *To authorize upon appeal in specific cases such variance from the terms of the zoning ordinance* as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the provisions of this ordinance will result in unnecessary hardship, and so that the spirit of this ordinance shall be observed and substantial justice done.

The following pages include necessary information and requirements for applications to the Board of Zoning Adjustments. Please review closely and provide initials and/or signatures to indicate your understanding of the information.

***The Purpose of a Variance***

A variance is an allowance, which permits minor deviation from the zoning ordinance district requirements where individual properties are both harshly and uniquely burdened by the strict application of the law. The power to vary is restricted and the degree of variation is limited to the minimum change necessary to overcome the inequality inherent in the property. Use Variances are specifically prohibited. "Variance" means the modification of the requirements of a zoning district and does not include the substitution of uses assigned to other districts.

- 1) A variance recognizes that the same district requirements do not affect all properties equally; it was devised to permit minor changes to allow hardship properties to enjoy equal opportunities with properties similarly zoned. The applicant must prove that special circumstances or unusual conditions affect the subject property. These must result in uncommon hardship and unequal treatment under the strict application of the Zoning Ordinance. Where some general hardship conditions extend to other properties, a variance cannot be granted. The remedy for general hardship is a change of the map or the text of the Zoning Ordinance.
- 2) The applicant must prove that the combination of the Zoning Ordinance and the uncommon conditions of your property prevent them from making any reasonable use of the land as permitted by the present zoning district. Since zoning regulates land and not people, the following conditions **cannot** be considered pertinent to the application for a variance:
  - a. Proof that a variance would increase the financial return from the land
  - b. personal hardship
  - c. self-imposed hardship

In the case of a self-imposed hardship, the recognition of conditions created after the enactment of the Zoning Ordinance would encourage and condone violation of the law.

- 3) No variance may be granted which would adversely affect surrounding property or the general neighborhood. All variances must be in harmony with the intent and purposes of the Zoning Ordinance.

[Redacted Signature Area]

**Applicant Signature**

**Date**

\_\_\_\_\_



**Hardship Criteria Evaluation Form**

Prior to granting a variance, the Board of Zoning Adjustment must *examine* and *validate* that the following criteria apply to the request. Please examine the following criteria and initial to indicate their applicability to the variance request. *(The following criteria can be found in Article XI. Administration and Review Procedures, Section B. Variances, (3) Conditions)*

- a) There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to other lands or structures in the same district.

**Applicable:** Yes

- b) Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the district in which the property is located.

**Applicable:** No

- c) All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other owners of property in the district in which the property is located.

**Applicable:** Yes

- d) The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.

**Applicable:** Yes

- e) The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship)

**Applicable:** No

- f) The variance requested is the minimum variance that will make possible the legal use of the land, building or structure.

**Applicable:** Yes

- g) That no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

**Applicable:** No

- h) That the variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

**Applicable:** No

*By signing below, I acknowledge that I have reviewed and evaluated the criteria, and the application and documents submitted for the requested variance will provide evidence of their applicability to the proposed request.*

**Signature of Applicant**

**Date**

VARIANCE APPLICATION  
FOR  
PETTUS RESIDENCE  
837 FORREST DRIVE

HOMEWOOD, ALABAMA

FEBRUARY 2, 2026



TURNERBATSON

## PROJECT NARRATIVE

Thank you for your consideration of our variance request. My wife and I have been raising our four sons in this house since 2014. We love living in Homewood and are committed to stay. We are hoping to build an addition to the front of the house that will add a 2<sup>nd</sup> floor office for my studies.

The proposed addition would only extend out to match the street-side face of our existing front porch. According to the survey, this is 38.2 feet off of the front property line.

The proposed design of the addition is intended to be sensitive to our adjacent neighbors with an open porch and a glass sunroom on the main level.

Our existing backyard is not easily developable because of the slope of the terrain.

Respectfully submitted,

Mark Pettus





PETTUS  
RESIDENCE



837

833

841

845

849

853

857

505

Forrest Dr

Melrose Woodlawn

Forrest Dr

Forrest Dr

528

84



TURNERBATSON



STREET VIEW



NEIGHBORHOOD CONTEXT



BACK YARD



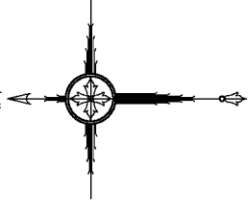
FRONT ELEVATION

P.O.C.  
 P.O.B.  
 P.O.T.  
 ASP.  
 BLDG.  
 RES.  
 CALC.  
 (M)  
 (R)  
 (D)  
 (P)  
 BRG.  
 CH.  
 R.  
 TAN.  
 Δ  
 ESMT  
 HW  
 OH  
 POR.  
 COV.  
 R.O.W.  
 A/C  
 CL

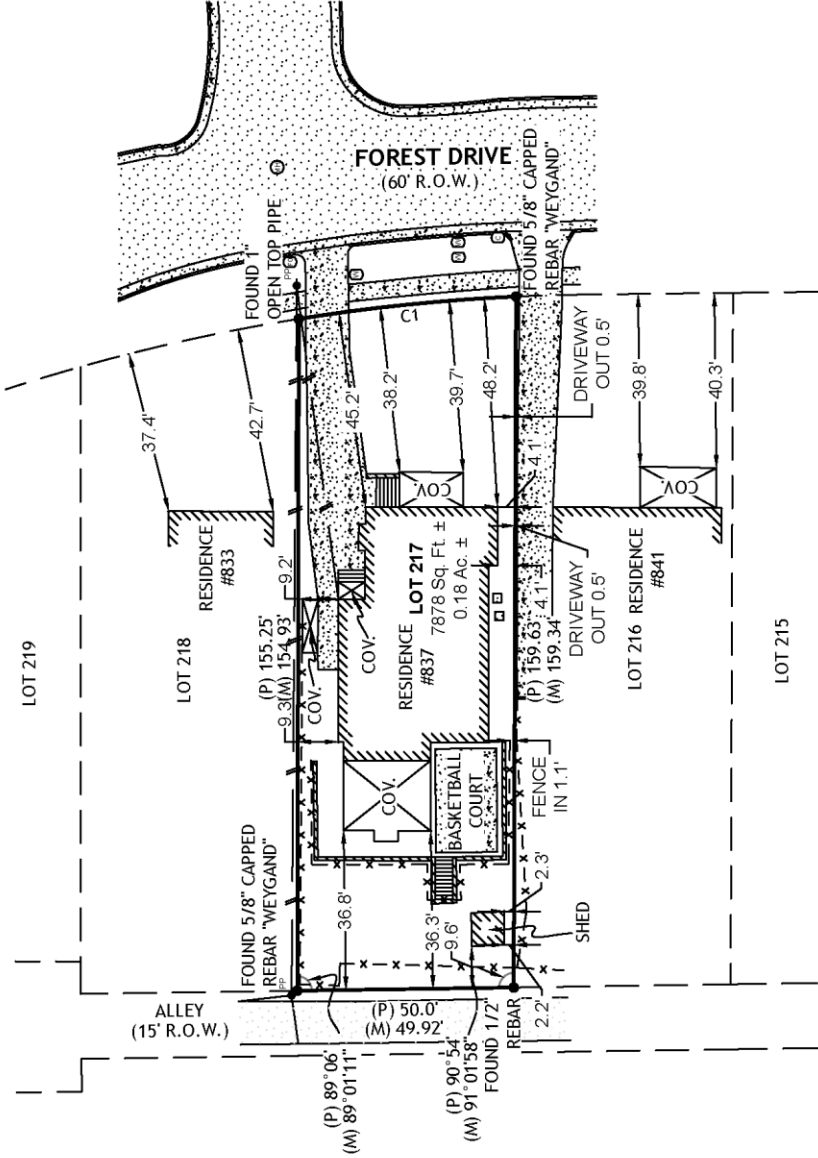
**LEGEND**

POINT OF COMMENCEMENT  
 POINT OF BEGINNING  
 POINT OF TERMINATION  
 ASPHALT  
 BUILDING  
 RESIDENCE  
 CALCULATED  
 MEASURED  
 (M)  
 (R)  
 (D)  
 (P)  
 BRG.  
 CH.  
 R.  
 TAN.  
 Δ  
 ESMT  
 HW  
 OH  
 POR.  
 COV.  
 R.O.W.  
 A/C  
 CL

**SURVEY CONTROL:**  
 THE BASIS OF BEARINGS SHOWN ON THIS SURVEY ARE BASED ON ALABAMA STATE PLANE WEST ZONE, GRID NORTH, NAD 83(2011), AND THE VERTICAL DATUM IS NAVD 88 (GEOID 12B). ELEVATION AND POSITION WERE OBTAINED FROM R.T.K. OBSERVATION USING THE ALDOT CORS NETWORK AS CONTROL.



CURVE TABLE			
CURVE	ARC LENGTH	DELTA ANGLE	RADIUS
C1(M)	50.36'	6°26'09"	448.34'
C1(P)	50.3'	N/A	448.34'
			50.33'



STATE OF ALABAMA  
 COUNTY OF JEFFERSON

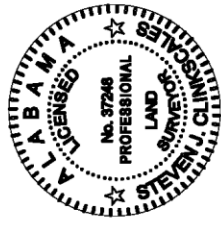
"PROPERTY BOUNDARY SURVEY"

I, Steven J. ClinkscALES, a Registered Land Surveyor, hereby certify to the purchaser of this property at this time, that I have surveyed Lot 217, EDGEWOOD HIGHLANDS, as recorded in Map Volume 8, Page 12, in the Office of the Judge of Probate, Jefferson County, Alabama. I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief, according to my survey of JANUARY 30, 2026. Survey invalid if not signed and sealed.

Order No.: 26-048  
 Purchaser: PETTUS  
 Address: 837 FOREST DR

BY: *Steven J. ClinkscALES*  
 Steven J. ClinkscALES, PLS AL 37248  
 12254 US-280  
 Sterrett, AL 35147  
 (205) 671-1033

Date: FEBRUARY 02, 2026

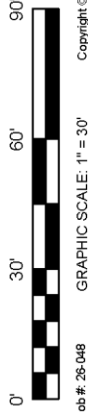


Notes: (a) No title search of the public records has been performed by this firm, and land shown hereon was not abstracted for easements and/or rights-of-way recorded or unrecorded. The parcel shown hereon is subject to setbacks, easements, zoning, and restrictions that may be found in the public records of said county and/or city. (b) All bearings and/or angles are dead/refer map unless otherwise noted in such form as Measured (Meas), (c) Underground portions of foundations, footings, and/or other underground structures, utilities, cemeteries or burial sites were not located unless otherwise noted. (d) The shown north arrow is based on dead/refer map. (e) This survey is not transferable. (f) Easements not shown on recorded map are not shown above. (g) All iron pins set (IPS) by this firm are 5/8" rebar with a yellow rebar cap inscribed CLINKSCALES CA-1084-LS or 1/2" rebar with a red cap inscribed PLS37248 CA1084LS and shall not be removed.



**CLINKSCALES LAND SURVEYING, LLC**

SCALE: 1" = 30'  
 DATE: 02/02/2026  
 APPROVED BY: Steven J. ClinkscALES, PLS  
 DATE OF SURVEY: 01/30/2026  
 AL REG. NO. 37248  
 12254 US-280  
 Sterrett, AL 35147  
 ClinkSurveying.com



GRAPHIC SCALE: 1" = 30'

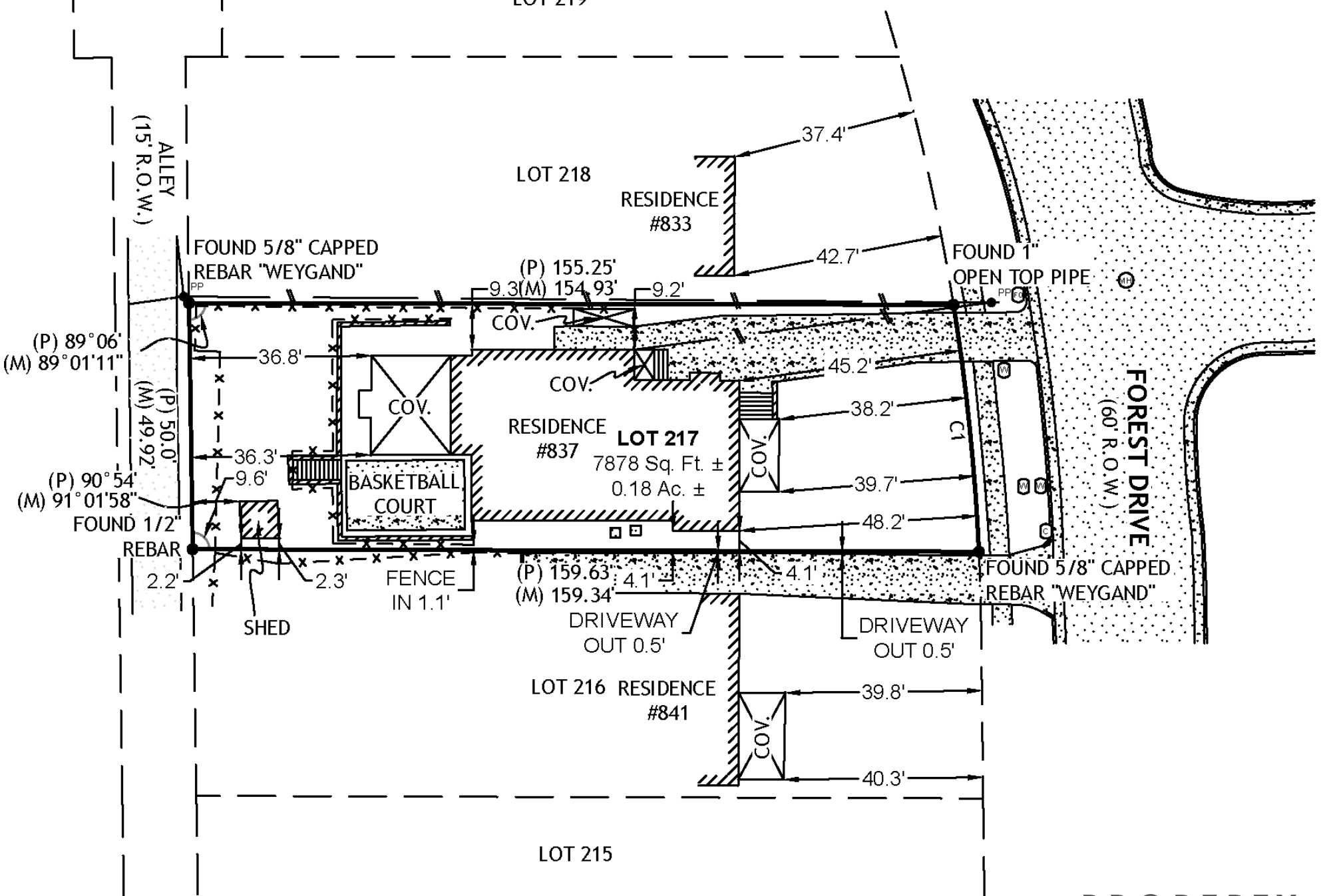
Job #: 26-048

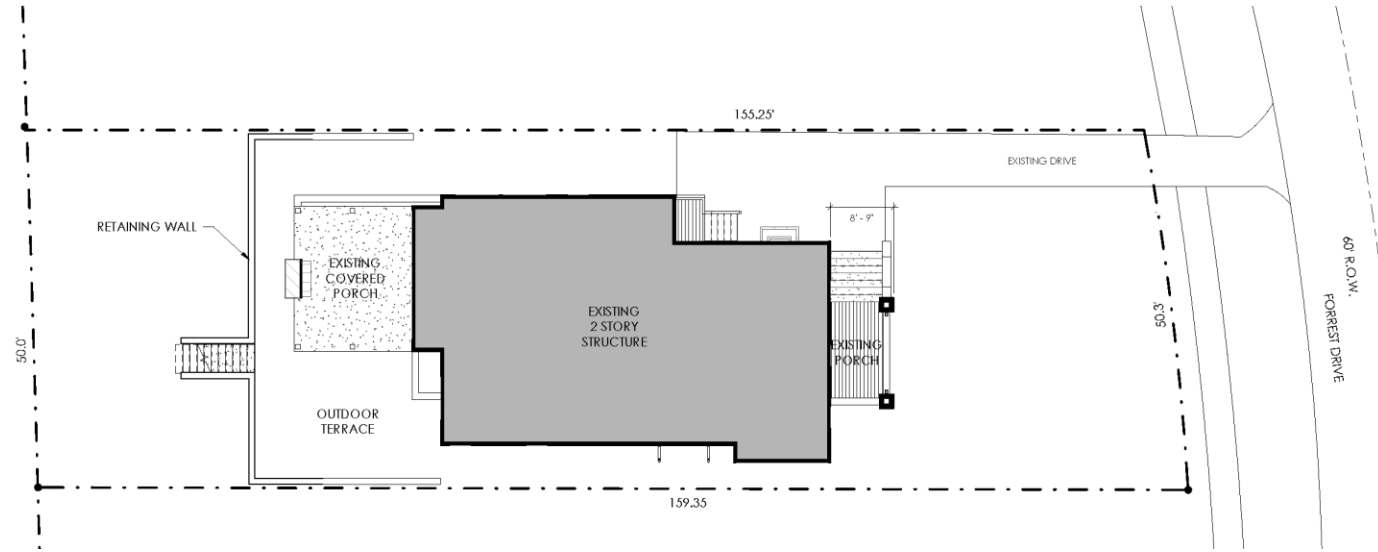
Copyright ©



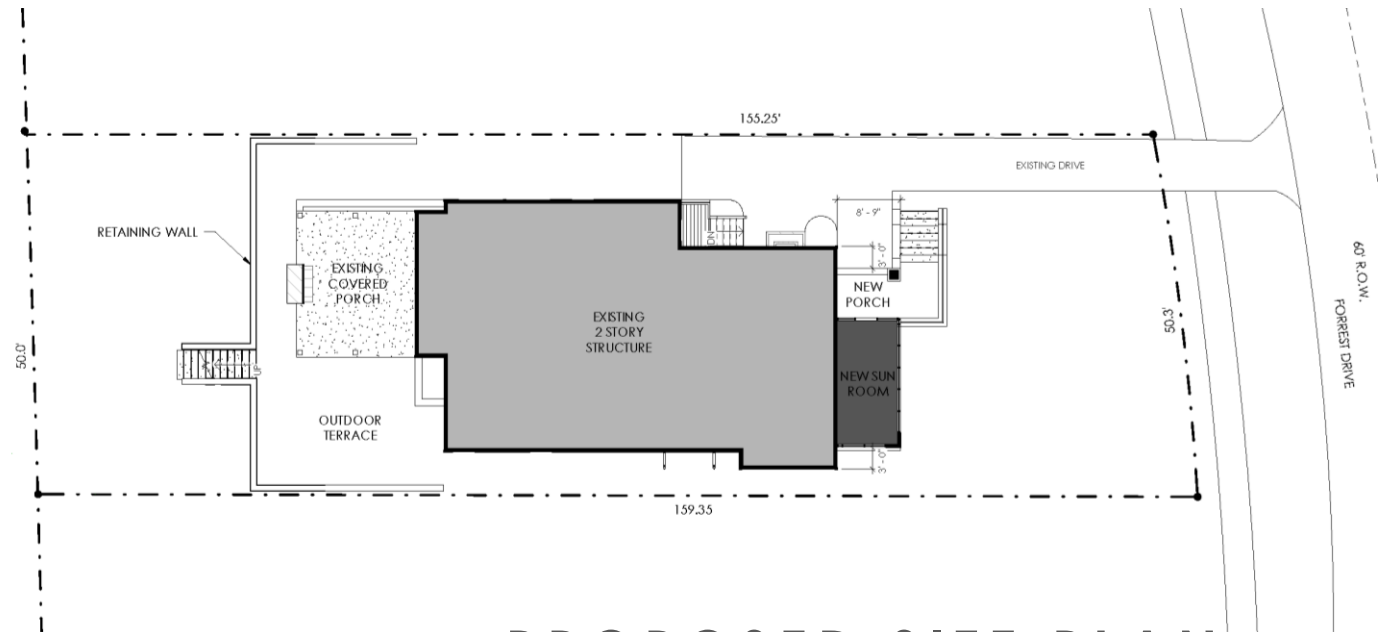
TURNERBATSON

AERIAL IMAGE





**EXISTING SITE PLAN**



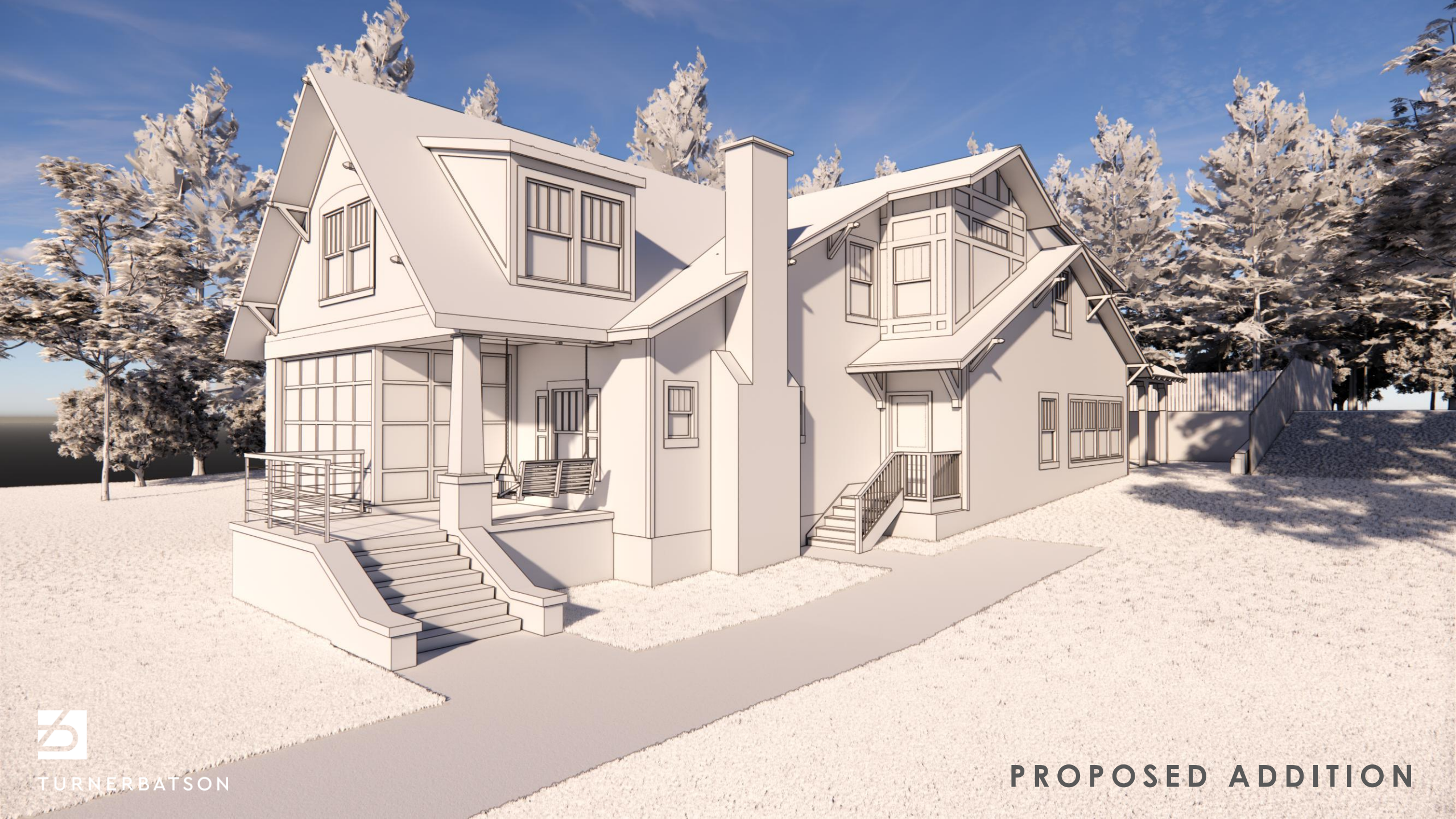
**PROPOSED SITE PLAN**





TURNERBATSON

EXISTING RESIDENCE



TURNERBATSON

PROPOSED ADDITION



TURNERBATSON

PROPOSED ADDITION



TURNERBATSON

EXISTING RESIDENCE



TURNERBATSON

PROPOSED ADDITION



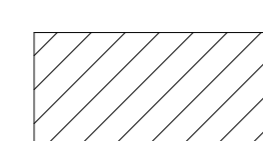
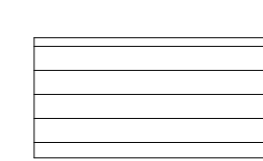


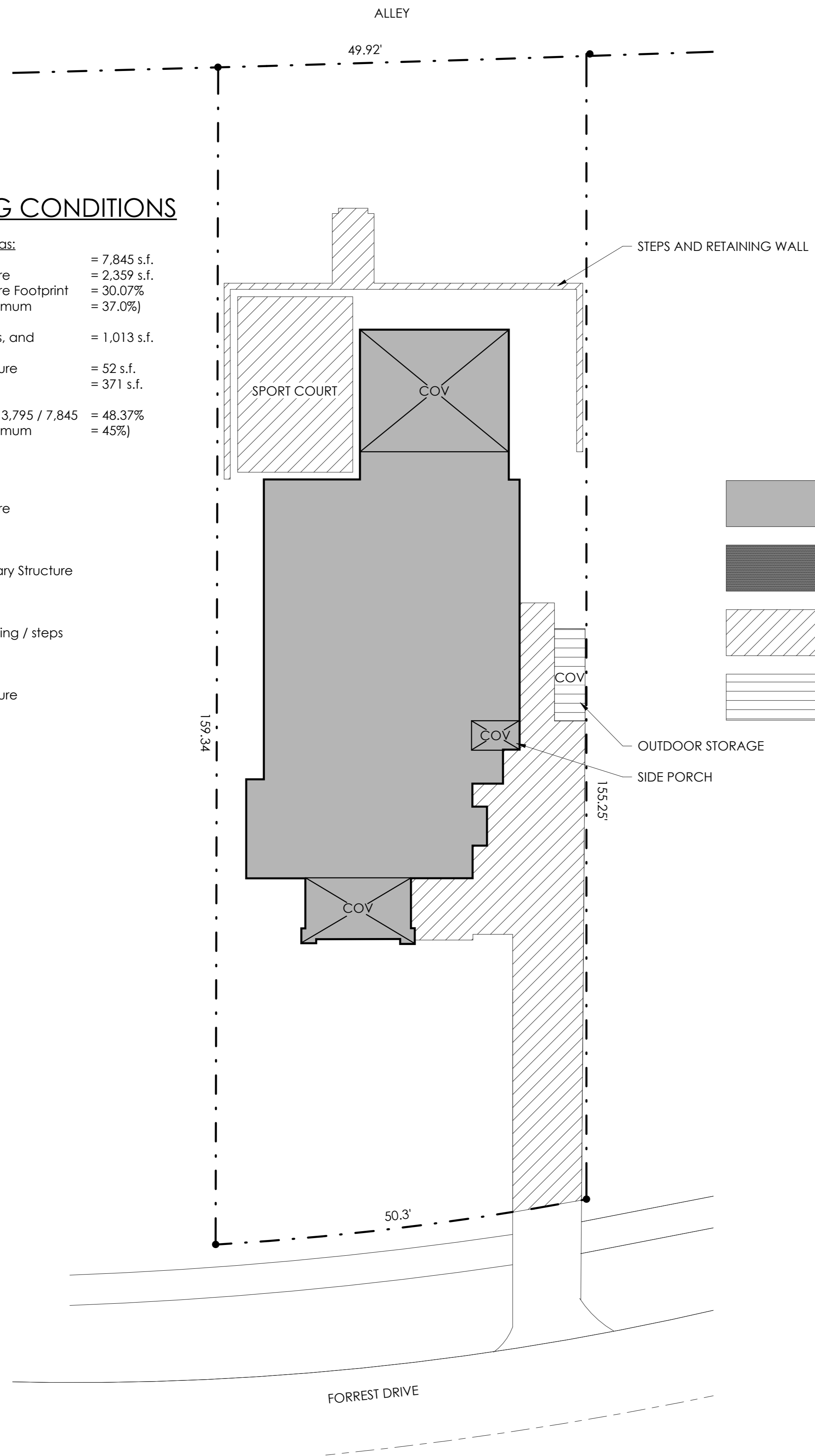
TURNERBATSON

PROPOSED ADDITION

**EXISTING CONDITIONS**

**Impervious Areas:**  
 Total Lot Size = 7,845 s.f.  
 Primary Structure = 2,359 s.f.  
 Primary Structure Footprint = 30.07%  
 (Required Maximum = 37.0%)  
 Driveway, Stairs, and Retaining Wall = 1,013 s.f.  
 Ancillary Structure = 52 s.f.  
 Sport Court = 371 s.f.  
 Impervious % = 3,795 / 7,845 = 48.37%  
 (Required Maximum = 45%)




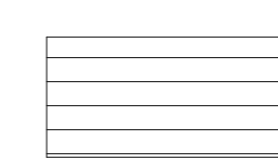
-  Primary Structure
-  Proposed Primary Structure
-  Impervious Paving / steps
-  Ancillary Structure

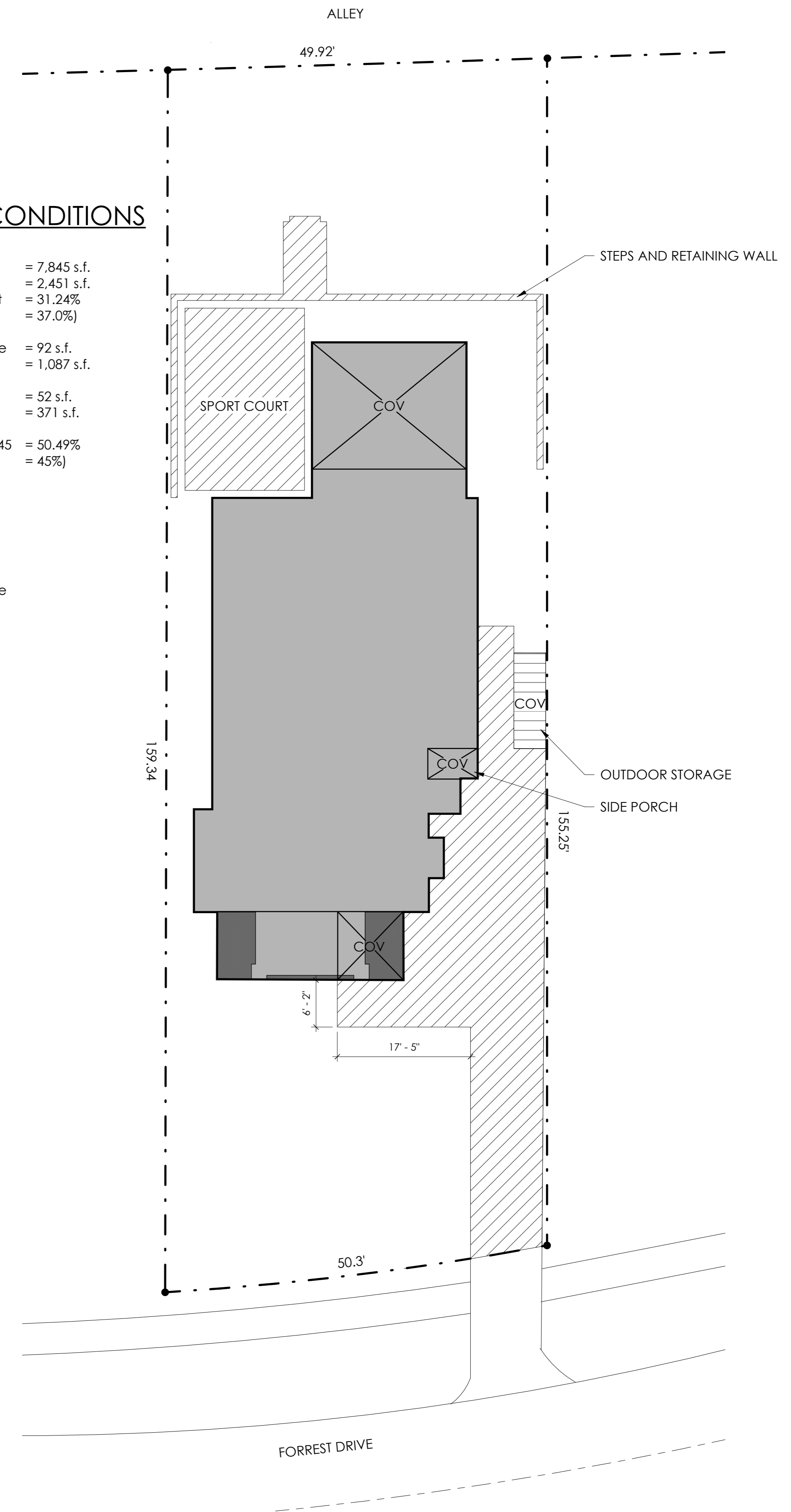


**EXISTING IMPERVIOUS COVERAGE**  
 1" = 10'-0"

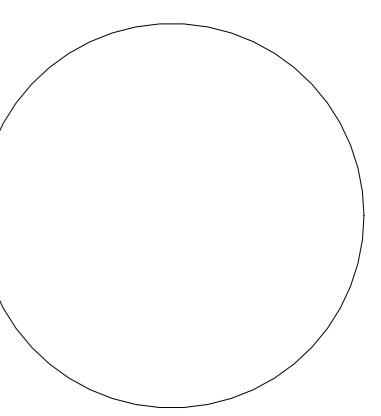
**PROPOSED CONDITIONS**

**Impervious Areas:**  
 Total Lot Size = 7,845 s.f.  
 Primary Structure = 2,451 s.f.  
 Primary Structure Footprint = 31.24%  
 (Required Maximum = 37.0%)  
 Proposed Primary Structure = 92 s.f.  
 Driveway, Stairs, and Retaining Wall = 1,087 s.f.  
 Ancillary Structure = 52 s.f.  
 Sport Court = 371 s.f.  
 Impervious % = 3,961 / 7,845 = 50.49%  
 (Required Maximum = 45%)

-  Primary Structure
-  Proposed Primary Structure
-  Impervious Paving / steps
-  Ancillary Structure



**PROPOSED IMPERVIOUS COVERAGE**  
 1" = 10'-0"



PERMIT SET

REVISIONS:

No	Date	Description

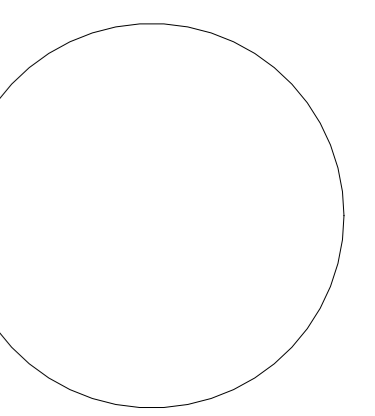
SHEET TITLE:  
 IMPERVIOUS SITE PLANS

PROJECT NUMBER: 2794  
 CHECKED BY:  
 ISSUE DATE:  
 DRAWN BY:

2/23/2026 7:52:34 AM C:\Revit - Local\Projects - Local\9000\_Pettus Residence\_A25\_Central\_murphy\3174.rvt

# ADDITION TO PETTUS RESIDENCE

837 FORREST DRIVE  
BIRMINGHAM, AL 35209



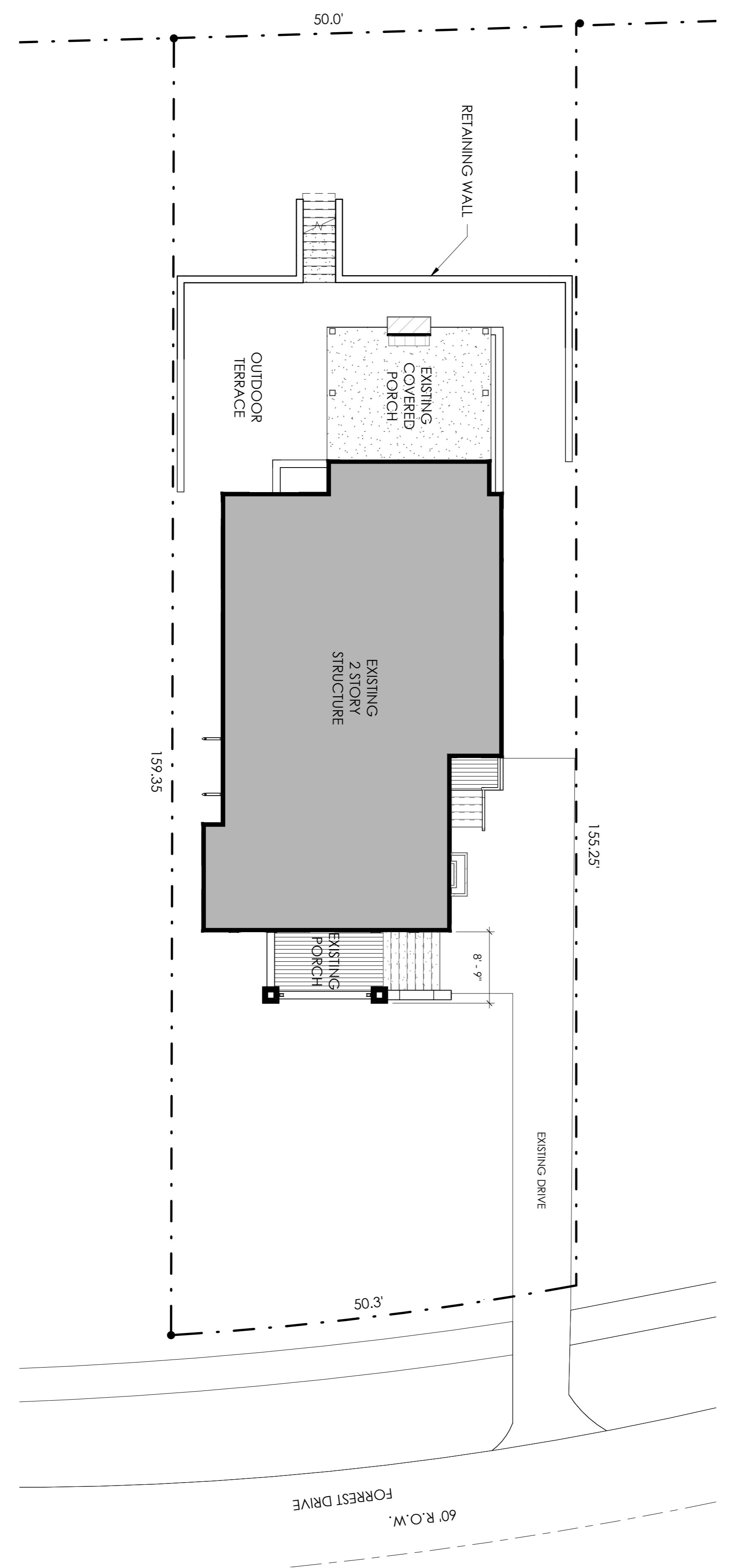
PERMIT SET

REVISIONS:

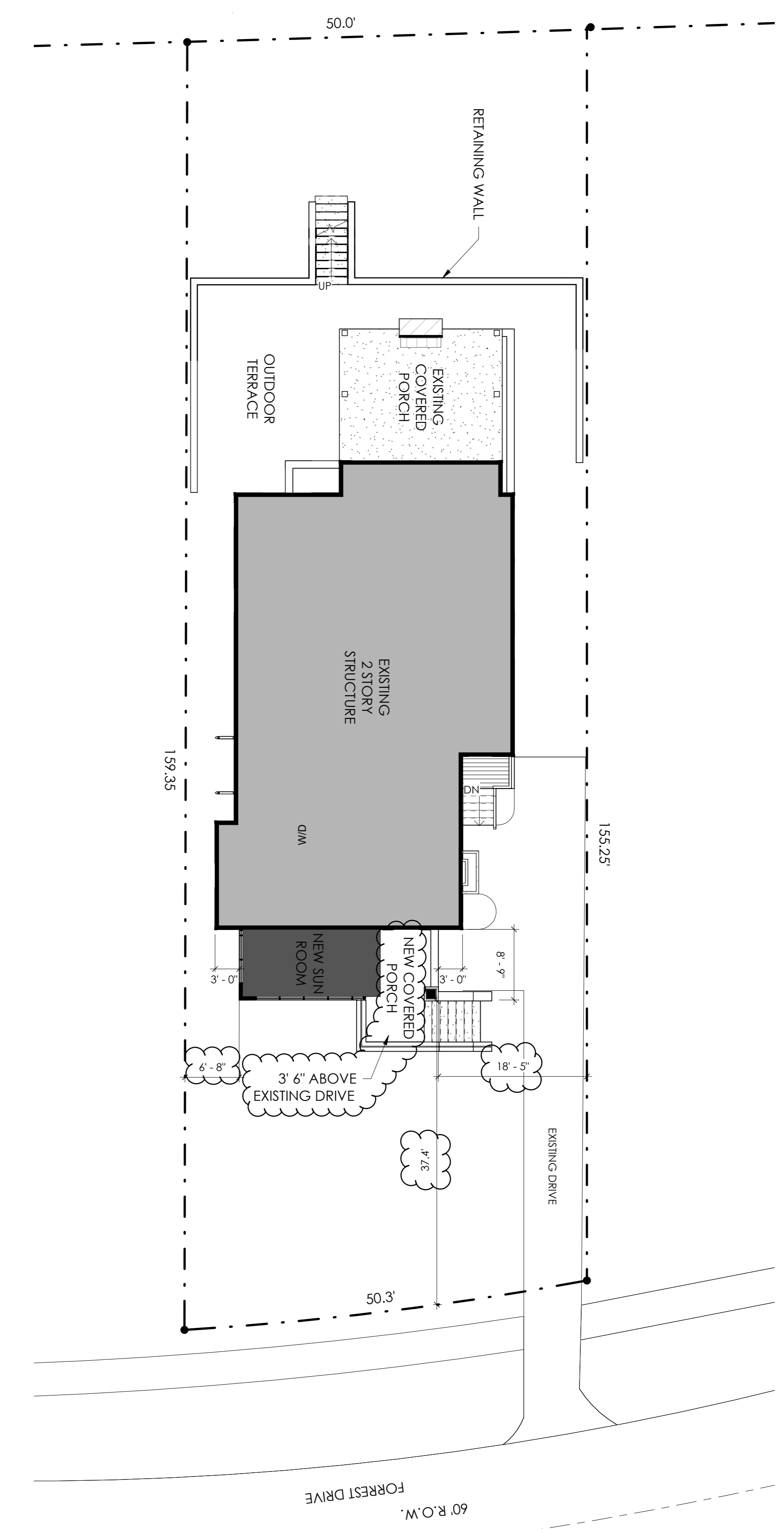
No	Date	Description

SHEET TITLE:  
ARCHITECTURAL SITE  
PLAN EX & NEW

PROJECT NUMBER: 2794  
CHECKED BY: DR  
ISSUE DATE: 6/11/25  
DRAWN BY: AM



**EXISTING SITE PLAN**  
1" = 10'-0"



**PROPOSED SITE PLAN**  
1" = 10'-0"

**CITY OF HOMEWOOD  
DEPARTMENT OF ENGINEERING & ZONING**

2850 19th Street South - 4<sup>th</sup> Floor  
Homewood, Alabama 35209  
Phone 205-332-6800

**Cale Smith, PE, City Manager**

**Wyatt Pugh, Director**

---

February 19, 2026

*Subject Property: 837 Forrest Drive*

Dear Property Owner:

This letter shall serve as a public hearing notice to the parties in interest and to all adjacent property owners. The Homewood Board of Zoning Adjustments has been petitioned to modify the zoning regulations, as they apply to the above referenced property. Please see below for hearing details:

**Hearing Date & Time:** March 5, 2026, at 6:00 PM

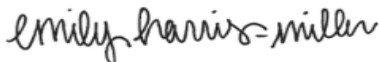
**Hearing Location:** Homewood City Hall Council Chambers, 2850 19<sup>th</sup> Street South

**Applicants / Property Owners:** Jill and Mark Pettus

**Nature of Request:** Front Setback and Impervious Coverage

The applicant or their agent must attend the public hearing to present the request to the Board. Public comments in support or opposition to the petition shall also be heard by the Board at this time. Interested individuals can submit questions or comments to the Department of Engineering and Zoning by contacting Emily Harris-Miller at [emily.harrismiller@homewoodal.org](mailto:emily.harrismiller@homewoodal.org), or (205) 332-6800. Information regarding live stream viewing, electronic submittal of comments, and publication of case documents are provided on the reverse side of this notice.

Best,



Emily Harris-Miller  
*Senior Planning Technician*

cc: Applicant  
Property owner  
Adjacent property owners

**Information and Instructions:** The public hearing will be preceded by a brief work session between Board Members and city staff beginning at 5:30 p.m. in the City Council's Committee Workroom located on the 2<sup>nd</sup> floor behind the Council Chambers.

If you wish to view the live stream for this meeting, the "Live Stream" link is available on the home page the city's website at [www.cityofhomewood.com](http://www.cityofhomewood.com). **Although Board of Zoning Adjustments meetings may be viewed through the live streaming service, individuals wishing to participate in the public hearing, by speaking in support or opposition to a particular case, must attend the meeting in person.**

Comments in support or opposition may also be submitted via email to the Board Secretary at [fred.goodwin@homewoodal.org](mailto:fred.goodwin@homewoodal.org) or [emily.harrismiller@homewoodal.org](mailto:emily.harrismiller@homewoodal.org). Comments should be submitted no later than 24-hours prior to the meeting and will be provided to Board Members for their consideration. Please reference the case number or the address of the subject property in your comments.

A copy of the meeting agenda packet, which includes the file for this case, will be available for viewing and downloading the Friday before the scheduled public hearing. You may access the agenda packet on the home page of the city's website at [www.cityofhomewood.com](http://www.cityofhomewood.com) by clicking on the "Upcoming Meetings/BZA" tab.

For further information or to review any files or drawings pertaining to this application you may contact our office at (205) 332-6800 or visit between 7:30 a.m. and 4:30 p.m. Monday-Friday.

# City of Homewood BZA Case Map

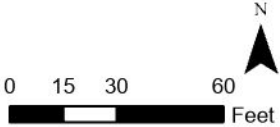
837 Forrest Dr

BZA 26-0025

Aerial Photo Map



-  Subject Property
-  Roadway
-  Parcels



THE INFORMATION ON THIS DRAWING WAS COMPILED FROM SEVERAL SOURCES AND SHOULD ONLY BE USED FOR GEREAL INFORMATION AND ORIENTATION. THIS DRAWING IS THE PROPERTY OF THE CITY OF HOMEWOOD AND ITS USE BY ANYONE FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY AUTHORIZED BY THE CITY OF HOMEWOOD IS PROHIBITED.

ZONING IS SUBJECT TO CHANGE. PLEASE CALL ZONING OFFICE TO CONFIRM ZONING. 332-6828